





City of McMinnville
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STAFF REPORT

DATE: September 8, 2020
TO: Mayor and City Councilors
FROM: Heather Richards, Planning Director
SUBJECT: WORK SESSION – House Bill 2001 Follow-Up

STRATEGIC PRIORITY & GOAL:

 GROWTH & DEVELOPMENT CHARACTER Guide growth & development strategically, responsively & responsibly to enhance our unique character.	 HOUSING OPPORTUNITIES (ACROSS THE INCOME SPECTRUM) Create diverse housing opportunities that support great neighborhoods.
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Report in Brief:

This is a work session discussion item for the City Council to receive an update on House Bill 2001 and the City's on-going work to prepare for and respond to the requirements of the bill. An overview and update on the status of House Bill 2001 will be provided, as well as an update on the status of the development of Residential Development and Design standards that would result in site development and building design standards for the missing middle housing types described in House Bill 2001, and an update on the infrastructure planning required to support the covenants of HB 2001 in single family residential zones in McMinnville.

Background:

In 2019, the Oregon Legislature passed House Bill 2001 (HB 2001), a bill that will result in changes to the types of housing that are allowed to be constructed in residential areas in cities across the state of Oregon. HB 2001 requires cities of certain sizes to allow "middle housing" in areas and properties that allow for the development of detached single-family dwellings. Middle housing is defined in HB 2001 as including duplexes, triplexes, quadplexes (fourplexes), cottage clusters, and townhouses. More specifically, HB 2001 requires that large cities, or those with a population over 25,000 (which includes McMinnville), shall allow the development of the following:

- "All middle housing types in areas zoned for residential use that allow for the development of detached single-family dwellings" and
- "A duplex on each lot or parcel zoned for residential use that allows for the development of detached single-family dwellings."

In McMinnville this would include all of our residential lots in the City as all four zones (R1, R2, R3 and R4) allow single detached housing.

Attachments:

Attachment A: Draft Residential Development and Design Standards Document

Cities that fall within the large city category are required to adopt land use regulations and Comprehensive Plan amendments to address HB 2001 by June 30, 2022. Understanding that infrastructure capacity may result in difficulties with allowing an expanded range of housing types in areas of cities that historically only allowed for single-family dwellings, HB 2001 was drafted to include a process to allow cities to identify infrastructure deficiency issues and request extensions to address those issues. Extension requests to address infrastructure deficiency issues are required to be submitted to the Department of Land Conservation and Development (DLCD) by June 30, 2021.

At the same time that the HB 2001 discussions were occurring in the Oregon Legislature, the City of McMinnville was underway on the development of a Draft Housing Strategy to respond to housing needs in the community that are identified in the Draft Housing Needs Analysis that was drafted in 2018 and 2019. The Draft Housing Strategy includes a number of potential actions for the City to pursue related to middle housing, including:

- **Action 1.9, 2.4 & 5.3: Implement Great Neighborhood Principles.** In April 2019, the City adopted Great Neighborhood Principles (GNP) and associated policies as part of the Comprehensive Plan. Some of these policies address mixed income and mixed housing neighborhoods. These policies will need to be implemented with code amendments, which can include other strategies, such as Strategy A2 to achieve a Diverse Housing Zone.
- **Action 1.10 & 2.2: Create a Diverse Housing Zone.** Explore residential zoning with targeted/ minimum density and multiple allowed housing types. This zone would authorize a variety of housing types and sub-types including single-family detached and attached and multi-family housing types (such as duplexes, triplexes and quad-plexes, and cottage clusters). In contrast to traditional zoning, this strategy would be used to implement Great Neighborhood Principles (GNP), including the framework and area planning for growth areas, to specify a housing mix and associated average density that would need to be achieved in an area.
- **Action 1.11 & 2.3: Develop a High-Density Residential Zone.** This strategy would be used in conjunction with and to complement the Great Neighborhood Principles and diverse housing zone (A2) to provide for higher density housing types in specific areas, such as more dense core areas, centers, nodes, etc. which would be higher density than the densities for housing types which would be incorporated on smaller lots within the diverse housing zone, such as duplexes, cottages, townhomes, row houses, and tri- and quad-plexes.
- **Action 2.7: Promote Infill Development, Allowing Flexibility in Existing Zones with Appropriate Design and Development Standards.** This policy seeks to maximize the use of lands that are fully developed or underdeveloped, and make use of existing infrastructure by identifying and implementing policies that (1) improve market opportunities, and (2) reduce impediments to development in areas suitable for infill or redevelopment.
- **Action 5.1: Allow Duplexes, Cottages, Townhomes, Row Houses, and Tri- and Quad-Plexes in Single-Family Zones with Appropriate Design & Development Standards.** Allowing these housing types can increase overall density of residential development and may encourage a higher percentage of multifamily housing types. This approach would be implemented through the zoning ordinance and would list these housing types as outright allowable uses in appropriate residential zones. These housing types provide additional affordable housing options and allow more residential units than would be achieved by detached homes alone.

In preparation for the implementation of HB 2001 and also to support potential actions in the Draft Housing Strategy, the McMinnville Planning Department began work on the creation of development and design standards for the housing types that are described in HB 2001 and commonly referred to as middle housing types. The Planning Department began the Residential Development and Design Standards project with a focus on the implementation of McMinnville's Great Neighborhood Principles (GNP). As stated in McMinnville Comprehensive Plan Policy 187.10, the GNP are intended to "...guide the land use patterns, design, and development of the places that McMinnville citizens live, work, and play. The Great Neighborhood Principles will ensure that all developed places include characteristics and elements that

create a livable, egalitarian, healthy, social, inclusive, safe, and vibrant neighborhood with enduring value...". The GNPs include the following:

1. Natural Feature Preservation. Great Neighborhoods are sensitive to the natural conditions and features of the land.
2. Scenic Views. Great Neighborhoods preserve scenic views in areas that everyone can access.
3. Parks and Open Spaces. Great Neighborhoods have open and recreational spaces to walk, play, gather, and commune as a neighborhood.
4. Pedestrian Friendly. Great Neighborhoods are pedestrian friendly for people of all ages and abilities.
5. Bike Friendly. Great Neighborhoods are bike friendly for people of all ages and abilities.
6. Connected Streets. Great Neighborhoods have interconnected streets that provide safe travel route options, increased connectivity between places and destinations, and easy pedestrian and bike use.
7. Accessibility. Great Neighborhoods are designed to be accessible and allow for ease of use for people of all ages and abilities.
8. Human Scale Design. Great Neighborhoods have buildings and spaces that are designed to be comfortable at a human scale and that foster human interaction within the built environment.
9. Mix of Activities. Great Neighborhoods provide easy and convenient access to many of the destinations, activities, and local services that residents use on a daily basis.
10. Urban-Rural Interface. Great Neighborhoods complement adjacent rural areas and transition between urban and rural uses.
11. Housing for Diverse Incomes and Generations. Great Neighborhoods provide housing opportunities for people and families with a wide range of incomes, and for people and families in all stages of life.
12. Housing Variety. Great Neighborhoods have a variety of building forms and architectural variety to avoid monoculture design.
13. Unique and Integrated Design Elements. Great Neighborhoods have unique features, designs, and focal points to create neighborhood character and identity.

The GNP section of the McMinnville Comprehensive Plan also includes Proposal 46.00, which states that "The City shall develop development codes that allow for a variety of housing types and forms, and shall develop site and design requirements for those housing types and form." The Residential Development and Design Standards will assist the City in implementing Proposal 46.00.

The Planning Department worked with a consultant to develop an initial first draft of potential residential development and design standards, which is attached to this staff report for the City Council's review. Please note that this document is in draft format. The Planning Commission has begun to review components of the document in three work sessions, but the document hasn't gone through any other

public review process and will likely include many revisions to respond to Planning Commission guidance, public input, and coordination with HB 2001 rulemaking (which will be discussed in more detail below).

Discussion:

House Bill 2001 Rulemaking

As part of the state-wide implementation of HB 2001, DLCD is leading a rulemaking process that will result in clarifications to the HB 2001 language and more specifically prescribe requirements that cities must follow in regards to the allowance of the middle housing types by adopting Oregon Administrative Rules that will apply to all impacted cities. The rulemaking process will result in the development of a “model code”, which would apply directly in cities that do not implement their own development code and Comprehensive Plan amendments prior to the deadlines established in HB 2001. The rulemaking committee also drafted administrative rules that govern minimum compliance standards that cities must follow in the allowance of middle housing types. These minimum compliance standards include rules and regulations governing building form, building size, and off-street parking. **(Please see Attachment 1).** Some of these minimum compliance standards differ from traditional McMinnville development standards and may be impactful to how the built environment serves the community in the future. The Land Conservation and Development Commission is hosting a public hearing on September 25 to consider the proposed drafted Oregon Administrative Rules. Many cities impacted plan to testify at the meeting. Staff would like to review the standards with the City Council and what staff feels may impact McMinnville negatively to ascertain whether or not McMinnville wants to provide testimony at the public hearing.

Residential Development and Design Standards Overview

The Residential Development and Design Standards have been drafted to include standards for all of the middle housing types required by HB 2001, and also single dwellings, accessory dwelling units (ADUs), and multiple family apartments in an effort to include all of the various housing types in one section of the City’s code. **(Please see Attachment 2).** The housing types included in the Residential Development and Design Standards include:

- Tiny Houses
- Cottage Clusters
- Plexes (including duplex, triplex, and quadplex)
- Single Dwellings
- Townhouses
- Accessory Dwelling Units (ADU)
- Apartments

In an effort to address the Great Neighborhood Principles, particularly those of Pedestrian Friendly, Accessibility, Human Scale Design, and Housing Variety, the residential development and design standards were developed with a holistic approach that focuses on a combination of site design, building form, and architectural features. These components were also considered to allow for the development of these potentially new housing types in a manner that is compatible with existing neighborhoods and housing in McMinnville. To achieve this, basic development standards are proposed for each housing type, including basic site standards such as lot size, lot width, lot depth, building setbacks, and building height. In addition to these basic development standards, more detailed design standards are proposed to be applied to all of the housing types, which are referred to as Universal Design Standards. The intent is that the application of both the Universal Design Standards and the basic site development standards will combine to result in building forms that are compatible with the existing development pattern and character of McMinnville, while still allowing the new housing types that are required by HB 2001.

The basic development standards for each housing type are proposed to include standards that would apply in three different scenarios, including new development with an alley, new development without an alley, and infill development. Infill development is intended to apply to housing types that are developed in existing neighborhoods, and the standards for those infill housing types are proposed to be required to match the existing zone, subdivision, or Planned Development Overlay District that the site is located within.

The Universal Design Standards that would apply to all housing types are proposed to include more detailed standards related to building form, architectural features, materials, and other improvements associated with housing types (parking, alleys, open spaces, etc.).

As stated above, the basic development standards and Universal Design Standards are intended to function together to drive site design and building form. In other words, the type of housing product desired will have impacts on the size or dimension of lot required for that housing type, based on some of the Universal Design Standards. As an example, if a two car garage is desired and the garage will be accessed from the front yard (typical street and driveway access), the dwelling will need to be a certain size to meet the Universal Design Standard that limits garage width to 50 percent of the building façade. Together with required setbacks, this will result in the lot needing to be a certain width that might exceed the minimum lot width listed in the development standards for the housing type.

Staff would note that the Apartment pages of the housing type development standards are not yet fully developed. Staff intends to spend additional time reviewing the potential standards for the multiple family and apartment housing types, and re-writing those sections to provide more specific development and design standards.

Staff would also note that the draft Residential Development and Design Standards document does include some placeholders for the locations where each of the housing types would be allowed. This was intentional to allow for further analysis and coordination with other processes at the city and state-wide level. This will require coordination with the outcomes of the HB 2001 rulemaking process, where more specific guidance on the applicability of the middle housing types and the “areas zoned for residential use” language from HB 2001 may be provided. In addition, the Planning Commission intends to complete an evaluation of the City’s existing residential zones (i.e. R-1, R-2, R-3, and R-4), which will involve a discussion on where the middle housing types may be allowed and how the City’s residential zoning districts might be structured (see Draft Housing Strategy actions above).

Basic Development Standards by Housing Type

The draft Residential Development and Design Standards document includes a section for each housing type. The sections for each housing type are proposed to have the same components, including:

- Overview Page with:
 - Concept
 - Guiding Principles
 - Photo Examples
- Development Standards Table including:
 - Basic site development standards for Lot Width, Lot Depth, Lot Size, Setbacks, Building Height, Parking, Driveways
 - List of applicable Universal Design Standards
- Example Site Plan Page:
 - Provides example site plan (not to scale) of housing type with development standards identified
 - Provided for both development without an alley and development with an alley

Examples of these pages, as shown for the Single Dwelling housing type, are provided below:

Single Dwelling

Concept

Single dwellings are one home on a single lot, separated from adjacent dwellings by private open space in the form of side yards and backyards, and often set back from the public street with a front yard. Single dwelling standards apply to units that are larger than 400 square feet.

Single dwellings are the most common housing type in McMinnville today.

Guiding Principle

Avoid cookie-cutter appearance across multiple single dwellings in the same neighborhood by creating variety of color, form, and façade details.

Space driveways to allow for street trees and on-street parking. Garages facing the front should be recessed to reduce their prominence on the front façade.



Single dwellings with similar porch elements provide consistency to the public realm, while still offering opportunity for variety in details.



Lots of varying widths face an open pedestrian walkway.

Single Dwelling Development Standards

SINGLE-DWELLING DEVELOPMENT STANDARDS

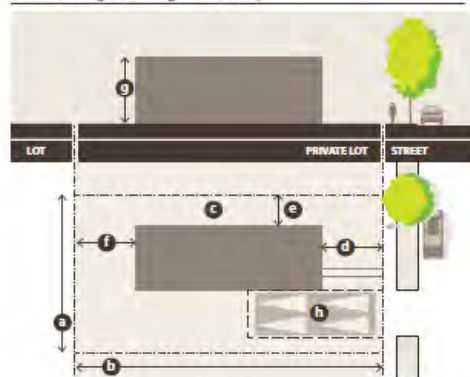
	WITH ALLEY	WITHOUT ALLEY	INFILL
a Lot width (feet)	Min. 35	Min. 45	
b Lot depth (feet)	Min. 65	Min. 65	Match existing zone, subdivision, or Planned Development overlay district.
c Lot size (square feet) ¹	Min. 2,300	Min. 3,000	
d Front setback (feet)	Min. 15	Min. 15	Match existing ²
e Side setback (feet)	Interior: Min. 3 ² or 7.5 Exterior: 10	Interior: Min. 3 ² or 7.5 Exterior: 10	Interior: Min. 2.5 Exterior: Min. 15
f Rear setback (feet)	0 with garage; 20 without garage. ¹	Min. 20	Min. 20
g Building height (feet)	Max. 35	Max. 35	Max. 35
h Parking Zone:	For lots with an alley: Parking is required to be located adjacent to the alley. Parking is permitted to be located on the surface or in a garage. For lots without an alley: Parking is permitted to be located on the surface or in a garage. The front setback for garages is specified in Parking Development and Design Standards, Garage Setback.		
Driveways	Driveway spacing and width requirements are specified in Street Frontage, Frontage Types.		
Off-street Parking	See McMinnville Municipal Code Chapter 17.60		
Street frontage			
Front yard			
Alleys			
Private open space			
Compatibility			
Facade			
Parking			
Subdivision Standards that apply	Usable Side Yard, Through Block, and Corner Common Greens		

¹ Per McMinnville Municipal Code Section 17.54.050.

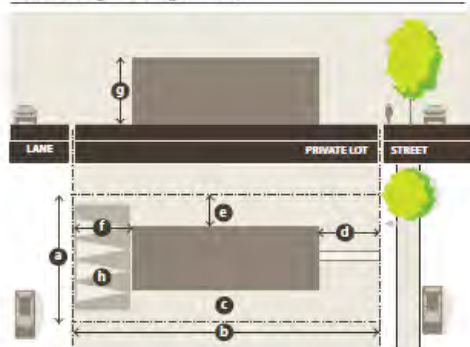
² Must meet all requirements of Usable Side Yard Subdivision standards.

³ From alley property easement line.

Detached Single Dwelling without Alley



Detached Single Dwelling with Alley



Universal Design Standards

The Universal Design Standards include standards related to the following:

- Façade
- Street Frontage
- Front Yard
- Alleys
- Parking
- Common Open Space
- Private Open Space
- Compatibility
- Subdivision Standards, including:
 - Modular Block Standards
 - Partial Alleys
 - Usable Side Yard Setbacks
 - Common Greens

As discussed above, the Universal Design Standards are proposed to be applied to all of the housing types (with the potential exception of multiple family and apartments pending additional review and consideration). Some of the Universal Design Standards are proposed to only apply to certain housing types, such as Private Open Space, which would apply only to Plexes, Townhouses, and Apartments. A table summarizing which Universal Design Standards would be applicable to each housing type is provided below:

Universal Design Standards Summary Table							
Universal design standards apply to each housing type marked with an "X", except where indicated as optional.							
	Tiny House	Cottage Cluster	Plex	Single Dwelling	Town-house	ADU	Apartment
Façade	X	X	X	X	X	X	X
Street Frontage	X	X	X	X	X	X	X
Front Yard	X	X	X	X	X	X	X
Alleys	X	X	X	X	X	X	X
Parking	X	X	X	X	X		X
Common OS		X					X
Private OS	X	X	X	X	X	X	X
Compatibility	X	X	X	X	X	X	X
Partial alley (optional)	X		X		X	X	X
Usable Site Yard Setback (optional)	X		X	X		X	X
Common Green (optional)	X	X	X	X	X	X	X

Each Universal Design Standard includes pages that are organized with the following components:

- Concept – Describes the Universal Design Standard and the purpose of the standard.
- Great Neighborhood Principle – Highlights the GNP that the standard helps to achieve.
- Design Guidelines (or Guiding Principles) – Describes the intent of the design standard and examples or best practices for how to achieve the intent of the design standard.
- Applicability – Identifies which housing types the design standard applies to.
- Photo Examples
- Fundamental Requirements (where applicable) – Identifies specific design standards required.
- Menu of Options (not pictured here) – Where applicable, lists of options that a builder/developer could choose from to achieve standard.

Private Open Space

Concept
Every dwelling needs private open space for relief from indoors and to provide access to fresh air, light, and nature. Private open space may take many forms based on the size of unit.

Design Guidelines
Private open spaces should respond to the needs of residents. While they may take a variety of forms and configurations based on the scale of the building and its context, private open spaces should be usable and provide an opportunity for personalization and ownership by residents. Open spaces should provide health and well-being benefits including access to fresh air and sunlight, ability to grow food or shade their dwelling with plants. They should translate into a perception of an increase in living space and the ability to invite the outdoors in. Additionally, these open spaces can provide environmental benefits with plants that consume carbon dioxide and help reduce stormwater runoff. Spaces should be adequate to be usable, allowing space for a chair to sit in, a place to barbecue or hang clothes to dry, or for a pet to curl up. Private open space should enhance the residential function of the building while also improving the appearance of the building. They should be integrated into the overall architectural form and add detail to the façade. Placement can vary based on privacy concerns. It can be combined across multiple floors.

Applicability

- For the following housing types: Plexes, Townhouses, Apartments
- For infill and new subdivisions
- In the following zones: [to be determined]

All developments shall meet the fundamental requirement for Private Open Space.

In addition, projects may provide private open space in the form of one of the options listed under Menu of Options.

Principle 3 - Parks and Open Spaces.
Parks, trails, and open spaces shall be provided at a size and scale that is variable based on the size of the proposed development and the number of dwelling units.



Individual back deck or front porch provides small seating area under cover from the elements.

Fundamental requirement

- All units shall have a minimum of 36 square feet of private open space that allows for personalization and ownership of the space and contributes to the livability and function of the dwelling. Any exterior private open spaces shall be supplemented with operable windows to allow for cross-ventilation, increase air flow and provide the ability to control access to the outdoors.
- 50% of upper units shall have a balcony that is accessible from the interior of unit that is a minimum of 60 square feet with no dimension less than 6 feet. These balconies can be designed to be up to the full width of the apartment in order to provide adequate space for use and allow greater indoor/outdoor flow. Balconies can be cantilevered, semi-recessed, or fully recessed. They should be located based on privacy and environmental concerns. If balconies are transparent, adequate storage should be provided within the unit or the larger building so that balconies do not become informal storage spaces.
- Private outdoor space at the ground-level must meet the requirements of Universal Standards: Front Yard regardless of whether the private outdoor space is in the front, side, or rear of a building.

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Attachments:

- A) Proposed Division 46 Missing Middle Housing Oregon Administrative Rules
- B) Draft Residential Development and Design Standards Document

Fiscal Impact:

The City of McMinnville estimates spending \$225,000 to prepare for the implementation of HB 2001 within the City of McMinnville. The City has received \$120,000 in grant funds from the Department of Land Conservation and Development to help offset the hard costs for the City of McMinnville. In addition to the hard costs of consultant help with the implementation of HB 2001, the City of McMinnville is devoting 0.5 FTE for 18 months for this effort.

Recommendation:

As a work session discussion item, no specific action is required.

Division 46

Middle Housing

660-046-0000 Purpose

The purpose of this division is to prescribe standards guiding the development of Middle Housing types as provided in Oregon Laws 2019, chapter 639. OAR 660-046-0010 to OAR 660-046-0235 establish standards related to the siting and design of Middle Housing types in urban growth boundaries. OAR 660-046-0300 to OAR 660-046-0370 establish the form and substance of an application and review process to delay the enactment of standards related to the siting and design of Middle Housing types in areas with significant infrastructure capacity deficiencies.

660-046-0010 Applicability

1. A local government that is a Medium City or Large City must comply with this division.
2. Notwithstanding section (1), a local government need not comply with this division for:
 - a. Lands that are not zoned for residential use, including but not limited to lands zoned primarily for commercial, industrial, agricultural, or public uses;
 - b. Residentially zoned lands that do not allow for the development of a detached single-family home; or
 - c. Lands that are not incorporated and that are zoned under an interim zoning designation that maintains the land's potential for planned urban development.
3. Local governments may regulate Middle Housing to comply with protective measures (including plans, policies, and regulations) adopted and acknowledged pursuant to statewide land use planning goals. Where local governments have adopted, or shall adopt, regulations implementing the following statewide planning goals, the following provisions provide direction as to how those regulations shall be implemented in relation to Middle Housing, as required by OAR 660-046-0010.
 - a. Goal 5: Natural Resources, Scenic, and Historic Areas - Pursuant to OAR chapter 660, division 23, local governments must adopt land use regulations to protect identified resources under Goal 5, including regulations to comply with protective measures (including plans, policies, and regulations) applicable to Middle Housing.
 - A. Goal 5 Riparian Areas, Wetlands, and Wildlife Habitat – Pursuant to OAR 660-023-0050 through 660-023-0115, local governments must adopt land use regulations to protect water quality, aquatic habitat, and the habitat of threatened, endangered and sensitive species. This includes regulations applicable to Middle Housing to comply with protective measures adopted pursuant to Goal 5. Local governments may apply regulations to Middle Housing that apply to detached single-family dwellings in the same zone.
 - B. Goal 5: Historic Resources – Pursuant to OAR 660-023-0200(7), local governments must adopt land use regulations to protect locally significant historic resources. This includes regulations applicable to Middle Housing to comply with protective measures as it relates to the integrity of a historic resource or district. Protective measures shall be adopted and applied as provided in OAR 660-023-0200. Local governments may apply regulations to Middle Housing that apply to detached single-family dwellings in the same zone, except as provided below. If a local government has not adopted land use regulations to protect nationally significant historic resources, they must apply protective measures to Middle Housing as provided in OAR 660-023-0200(8)(a) until the local government adopts land use regulations in compliance with OAR 660-023-0200. Local governments may not apply the following types of regulations specific to Middle Housing:

- i. Use, density, and occupancy restrictions that prohibit the development of Middle Housing on historic properties or districts that otherwise permit the development of detached single-family dwellings; or
 - ii. Standards that prohibit the development of Middle Housing on historic properties or districts that otherwise permit the development of detached single-family dwellings.
- b. Goal 6: Air, Water and Land Resources Quality – Pursuant to OAR 660-015-0000(6), all waste and process discharges from future development, when combined with such discharges from existing developments, shall not threaten to violate, or violate applicable state or federal environmental quality statutes, rules, and standards. Local governments may apply regulations to Middle Housing in a manner that complies with federal and state air, water and land quality requirements.
- c. Goal 7: Areas Subject to Natural Hazards – Pursuant to OAR 660-015-0000(7), local governments must adopt comprehensive plans (inventories, policies, and implementing measures) to reduce risk to people and property from natural hazards. Such protective measures adopted pursuant to Goal 7 apply to Middle Housing, including, but not limited to, restrictions on use, density, and occupancy in the following areas:
 - A. Special Flood Hazard Areas as identified on the applicable FEMA Flood Insurance Rate Map (FIRM); and
 - B. Other hazard areas identified in an adopted comprehensive plan or development code; provided the development of Middle Housing presents a greater risk to life or property than the development of detached single-family dwellings. Greater risk includes but is not limited to actions or effects such as:
 - i. Increasing the number of people exposed to a hazard;
 - ii. Increasing risk of damage to property, built, or natural infrastructure; and
 - iii. Exacerbating the risk by altering the natural landscape, hydraulics, or hydrology.
- d. Goal 15: Willamette Greenway – Pursuant to OAR 660-015-0005, cities and counties must review intensifications, changes of use or developments to insure their compatibility with the Willamette River Greenway. Local governments may regulate Middle Housing to comply with Goal 15 protective measures that apply to detached single-family dwellings in the same zone.
- e. Goal 16: Estuarine Resources – Pursuant to OAR 660-015-0010(1) and OAR chapter 660, division 17, local governments must apply land use regulations that protect the estuarine ecosystem, including its natural biological productivity, habitat, diversity, unique features and water quality. Local governments may prohibit Middle Housing in areas regulated to protect estuarine resources under Goal 16.
- f. Goal 17: Coastal Shorelands – Pursuant to OAR 660-015-0010(2) and OAR 660-037-0080, local governments must apply land use regulations that protect shorelands for water-dependent recreational, commercial, and industrial uses. This includes regulations applicable to Middle Housing to comply with protective measures adopted pursuant to Goal 17. Local governments may apply regulations to Middle Housing that apply to detached single-family dwellings in the same zone.
- g. Goal 18: Beaches and Dunes – Pursuant to OAR 660-015-0010(3), local governments must apply land use regulations to residential developments to mitigate hazards to life, public and private property, and the natural environment in areas identified as Beaches and Dunes. This includes regulations applicable to Middle Housing to comply with protective measures adopted pursuant to Goal 18 including but not limited to restrictions on use, density, and occupancy; provided the development of Middle Housing presents a greater risk to life or property than development of detached single-family dwellings. Greater risk includes but is not limited to actions or effects such as:
 - A. Increasing the number of people exposed to a hazard;
 - B. Increasing risk of damage to property, built or natural infrastructure; and
 - C. Exacerbating the risk by altering the natural landscape, hydraulics, or hydrology.

4. For the purposes of assisting local jurisdictions in adopting reasonable siting and design standards for Middle Housing, the Commission adopts the following model Middle Housing Model Codes. The applicable Model Code adopted by reference in this section will be applied to Medium and Large Cities who have not acted to comply with the provisions of ORS 197.758 and this division and completely replaces and pre-empts any provisions of that local jurisdictions development code that conflict with the Model Code:
 - a. The Medium City Model Code as provided in Exhibit A; and
 - b. The Large City Model Code as provided in Exhibit B.
5. This division does not prohibit local governments from allowing:
 - a. Single-family dwellings in areas zoned to allow for single-family dwellings; or
 - b. Middle Housing in areas not required under this division.

660-046-0020 Definitions

As used in this division, the definitions in ORS 197.015 and ORS 197.758 et seq apply, unless the context requires otherwise. In addition:

1. "A Local Government That Has Not Acted" means a local government that has not adopted acknowledged land use regulations that are in compliance with ORS 197.758 and this division.
2. "Cottage Cluster" means a grouping of no fewer than four detached dwelling units per acre, each with a footprint of less than 900 square feet. Units may be located on a single Lot or Parcel, or on individual Lots or Parcels that include a common courtyard.
3. "Department" means the Department of Land Conservation and Development.
4. "Detached single-family dwelling" means a detached structure on a Lot or Parcel that is comprised of a single dwelling unit, either site built or a manufactured dwelling.
5. "Duplex" means two attached dwelling units on a Lot or Parcel. A local government may define a Duplex to include two detached dwelling units on a Lot or Parcel.
6. "Goal Protected Lands" means lands protected or designated pursuant to any one of the following statewide planning goals:
 - a. Goal 5 Natural Resources, Scenic and Historic Areas, and Open Spaces;
 - b. Goal 6 Air, Water and Land Resource Quality;
 - c. Goal 7 Areas Subject to Natural Hazards;
 - d. Goal 15 Willamette River Greenway;
 - e. Goal 16 Estuarine Resources;
 - f. Goal 17 Coastal Shorelands; or
 - g. Goal 18 Beaches and Dunes.
7. "Infrastructure Constrained Lands" means lands where it is not feasible to provide acceptable water, sewer, storm drainage, or transportation services to serve new Triplexes, Quadplexes, Townhouses, or Cottage Cluster development; where the local government is not able to correct the infrastructure limitation by utilizing the process outlined in OAR 660-046-0300 through OAR 660-046-0370 due to cost, jurisdictional, or other limitations; and which cannot be remedied by future development of Middle Housing on the subject Lot or Parcel.
8. "Large City" means each city with a certified Portland State University Population Research Center estimated population of 25,000 or more or city with a population over 1,000 within a metropolitan service district. This also includes unincorporated areas of counties within a metropolitan service district that are provided with urban services as defined in ORS 195.065.
9. "Lot or Parcel" means any legally created unit of land.
10. "Master Planned Community" means a site that is any one of the following:
 - a. Greater than 20 acres in size within a Large City or adjacent to the Large City within the urban growth boundary that is zoned for or proposed to be zoned for residential development for which a Large City proposes to adopt a master plan or a plan that functions in the same manner as a master plan;
 - b. Greater than 20 acres in size within a Large City or adjacent to the Large City within the urban growth boundary for which a Large City adopted a master plan or a plan that functions in the

same manner as a master plan after the site was incorporated into the urban growth boundary;
or

- c. Added to the Large City's urban growth boundary after January 1, 2021 for which the Large City proposes to adopt a master plan or a plan that functions in the same manner as a master plan.
11. "Medium City" means each city with a certified Portland State University Population Research Center estimated population more than 10,000 and less than 25,000 and not within a metropolitan service district.
12. "Middle Housing" means Duplexes, Triplexes, Quadplexes, Cottage Clusters, and Townhouses.
13. "Model Code" means the applicable model code developed by the Department contained in OAR 660-046-0010(4).
14. "Quadplex" means four attached dwelling units on a Lot or Parcel. A local government may define a Quadplex to include any configuration of four detached or attached dwelling units on one Lot or Parcel.
15. "Townhouse" means a dwelling unit that is part of a row of two or more attached units, where each unit is located on an individual Lot or Parcel and shares at least one common wall with an adjacent unit.
16. "Triplex" means three attached dwelling units on a Lot or Parcel. A local government may define a Triplex to include any configuration of three detached or attached dwelling units on one Lot or Parcel.
17. "Zoned for residential use" means a zoning district in which residential dwellings are the primary use and which implements a residential comprehensive plan map designation.

660-046-0030 Implementation of Middle Housing Ordinances

1. Before a local government amends an acknowledged comprehensive plan or a land use regulation to allow Middle Housing, the local government must submit the proposed change to the Department for review and comment pursuant to OAR chapter 660, division 18.
2. In adopting or amending regulations or amending a comprehensive plan to allow Middle Housing, a local government must include findings demonstrating consideration, as part of the post-acknowledgement plan amendment process, of methods to increase the affordability of Middle Housing through ordinances or policies that include but are not limited to:
 - a. Waiving or deferring system development charges;
 - b. Adopting or amending criteria for property tax exemptions under ORS 307.515 to ORS 307.523, ORS 307.540 to ORS 307.548 or ORS 307.651 to ORS 307.687 or property tax freezes under ORS 308.450 to ORS 308.481; and
 - c. Assessing a construction tax under ORS 320.192 and ORS 320.195.
3. When a local government amends its comprehensive plan or land use regulations to allow Middle Housing, the local government is not required to consider whether the amendments significantly affect an existing or planned transportation facility.

660-046-0040 Compliance

1. A local government may adopt land use regulations or amend its comprehensive plan to comply with ORS 197.758 et seq and the provisions of this division.
2. A local government may request from the Department an extension of the time allowed to complete the action under subsection (1) pursuant to the applicable sections of OAR 660-046-0300 through OAR 660-046-0370.
3. A Medium City which is A Local Government That Has Not Acted by June 30, 2021 or within one year of qualifying as a Medium City pursuant to OAR 660-046-0050 and has not received an extension under section (2), shall directly apply the applicable Model Code contained in OAR 660-046-0010(4) in its entirety to all proposed Middle Housing development applications until such time as the local government has adopted provisions under section (1).
4. A Large City which is A Local Government That Has Not Acted by June 30, 2022 or within two years of qualifying as a Large City pursuant to OAR 660-046-0050 and has not received an extension under section (2), shall directly apply the applicable Model Code contained in OAR 660-046-0010(4) for the specific Middle Housing type that is not in compliance with the relevant rules in this division to all proposed

development applications for that specific Middle Housing type until such time as the local government has adopted provisions under section (1).

5. If a local government has adopted land use regulations or amended its comprehensive plan by the date provided under sections (3) and (4) and the city's land use regulations or comprehensive plan changes are subsequently remanded by the Land Use Board of Appeals or an appellate court solely on procedural grounds, the local government is deemed to have acted. Accordingly, the local government may continue to apply its own land use regulations and comprehensive plan as they existed prior to the adoption of land use regulations or comprehensive plan amendments that were the subject of procedural remand until the first of the two options:
 - a. The local government has adopted land use regulations or amended its comprehensive plan in response to the remand; or
 - b. 120 days after the date of the remand. If the local government has not adopted land use regulations or amended its comprehensive plan within 120 days of the date of the remand, the local government is deemed not to have acted under sections (3) and (4).
6. If a local government has adopted land use regulations or amended its comprehensive plan by the date provided under sections (3) and (4) and the local government's land use regulations or comprehensive plan changes are subsequently remanded by the Land Use Board of Appeals or an appellate court on any substantive grounds, the city is deemed to have not acted under sections (3) and (4).
7. If a local government acknowledged to be in compliance with this division subsequently amends its land use regulations or comprehensive plan, and those amendments are remanded by the Land Use Board of Appeals or an appellate court, the city shall continue to apply its land use regulations and comprehensive plan as they existed prior to the amendments until the amendments are acknowledged.
8. Where a local government directly applies the Model Code in accordance with sections (3), (4) and (5), the Model Code completely replaces and pre-empted any provisions of that local government's development code that conflict with the applicable sections of the Model Code.

660-046-0050 Eligible Local Governments

1. If a local government was not previously a Medium City and a certified Portland State University Population Research Center population estimate qualifies it as a Medium City, the local government must comply with this division within one year of its qualification as a Medium City.
2. If a local government was not previously a Large City and a certified Portland State University Population Research Center population estimate qualifies it as a Large City, the local government must comply with this division within two years of its qualification as a Large City.

660-046-0100 Purpose of Middle Housing in Medium Cities

OAR 660-046-0105 through OAR 660-046-0130 are intended to measure compliance with ORS 197.758 et seq and Goal 10 Housing for Medium Cities.

660-046-0105 Applicability of Middle Housing in Medium Cities

1. A Medium City must allow for the development of a Duplex, including those Duplexes created through conversion of an existing detached single-family dwelling, on each Lot or Parcel zoned for residential use that allows for the development of detached single-family dwellings.
2. OAR 660-046-0105 through OAR 660-046-0130 do not require a Medium City to allow more than two dwellings units on a Lot or Parcel, including any accessory dwelling units.

660-046-0110 Provisions Applicable to Duplexes in Medium Cities

1. Medium Cities may regulate Duplexes to comply with protective measures, including plans, policies and regulations, as provided in OAR 660-046-0010(3).
2. Medium Cities may regulate siting and design of Duplexes, provided that the regulations;
 - a. Are clear and objective standards, conditions, or procedures consistent with ORS 197.307(4); and

- b. Do not, individually or cumulatively, discourage the development of Duplexes through unreasonable costs or delay.
3. Siting and design standards that create unreasonable cost and delay include any standards applied to Duplex development that are more restrictive than those applicable to detached single-family dwellings in the same zone.
4. Siting and design standards that do not, individually or cumulatively, discourage the development of Duplexes through unreasonable cost and delay include only the following:
 - a. Regulations to comply with protective measures adopted pursuant to statewide land use planning goals provided in OAR 660-046-0010(3);
 - b. Permitted uses and approval process provided in OAR 660-046-0115;
 - c. Siting standards provided in OAR 660-046-0120;
 - d. Design standards in Medium Cities provided in OAR 660-046-0125;
 - e. Duplex Conversions provided in OAR 660-046-0130; and
 - f. Any siting and design standards contained in the Model Code referenced in section OAR 660-046-0010(4).

660-046-0115 Permitted Uses and Approval Process

Medium Cities must apply the same approval process to Duplexes as detached single-family dwellings in the same zone. Pursuant to OAR 660-007-0015, OAR 660-008-0015, and ORS 197.307, Medium Cities may adopt and apply only clear and objective standards, conditions, and procedures regulating the development of Duplexes. Nothing in this rule prohibits a Medium City from adopting an alternative approval process for applications and permits for Middle Housing based on approval criteria that are not clear and objective as provided in OAR 660-007-0015(2), OAR 660-008-0015(2), and ORS 197.307(6).

660-046-0120 Duplex Siting Standards in Medium Cities

The following standards apply to all Duplexes:

1. Minimum Lot or Parcel Size: A Medium City may not require a minimum Lot or Parcel size that is greater than the minimum Lot or Parcel size required for a detached single-family dwelling in the same zone. Additionally, Medium Cities shall allow the development of a Duplex on any property zoned to allow detached single-family dwellings, which was legally created prior to the Medium City's current lot size minimum for detached single-family dwellings in the same zone.
2. Density: If a Medium City applies density maximums in a zone, it may not apply those maximums to the development of Duplexes.
3. Setbacks: A Medium City may not require setbacks to be greater than those applicable to detached single-family dwellings in the same zone.
4. Height: A Medium City may not apply lower maximum height standards than those applicable to detached single-family dwellings in the same zone.
5. Parking:
 - a. A Medium City may not require more than a total of two off-street parking spaces for a Duplex.
 - b. Nothing in this section precludes a Medium City from allowing on-street parking credits to satisfy off-street parking requirements.
6. Lot Coverage and Floor Area Ratio: Medium Cities are not required to apply lot coverage or floor area ratio standards to new Duplexes. However, if the Medium City chooses to apply lot coverage or floor area ratio standards, it may not establish a cumulative lot coverage or floor area ratio for a Duplex that is less than established for detached single-family dwelling in the same zone.
7. A Medium City or other utility service provider that grants clear and objective exceptions to public works standards to detached single-family dwelling development must allow the granting of the same exceptions to Duplexes.

660-046-0125 Duplex Design Standards in Medium Cities

1. Medium Cities are not required to apply design standards to new Duplexes. However, if the Medium City chooses to apply design standards to new Duplexes, it may only apply the same clear and objective design standards that the Medium City applies to detached single-family structures in the same zone.
2. A Medium City may not apply design standards to Duplexes created as provided in OAR 660-046-0130.

660-046-0130 Duplex Conversions

Additions to or conversion of an existing detached single-family dwelling to a Duplex is allowed, pursuant to OAR 660-046-0105(2), provided that the conversion does not increase nonconformance with applicable clear and objective standards in the Medium City's development code.

660-046-0200 Purpose of Middle Housing in Large Cities

OAR 660-046-0205 through OAR 660-046-0235 are intended to measure compliance with ORS 197.758 et seq and Goal 10 Housing for Large Cities.

660-046-0205 Applicability of Middle Housing in Large Cities

1. A Large City must allow for the development Duplexes in the same manner as required by Medium Cities in OAR 660-046-0100 through OAR 660-046-0130.
2. A Large City must allow for the development of Triplexes, Quadplexes, Townhouses, and Cottage Clusters, including those created through conversion of existing detached single-family dwellings, in areas zoned for residential use that allow for the development of detached single-family dwellings. A Large City may regulate or limit development of these types of Middle Housing on the following types of lands:
 - a. Goal-Protected Lands: Large Cities may regulate Middle Housing other than Duplexes on Goal-Protected Lands as provided in OAR 660-046-0010(3);
 - b. Infrastructure Constrained Lands: Large Cities may limit the development of Middle Housing other than Duplexes on Infrastructure Constrained Lands;
 - c. Master Planned Communities: Large Cities may regulate or limit the development of Middle Housing other than Duplexes in Master Planned Communities as follows:
 - A. If a Large City has adopted a master plan or a plan that functions in the same manner as a master plan after January 1, 2021, it may not limit the development of any Middle Housing type on lands where single-family detached dwellings are also allowed, but may limit overall net residential density within the master plan area provided that net residential density is least 15 dwelling units per acre. A Large City may designate areas within the master plan exclusively for other housing types, such as multi-family residential structures of five units or more or manufactured home parks. A Large City may not limit future conversion or redevelopment of already constructed residential units to any Middle Housing type.
 - B. If a Large City has adopted a master plan or a plan that functions in the same manner as a master plan before January 1, 2021, it may limit the development of Middle Housing other than Duplexes provided it authorizes a net residential density of at least eight dwelling units per acre and allows all residential units, at minimum, to be detached single-family dwellings or Duplexes. A local government may only apply this restriction to portions of the area not developed as of January 1, 2021, and may not apply this restriction after the initial development of any area of the master plan or a plan that functions in the same manner as a master plan.
 - d. A Large City must demonstrate that regulations or limitations of Middle Housing other than Duplexes on these types of lands are the result of implementing or complying with an established state or federal law or regulation.
3. A Large City may:
 - a. Allow for the development of Triplexes, Quadplexes, Townhouses, and Cottage Clusters, including those created through conversion of existing detached single-family dwellings, in

- areas zoned for residential use that allow for the development of detached single-family dwellings as provided in OAR 660-046-0205 through OAR 660-046-0235; or
- b. Apply separate minimum lot size and maximum density provisions than what is provided in OAR 660-046-0220, provided that Middle Housing other than Duplexes is allowed on the following percentage of Lots and Parcels zoning for residential use that allow for the development of detached single-family dwellings, excluding lands described in subsection (2):
 - A. Triplexes – Must be allowed on 80% of Lots and Parcels;
 - B. Quadplexes - Must be allowed on 70% of Lots and Parcels;
 - C. Townhouses - Must be allowed on 60% of Lots and Parcels;
 - D. Cottage Clusters – Must be allowed on 50% of Lots and Parcels.
 - E. A Middle Housing type is “allowed” on a Lot or Parcel when the following criteria are met:
 - i. The Middle Housing type is a permitted use on that Lot or Parcel under the same administrative process as a single-family detached dwelling in the same zone;
 - ii. The Lot or Parcel has sufficient square footage to allow the Middle Housing type within the applicable minimum lot size requirement;
 - iii. Maximum net or gross density requirements do not prohibit the development of the Middle Housing type on the subject Lot or Parcel; and
 - iv. The applicable siting or design standards do not individually or cumulatively cause unreasonable cost or delay to the development of that Middle Housing type as provided in OAR 660-046-0210(3).
 - F. A Large City must ensure the equitable distribution of Middle Housing by allowing at least one Middle Housing type other than Duplexes on 75 percent of all residential lots and parcels within each census block group within a Large City.
4. Pursuant to OAR 660-046-0205 through OAR 660-046-0230, the following numerical standards related to Middle Housing types apply:
- a. Duplexes – Local governments may allow more than two dwellings units on a Lot or Parcel, including any accessory dwelling units.
 - b. Triplexes and Quadplexes – Local governments may allow more than four units on a lot, including any accessory dwelling units.
 - c. Townhouses – Local governments must require at least two attached Townhouse units and must allow up to four attached Townhouse units. A local government may allow five or more attached Townhouse units.
 - d. Cottage Clusters –
 - A. Local governments must allow at least five units in a Cottage Cluster. Nothing in this section precludes a local government from permitting less than five units in a Cottage Cluster.
 - B. A local government must allow up to eight cottages clustered around a common courtyard. Nothing in this section precludes a local government from permitting greater than eight units clustered around a common courtyard.

660-046-0210 Provisions Applicable to Middle Housing in Large Cities

1. Large Cities may regulate Middle Housing to comply with protective measures, including plans, policies and regulations, as provided in OAR 660-046-0010(3).
2. Large Cities may regulate siting and design of Middle Housing, provided that the regulations;
 - a. Are clear and objective standards, conditions, or procedures consistent with the requirements of ORS 197.307; and
 - b. Do not, individually or cumulatively, discourage the development of Middle Housing through unreasonable costs or delay.
3. Siting and design standards that do not, individually or cumulatively, discourage the development of Middle Housing through unreasonable cost and delay include only the following:

- a. Regulations to comply with protective measures adopted pursuant to statewide land use planning goals provided in OAR 660-046-0010(3);
- b. Permitted uses and approval processes provided in OAR 660-046-0215;
- c. Siting standards provided in OAR 660-046-0220;
- d. Design standards in Large Cities provided in OAR 660-046-0225;
- e. Middle Housing Conversions provided in OAR 660-046-0230;
- f. Alternative siting or design standards provided in OAR 660-046-0235; and
- g. Any siting and design standards contained in the Model Code referenced in section OAR 660-046-0010(4).

660-046-0215 Permitted Uses and Approval Process

Large Cities must apply the same approval process to Middle Housing as detached single-family dwellings in the same zone. Pursuant to OAR 660-008-0015 and ORS 197.307, Large Cities may adopt and apply only clear and objective standards, conditions, and procedures regulating the development of Middle Housing consistent with the requirements of ORS 197.307(4). Nothing in this rule prohibits a Large City from adopting an alternative approval process for applications and permits for Middle Housing based on approval criteria that are not clear and objective as provided in OAR 660-007-0015(2), OAR 660-008-0015(2), and ORS 197.307(6).

660-046-0220 Middle Housing Siting Standards in Large Cities

1. Large Cities must apply standards to Duplexes as provided in OAR 660-046-0120.
2. The following siting standards apply to Large Cities' regulation of Triplexes and Quadplexes:
 - a. Minimum Lot or Parcel Size:
 - A. For Triplexes:
 - i. If the minimum Lot or Parcel size in the zone for a detached single-family dwelling is 5,000 square feet or less, the minimum Lot or Parcel size for a Triplex may be up to 5,000 square feet.
 - ii. If the minimum Lot or Parcel size in the zone for a detached single-family dwelling is greater than 5,000 square feet, the minimum Lot or Parcel size for a Triplex may not be greater than the minimum Lot or Parcel size for a detached single-family dwelling.
 - B. For Quadplexes:
 - i. If the minimum Lot or Parcel size in the zone for a detached single-family dwelling is 7,000 square feet or less, the minimum Lot or Parcel size for a fourplex may be up to 7,000 square feet.
 - ii. If the minimum Lot or Parcel size in the zone for a detached single-family dwelling is greater than 7,000 square feet, the minimum Lot or Parcel size for a Quadplex may not be greater than the minimum Lot or Parcel size for a detached single-family dwelling.
 - C. A Large City may apply a lesser minimum Lot or Parcel size in any zoning district for a Triplex or Quadplex than provided in paragraphs A. or B.
 - b. Density: If a Large City applies density maximums in a zone, it may not apply those maximums to the development of Quadplex and Triplexes.
 - c. Setbacks: A Large City may not require setbacks to be greater than those applicable to detached single-family dwellings in the same zone.
 - d. Height: A Large City may not apply lower maximum height standards than those applicable to detached single-family dwellings in the same zone, except a maximum height may not be less than 25 feet or two stories.
 - e. Parking:
 - A. For Triplexes, a local government may require up to the following off-street parking spaces:
 - i. For Lots or Parcels of 3,000 square feet or less: one space in total;

- ii. For Lots or Parcels greater than 3,000 square feet and less than or equal to 5,000 square feet: two spaces in total; and
 - iii. For Lots or Parcels greater than 5,000 square feet: three spaces in total.
 - B. For Quadplexes, a local government may require up to the following off-street parking spaces:
 - i. For Lots or Parcels of 3,000 square feet or less: one space in total;
 - ii. For Lots or Parcels greater than 3,000 square feet and less than or equal to 5,000 square feet: two spaces in total;
 - iii. For Lots or Parcels greater than 5,000 square feet and less than or equal to 7,000 square feet: three spaces in total; and
 - iv. For Lots or Parcels greater than 7,000 square feet: four spaces in total.
 - C. A Large City may allow on-street parking credits to satisfy off-street parking requirements.
 - D. A Large City may allow but may not require off-street parking to be provided as a garage or carport.
 - E. A Large City must apply the same off-street parking surfacing, dimensional, landscaping, access, and circulation standards that apply to single-family detached dwellings in the same zone.
 - F. A Large City may not apply additional minimum parking requirements to Middle Housing created as provided in OAR 660-046-0230.
 - f. Lot or Parcel Coverage and Floor Area Ratio: Large Cities are not required to apply Lot or Parcel coverage or floor area ratio standards to Triplexes or Quadplexes. However, if the Large City chooses to apply Lot or Parcel coverage or floor area ratio standards, it may not establish a cumulative Lot or Parcel coverage or floor area ratio for Triplexes or Quadplexes that is less than established for detached single-family dwelling in the same zone.
3. The following rules apply to Large Cities' regulation of Townhouses:
- a. Minimum Lot or Parcel Size: A Large City is not required to apply a minimum Lot or Parcel size to Townhouses, but if it chooses to, the average minimum Lot or Parcel size may not be greater than 1,500 square feet. A Large City may apply separate minimum Lot or Parcel sizes for internal, external, and corner Townhouse Lots or Parcels provided that they average 1,500 square feet.
 - b. Minimum Street Frontage: A Large City is not required to apply a minimum street frontage standard to Townhouses, but if it chooses to, the minimum street frontage standard must not exceed 20 feet. A Large City may allow frontage on public and private streets or alleys, and shared or common drives. If a Large City allows flag Lots or Parcels, it is not required to allow Townhouses on those Lots or Parcels.
 - c. Density: If a Large City applies density maximums in a zone, it must allow four times the maximum density allowed for detached single-family dwellings in the same zone for the development of Townhouses or 25 units per acre, whichever is less.
 - d. Setbacks: A Large City may not require front, side, or rear setbacks to be greater than those applicable to detached single-family structures in the same zone and must allow zero-foot side setbacks for Lot or Parcel lines where Townhouse units are attached.
 - e. Height: A Large City may not apply lower maximum height standards than those applicable to detached single-family dwellings in the same zone. If local governments mandate off-street parking, their height standards must allow construction of at least three stories. If local governments do not mandate off-street parking, their height standards must allow construction of at least two stories.
 - f. Parking:
 - A. A Large City may not require more than one off-street parking space per Townhouse unit.
 - B. Nothing in this section precludes a Large City from allowing on-street parking credits to satisfy off-street parking requirements.

- C. A Large City must apply the same off-street parking surfacing, dimensional, landscaping, access, and circulation standards that apply to single-family detached dwellings in the same zone.
 - g. Bulk and Scale: A Large City is not required to apply standards to control bulk and scale to new Townhouses. However, if a Large City chooses to regulate scale and bulk, including but not limited to provisions including Lot or Parcel coverage, floor area ratio, and maximum unit size, those standards cannot cumulatively or individually limit the bulk and scale of the cumulative Townhouse project greater than that of a single-family detached dwelling.
 - h. Minimum Open Space and Landscaping: A Large City is not required to regulate minimum open space area and dimensions, but if it chooses to, the minimum open space may not exceed 15% of the minimum Lot or Parcel size, and the minimum smallest dimension may not exceed the Lot or Parcel width or 20 ft, whichever is less. A Large City may establish provisions allowing the provision of open space through shared common areas.
- 4. The following rules apply to Large Cities' regulation of Cottage Clusters:
 - a. Minimum Lot or Parcel Size: A Large City is not required to apply minimum Lot or Parcel size standards to new Cottage Clusters. However, if a Large City chooses to regulate minimum Lot or Parcel size for Cottage Clusters, the following provisions apply:
 - A. If the minimum Lot or Parcel size in the same zone for a detached single-family dwelling is 7,000 square feet or less, the minimum Lot or Parcel size for a Cottage Cluster may be up to 7,000 square feet.
 - B. If the minimum Lot or Parcel size in the same zone for a detached single-family dwelling is greater than 7,000 square feet, the minimum Lot or Parcel size for a Cottage Cluster may not be greater than the minimum Lot or Parcel size for a detached single-family dwelling.
 - b. Minimum Lot or Parcel Width: A Large City is not required to apply minimum Lot or Parcel width standards to Cottage Clusters. However, if a Large City chooses to regulate minimum Lot or Parcel width for Cottage Clusters, it may not require a minimum Lot or Parcel width that is greater than the standard for a single-family detached dwelling in the same zone.
 - c. Density: A Large City may not apply density maximums to the development of Cottage Clusters. A Cottage Cluster development must meet a minimum density of at least four units per acre.
 - d. Setbacks: A Large City may not require perimeter setbacks to be greater than those applicable to detached single-family dwellings in the same zone. Additionally, perimeter setbacks applicable to single-family dwellings may not be greater than ten feet.
 - e. Height: A large City must allow a Cottage Cluster to be a height of at least one story.
 - f. Unit Size: A Large City may limit the size of dwellings in a Cottage Cluster, but must apply a maximum building footprint of 900 square feet per unit. A Large City may not include detached garages, carports, or accessory structures in the calculation of building footprint.
 - g. Parking:
 - A. A Large City may not require more than one off-street parking space per unit in a Cottage Cluster.
 - B. A Large City may allow but may not require off-street parking to be provided as a garage or carport.
 - C. Nothing in this section precludes a Large City from allowing on-street parking credits to satisfy off-street parking requirements.
 - h. Lot or Parcel Coverage and Floor Area Ratio: A Large City may not apply Lot or Parcel coverage or floor area ratio standards to Cottage Clusters.
 - i. Nothing in this division precludes a Large City from allowing Cottage Cluster units on individual Lots or Parcels within the Cottage Cluster development.

660-046-0225 Middle Housing Design Standards in Large Cities

1. A Large City is not required to apply design standards to Middle Housing. However, if a Large City chooses to apply design standards to Middle Housing, it may only apply the following:

- a. Design standards in the Model Code for Large Cities in OAR 660-046-0010(4)(b);
 - b. Design standards that are less restrictive than the Model Code for Large Cities in OAR 660-046-0010(4)(b);
 - c. The same clear and objective design standards that the Large City applies to detached single-family structures in the same zone. Design standards may not scale by the number of dwelling units or other features that scale with the number of dwelling units, such as primary entrances. Design standards may scale with form-based attributes, including but not limited to floor area, street-facing façade, height, bulk, and scale; or
 - d. Alternative design standards as provided in OAR 660-046-0235.
2. A Large City may not apply design standards to Middle Housing created as provided in OAR 660-046-0230.

660-046-0230 Middle Housing Conversions


1. Additions to or conversion of an existing detached single-family dwelling into Middle Housing is allowed in Large Cities pursuant to OAR 660-046-0205(2), provided that the conversion does not increase nonconformance with applicable clear and objective standards, unless increasing nonconformance is otherwise permitted by the Large City's development code.
2. If Middle Housing is being created through the conversion of an existing single-family detached dwelling, a Large City or other utility service provider that grants clear and objective exceptions to public works standards to detached single-family dwelling development must allow the granting of the same exceptions to Middle Housing.
3. A preexisting detached single-family dwelling may remain on a Lot or Parcel with a Cottage Cluster under the following conditions:
 - a. The preexisting single-family dwelling may be nonconforming with respect to the requirements of this code;
 - b. The preexisting single-family dwelling may be expanded up to the maximum height, footprint, or unit size required by this code; however, a preexisting single-family dwelling that exceed the maximum height, footprint, or unit size of this code may not be expanded;
 - c. The preexisting single-family dwelling shall count as a unit in the Cottage Cluster;
 - d. The floor area of the preexisting single-family dwelling shall not count towards any Cottage Cluster average or Cottage Cluster project average or total unit size limits.

660-046-0235 Alternative Siting or Design Standards

A Large City may adopt siting or design standards not authorized by OAR 660-046-0220 or OAR 660-046-0225 as allowed under subsection (1) or (2) below if the city can demonstrate that it meets the applicable criteria laid out in either subsection (1) or (2) below. Siting or design standards do not include minimum Lot or Parcel size and maximum density requirements.

1. Existing Alternative Siting or Design Standards – A Large City must submit to the Department of Land Conservation and Development findings and analysis demonstrating that siting or design standards adopted prior to the adoption of these rules for Middle Housing types not in compliance with the standards provided in OAR 660-046-0220 or OAR 660-046-0225 have resulted in the substantial production of Middle Housing in areas where the standard was applied such that the standards have not, and will not in the future, individually or cumulatively cause unreasonable cost or delay to the development of Middle Housing.
 - a. Substantial production means:
 - i. The areas in which the Large City has applied the alternative standard or standards achieved a three percent or greater production rate of the applicable Middle Housing type over the time frame during which the Large City applied the standard or standards. At a minimum, the time frame must include two years of housing production data and housing production data from the full time frame in which the Large City applied the standard or standard. The production rate is the ratio of building permits issued for the applicable Middle

- Housing type in comparison to the total building permits issued for all Middle Housing and detached single-family dwellings over the same time frame; and
- ii. The areas in which the Large City applied the alternative standard or standards have a sufficient quantity of remaining sites where the Large City can accommodate Middle Housing to ensure a minimum three percent production rate over a twenty year horizon. The production rate is the ratio of building permits issued for the applicable Middle Housing type in comparison to the total building permits issued for all Middle Housing and detached single-family dwellings over the same time frame; and
 - b. If a Large City applied a design standard or standards that resulted in the substantial production of Middle Housing in a zone where the standard was applied, the Large City may apply that standard or standards in other zones, provided that any standard that scales by dwelling unit scales with the minimum Lot or Parcel size of the zoning district in which it applies.
2. New Alternative Siting or Design Standards – A Large City must submit to the Department of Land Conservation and Development findings and analysis demonstrating that the proposed standard or standards will not, individually or cumulatively, cause unreasonable cost or delay to the development of Middle Housing. To demonstrate that, the Large City must consider how a standard or standards, individually and cumulatively, affect the following factors in comparison to what is would otherwise be required under OAR 660-046-0220 or OAR 660-046-0225:
- a. The total time and cost of construction, including design, labor, and materials;
 - b. The total cost of land;
 - c. The availability and acquisition of land, including areas with existing development;
 - d. The total time and cost of permitting and fees required to make land suitable for development;
 - e. The cumulative livable floor area that can be produced; and
 - f. The proportionality of cumulative time and cost imposed by the proposed standard(s) in relationship to the public need or interest the standard(s) fulfill.



Residential Site and Design Review: Design & Development Standards

City of McMinnville, Oregon

Final Draft | March 2020

u r b s w o r k s

Great Neighborhood Principles

1. **Natural Feature Preservation.** Great Neighborhoods are sensitive to the natural conditions and features of the land.

- » Neighborhoods shall be designed to preserve significant natural features including, but not limited to, watercourses, sensitive lands, steep slopes, wetlands, wooded areas, and landmark trees.

2. **Scenic Views.** Great Neighborhoods preserve scenic views in areas that everyone can access.

- » Public and private open spaces and streets shall be located and oriented to capture and preserve scenic views, including, but not limited to, views of significant natural features, landscapes, vistas, skylines, and other important features.

3. **Parks and Open Spaces.** Great Neighborhoods have open and recreational spaces to walk, play, gather, and commune as a neighborhood.

- » Parks, trails, and open spaces shall be provided at a size and scale that is variable based on the size of the proposed development and the number of dwelling units.
- » Central parks and plazas shall be used to create public gathering spaces where appropriate.
- » Neighborhood and community parks shall be developed in appropriate locations consistent with the policies in the Parks Master Plan.

4. **Pedestrian Friendly.** Great Neighborhoods are pedestrian friendly for people of all ages and abilities.

- » Neighborhoods shall include a pedestrian network that provides for a safe and enjoyable pedestrian experience, and that encourages walking for a variety of reasons including, but not limited to, health, transportation, recreation, and social interaction.
- » Pedestrian connections shall be provided to commercial areas, schools, community facilities, parks, trails, and open spaces, and shall also be provided between streets that are disconnected (such as cul-de-sacs or blocks with lengths greater than 400 feet).

5. **Bike Friendly.** Great Neighborhoods are bike friendly for people of all ages and abilities.

- » Neighborhoods shall include a bike network that provides for a safe and enjoyable biking experience, and that encourages an increased use of bikes by people of all abilities for a variety of reasons, including, but not limited to, health, transportation, and recreation.
- » Bike connections shall be provided to commercial areas, schools, community facilities, parks, trails, and open spaces.

6. **Connected Streets.** Great Neighborhoods have interconnected streets that provide safe travel route options, increased connectivity between places and destinations, and easy pedestrian and bike use.

- » Streets shall be designed to function and connect with the surrounding built environment and the existing and future street network, and shall incorporate human scale elements including, but not limited to, Complete Streets features as defined in the Comprehensive Plan, grid street networks, neighborhood traffic management techniques, traffic calming, and safety enhancements.
- » Streets shall be designed to encourage more bicycle, pedestrian and transit mobility with a goal of less reliance on vehicular mobility.

7. **Accessibility.** Great Neighborhoods are designed to be accessible and allow for ease of use for people of all ages and abilities.

- » To the best extent possible all features within a neighborhood shall be designed to be accessible and feature elements and principles of Universal Design.
- » Design practices should strive for best practices and not minimum practices.

8. Human Scale Design. Great Neighborhoods have buildings and spaces that are designed to be comfortable at a human scale and that foster human interaction within the built environment.

- » The size, form, and proportionality of development is designed to function and be balanced with the existing built environment.
- » Buildings include design elements that promote inclusion and interaction with the right-of-way and public spaces, including, but not limited to, building orientation towards the street or a public space and placement of vehicle-oriented uses in less prominent locations.
- » Public spaces include design elements that promote comfortability and ease of use at a human scale, including, but not limited to, street trees, landscaping, lighted public areas, and principles of Crime Prevention through Environmental Design (CPTED).

9. Mix of Activities. Great Neighborhoods provide easy and convenient access to many of the destinations, activities, and local services that residents use on a daily basis.

- » Neighborhood destinations including, but not limited to, neighborhood serving commercial uses, schools, parks, and other community services, shall be provided in locations that are easily accessible to surrounding residential uses.
- » Neighborhood-serving commercial uses are integrated into the built environment at a scale that is appropriate with the surrounding area.
- » Neighborhoods are designed such that owning a vehicle can be optional.

10. Urban-Rural Interface. Great Neighborhoods complement adjacent rural areas and transition between urban and rural uses.

- » Buffers or transitions in the scale of uses, buildings, or lots shall be provided on urban lands adjacent to rural lands to ensure compatibility.

11. Housing for Diverse Incomes and Generations. Great Neighborhoods provide housing opportunities for people and families with a wide range of incomes, and for people and families in all stages of life.

- » A range of housing forms and types shall be provided and integrated into neighborhoods to provide for housing choice at different income levels and for different generations.

12. Housing Variety. Great Neighborhoods have a variety of building forms and architectural variety to avoid monoculture design.

- » Neighborhoods shall have several different housing types.
- » Similar housing types, when immediately adjacent to one another, shall provide variety in building form and design.

13. Unique and Integrated Design Elements. Great Neighborhoods have unique features, designs, and focal points to create neighborhood character and identity. Neighborhoods shall be encouraged to have:

- » Environmentally friendly construction techniques, green infrastructure systems, and energy efficiency incorporated into the built environment.
- » Opportunities for public art provided in private and public spaces.
- » Neighborhood elements and features including, but not limited to, signs, benches, park shelters, street lights, bike racks, banners, landscaping, paved surfaces, and fences, with a consistent and integrated design that are unique to and define the neighborhood.

Introduction

Project Purpose

The purpose of this work is to permit a wider variety of housing types while maintaining the character and values of McMinnville. These types provide greater options for the community and help implement the City's vision for housing, including the Great Neighborhood Principles.

The proposed housing types range in size, affordability, and configurations, including attached and detached dwellings. The development standards for each housing type were calibrated specifically for McMinnville.

Organization of This Document

This document is organized into 2 parts: Development Standards by Housing Type and Universal Design Standards. Part 1 includes an introduction to each housing type, example photos, and a development standards table with accompanying plan and section diagrams. Part 2 includes a variety of universal design standards. These standards apply to all housing types, with some exceptions. See the Universal Design Standards Summary Table on Page 45 for more detail.

Document Outline:

Part 1: Development Standards by Housing Type

- » Housing Type Summary
- » Tiny House
- » Cottage Cluster
- » Plex
- » Single Dwelling
- » Townhouse
- » Accessory Dwelling Unit (ADU)
- » Apartment Types

Part 2: Universal Design Standards

- » Street Frontage
- » Front Yard
- » Alleys
- » Parking
- » Common Open Space
- » Private Open Space
- » Compatibility
- » Façade
- » Subdivisions: modular blocks, partial alley, usable side yard setback lots, and common greens

Introduction

Introduction to Development Standards Tables

Each housing type has a development standards table. The table has information about minimum lot sizes, setbacks, height limitations, parking, and other relevant standards.

With alleys, without alleys, and infill.

Each housing type has minimum lot dimensions based on three conditions.

- » A home with an alley
- » A home without an alley
- » An infill home

Development standards vary depending on the above conditions, mostly due to parking. Lot widths for homes *without* an alley tend to be wider to accommodate space for a driveway. Lots for homes *with* an alley can be narrower in width because parking is permitted directly off of the alley.

The development standards for lots with or without an alley are applicable to new development and selected planned development.

The development standards for infill are required to match those of the existing zoning and adjacent lots.

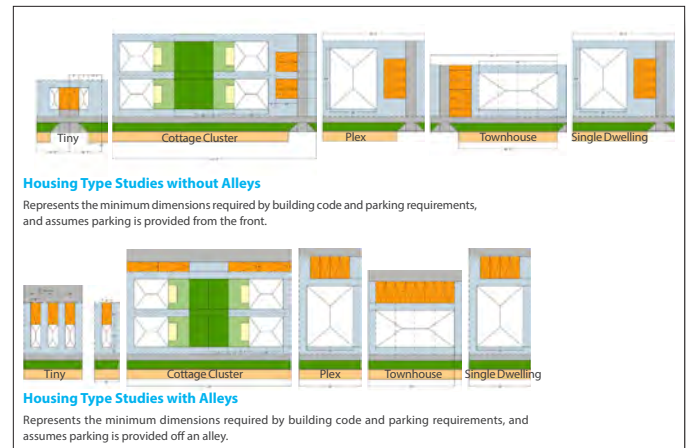
Townhouse Development Standards

TOWNHOUSE DEVELOPMENT STANDARDS			
	WITH ALLEY	WITHOUT ALLEY	INFILL
a Lot width (feet)	Min. 20	Min. 40	Min. 40
b Lot depth (feet)	Min. 60	Min. 80	Min. 80
c Lot size (square feet)	Min. 1,200	Min. 3,200	Min. 3,200
d Front setback (feet)	Min. 15	Min. 15	Match existing
e Side setback (feet)	Min. 0, 15 exterior	Min. 0, Min. 10 exterior	Min. 0, Min. 10 exterior
f Rear setback (feet)	0 with garage, 20 without garage ¹	Min. 20	Min. 20
g Building height (feet)	Max. 35	Max. 35	Max. 35
h Parking Zone	<p>For lots with an alley: Parking is required to be located adjacent to the alley. Parking is permitted to be located on the surface or in a garage. The front setback for garages and surface parking areas is specified in Parking Development and Design Standards, Garage Setback. Side yard setback for parking zone: minimum 3 feet except for infill then the minimum side yard setback is 7.5 feet.</p> <p>For lots without an alley: Parking is permitted to be located on the surface or in a garage. The front setback for garages and surface parking areas is specified in Parking Development and Design Standards, Garage Setback. Side yard setback for parking zone: minimum 3 feet, except for infill then the minimum side yard setback is 7.5 feet.</p>		
Driveways	Driveway width excluding apron: maximum 20 feet for single, 18 feet for double. Required distance between driveways: 24 feet, except when driveways are paired, then zero distance permitted.		
Off-street Parking	1 per unit		
i Number of adjoining units	Max. 4	Max. 4	Max. 4
Universal Design Standards and Subdivision Standards that apply	<p>Street frontage</p> <p>Front yard</p> <p>Alleys</p> <p>Private open space</p> <p>Compatibility</p> <p>Façade</p> <p>Parking</p> <p>Subdivision Standards: Zero Lot Line, Through Block and Corner Common Greens</p>		

Introduction

Alleys or Driveways

Each housing type has its own unique characteristics, and these are described in the “Concept” and “Guiding Principles” sections. For example, the minimum lot dimensions may be different for each housing type. The minimum lot width for example, may vary depending on whether on-site parking is provided from the street, in the form of driveways, or from the rear of the site, via an alley.



Housing type studies showing the difference in the width of a lot with a driveway (top) versus with an alley (bottom).

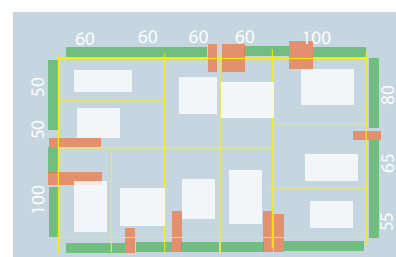
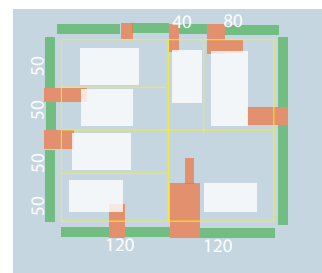
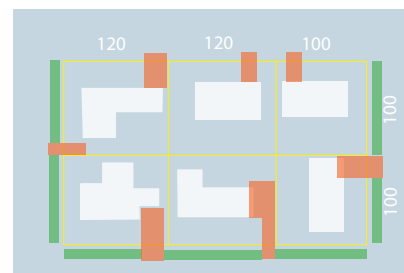
Context Studies for Infill Development

For infill housing, certain development standards are required to match those of the existing zoning and adjacent lots.

Development patterns of existing neighborhoods in McMinnville were studied in order to inform the infill development standards.

Lot width and front setback vary widely from neighborhood to neighborhood, depending on the era of development. Traditional neighborhoods built before the 1950s have deeper front setbacks and narrow lot widths. Dwellings are typically 1.5 to 2 stories tall and parking is usually at the rear of the lot, at the end of a driveway. Homes built in the mid-century and later (after the 1950s), sit on lots that are wider and less deep. Dwellings are typically one story tall. Parking is often provided in a garage built onto the side of the dwelling.

There is a wide variety of neighborhood development patterns. Because of this, and the desire to maintain neighborhood character while accommodating a wide variety of housing types, selected development standards are required to match those of existing zone, subdivision, or Planned development overlay district.



Existing neighborhood patterns vary. Studies of existing neighborhoods show building footprints in white, driveways and parking in orange, and street frontage in green.

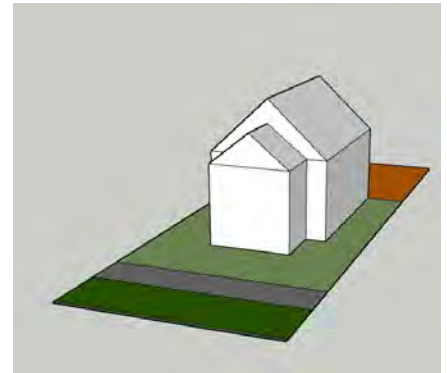
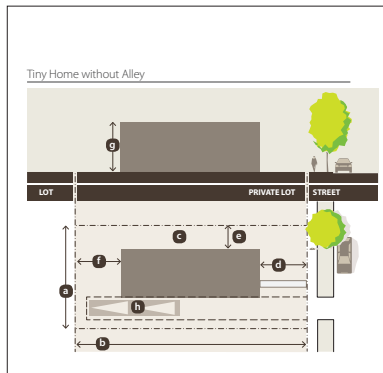
Part 1

Development Standards by Housing Type

Housing Type Summary

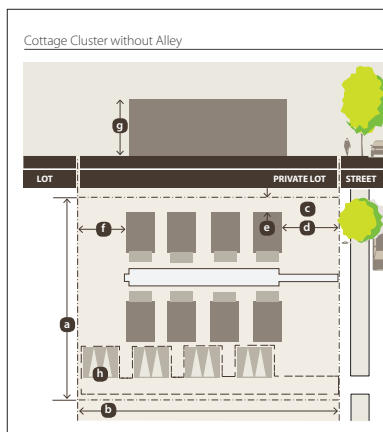
Tiny House

A Tiny House is a small permanent detached unit no more than 400 square feet. Tiny houses must meet building code requirements for a permanent dwelling unit. Because tiny houses are substantially smaller than a typical single dwelling, they may provide a less expensive home ownership product than a larger single family house.



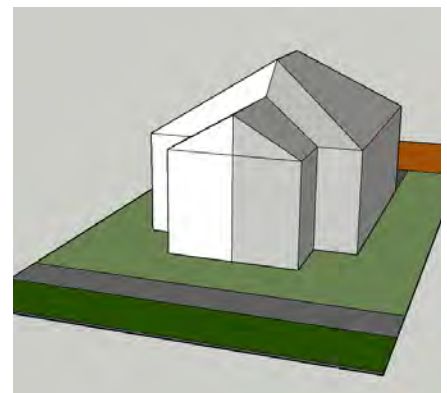
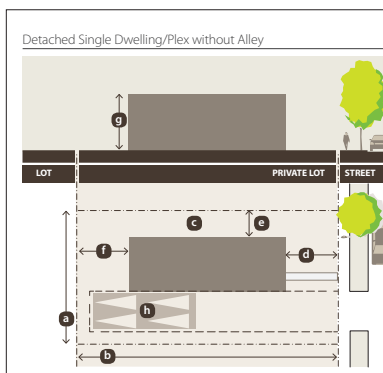
Cottage Clusters

Cottage clusters are groupings of no fewer than four detached housing units with a footprint of less than 900 square feet each and that include a common courtyard. Parking and common areas are co-owned and managed. Given their small footprint and low profile, cottages may provide an alternative housing option that fits seamlessly into detached single family neighborhoods.



Plexes

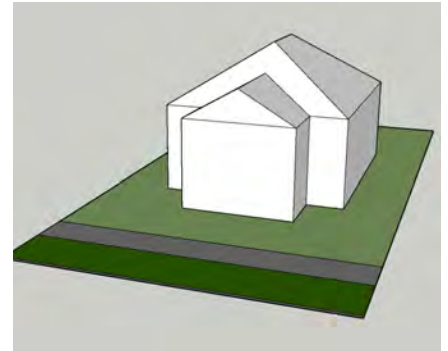
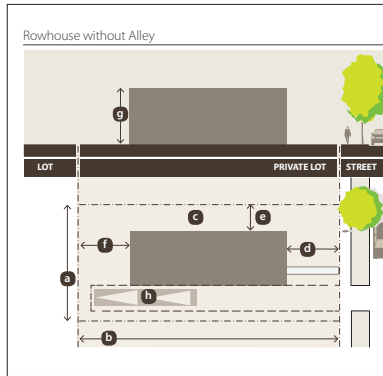
A Plex is multiple dwellings on one lot (limited to four) stacked and/or side-by-side in a single structure, or detached in separate structures. Plexes include duplexes (two units), triplexes (three units), and quadplexes (four units) on a single lot.



Housing Type Summary

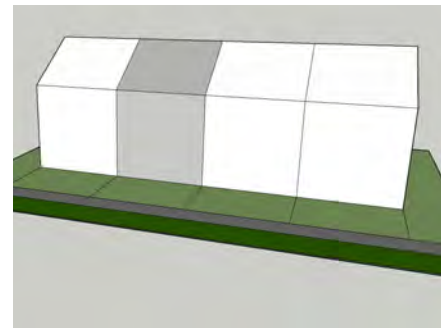
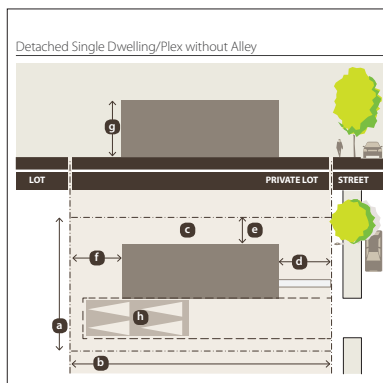
Single Dwellings

Single dwellings are one home on a single lot, separated from adjacent dwellings by private open space in the form of side yards and backyards, and often set back from the public street with a front yard. Single dwelling standards apply to units that are larger than 400 square feet.



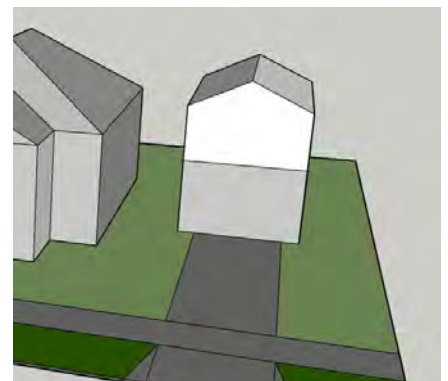
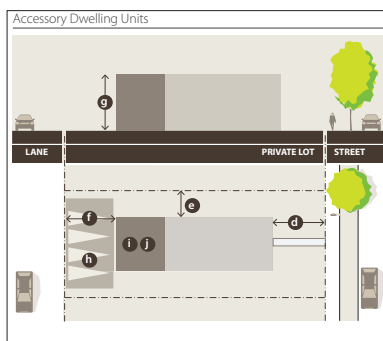
Townhouses

Townhouses are attached units with common wall construction, each on a separate lot, and each with its own entry from a public or shared street or common area. Townhouse variation includes live/work units, typically with the "work" portion on the ground floor.



Accessory Dwelling Unit (ADU)

An ADU is a secondary, self-contained single-family dwelling that may be allowed only in conjunction with a detached single-family dwelling. An accessory dwelling unit is subordinate in size, location, and appearance to the primary detached single-family dwelling. An accessory dwelling may be located within, attached to or detached from the primary single-family dwelling.



Apartment Block

Stacked flats in a single building or groups of buildings on a single lot. Parking is shared, and entrance to units is typically accessed through a shared lobby.

Walk-Up Apartment

Buildings are limited to three stories, and consist of about four to 12 units each, accessible from a single open air stair. Individual apartment buildings are arranged around common open space and shared parking areas.

Courtyard Apartment

Attached housing units arranged around a courtyard, each with its own entry or other access off of the courtyard.

Tiny House

Concept

A Tiny House is a small permanent detached unit no more than 400 square feet. Because tiny houses are substantially smaller than a typical single dwelling, they may provide a less expensive home ownership product than a larger single family house.

Tiny houses may provide a less expensive home ownership product than a larger single family house.

Guiding Principle

Tiny houses should each have their own private open space and be situated similarly to single dwellings by facing the primary adjacent street. Tiny houses grouped in a cluster on a single lot should follow the standards and guidelines of a Cottage Cluster.



Landscaping and front stoop provide transition between public and private space.

Tiny House



Tiny house with front porch and recessed entry.



Tiny House Development Standards

TINY HOUSE DEVELOPMENT STANDARDS			
	TINY HOUSE WITH ALLEY	TINY HOUSE WITHOUT ALLEY	INFILL
a Lot width (feet)	Min. 25	Min. 35	Match existing zone, subdivision, or Planned Development overlay district.
b Lot depth (feet)	Min. 55	Min. 60	
c Lot size (square feet)	Min. 1,400	Min. 2,100	
d Front setback (feet)	Min. 10 ¹ or 15	Min. 15	Match existing ²
e Side setback (feet)	Interior: Min. 3 ³ or 5 Exterior: 10	Interior: Min. 3 ³ or 5 Exterior: 10	Interior: Min. 7.5 Exterior: Min. 15
f Rear setback (feet)	0 with garage, 20 without garage. ⁴	Min. 20	Min. 20
g Building height (feet)	Max. 25	Max. 25	Max. 25
h Parking Zone	For lots with an alley: Parking is required to be located adjacent to the alley. Parking is permitted to be located on the surface or in a garage. For lots without an alley: Parking is permitted to be located on the surface or in a garage. The front setback for garages is specified in Parking Development and Design Standards, Garage Setback.		
Driveways	Driveway spacing and width requirements are specified in Street Frontage, Frontage Types.		
Off-street Parking	See McMinnville Municipal Code Chapter 17.60		
Universal Design Standards and Subdivision Standards that apply	Street frontage Front yard Alleys Private open space Compatibility Façade Parking Subdivision Standards: Usable Side Yard, Through Block, and Corner Common Greens		

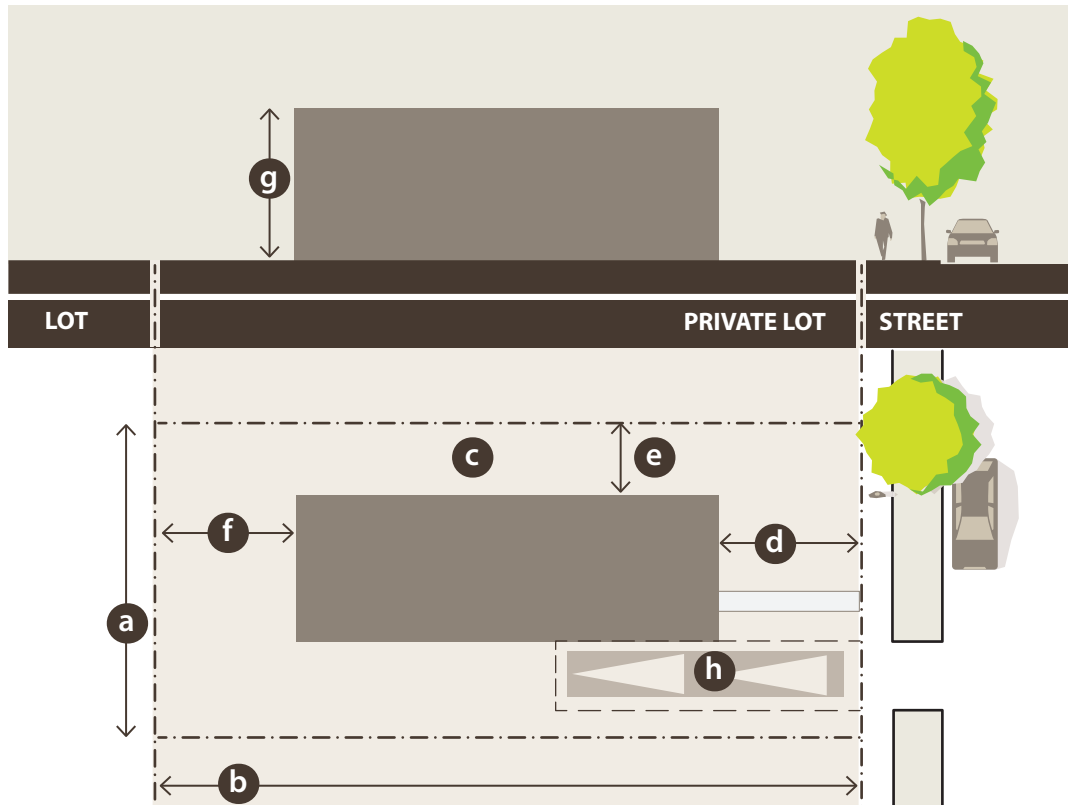
¹ Must meet all requirements of Universal Design Standards: Front Yard (Type2) Urban Type

² Per McMinnville Municipal Code Section 17.54.050.

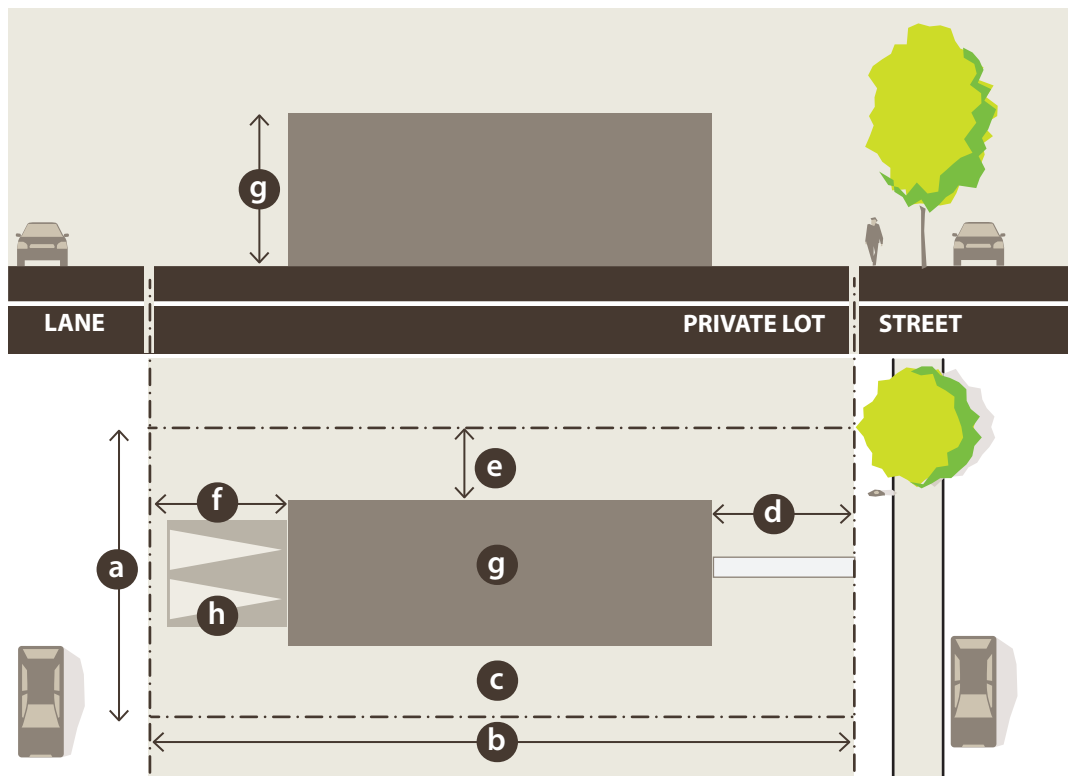
³ Must meet all requirements of Usable Side Yard Subdivision standards.

⁴ From alley property or easement line.

Tiny House without Alley



Tiny House with Alley



Cottage Cluster



Cottages with layers of open space from private porches to common shared open space.

Concept

Cottage clusters are groupings of no fewer than four detached housing units with a footprint of less than 900 square feet each and that include a common courtyard. Cottages are located on a single lot, clustered around pockets of shared open space. The ownership model for cottages could be structured to allow individual ownership of each cottage, such as through a condominium plat. Parking and common areas are co-owned and managed. Given their small footprint and low profile, cottages may provide an alternative housing option that fits seamlessly into detached single family neighborhoods.

Cottage Clusters may fit seamlessly into existing residential neighborhoods. Their configuration around shared open space may work well for odd-shaped lots and lots with sensitive natural resources.



Cottage cluster design with shared common house and parking grouped in small areas.

Guiding Principle

Shared open space should be provided and located so that it serves as a central feature of the cluster of dwellings.

Layer zones of landscaping to create a gradual transition from the commonly owned green to the privately-owned garden and porch of individual dwellings.

Spacing between cottage cluster housing units shall meet applicable building code requirements.

Cottage Cluster



Cottage on the corner has setback from the walking path.



Cottages towards the back have a smaller setback in relation to the walking path.

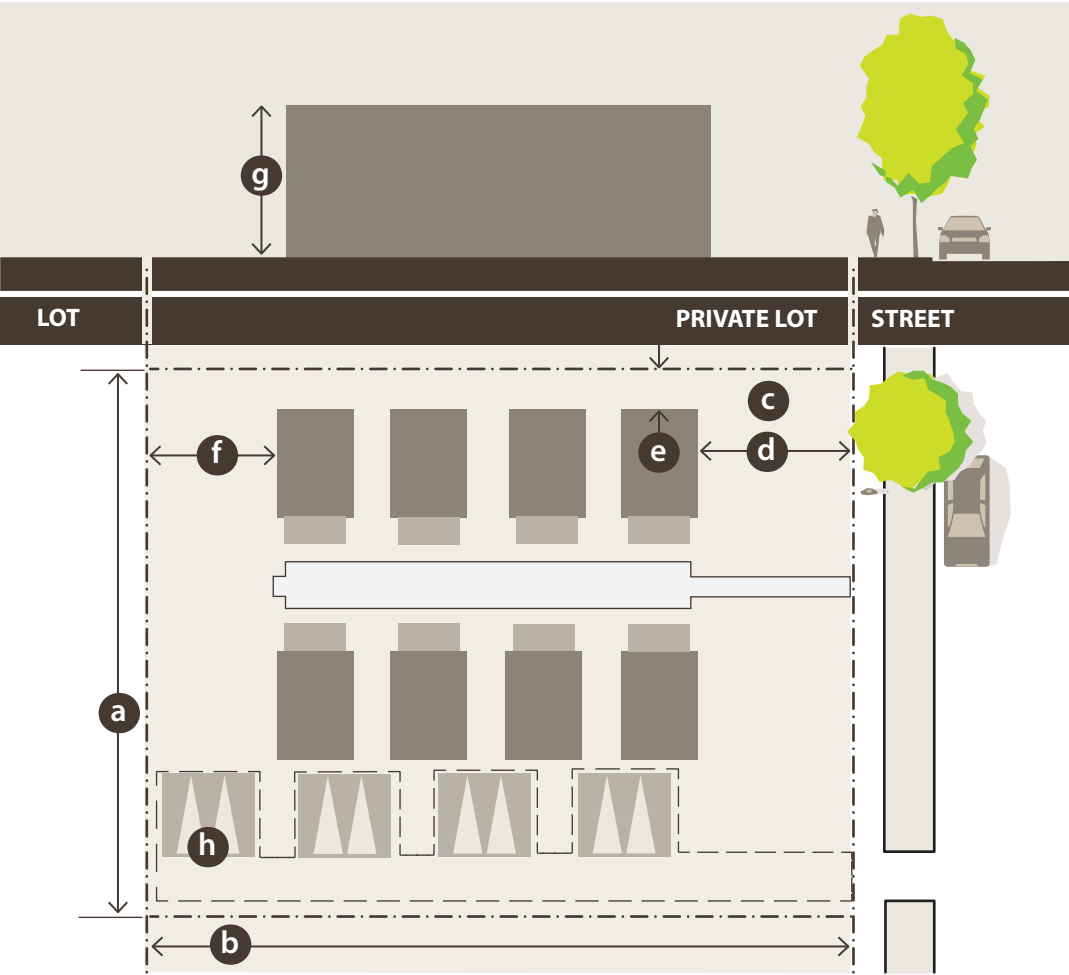
Cottage Cluster Development Standards

COTTAGE CLUSTER DEVELOPMENT STANDARDS			
	WITH ALLEY	WITHOUT ALLEY	INFILL
a Lot width (feet)	Min. 100	Min. 100	Match existing zone, subdivision, or Planned Development overlay district.
b Lot depth (feet)	Min. 100	Min. 100	
c Lot size (square feet)	Min. 10,000	10,000	
d Front setback (feet)	Min. 15	Min. 15	Match existing ¹
e Side setback (feet)	Interior: Min. 7.5 Exterior: 10	Interior: Min. 7.5 Exterior: 10	Interior: Min. 7.5 Exterior: Min. 15
f Rear setback (feet)	0 with garage, 20 without garage. ²	Min. 20	Min. 20
g Building height (feet)	Max. 25	Max. 25	Max. 25
h Parking Zone	<p>For lots with an alley: Parking is required to be located adjacent to the alley. Parking is permitted to be located on the surface or in a garage.</p> <p>For lots without an alley: Parking is permitted to be located on the surface or in a garage. The front setback for garages is specified in Parking Development and Design Standards, Garage Setback.</p>		
Driveways	Driveway spacing and width requirements are specified in Street Frontage, Frontage Types.		
Off-street Parking	<p>See McMinnville Municipal Code Chapter 17.60</p> <p>Cottage Cluster developments utilize shared parking areas and shared driveways.</p>		
Minimum number of units	4	4	4
Universal Design Standards and Subdivision Standards that apply	<p>Street frontage</p> <p>Front yard</p> <p>Alleys</p> <p>Private open space</p> <p>Common open space</p> <p>Compatibility</p> <p>Façade</p> <p>Parking</p> <p>Subdivision Standards: Usable Side Yard, Through Block, and Corner Common Greens</p>		

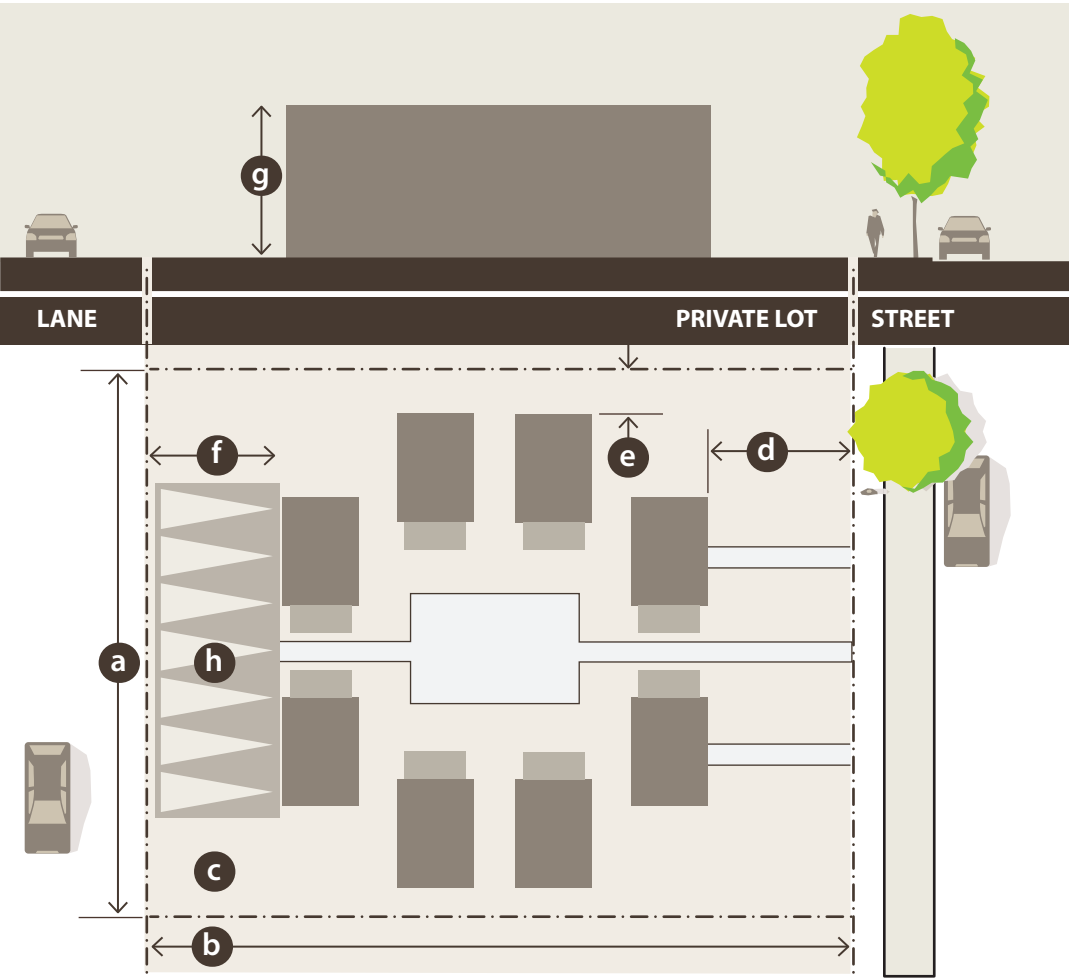
¹ Per McMinnville Municipal Code Section 17.54.050.

² From alley property or easement line.

Cottage Cluster without Alley



Cottage Cluster with Alley



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Plex

Concept

A Plex is multiple dwellings on one lot (limited to four) stacked and/or side-by-side in a single structure, or detached in separate structures. Plexes include duplexes (two units), triplexes (three units), and quadplexes (four units) on a single lot.

Plexes include duplexes, triplexes and quadplexes.

Guiding Principle

Plex designs should be similar in size, scale and appearance when integrated into an existing single dwelling neighborhood.

When situated on a corner lot, orient each entrance to a different street for privacy and neighborhood compatibility.



Single dwelling converted into a duplex.



A porch railing separates entries and provides privacy to each unit, while creating a cohesive porch across the front.

Plex



The scale and form of this plex fit with the surrounding context.



Mirroring balconies gives private outdoor space to each dwelling.

Plex Development Standards

PLEX DEVELOPMENT STANDARDS			
	WITH ALLEY	WITHOUT ALLEY	INFILL
a Lot width (feet)	Min. 35	Min. 50	Match existing zone, subdivision, or Planned Development overlay district.
b Lot depth (feet)	Min. 65	Min. 65	
c Lot size (square feet)	Min. 2,300	Min. 3,300	
d Front setback (feet)	Min. 10 ¹ or 15	Min. 15	Match existing ²
e Side setback (feet)	Interior: Min. 3 ³ or 7.5 Exterior: 10	Interior: Min. 3 ³ or 7.5 Exterior: 10	Interior: Min. 7.5 Exterior: Min. 15
f Rear setback (feet)	0 with garage, 20 without garage. ³	Min. 20	Min. 20
g Building height (feet)	Max. 35	Max. 35	Max. 35
h Parking Zone	<p>For lots with an alley: Parking is required to be located adjacent to the alley. Parking is permitted to be located on the surface or in a garage.</p> <p>For lots without an alley: Parking is permitted to be located on the surface or in a garage. The front setback for garages is specified in Parking Development and Design Standards, Garage Setback.</p>		
Driveways	Driveway spacing and width requirements are specified in Street Frontage, Frontage Types.		
Off-street Parking	See McMinnville Municipal Code Chapter 17.60		
Universal Design Standards and Subdivision Standards that apply	<p>Street frontage</p> <p>Front yard</p> <p>Alleys</p> <p>Private open space</p> <p>Compatibility</p> <p>Façade</p> <p>Parking</p> <p>Subdivision Standards: Usable Side Yard, Through Block, and Corner Common Greens</p>		

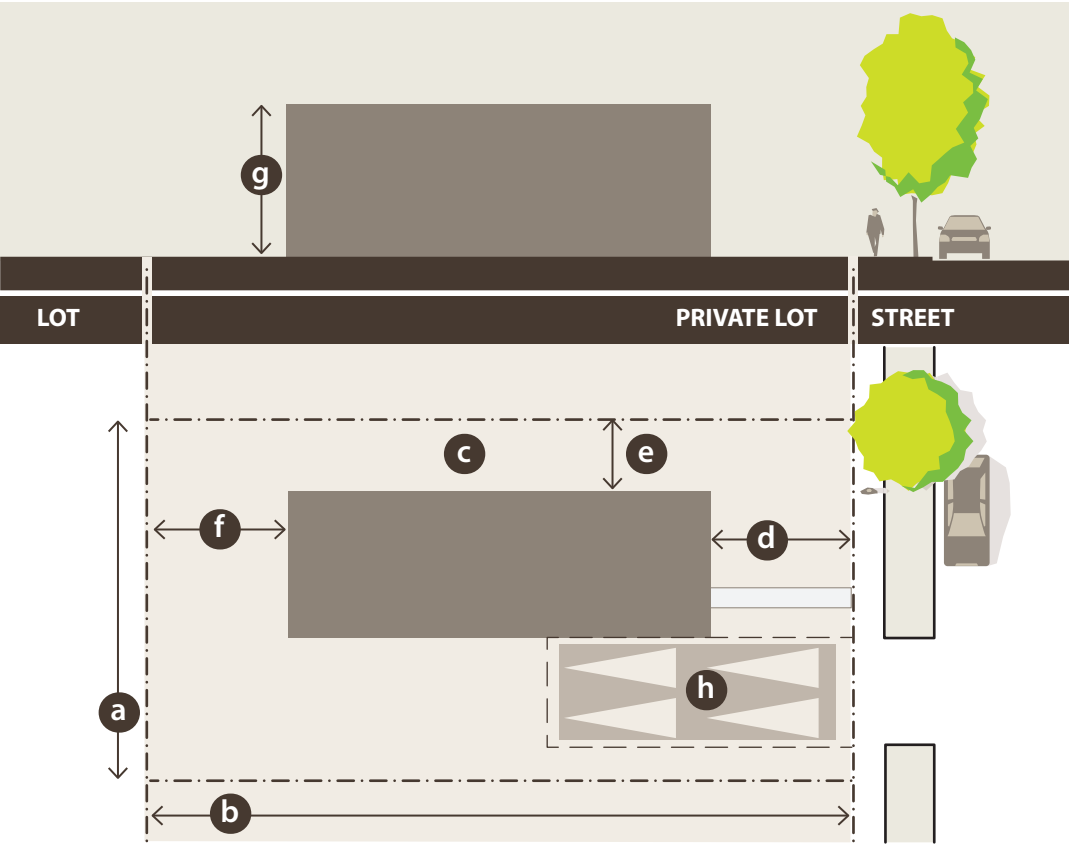
¹ Must meet all requirements of Universal Design Standards: Front Yard (Type2) Urban Type

² Per McMinnville Municipal Code Section 17.54.050.

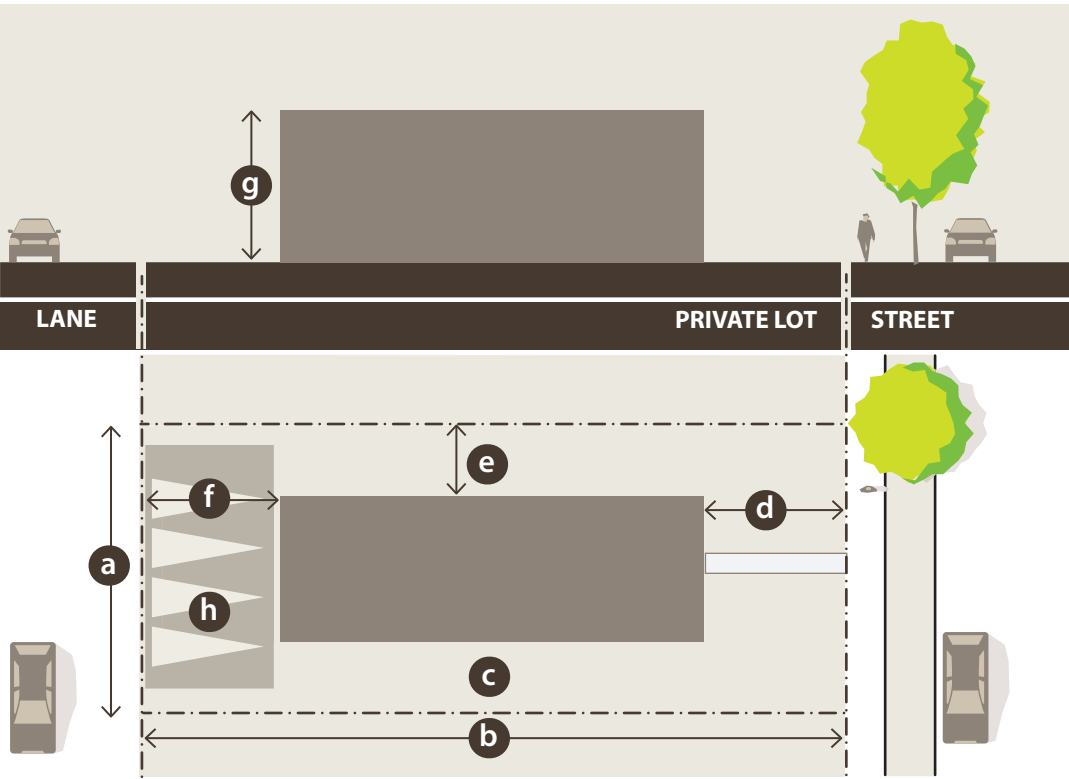
³ Must meet all requirements of Usable Side Yard Subdivision standards.

³ From alley property or easement line.

Plex without Alley



Plex with Alley



Single Dwelling

Concept

Single dwellings are one home on a single lot, separated from adjacent dwellings by private open space in the form of side yards and backyards, and often set back from the public street with a front yard. Single dwelling standards apply to units that are larger than 400 square feet.

Single dwellings are the most common housing type in McMinnville today.

Guiding Principle

Avoid cookie-cutter appearance across multiple single dwellings in the same neighborhood by creating variety of color, form, and façade details.

Space driveways to allow for street trees and on-street parking.

Garages facing the front should be recessed to reduce their prominence on the front façade.



Single dwellings with similar porch elements provide consistency to the public realm, while still offering opportunity for variety in details.



Lots of varying widths face an open pedestrian walkway.

Single Dwelling



Traditional-style single dwelling with porch, front setback, and street trees.



Narrow lot homes face a shared green space.

Single Dwelling Development Standards

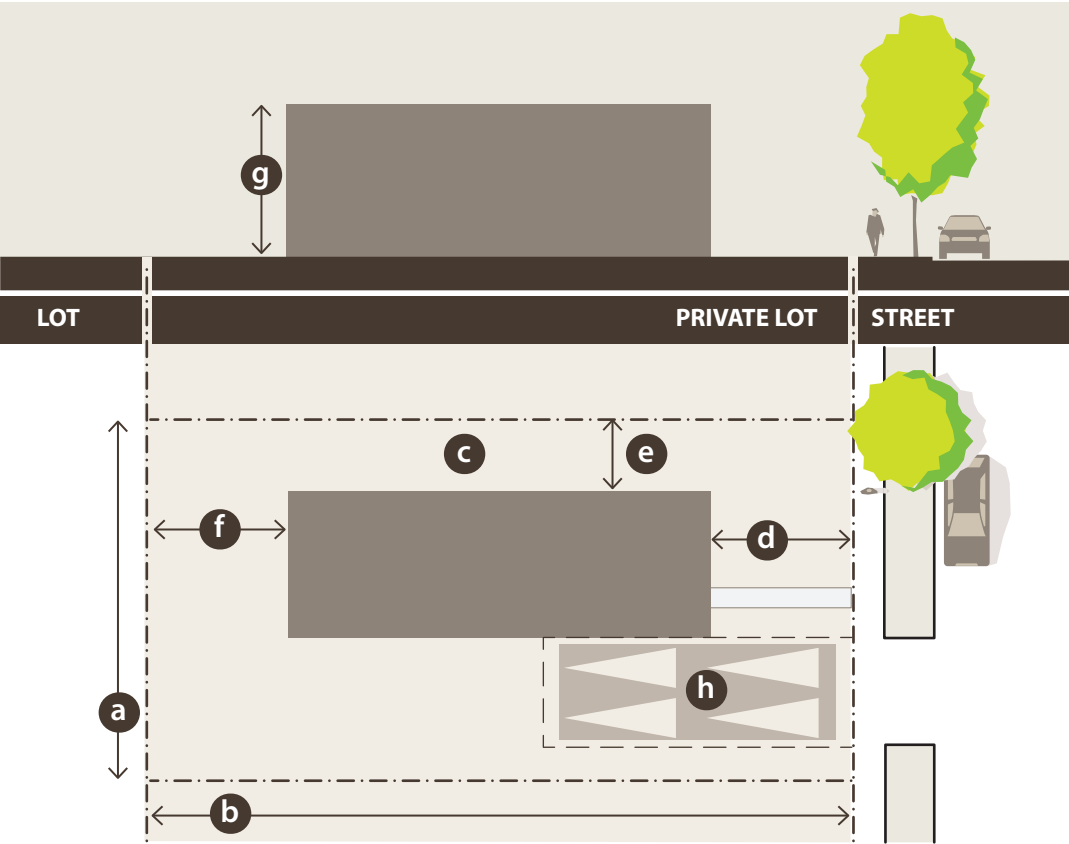
SINGLE DWELLING DEVELOPMENT STANDARDS			
	WITH ALLEY	WITHOUT ALLEY	INFILL
a Lot width (feet)	Min. 35	Min. 45	Match existing zone, subdivision, or Planned Development overlay district.
b Lot depth (feet)	Min. 65	Min. 65	
c Lot size (square feet)	Min. 2,300	Min. 3,000	
d Front setback (feet)	Min. 15	Min. 15	Match existing ¹
e Side setback (feet)	Interior: Min. 3 ² or 7.5 Exterior: 10	Interior: Min. 3 ³ or 7.5 Exterior: 10	Interior: Min. 7.5 Exterior: Min. 15
f Rear setback (feet)	0 with garage, 20 without garage. ¹	Min. 20	Min. 20
g Building height (feet)	Max. 35	Max. 35	Max. 35
h Parking Zone	<p>For lots with an alley: Parking is required to be located adjacent to the alley. Parking is permitted to be located on the surface or in a garage.</p> <p>For lots without an alley: Parking is permitted to be located on the surface or in a garage. The front setback for garages is specified in Parking Development and Design Standards, Garage Setback.</p>		
Driveways	Driveway spacing and width requirements are specified in Street Frontage, Frontage Types.		
Off-street Parking	See McMinnville Municipal Code Chapter 17.60		
Universal Design Standards and Subdivision Standards that apply	<p>Street frontage</p> <p>Front yard</p> <p>Alleys</p> <p>Private open space</p> <p>Compatibility</p> <p>Façade</p> <p>Parking</p> <p>Subdivision Standards: Usable Side Yard, Through Block, and Corner Common Greens</p>		

¹ Per McMinnville Municipal Code Section 17.54.050.

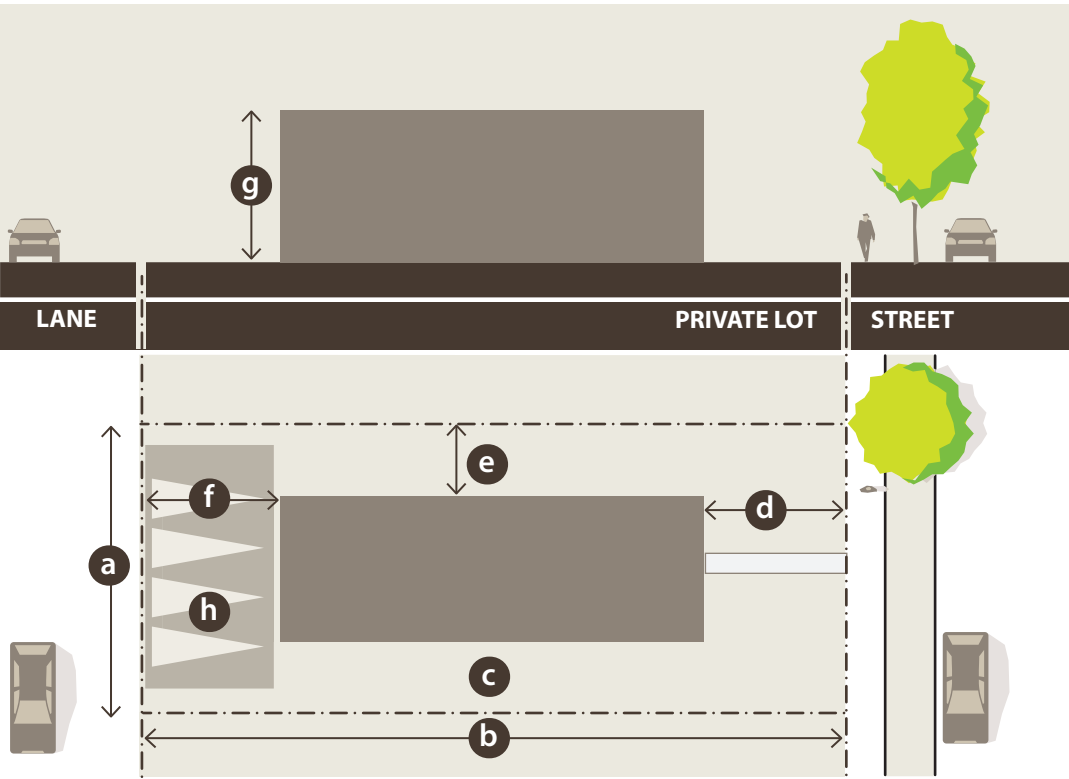
² Must meet all requirements of Usable Side Yard Subdivision standards.

³ From alley property or easement line.

Detached Single Dwelling without Alley



Detached Single Dwelling with Alley



Townhouse

Concept

Townhouses are attached units with common wall construction, each on a separate lot, and each with its own entry from a public or shared street or common area. Townhouse variation includes live/work units, typically with the “work” portion on the ground floor.

Townhouses can be compatible in single dwelling neighborhoods, commercial centers and along corridors.

Guiding Principle

When fitting into existing single dwelling neighborhoods, group townhouses in smaller clusters, so that they are a compatible scale with surrounding development.

Design townhouses with a shared roof form, rather than a sawtooth shape with each unit having its own roof ridge. A shared roof form is more compatible with existing single dwelling neighborhoods.

Provide alley-accessed parking, when possible, to minimize driveways and preserve the tree-lined street frontage.

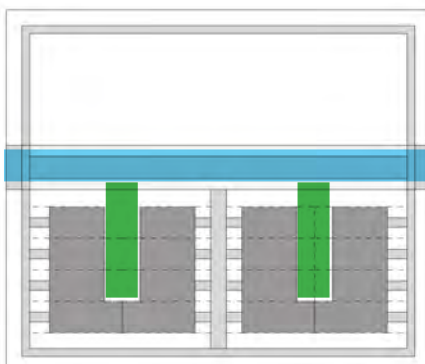
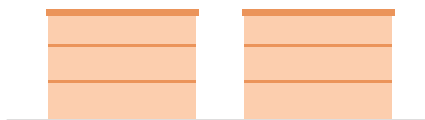
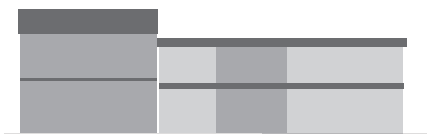


Townhouses fronting a shared green space.



Townhouses with a smaller front setback in a more urban context.

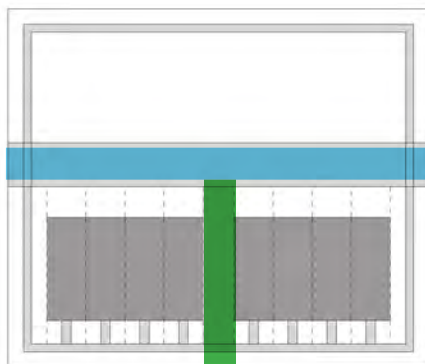
Large Townhouse



Large Townhouse

- » Arrangement suitable for new neighborhoods, along corridors and in the Downtown Design Guidelines Area.
- » Maximum number of adjoining units: 8

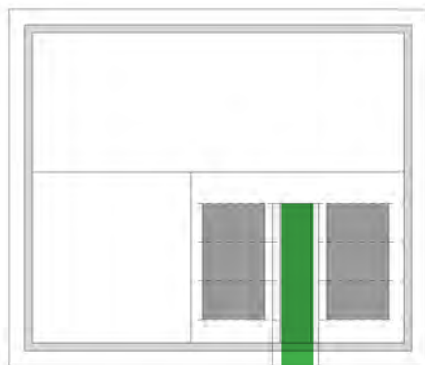
Medium Townhouse



Medium Townhouse

- » Arrangement suitable for new neighborhoods, along corridors and in the Downtown Design Guidelines Area.
- » Maximum number of adjoining units: 4

Small Townhouse



Small Townhouse

- » Arrangement suitable for new neighborhoods, along corridors and in the Downtown Design Guidelines Area. Also permitted within selected neighborhoods as an infill housing type.
- » Maximum number of adjoining units: 3

Alley type permitted (see Universal Standards Alleys): ■ Type 1 ■ Type 1 or 2

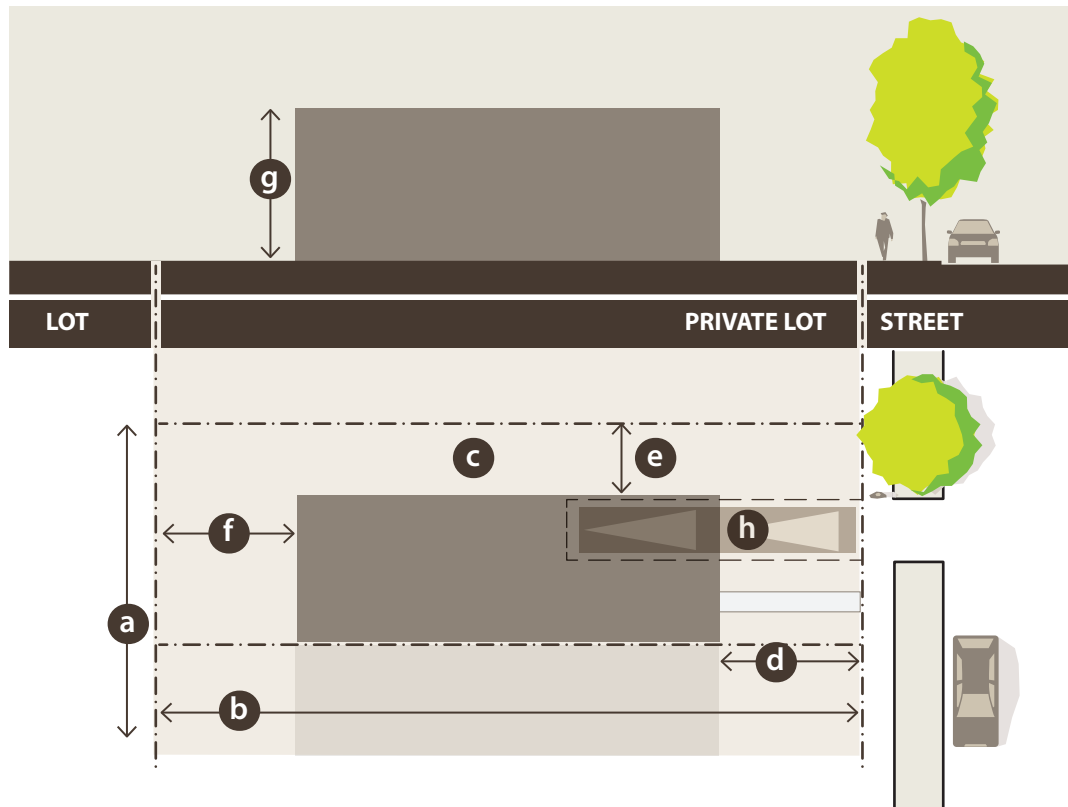
Townhouse Development Standards

TOWNHOUSE DEVELOPMENT STANDARDS			
	WITH ALLEY	WITHOUT ALLEY	INFILL
a Lot width (feet)	Min. 20	Min. 22	Match existing zone, subdivision, or Planned Development overlay district.
b Lot depth (feet)	Min. 60	Min. 60	
c Lot size (square feet)	Min. 1,200	Min. 1,400	
d Front setback (feet)	Min. 15	Min. 15	Match existing ¹
e Side setback (feet) ²	Interior: Min. 0 or 7.5 Exterior: Min. 10	Interior: Min. 0 or 7.5 Exterior: Min. 10	Interior: Min. 0 or 7.5 Exterior: Min. 15
f Rear setback (feet)	0 with garage, 20 without garage.	Min. 20	Min. 20
g Building height (feet)	Max. 35	Max. 35	Max. 35
h Parking Zone	<p>For lots with an alley: Parking is required to be located adjacent to the alley. Parking is permitted to be located on the surface or in a garage.</p> <p>For lots without an alley: Parking is permitted to be located on the surface or in a garage. The front setback for garages is specified in Parking Development and Design Standards, Garage Setback.</p>		
Driveways	Driveway spacing and width requirements are specified in Street Frontage, Frontage Types.		
Off-street Parking	See McMinnville Municipal Code Chapter 17.60		
Number of adjoining units and arrangement	Max. 8	Max. 4	Max. 3
Shared Roof Form	Required	Required	Required
Universal Design Standards and Subdivision Standards that apply	<p>Street frontage</p> <p>Front yard</p> <p>Alleys</p> <p>Private open space</p> <p>Compatibility</p> <p>Façade</p> <p>Parking</p> <p>Subdivision Standards: Through Block, and Corner Common Greens</p>		

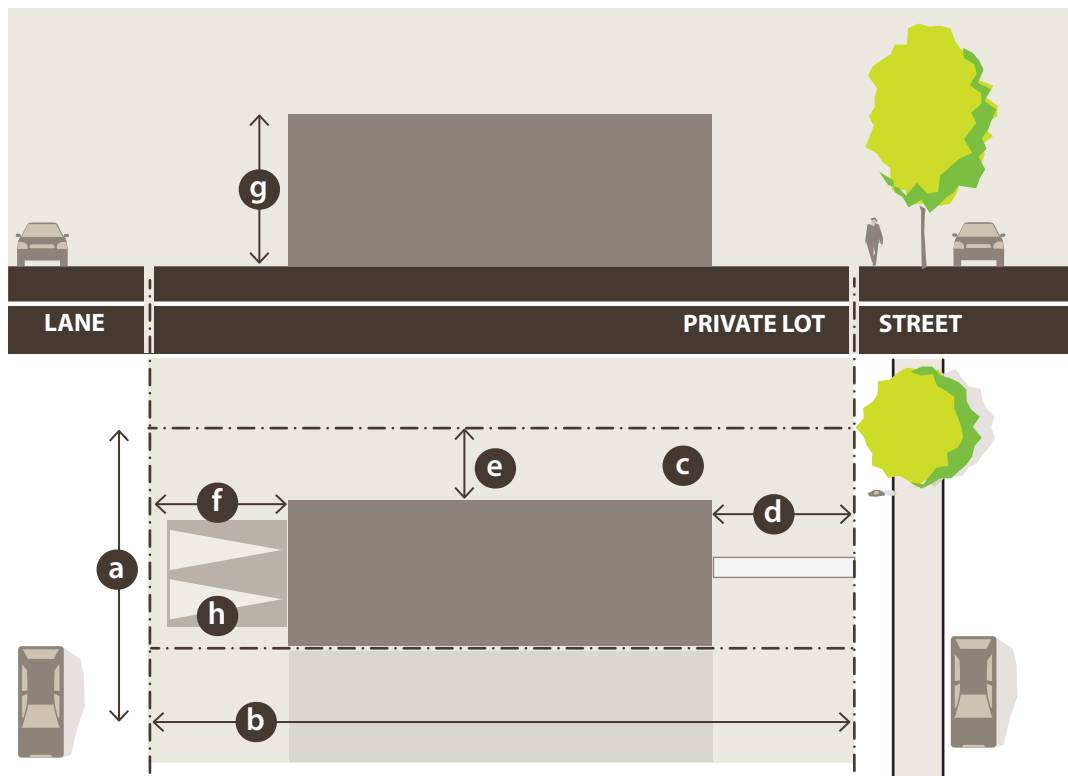
¹ Per McMinnville Municipal Code Section 17.54.050

² Interior side setback of 7.5 feet and exterior setbacks only apply to end units

Townhouse without Alley



Townhouse with Alley



Accessory Dwelling Unit (ADU)

Concept

An ADU is a secondary, self-contained single-family dwelling that may be allowed only in conjunction with a detached single-family dwelling. An accessory dwelling unit is subordinate in size, location, and appearance to the primary detached single-family dwelling. An accessory dwelling unit generally has its own outside entrance and always has a separate kitchen, bathroom and sleeping area. An accessory dwelling may be located within, attached to or detached from the primary single-family dwelling.

An ADU may be located within, attached to or detached from the primary dwelling.



A corner lot permits each home to have a different street frontage.

Fundamental Requirements

Accessory dwelling unit (ADU) subject to the following standards:

1. The accessory dwelling unit may be established by:
 - b. Conversion of an attic, basement, or garage or any other portion of the primary dwelling;
 - c. Adding floor area to the primary dwelling, including a second story;
 - d. Construction of a detached accessory dwelling unit on a lot with a primary single-family dwelling; or
 - e. Construction of a new primary dwelling with the existing dwelling being designated the ADU and found in compliance with all requirements of this Section.
2. The square footage of the accessory dwelling shall not exceed 50 percent of the primary dwelling exclusive of the garage, or 1,000 square feet, whichever is less. The minimum area shall be as determined by the State of Oregon Building Codes Division.
3. The building coverage of a detached ADU may not be larger than the building coverage of the primary dwelling.
4. The accessory dwelling shall meet all applicable standards for this zone including, but not limited to, setbacks, height, and building codes in effect at the time of construction. The maximum height allowed for a detached ADU is the lesser of 25 feet or the height of the primary dwelling.
5. The structure's appearance, including siding, roofing, materials, and color shall coincide with that used on the primary dwelling unit, including roof pitch, eaves, window fenestration patterns, etc.
6. Not more than one accessory dwelling unit shall be allowed per lot or parcel.
7. The accessory dwelling unit shall contain a kitchen, bathroom, living, and sleeping area that completely independent from the primary dwelling.
8. Manufactured homes, recreational vehicles, motor vehicles, travel trailers and all other forms of towable or manufactured structures, not to include modular structures, shall not be used as an accessory dwelling unit.
9. ADUs are exempt from the residential density standards of this code.
10. Occupancy and use standards for an ADU shall be the same as those applicable to a primary dwelling on the same site.
11. That a legally non-conforming accessory structure located on residentially zoned land may be converted to an accessory dwelling unit in accordance with the requirements of Chapter 17.63 (Nonconforming Uses).

Accessory Dwelling Unit (ADU)



ADU accessible from the driveway of main home. Photo credit: Shelter Solutions.



2nd story ADU above multi-car garage.



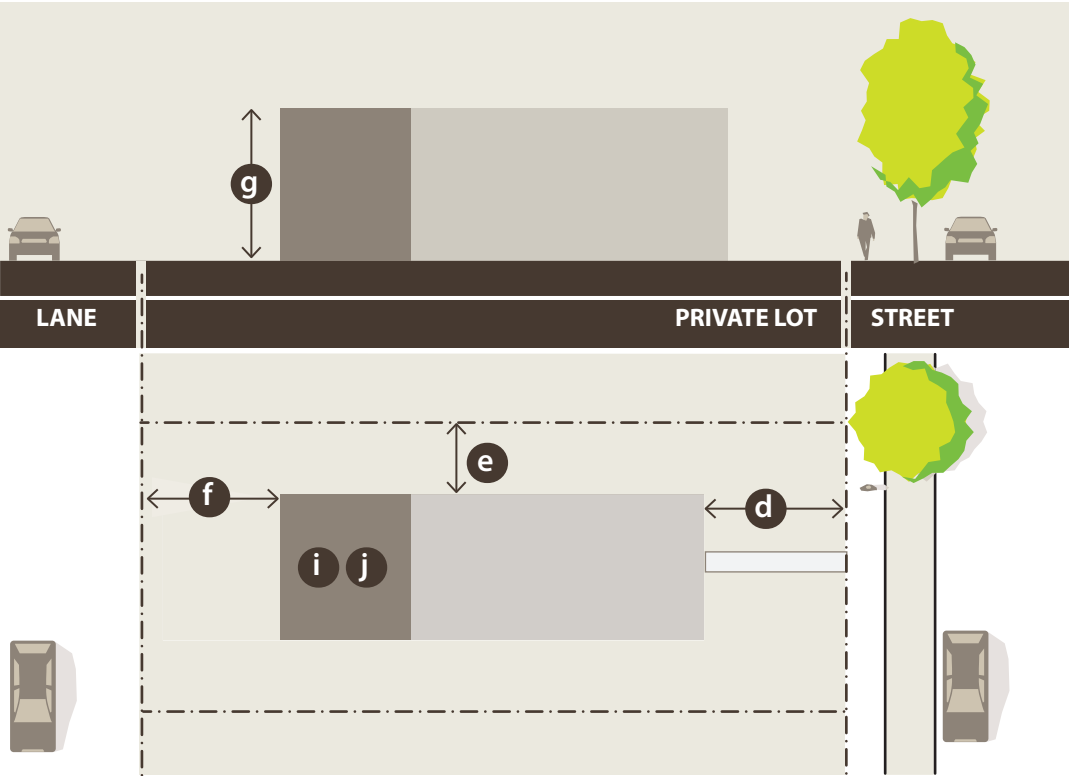
ADU Development Standards

ACCESSORY DWELLING UNITS DEVELOPMENT STANDARDS

ADU	
Lot width (feet)	NA
Lot depth (feet)	NA
Lot size (square feet)	NA
d Front setback (feet)	Match existing zone, subdivision, or Planned Development overlay district.
e Side setback (feet)	Match existing zone, subdivision, or Planned Development overlay district.
f Rear setback (feet)	Match existing zone, subdivision, or Planned Development overlay district.
g Building height (feet)	Height of primary building or 25 feet, whichever is less. ¹
i Building size	Not more than 50% of main dwelling or not more than 1,000 sf (whichever is smaller).
j Lot coverage	Not larger than the coverage of the primary dwelling.
Universal Design Standards and Subdivision Standards that apply	Universal Design Standards that apply to the main dwelling apply to the accessory dwelling unit. Refer to Universal Design Standards Summary Table for applicable standards.

¹ Applicable to detached ADUs.

Accessory Dwelling Units



Apartment Types

Apartment Block

Description

Stacked flats in a single building or groups of buildings on a single lot. Parking is shared, and entrance to units is typically accessed through a shared lobby.

Appropriate context

Apartments vary widely in size and design but typically have large footprints and fit in well to the edges of single dwelling neighborhoods and on major streets.

Also named

Flats, multifamily, apartments

Variations

Flats, lofts, two-level flats, split-level flats, through-building flats.

Typical household

Depending on square footage, all types of households, from adults with children to single adult householder.

Lot sizes

Vary widely, from 7,200 to 320,000 square feet

Density range

10-200 units per acre

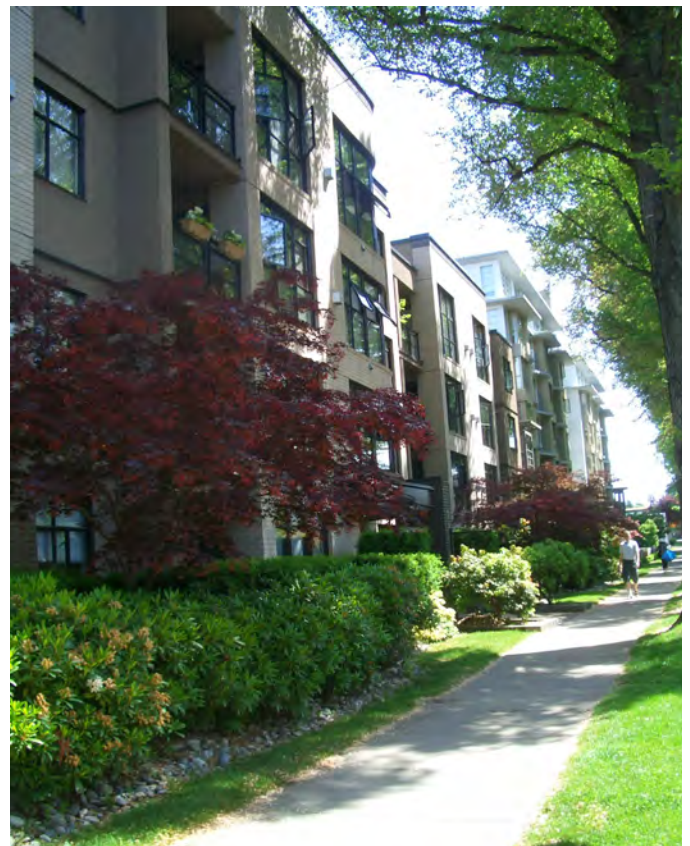
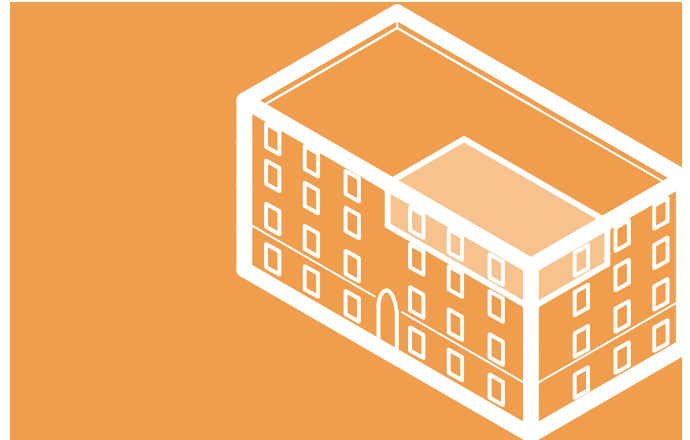
Note: Density may exceed maximum density allowed in McMinnville zoning districts.

Building height

2-5 stories, if adjacent to or within a single dwelling neighborhood context. Can be much taller in central city areas.

Construction type and building code issues

Type V frame construction for buildings under 5 stories. Type V frame construction over Type I, for 6 or 8 stories, or Type I for taller buildings. Sprinklers for fire suppression are required. Elevators needed if over 3 stories.



Greenery and a setback from the sidewalk provide ground floor units with privacy.

Apartment Types

Walk-up Apartment

Description

Buildings are limited to three stories, and consist of about four to 12 units each, accessible from a single open air stair. Dwelling units are typically constructed in Type V frame construction with fire sprinklers. Individual apartment buildings are arranged around common open space and shared parking areas.

Appropriate context

Walk-up apartments are appropriate adjacent to or within a single dwelling neighborhood context depending on site design, orientation to the street, location of parking, and the massing and scale of buildings.

Also named

Woody walk-ups, single stair walk-ups.

Variations

May have an internal stair. Generally, in this case, the maximum number of units per floor are four. They can be designed with front and back windows for cross ventilation. Buildings can be separated to offer access to light and air on three sides.

Typical household

Small units are ideal for small households—single adults or adult and child. They offer an alternative to apartment flats in a building with a lobby and internal double-loaded corridor.

Lot sizes

Vary widely, from 10,000 to 250,000 square feet

Density range

15 - 30 units per acre

Building height

Usually 3 stories; can be 2 stories.

Construction type and building code issues

Typically Type V frame construction. Sprinklers for fire suppression are required.



Walk-up apartments with private open space balconies.

Apartment Types

Courtyard Apartment

Description

Attached housing units arranged around a courtyard, each with its own entry or other access off of the courtyard.

Appropriate context

Courtyard apartments have large footprints and therefore fit in well to the edges of single dwelling neighborhoods and on major streets. They can be designed to be low in profile and to fit seamlessly into most detached single dwelling neighborhoods. Like cottage clusters, they lend themselves to sensitive sites where preserving trees and open space is a priority.

Also named

Garden apartments

Variations

Stacked (like townhouses) and oriented to a courtyard or open space; single level and oriented to a courtyard; bar-shaped or L-shaped instead of C-shaped; with separate garages off of an alley or tucked under the development.

Typical household

Small units are ideal for small households—single adults or adult and child. They offer an alternative to apartment flats, with access to the outdoors via a front (and sometimes a back) door.

Lot sizes

Vary widely, from 10,000 to 80,000 square feet

Density range

10-75 units per acre

Note: Density may exceed maximum density allowed in McMinnville zoning districts.

Building height

2-3 stories; can be up to four if construction type and building code issues are addressed, see below.

Construction type and building code issues

Typically Type V frame construction. Sprinklers for fire suppression are required if not common wall construction. Elevators needed if over 3 stories, or units can be stacked, see variations.



Historic 2-story courtyard apartment complex with a shared garden.

Apartment

Apartment Types Spectrum from Most Dense to Least Dense



Apartment Block

Density Range:

Context: City center



Medium Apartment Block

Density Range:

Context: City center and along major streets served by transit



Small Apartment Block

Density Range:

Context: At the edges of low and medium density residential neighborhoods



Single Walk-up

Density Range:

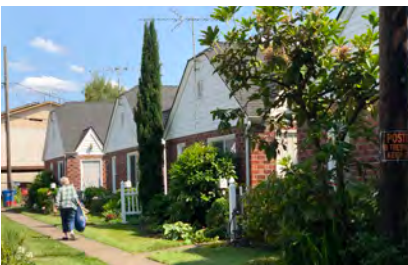
Context: At the edges of low density residential neighborhoods and along major streets



2-3 Story Courtyard

Density Range:

Context: City center, low and mid-density residential neighborhoods



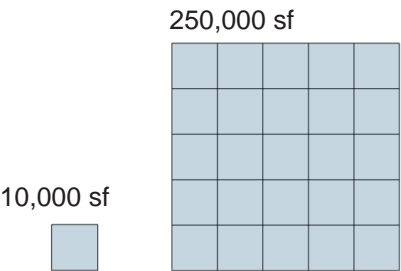
Single Story Courtyard

Density Range:

Context: May be integrated into low density residential neighborhoods

Apartment

Site sizes



Site Sizes

Single walk-ups, block apartments, and many courtyard apartments can fit on a 100 x 100 foot lot. Bigger developments with multiple walk-up buildings may be as large as 250,000 square feet, or 500 x 500 foot lots.

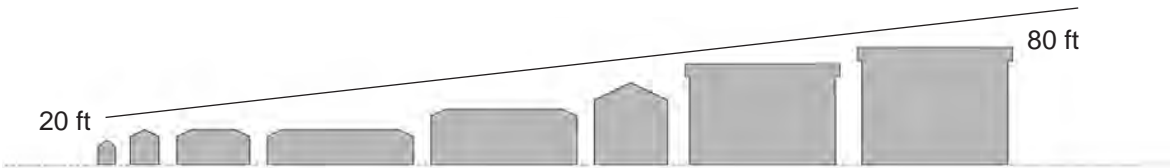
Height Range

Apartment heights vary depending on the type and the location.

Density Ranges

Apartment densities vary depending on building type and site design layout.

Height range



Single story courtyard apartment



2-story courtyard apartment



4-story apartment block

Apartment

Apartment Design Standards

Pedestrian permeability and block structure

Applicability

- » Site size: Sites over 10,000 square feet
- » Housing Types: All apartment types
- » Zones: [to be determined]

All applicable developments must meet the fundamental requirement. In addition, applicable developments must meet all of the required design elements.

Fundamental Requirement

Requirement	Standard	Limitations and Qualifications
Required through connection	200 feet minimum	<ul style="list-style-type: none">» Shall be provided for bicyclists and pedestrians between two streets or two lots. It may be a sidewalk that is part of a street that also provides vehicle access, or it may be a self-contained street created solely for pedestrians and bicyclists.» Spacing requirement: No further than 200 feet apart, on center.» May be co-located with a common green.



Pedestrian through-connections provide opportunities to preserve and highlight heritage trees and other natural features.

Required Design Elements

- ☐ Mirror the scale of blocks and the block-like structure of surrounding neighborhood.
- ☐ Connect the internal network of streets and paths to those of the surrounding area where possible.
- ☐ Configure apartments, parking areas, and common open space in clusters that mirror the scale of blocks of the surrounding neighborhood, or are no more than 10,000 square feet in area per cluster. Residential units must be oriented to a common open space, including a common green, a plaza, or a pocket park.
- ☐ Orient all buildings around a shared open space that meets the requirements of a Common Open Space.
- ☐ Align buildings to surrounding streets.
- ☐ Connect to surrounding neighborhoods, schools, parks, and other neighborhood destinations.

Ground floor units

All ground floor dwelling units, regardless of whether they face a public street or an internal area, must meet the requirements of Universal Design Standards: Front Yards.

Parking

All parking areas must meet the requirements of Universal Design Standards: Parking.

Common Open Space

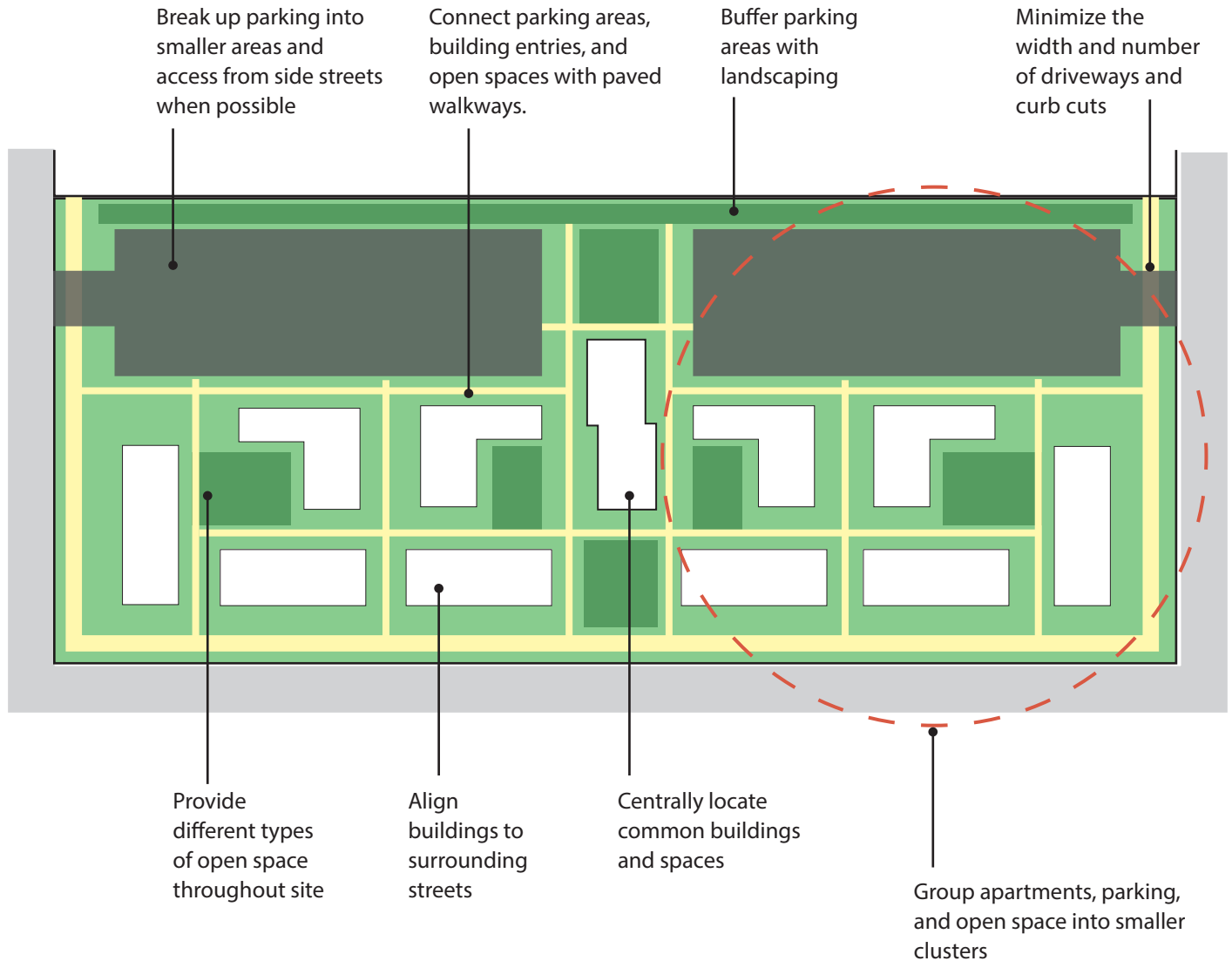
Common open space areas must meet the requirements of Universal Design Standards: Common Open Space

Dwelling units

All dwelling units that are not subject to Front Yard standards must meet Universal Design Standards: Private Open Space.

Apartment

Large Site Layouts



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Part 2

Universal Design Standards

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Introduction to Universal Design Standards

The universal design standards are standards that apply to all or most housing types. These standards are related to site design and provide information about how buildings face the street, handle parking, are compatible with neighboring homes, and must meet specific open space or private space requirements.

Universal Design Standards Summary Table

Universal design standards apply to each housing type marked with an “X”, except where indicated as optional.

	Tiny House	Cottage Cluster	Plex	Single Dwelling	Town-house	ADU	Apartment
Façade	X	X	X	X	X	X	X
Street Frontage	X	X	X	X	X	X	X
Front Yard	X	X	X	X	X	X	X
Alleys	X	X	X	X	X	X	X
Parking	X	X	X	X	X		X
Common OS		X					X
Private OS	X	X	X	X	X	X	X
Compatibility	X	X	X	X	X	X	X
Partial alley (optional)	X	X	X	X	X	X	X
Usable Site Yard Setback (optional)	X		X	X		X	X
Common Green (optional)	X	X	X	X	X	X	X

Façade

Concept

The façade faces the street, or common greens, courtyards, or other common open spaces. It should be inviting with entry structures, such as porches, front doors and windows and other human-scaled elements. When dwellings have car access from the street, paved areas and garages should not dominate.

Welcoming façades contribute to the overall character of the neighborhood, promoting a safe walkable and bikeable place.

Guiding Principles

Garages that do not dominate.

- » Pair garages where possible to maximize planting strip and potential for street trees.
- » Minimize the width of garages in relationship to the overall width of the façade.
- » Garages should be recessed from entrances, making the entrance more prominent than the garage
- » When parking is provided in groups, such as for cottage clusters and apartments, use landscaping to screen the parking area from the street.

Inviting façades that are attractive and welcoming

- » Windows face the street, avoid blank walls.
- » Entrances face the street (emphasize private, ground level entries to individual units when appropriate to the housing type, such as townhouses and plexes.
- » Pronounced shared building entries when appropriate to the housing type, such as multi dwellings.
- » Building elements (lighting, repeating projects, bay windows, etc.) and private open space projections (balconies, porches, terraces, etc.) provide functional living space for residents and break up large façades.

Principle 8 - Human Scale Design.

Buildings include design elements that promote inclusion and interaction with the right-of-way and public spaces, including, but not limited to, building orientation towards the street or a public space and placement of vehicle-oriented uses in less prominent locations.

Principle 12 - Housing Variety.

Similar housing types, when immediately adjacent to one another, shall provide variety in building form and design.



Street Frontage

Concept

A common characteristic of McMinnville's older residential neighborhoods is a green leafy street edge that is created by street trees, and the planted strip between the sidewalk and the curb. When trees are given enough room for their roots to mature successfully, their branches shade the sidewalk and may even form a canopy over the street. Minimizing driveway curb cuts maximizes the value of the plant strip. Uninterrupted curb space also provides safer pedestrian environment and room for parking on the street.

Minimizing driveway curb cuts maximizes the value of the plant strip. Uninterrupted curb space also provides safer pedestrian environment and room for parking on the street.

There are several best practices that can maximize the amount of uninterrupted street tree planting strip:

- » Provide parking space at the rear of the lot via an alley.
- » Space street facing driveways far enough apart for street trees to be planted at frequent intervals.
- » Pair street facing driveways to create more space for trees
- » Coordinating the spacing of street trees with the spacing of utilities access across the plant strip

Guiding Principle

Even while introducing a variety of housing types and lot sizes (and widths), maintain the maximum amount of uninterrupted and generous plant strip for street trees. Promote a healthy canopy of street trees in McMinnville's residential neighborhoods.

Principle 4 - Pedestrian Friendly.

Neighborhoods shall include a pedestrian network that provides for a safe and enjoyable pedestrian experience, and that encourages walking for a variety of reasons including, but not limited to, health, transportation, recreation, and social interaction.

Principle 7 - Accessibility.

To the best extent possible all features within a neighborhood shall be designed to be accessible and feature elements and principles of Universal Design.



McMinnville neighborhood with planter strip and on street parking.

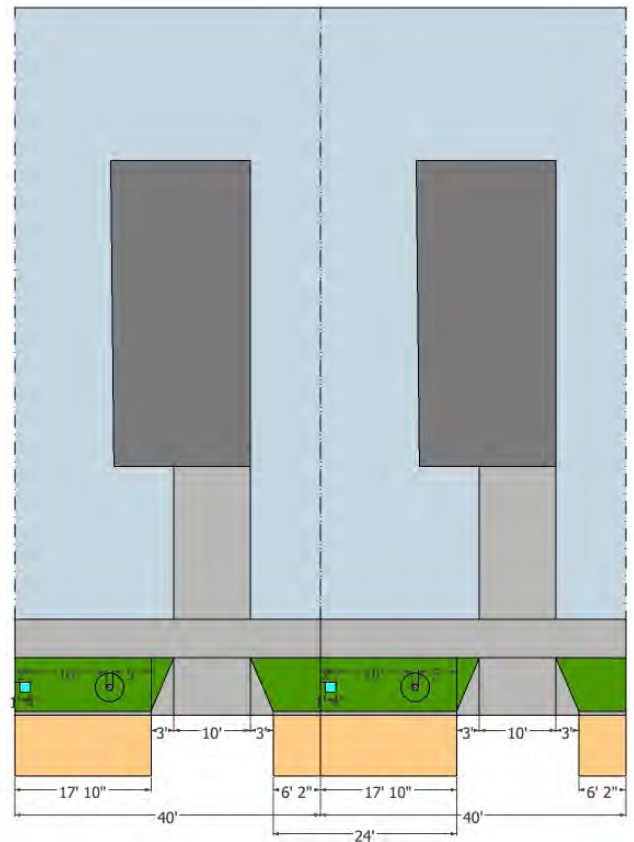
Street Frontage



There is room for a continuous planter strip with ample street trees when parking is accessed from an alley.



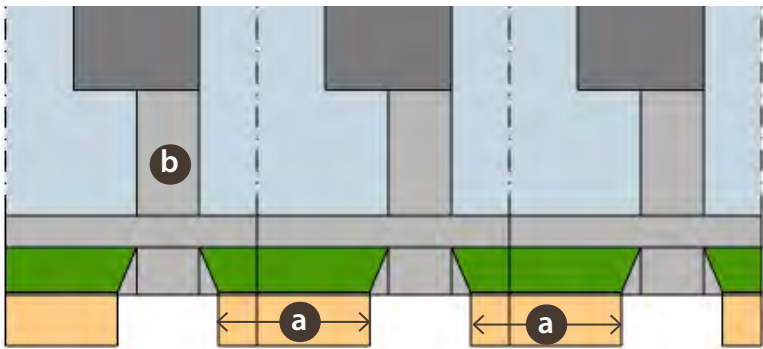
Driveway spacing does not provide enough space for a street tree or on-street parking.



Example diagram of 40-foot adjacent lots with single driveways that meets the 24-foot driveway spacing requirement.

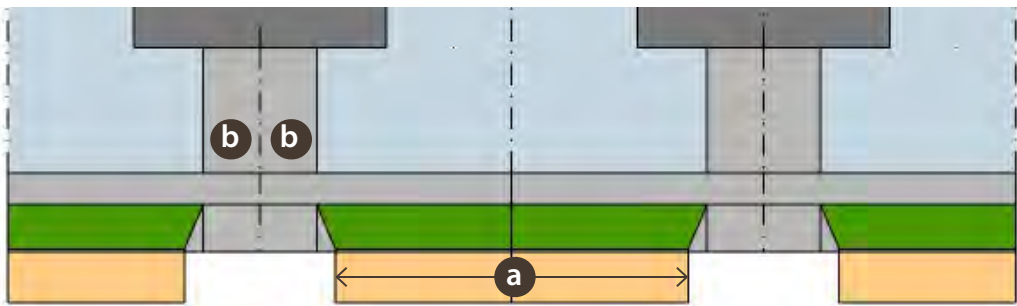
Street Frontage

Frontage Type 1: Front-Loaded Parking



Frontage Type 1: Front-Loaded Parking		
a	Minimum distance between driveways	24 feet
b	Maximum driveway width	40 percent of frontage

Frontage Type 2: Front-Loaded Parking with Paired Driveways



Frontage Type 2: Front-Loaded Paired Parking		
a	Minimum distance between driveways	30 feet
b	Maximum driveway width	TBD*

* Note - The maximum combined width of driveways that the City finds would be acceptable needs to be determined.

Frontage Type 3: Alley-Loaded Parking



Frontage Type 3: Alley-Loaded Parking		
a	Minimum street frontage width	Refer to development standards by housing type

Front Yard

Concept

The front setback provides a vital transition between the public area of the street and the private spaces within the dwelling. The smaller the front setback is, the more important the concept of layering public to private spaces becomes.

A typical three-part approach to layering is a low fence at the back of the sidewalk, a landscaped or paved dooryard, and before the entrance to the dwelling—a porch, a stoop, or a terrace. For very small front setbacks, vertical distance can make up for the lack of horizontal separation.

Guiding Principle

For all housing types the front setback—even when it is small or zero, should be designed to provide a transition from the public realm of the street to the private realm of the dwelling.

Principle 4 - Pedestrian Friendly.

Neighborhoods shall include a pedestrian network that provides for a safe and enjoyable pedestrian experience, and that encourages walking for a variety of reasons including, but not limited to, health, transportation, recreation, and social interaction.

Principle 8 - Human Scale Design.

Buildings include design elements that promote inclusion and interaction with the right-of-way and public spaces, including, but not limited to, building orientation towards the street or a public space and placement of vehicle-oriented uses in less prominent locations.



Porches set back from the sidewalk are an inviting semi-private space.

Front Yard



Landscaping, trees, and partially-open wall provide a transition with layers of privacy from the sidewalk edge to the apartment building.

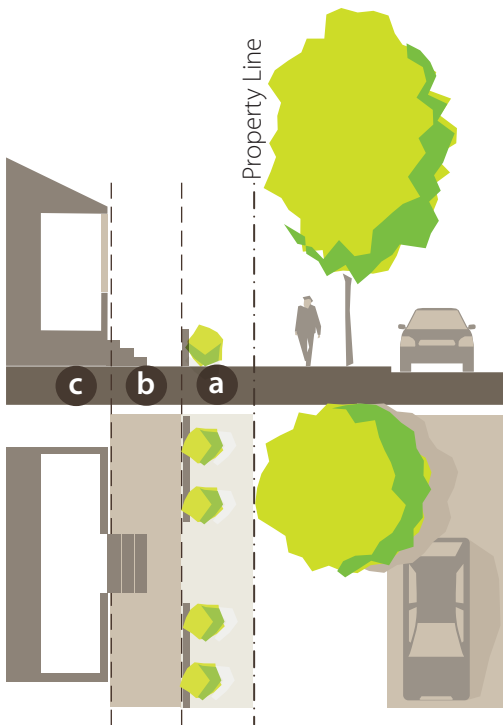


Open porches are set back to a depth that provides usable space for residents.



In a more urban context where entrances to residences could be close to the sidewalk, a partially open fence and landscaping creates layers of private to public space.

Front Yard



Front Yard Type 1 is a traditional front yard where horizontal and vertical separation provide privacy and achieve the 3-zone transition from the back of the sidewalk to the front door.

Type 1 Front Yard (Neighborhood Type)

Zone	Requirement	Intent and purpose	Ways to meet the requirement
a	Gateway	Marks the threshold between the public zone of the sidewalk and the private dwelling zone. May provide a location for address identification.	Must provide one of the following: <input type="checkbox"/> Low fence <input type="checkbox"/> Low planting—shrubs, grasses
b	Front Yard, Forecourt or Dooryard	Provides habitable and personalize-able outdoor space for the resident.	Fundamental requirements: <input type="checkbox"/> A minimum of 5-feet distance between inside edge of Gateway and edge of Porch-Stoop-Terrace <input type="checkbox"/> A paved walkway between sidewalk and entrance, which may be combined with a driveway Must provide one of the following or a combination: <input type="checkbox"/> Pedestrian-oriented hardscaped outdoor space <input type="checkbox"/> Lawn or planted area <input type="checkbox"/> Alternative option that meets the intent and purpose
c	Porch, Stoop or Terrace	Provides an outdoor living area that is physically and visually connected to the public realm of the street. Provides opportunities for community interaction. May provide a location for address identification.	Fundamental requirements: The porch, stoop, or terrace must be at least 36 square feet in area and have minimum dimensions of 6 feet by 6 feet; and the porch must have a solid roof. In addition, must provide one of the following: <input type="checkbox"/> Ornamental fencing or balustrade <input type="checkbox"/> Columns demarcating perimeter or supporting the roof

Front Yard



Gateway zone is created by projecting bays on either side of the entry, while a balcony above provides rain protection on the ground level.



Type 2 Front Yard (Urban Type)

Zone	Requirement	Intent and purpose	Ways to meet the requirement
a	Gateway	Marks the threshold between the public zone of the sidewalk and the private dwelling zone. May provide a location for address identification.	Must provide one of the following: <ul style="list-style-type: none"> <input type="checkbox"/> Low wall or fence <input type="checkbox"/> Change in paving material <input type="checkbox"/> Low fence <input type="checkbox"/> Low planting—shrubs, grasses
b	Front Yard, Forecourt or Dooryard	At a minimum, provides a transitional zone between the domestic realm of the dwelling and the public realm of the street. If larger, it provides a habitable and personalize-able outdoor space for the resident.	Fundamental requirements: Minimum of ten feet in depth.* Must provide one of the following: <ul style="list-style-type: none"> <input type="checkbox"/> Ornamental fencing or balustrade <input type="checkbox"/> Columns demarcating perimeter or supporting the roof <input type="checkbox"/> Planted area <input type="checkbox"/> Wood decking
c	Porch, Stoop or Terrace	At a minimum, provides an outdoor entry vestibule. If larger, it provides an outdoor living area that is physically and visually connected to the public realm of the street. Provides opportunities for community interaction. May provide a location for address identification.	Fundamental requirements: Minimum of ten feet in depth.* Must provide one of the following: <ul style="list-style-type: none"> <input type="checkbox"/> Ornamental fencing or balustrade <input type="checkbox"/> Columns demarcating perimeter or supporting the roof <input type="checkbox"/> Recessed area <input type="checkbox"/> Overhanging balcony <input type="checkbox"/> Canopy

*Items b and c may be combined into a single ten foot depth, provided the intent and purpose of each one is met.

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Alleys

Concept

Alleys are critical in limiting the number of driveways accessing lots from the street edge. They also allow for housing types, especially those that occupy narrow lots, such as townhouses or tiny houses, to sit alongside more conventional lot widths.

The design, paving, maintenance, and lighting of alleys is important to ensure they function properly and are safe and attractive.

Alleys vary in width and can be public right of way or private easement. Visually narrowing the perceived width of alleys through landscaping, paving, and placement of garages or Accessory Dwelling Units ensures that they are not used for traffic. If well designed, they can be part of a total pedestrian pathway system through the neighborhood.

Guiding Principle

Provide alleys wherever possible, especially in new subdivisions. In existing neighborhoods, partial alleys can be provided.



Showing an alley with a 28-foot right of way width and a 14-foot travel way (NACTO)

Principle 4 - Pedestrian Friendly.

Neighborhoods shall include a pedestrian network that provides for a safe and enjoyable pedestrian experience, and that encourages walking for a variety of reasons including, but not limited to, health, transportation, recreation, and social interaction.

Principle 11 - Housing for Diverse Incomes and Generations.

A range of housing forms and types shall be provided and integrated into neighborhoods to provide for housing choice at different income levels and for different generations.

Principle 12 - Housing for Diverse Incomes and Generations.

Neighborhoods shall have several different housing types.

Alleys



Shrubs, vines, an overhead trellis, and a change in paving color visually narrow the alley width, however there is minimal space for landscaping.



Larger alley setbacks create opportunities for enhancements such as potted plants and other items of personal expression and ownership.

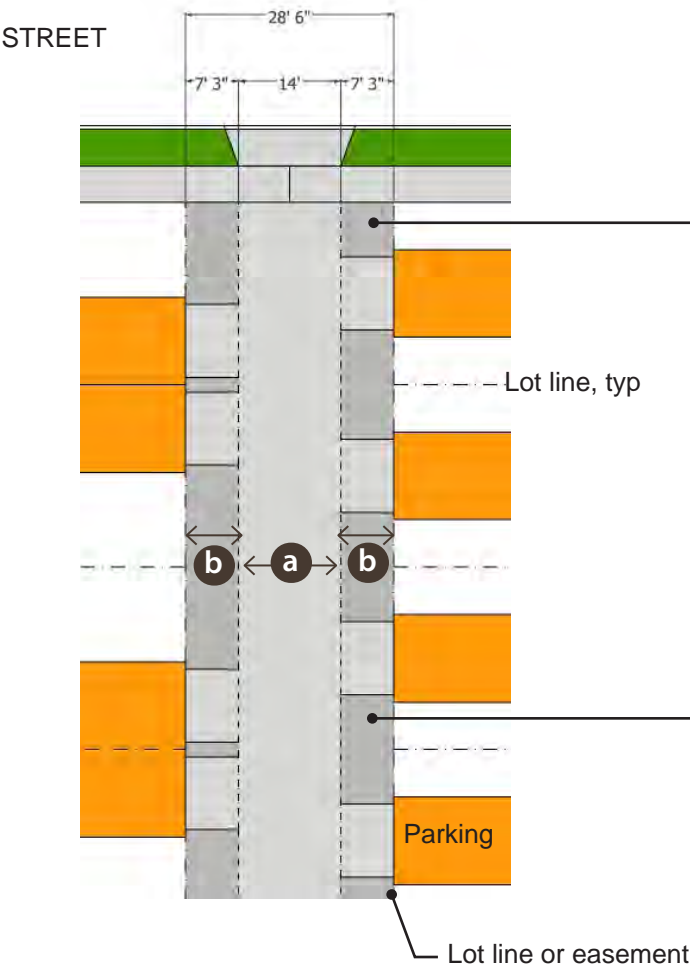


Garage doors set into an alcove created by a second story porch provides storage for trash receptacles and minimizes the prominence of the garage.



The curb physically and visually narrows the width of the alley. Permeable paving is built into the lowest point at the center to handle stormwater.

Alleys



Examples of low landscape buffer treatments for an alley.

Alley Standards Type 1

a	Travel Way Width	14 feet
b	Low Landscape Buffer	7.25 feet, each side

Alley Standards Type 2

a	Travel Way Width	20 feet, minimum
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Parking

Development and Design Standards

Garages

Applicability

- » Site size: All sites
- » Housing Types: All
- » Zones: [to be determined]

These standards apply to all garages that are accessory to a dwelling whether they are attached or detached to the primary dwelling.

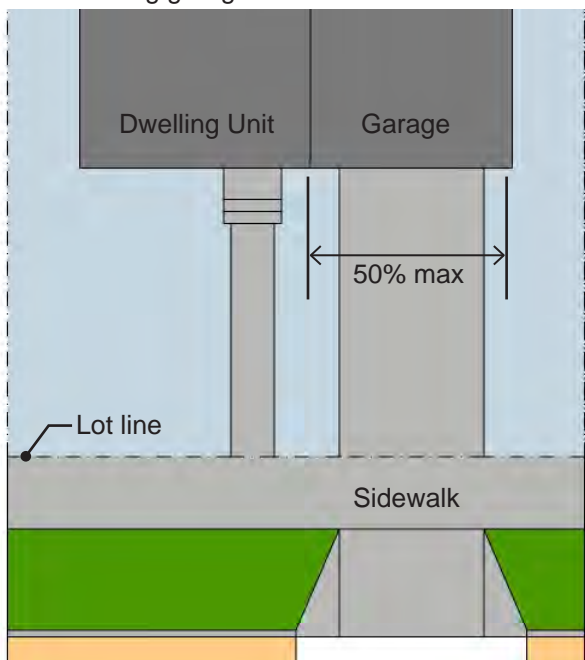
Length of street-facing garage wall

The length of the garage wall facing the street may be up to 50 percent of the length of the street-facing building façade. See Figure to the right.

Where the street-facing façade of the building is less than 24 feet long, the garage wall facing the street may be up to 12 feet long if there is one of the following.

1. Interior living area above the garage. The living area must be set back no more than 4 feet from the street-facing garage wall, or
2. A covered balcony above the garage that is:
 - » At least the same length as the street-facing garage wall;
 - » At least 6 feet deep; and
 - » Accessible from the interior living area of the dwelling unit.

Street-facing garage wall



Principle 8 - Human Scale Design.

Buildings include design elements that promote inclusion and interaction with the right-of-way and public spaces, including, but not limited to, building orientation towards the street or a public space and placement of vehicle-oriented uses in less prominent locations.



The garage and driveway dominate the façade, which does not meet the standards of a garage wall that is less than 50% of the overall width of the façade.

Parking

Garage setback

A garage wall that faces a street may be no closer to the street lot line than the longest street-facing wall of the dwelling unit.

Whether attached to a residence or as a separate structure, a covered storage facility (garage) for a vehicle on which the main opening is toward a street shall be located not less than 20 (twenty) feet from the property line bordering the street.

Exception: Garage that is less than half the façade width and flush with porch façade

A street-facing garage wall may be up to 6 feet in front of the longest street-facing wall of the dwelling unit, if:

- » The street-facing garage wall is 40 percent or less of the length of the building façade; and
- » There is a porch at the main entrance. The garage wall may not be closer to the street lot line than the front of the porch. The porch must meet the standards for porches as set out in Universal Standards: Front Yard.

Exception: Sideways-facing Garages

The garage may extend in front of house when:

- » It is oriented perpendicular to the street and fronts on a paved court. The side wall of the garage must meet the requirements of Length of street-facing garage wall.
- » The side wall of the garage—which in this case is the street-facing façade—must meet the requirements of Façade Universal Standards.
- » In addition, the garage must meet the front setback requirements of the underlying zone.

Exception: Garages adjacent to alleys

A garage adjacent to an alley may have a zero foot setback from the alley, if allowed in the Development Standards table for the applicable housing type.

Medium and Large Surface Parking Lots

Concept

A parking lot is a storage space for cars, and should provide secure storage. It is also a place where everyone is a pedestrian while getting to or from their car. Therefore it should be designed primarily for the ease, safety and comfort of a person rolling or on foot.

Guiding Principles

Clearly defined pathways through parking lots and garages to building entrances, surrounding sidewalks, and transit stops enhance pedestrian safety. These pathways also provide an opportunity to improve the appearance of parking lots.



Example of sideways-facing garage.



Example of a parking lot through connection

Design parking lots and garages so that vehicles are not the dominant feature.

To encourage bicycling as a mode choice, bike parking areas should include bike repair, maintenance, and cleaning stations

Applicability

- » Site size: All housing types where parking is provided for nine parking spaces or more.

Fundamentals

Parking lot pathways should be designed as part of the seamless accessibility network described in Apartment Design Standards, particularly the

- » Required through connection, and
- » Required design elements

Driveways to shared parking areas are:

- » Limited to one driveway per street frontage.
- » Parallel parking is permitted on a driveway that crosses a front, side or rear yard abutting a street, but not within the required yard setback.

Parking



Walkway surface must be clearly marked and differentiated from the surface parking area. Marking treatment may be paint or paving material.

Required through connections

Through Connections may be multi-modal or used exclusively for bicycle and pedestrian access.

Through Connection required components and options	
Walkway	Planted area
<p>Walkway must be paved, and 10 feet wide minimum. Paved area may be:</p> <ul style="list-style-type: none"> » 5 feet wide, minimum, each side of a drive aisle. » 10 feet wide, minimum, one side of a drive aisle. » 10 feet wide, minimum, if no drive aisle. <p>(Drive aisle minimum width 12 feet)</p> <p>Walkway surface must be clearly marked and differentiated from the surface parking area. Marking treatment may be paint or paving material.</p>	<p>A planted area is required on one or both sides of the through connection walkway.</p> <p>Planted area must be a minimum of 6 feet wide. Planted areas may be:</p> <ul style="list-style-type: none"> » 3 feet minimum, each side of the through connection walkway. » 6 feet minimum, one side of the through connection walkway. <p>Landscaped areas along a through connection may be interrupted by vehicular crossings.</p> <p>Landscaped areas along a through connection count toward required interior landscaping.</p>

Parking

Medium and Large Surface Parking Lots (continued)

Interior landscaping, minimum area

- » Interior landscaping shall be required for off-street parking areas 5,000 square feet or greater in size.
- » For parking lots less than 50,000 square feet, the minimum landscaped area is 5%.
- » For parking lots 50,000 square feet and greater, the minimum landscaped area is 8%.
- » Planted areas may take the form of landscape areas and planter bays.
- » For the purposes of calculating landscaped areas, parking lots are defined as [TBD].

Through Connection landscaping

- » Landscaped areas along a Through Connection count toward required interior landscaping.

Interior landscaping, trees

- » Landscaped islands and peninsulas shall be evenly distributed throughout all parking areas and separated no more than 60 feet from another. Such islands shall be provided with raised curbs, be a

minimum of five feet in width, and shall each contain at least one deciduous tree. To achieve the maximum canopy coverage, all trees shall be non columnar.

- » Trees may line the required Through Connection, and/or be clustered within landscape islands or planter bays, and / or shall be distributed throughout the off-street parking area to create a canopy effect and to break up expanses of paving and long rows of parking spaces.

Parking lot perimeter landscaping

- » When a parking area abuts a property in a residential zone, a site-obscuring fence or wall, either permanent or of living material, shall be placed along the affected property line.

Setbacks adjacent to buildings and structures

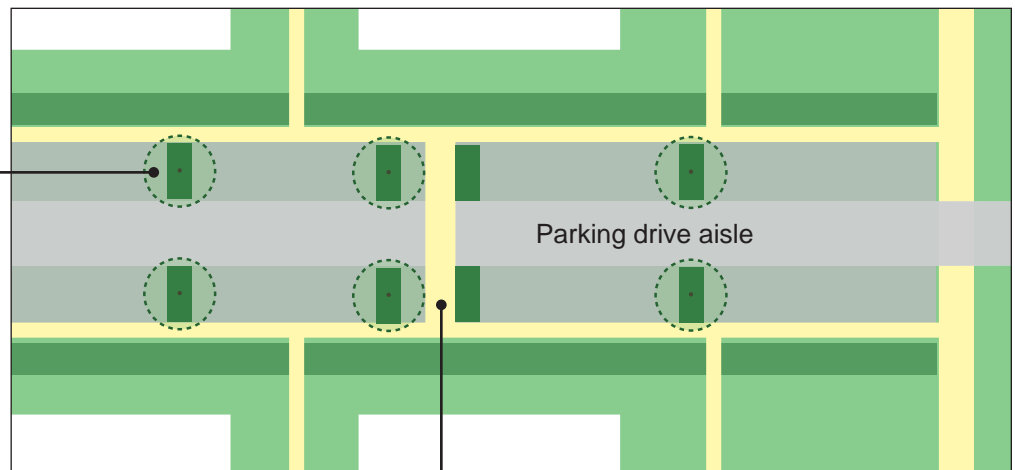
- » Where an off-street parking or vehicular use area is located adjacent to a building or structure, the off-street parking or vehicular use area shall be setback from the exterior wall of the building or structure by a minimum five-foot-wide landscape strip, or by a minimum five-foot-wide paved pedestrian walkway.

Medium surface parking lot

Interior landscaping is required for medium and large parking lots. Planted areas may take the form of landscape areas and planter bays.

Landscaped islands and peninsulas shall be evenly distributed throughout all parking areas and separated no more than 60 feet from another. Such islands shall be provided with raised curbs, be a minimum of five feet in width, and shall each contain at least one deciduous tree. To achieve the maximum canopy coverage, all trees shall be non columnar.

See "Fundamentals" for options.



10-foot wide Through Connection required no further than 200 feet apart, on center. Walkways must be paved, and 10 feet wide minimum. Walkway surface must be clearly marked and differentiated from the surface parking area. Marking treatment may be paint or paving material.

A planted area is required on one or both sides of the through connection walkway. Planted area must be a minimum of 6 feet wide. Landscaped areas along a through connection may be interrupted by vehicular crossings.

Landscaped areas along a through connection count toward required interior landscaping. See Through Connection required components and options.

Common Open Space

Design Guidelines

Common open spaces offer residents social and health benefits while also defining and bringing character to a development. Common open spaces may include shared recreational facilities such as play areas, sports fields or swimming pools; rooftop decks that prompt interaction and include shared amenities such as grills, play space, or seating. Common open spaces may be located along connecting pathways and courtyards or shared streets that allow for impromptu games of tag and the opportunity to pass neighbors. Critical to the success of a common open space is its location and territorial definition. Common open space should be appropriately located so users feel safe and residents take ownership and responsibility for the shared space. The design should take into account its relationship to units, entries, and windows, as well as how landscaping or other barriers may impact sight corridors. Common open spaces should have clear intended uses with visual cues to inform users as to the desired function. Avoid large, hard-surfaced or landscaped areas that lack furnishings or other design elements suggesting specific activities. Break down large spaces into smaller, comfortable outdoor rooms through the use of fencing or low walls, furnishings and lighting, building placement, and plantings. Sensitive design will produce greater benefits than expensive materials or furnishings and certainly more options for use than large undefined open areas.

Applicability

- » For the following housing types: Cottage Clusters, Apartments
- » For infill and new subdivisions
- » In the following zones: [to be determined]

All developments over four units shall meet the fundamental requirements for Common Open Space. In addition, projects shall provide at least [four] of the options listed under Menu of Options.

Fundamental requirements:

- ☐ A common open space shall be provided that is centrally located and designed with a clear function that enhances the livability of residents. These functions shall include passive and active uses. The open space shall be accessible to all residents and if possible be fronted by clearly defined unit entrances. The common open space shall serve as the focus of surrounding buildings. Entries and windows shall face the common open space to provide informal surveillance. Common open space shall be accessible to all residents.

Principle 3 - Parks and Open Spaces.

Parks, trails, and open spaces shall be provided at a size and scale that is variable based on the size of the proposed development and the number of dwelling units.

Principle 4 - Pedestrian Friendly.

Neighborhoods shall include a pedestrian network that provides for a safe and enjoyable pedestrian experience, and that encourages walking for a variety of reasons including, but not limited to, health, transportation, recreation, and social interaction.

Principle 7 - Accessibility.

To the best extent possible all features within a neighborhood shall be designed to be accessible and feature elements and principles of Universal Design.

- ☐ Common open space shall be a minimum of 12.5% of the site. Passive open space shall not be more than [TBD]% of the site.
- ☐ When vehicular areas are located between dwellings and common open space, clearly defined pathways shall be provided to enhance pedestrian safety. Pathway surface shall be clearly marked and differentiated from the vehicular area with paint or alternative paving material.
- ☐ Common open space shall have a minimum width or depth of 20 ft.
- ☐ Walkways are required between dwellings and common open space.

Common Open Space

Exceptions

Common Open Space for Cottage Clusters must provide a minimum of 400 sf per unit. Up to 50% can be in a constrained area (e.g., wetlands, forested areas, or steep slopes). Cottages must front at least two sides of common open space. Common open space can be one contiguous area, or no more than three separate areas. Each separate area needs a minimum of 4 cottages surrounding the common open space.

Common open space size may be reduced to 10% of the site when the site is immediately adjacent to a public park or plaza.

Properties within the Downtown Design Guidelines Area may provide 100% of common open space as a rooftop deck or provide alternative options to meet the fundamental requirements in a way that is consistent with the design guidelines.

Menu of Options

- ☐ Provide opportunities for formal and informal recreational use by residents of all ages. This could be a shared recreational facility including sport fields, play structure, bike track, courts, swimming pool, or other options.
- ☐ Provide tall deciduous trees for summer shade and winter solar access. When possible preserve and incorporate large existing trees at least 9 inches in diameter as a focal point of open spaces.
- ☐ Enhance the usability of the space through the inclusion of elements including seating, outdoor lighting, weather protection and/or shade structures, and art, among other features.
- ☐ Incorporate landscaping that receives at least 50% of its irrigation from harvested rainwater.
- ☐ Provide opportunities for food cultivation include a community garden and/or incorporate cultivated species into the landscaping.
- ☐ A maximum of 50% of common open space may be provided in a rooftop deck that includes shared amenities, weather protection, and landscaping, and is accessible to all residents.
- ☐ A shared outdoor courtyard or shared street/woonerf that is enfronted by individual entrances, windows, and balconies. There should be a combination of hardscape and landscaped space and/or planters.



Cottage Clusters have shared open space at the heart of their design, providing space for gathering or gardening, as well as preserving existing trees and wetland areas.



Make the use of semi-public spaces unambiguous.

Private Open Space

Concept

Every dwelling needs private open space for relief from indoors and to provide access to fresh air, light, and nature. Private open space may take many forms based on the size of unit.

Design Guidelines

Private open spaces should respond to the needs of residents. While they may take a variety of forms and configurations based on the scale of the building and its context, private open spaces should be usable and provide an opportunity for personalization and ownership by residents. Open spaces should provide health and well-being benefits including access to fresh air and sunlight, ability to grow food or shade their dwelling with plants. They should translate into a perception of an increase in living space and the ability to invite the outdoors in. Additionally, these open spaces can provide environmental benefits with plants that consume carbon dioxide and help reduce stormwater runoff. Spaces should be adequate to be usable, allowing space for a chair to sit in, a place to barbecue or hang clothes to dry, or for a pet to curl up. Private open space should enhance the residential function of the building while also improving the appearance of the building. They should be integrated into the overall architectural form and add detail to the façade. Placement can vary based on privacy concerns. It can be combined across multiple floors.

Applicability

- » For the following housing types: Plexes, Townhouses, Apartments
- » For infill and new subdivisions
- » In the following zones: [to be determined]

All developments shall meet the fundamental requirement for Private Open Space.

In addition, projects may provide private open space in the form of one of the options listed under Menu of Options.

Principle 3 - Parks and Open Spaces.

Parks, trails, and open spaces shall be provided at a size and scale that is variable based on the size of the proposed development and the number of dwelling units.



Individual back deck or front porch provides small seating area under cover from the elements.

Fundamental requirement

- » All units shall have a minimum of 36 square feet of private open space that allows for personalization and ownership of the space and contributes to the livability and function of the dwelling. Any exterior private open spaces shall be supplemented with operable windows to allow for cross-ventilation, increase air flow and provide the ability to control access to the outdoors.
- » 50% of upper units shall have a balcony that is accessible from the interior of unit that is a minimum of 60 square feet with no dimension less than 6 feet. These balconies can be designed to be up to the full width of the apartment in order to provide adequate space for use and allow greater indoor/outdoor flow. Balconies can be cantilevered, semi-recessed, or fully recessed. They should be located based on privacy and environmental concerns. If balconies are transparent, adequate storage should be provided within the unit or the larger building so that balconies do not become informal storage spaces.
- » Private outdoor space at the ground-level must meet the requirements of Universal Standards: Front Yard regardless of whether the private outdoor space is in the front, side, or rear of a building.

Private Open Space

Menu of Options

- ☐ A “Juliet-style” balcony of 12” dimension that allows resident to bring a sense of the outdoors into the unit. Must have doors that can open inwards or full-height sliding glass doors to allow introduction of fresh air and sunlight. If this item is selected, units must also include operable windows to increase air flow/ability to control access to the outdoors.
- ☐ An upper story rooftop deck or terrace that may include space for outdoor seating, dining, and planters for cultivation. This terrace may be stepped back on structures over two stories so as to reduce the visual impact of upper floors.
- ☐ Alternative option that meets the concept and guiding principles.



Different configurations of private open space for upper units.



Multi-dwelling development with private open space large enough for personalization and seating.

Compatibility

Concept

New housing should be compatible with its surrounding context while introducing new shape, size and detail variation, enabling different housing styles and types to sit side-by-side harmoniously.

Applicability

- » For the following housing types: All housing types
- » For infill and new subdivisions
- » In the following zones: [to be determined]

Principle 8 - Human Scale Design.

Buildings include design elements that promote inclusion and interaction with the right-of-way and public spaces, including, but not limited to, building orientation towards the street or a public space and placement of vehicle-oriented uses in less prominent locations.

Principle 12 - Housing Variety.

Neighborhoods shall have several different housing types.

Similar housing types, when immediately adjacent to one another, shall provide variety in building form and design.



These homes have similar rooflines and porch elements, but they vary – one is gabled and one is hipped with a dormer making them distinct from one another.

Compatibility

Fundamental Requirements: Siting

Projects must meet all of the following requirements:

- ☐ Single dwellings, duplexes, triplexes, quadplexes, tiny houses, and dwellings within cottage clusters that are of the same or very similar design must be separated by at least two lots and may not be directly across from one another. Similar design consists of exterior elevations that utilize the same or similar rooflines, projections, garage doors, paint colors, building materials, window sizes and orientation.
- ☐ On a site with multiple buildings of varying scales (or that vary from the surrounding context), provide a gradual transition between scales. For example, locate dwellings that are similar in scale and density along the street frontage and transition to lower scale and density buildings toward the rear of the site. Use rear driveways and landscaping as a buffer backing up to adjacent properties if of a different scale.
- ☐ Arrange building volumes and setbacks in a way that reflects neighborhood patterns along street frontages and contributes to the desired character.
- ☐ Arrange courtyard apartments so that end units reflect a neighborhood context of detached units along the street frontage.



Variation in color, roof form, and porch configurations have a dynamic quality while consistent setbacks provide continuity.



Cookie-cutter homes with minimal change in form, window openings, or color do not meet the standard for variation.

Compatibility

Menu of Options: Massing

Projects must meet at least three options:

- ☐ Use roof forms and bays to break up the overall mass of larger dwellings and reflect the building forms and scale of single dwellings.
- ☐ Pair units under a single roof form and distinct building volume to provide massing reflective of detached dwellings.
- ☐ Walls incorporate vertical wall offsets, projections, or recesses to reduce building façades into smaller volumes and define visually distinct living unit modules.
- ☐ Step back upper floors so that first two stories frame the street and relate to the human scale and reduce visual impact of the third and higher floor.
- ☐ Mark a distinct physical transition between the base and upper floors of a building through a change in brick pattern, change in materials and/or wall surface pattern, articulation of a floor line, or change in window types.
- ☐ Use horizontal elements the entire width of the front façade to mark break between floors or along roofline including band course, band molding, bellyband, or belt course.
- ☐ Use a variation in roof forms on all four elevations of a structure to visually break up monotony including pitched or sloping roof elements, variations in pitch and height of roof planes, dormers, eaves, gable or dormer end brackets, corbels, or decorative wood timbers.
- ☐ Limit continuous ridgelines to less than 40 feet in length and continuous eaves to 25 feet in length.
- ☐ Step down taller buildings next to smaller buildings to enable buildings of larger scale but similar proportions to blend in with surroundings



The use of roof forms and changes in materials and colors that reflect units of living decreases the perception of the massing and scale of this apartment building.



Changes in roof form or the incorporation of smaller scaled elements would improve the compatibility of the larger building adjacent to the bungalow.

Compatibility

Menu of Options: Human-Scale Detail

Smaller scale functional or decorative elements break up visual monotony and provide human-scaled details that provide interest and help define different building styles. Additionally, these repeating elements relate to the scale and context of surrounding existing dwellings, easing transitions.

Front and public-facing building facades must meet all of the following requirements:

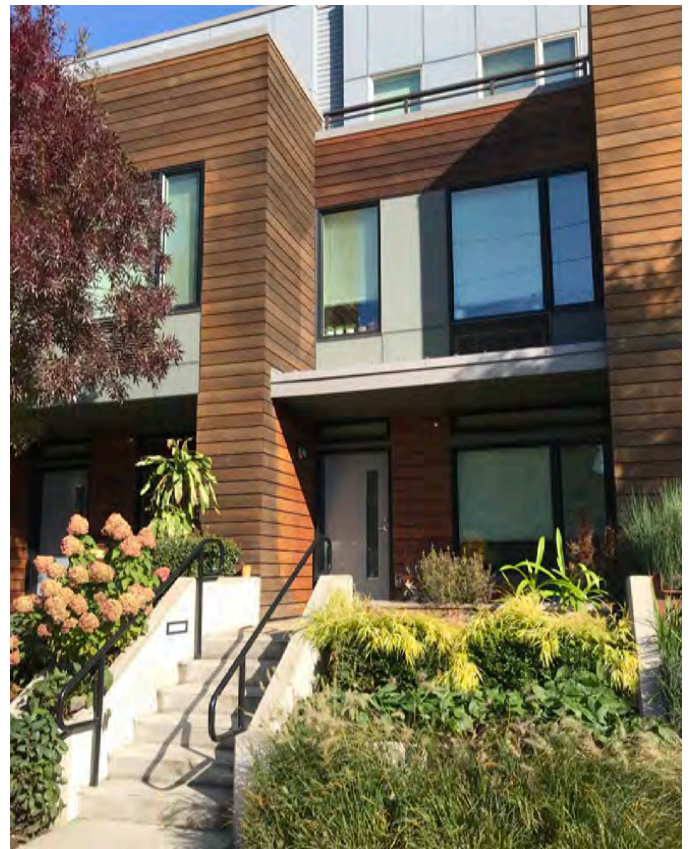
- ☐ Facades shall provide vertical offsets, projections, or recesses to break up the building façade. Vertical projections may encroach into exterior side yard setbacks by up to 20 percent of the required setback distance.
- ☐ Elevations shall include horizontal elements the width of the façade. The horizontal elements shall mark the break between floors or be located along rooflines, and may include fascia, band course, band molding, bellyband, or belt course.
- ☐ A minimum of two types of building materials shall be used on the front elevations.
- ☐ Trim with a minimum size of 3 inches on all windows.

In addition, front and public-facing building facades must provide at least four of the following options:

- ☐ Windows
- ☐ Gables
- ☐ Dormers
- ☐ Architectural bays
- ☐ Awnings made of fabric, metal or wood-framed
- ☐ Change in wall planes
- ☐ Ground floor wall lights/sconces
- ☐ Transom windows
- ☐ Balconies or decks
- ☐ Columns or pilasters – not decorative

Principle 8 - Human Scale Design.

Buildings include design elements that promote inclusion and interaction with the right-of-way and public spaces, including, but not limited to, building orientation towards the street or a public space and placement of vehicle-oriented uses in less prominent locations.



Bays create upper-level decks and provide recesses for entries while differentiating units from one another.

Subdivisions

Modular Block Layouts

Applicability

- » For the following housing types: All housing types
- » For infill and new subdivisions
- » In the following zones: [to be determined]

Modular lot width

An intermix of housing types is possible if blocks are platted with a lot width module that can be aggregated. If lots are increments of 25 to 30 feet wide, and can be aggregated into lots that are 50 or 60 feet wide (or 75 or 90 feet wide), a wide variety of dwelling types can occupy the same block.

For example, narrow lot dwellings such as townhouses or tiny houses on 25-foot lots may sit next to larger lot dwellings such as courtyard apartments or cottage clusters on a 50 or 75-foot lot.

In a new subdivision, the greatest flexibility for lot variety is provided by having an alley serve as parking and driveway to each lot (see Figure “Block with Alley”).

When parking is accessed via a driveway from the front of the lot, the lot width is governed by frontage requirements of Universal Design Standards – Street Frontage, and the minimum lot width will be 40 feet (see Figure “Block without Alley”).

Block lengths

Most housing types can be accommodated on blocks that are 200 to 220 feet deep and 200 to 350 feet wide, with an alley easement or dedicated right of way.

In an infill setting, narrow lot housing types may be “infilled” between more conventional larger-lot detached homes. The intermixing of lot widths ensures that affordable compact housing types can sit side-by-side with detached single dwellings. Cottage clusters and smaller-scale apartments, such as garden apartments or walk-up apartments, can be intermixed on 2-3 lots that have been aggregated. Such apartments buildings need to be sized and designed to fit into the neighborhood context.

Principle 4 - Pedestrian Friendly.

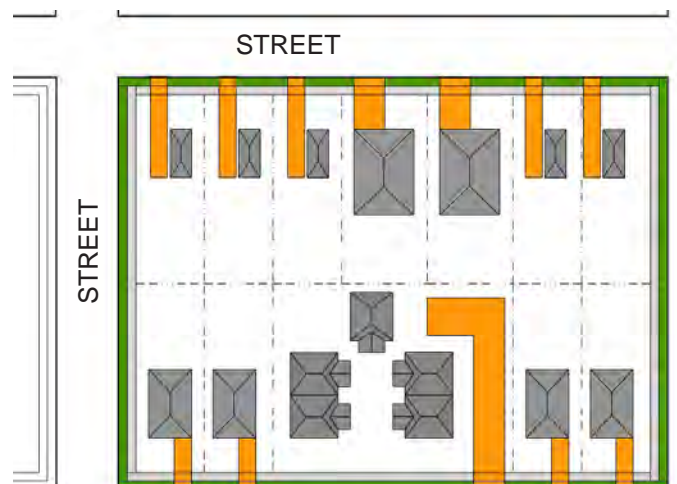
Neighborhoods shall include a pedestrian network that provides for a safe and enjoyable pedestrian experience, and that encourages walking for a variety of reasons including, but not limited to, health, transportation, recreation, and social interaction.

Principle 12 - Housing Variety.

Neighborhoods shall have several different housing types.



Block layout showing parking accessed from an alley.



Block layout showing parking accessed from the front, spaced appropriately to accommodate street frontage requirement.

Subdivisions

Partial alley at the end of a block

Applicability

- » Optional for the following housing types: All housing types
- » Optional for infill and new subdivisions

Partial alley

A partial alley is where an alley is used to provide access to parking at the rear of lots, in lieu of driveways located at the front of the lot (see Figure, Partial Alley Block).

Turnarounds are not required for partial alleys.

Option 1: The total number of lots and units served by a partial alley shall be [six lots], but no more than [six units].

Option 2: The total number of lots and units served by a partial alley, if more than [six lots] or [six units], shall be approved by the Fire Marshal.

Principle 4 - Pedestrian Friendly.

Neighborhoods shall include a pedestrian network that provides for a safe and enjoyable pedestrian experience, and that encourages walking for a variety of reasons including, but not limited to, health, transportation, recreation, and social interaction.

Principle 11 - Housing for Diverse Incomes and Generations.

A range of housing forms and types shall be provided and integrated into neighborhoods to provide for housing choice at different income levels and for different generations.

Principle 12 - Housing Variety.

Neighborhoods shall have several different housing types.



Hybrid infill block layout with partial alley at one end of a block and front-loaded parking for the remainder.

Subdivisions

Usable Side Yard Setback

Applicability

- » Optional for the following housing types: Tiny houses, plexes, single dwellings
- » Optional for infill and new subdivisions

Usable side yard setback

A narrow side setback development is where dwelling units sharing street frontage are shifted to one side of their lot, to within 3 feet of the property line. This provides for greater usable yard space on each lot. These developments require that the planning for all of the house locations be done at the same time, and the setbacks and exact location of each unit is recorded on the deeds of the applicable lots. Proof of such recording must be submitted as part of the building permit application.

Building setbacks. The side yard setback on one side of the house may be reduced to 3 feet. This reduction does not apply to the side yard setback adjacent to a street, or to the side yard setback adjacent to lots that are not part of the usable side yard setback project.

Distance between houses

- » Infill lots: The minimum distance between all buildings in the development must be equal to twice the required side building setback standard of the underlying zone.
- » Tiny houses in new subdivisions: The minimum distance between all buildings may be the minimum distance required by the building official.

All other development standards that apply to the housing type must be met, (e.g., distance between driveways).

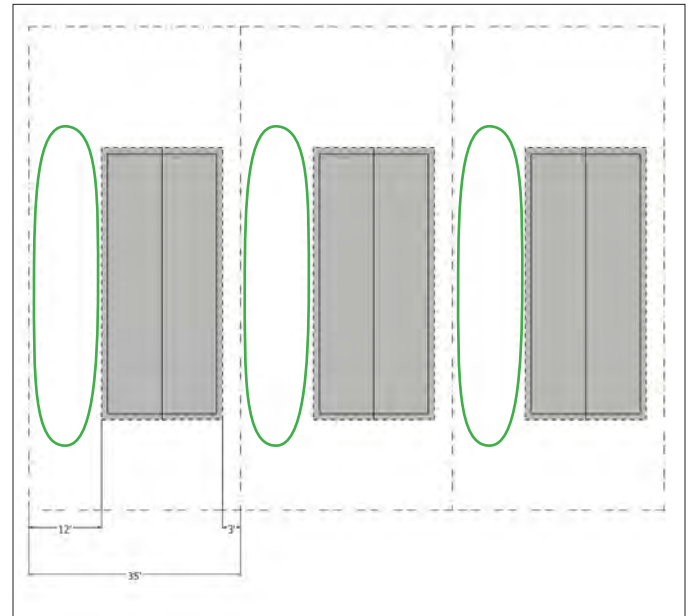
A deed restriction must be recorded on the deed of each applicable lot to ensure the continued fulfillment of this setback.

Eaves

Eaves on the side of a house with a reduced setback are not permitted within the 3 foot setback distance, due to building code requirements.

Privacy

Consider the privacy of neighboring properties by designing homes with higher windows on the narrow setback side.



Usable side yard setbacks provide more space for each home.



Usable side yard setback homes provide enough space for side yard patios. Adjacent homes were designed with high windows on the narrow setback side for added privacy.

Subdivisions

Common Greens

Applicability

- » Optional for all housing types
- » Optional for infill and new subdivisions
- » In the following zones: {to be determined}

Corner common green

A corner common green has frontage on more than one intersecting street, if the green is located at the corner of the intersecting streets (see Figure, Corner Common Green).

Standards for all common greens

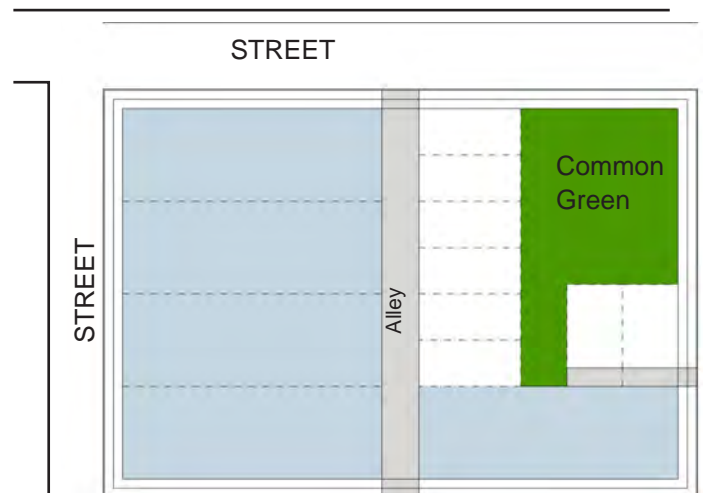
- » Common Greens must include at least 400 square feet of grassy area, play area, or dedicated gardening space, which must be at least 15 feet wide at its narrowest dimension.
- » Turnarounds are not required for common greens.
- » Common green must be sized to accommodate expected users and uses, and take into consideration the characteristics of the site and vicinity, such as the pedestrian system, structures, natural features, and the community activities that may occur within the common green.
- » Generally, common greens should be dead-end streets. However, common greens may be through streets if a public pedestrian connection is provided directly abutting the common green, or in close proximity.
- » Where a dwelling unit faces the common green, it must meet the requirements for Front Yards.

Principle 3 - Parks and Open Spaces.

Parks, trails, and open spaces shall be provided at a size and scale that is variable based on the size of the proposed development and the number of dwelling units.



This common green preserved heritage trees and gives residents a shared open space.



Corner common green allows for a flexible lot configurations.