



City of McMinnville
Planning Department
 231 NE Fifth Street
 McMinnville, OR 97128
 (503) 434-7311

www.mcminnvilleoregon.gov

Historic Landmarks Committee
ZOOM Online Meeting
June 24, 2021 3:00 PM

*Please note that this meeting will be conducted
 Via Zoom meeting software due to the COVID-19 event.*

ZOOM Meeting: You may join online via the following link:

<https://mcminnvilleoregon.zoom.us/j/95962935289?pwd=WUVMUW11a3hsK2Y0SGlvTkEwVVdmZz09>

Zoom Meeting ID: 959 6293 5289
Zoom Meeting Password: 616280

Or you can call in and listen via Zoom: 1-669-900-9128

Committee Members	Agenda Items
John Mead, Chair	1. Call to Order
Mark Cooley, Vice-Chair	2. Citizen Comments
Mary Beth Branch	3. Approval of Minutes A. November 18, 2020 Meeting Minutes (Exhibit 1)
Joan Drabkin	4. Action Items A. DDR 1-21: Downtown Design Review for New Construction (Exhibit 2) 631 NE 1 st Street
Hadleigh Heller	5. Discussion Items A. Presentation from Northwest Vernacular Historic Preservation on Goal 5 Historic Resources Survey Work in New UGB Areas (Exhibit 3)
Christopher Knapp	6. Committee Member Comments
	7. Staff Comments
	8. Adjournment

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

*Please note that these documents are also on the City's website, www.mcminnvilleoregon.gov. You may also request a copy from the Planning Department.



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EXHIBIT 1 - MINUTES

November 18, 2020
Historic Landmarks Committee
Regular Meeting

3:00 pm
Zoom Meeting
McMinnville, Oregon

Members Present: Mary Beth Branch, Mark Cooley, Joan Drabkin, John Mead, and Hadleigh Heller – Youth Liaison

Members Absent: Christopher Knapp

Staff Present: Chuck Darnell – Senior Planner

Others Present: Jeb Bladine and Dave Rucklos

1. Call to Order

Chair Branch called the meeting to order at 3:04 p.m.

New Youth Liaison Hadleigh Heller introduced herself. The Committee members introduced themselves as well.

2. Citizen Comments

Jeb Bladine, McMinnville resident, discussed the history of the News Register buildings and how they hired consultants to look at renovating one of them. They were told it would be a financial hardship to bring the building up to code. They were getting an estimate from the consultant, but he wondered what level of proof was needed to demo and reconstruct a historic building. He also asked how the Building Code and City's local regulations came into play in this situation.

Committee Member Drabkin asked how old the building was.

Mr. Bladine said it was from 1904.

Chair Branch directed him to staff to discuss the situation and possible application.

3. Discussion Items

A. Continued Review of Downtown Design Standards Chapter

Senior Planner Darnell introduced Dave Rucklos, Executive Director of McMinnville Downtown Association, who would participate in this discussion as a partner in the downtown area.

Mr. Rucklos said MDA had put together a Design Committee and they had been meeting monthly for the last six months. Most of the items they discussed had to do with the Urban Renewal Façade Improvement Grants. So far there had been 18 of these projects that had been approved. They were also working on creating an email list of property owners in the downtown core. They wanted to be a conduit between the City and property owners on projects. The Design Committee could provide input on the downtown design standards. They were also interested in digitizing the standards so they were easily accessible on the web as well as pictures and color pallets. He suggested this be done once the standards were updated.

Chair Branch planned to attend the next Design Committee meeting to discuss the standards.

Senior Planner Darnell said the downtown design standards applied to Third Street and overlapped with the historic preservation code. Over the past few years there had been some difficulties with the standards. They were adopted in 2003 and were somewhat outdated. At the last discussion on the standards, the Committee had asked for maps identifying boundaries they worked within including the downtown design area and downtown historic district. There were several other downtown overlays as well. He explained the maps of these areas. The Committee had reviewed the first few sections of the downtown design chapter. They discussed comparing the purpose statement with other community's purpose statements and Oregon Main Street organization's purpose statement. In the Applicability section, they discussed having a boundary map for clarification and adding alterations to signs as an applicable activity subject to the standards as well as standards for public improvements to be coordinated with these standards. They also discussed items that were not regulated and comparing them with the definition of alteration and how it applied to historic preservation. There was concern about using "similar to" in the language as it was hard to interpret and apply and there were questions about the section where the Director reviewed certain activities. For the Review Process, the Committee discussed defining the scope of different levels of projects and coming up with different requirements for the application submittal. They also discussed different levels of review for different types of applications. This was an attempt to make the process more user-friendly. They also talked about pre-approving certain items such as colors or standards that if followed could be a staff over-the-counter review instead of coming to the Committee. They discussed the definition of alteration as well and when it should be a decision of the Director and when it should come to the HLC. Notice should be provided to the Committee when alterations were reviewed and approved by staff. He had also provided example standards from other communities.

Chair Branch suggested that the downtown design boundary was too large. She thought it could be changed to primary and secondary zones. This was especially important for items such as building height.

Committee Member Mead thought having two zones would be appropriate.

Committee Member Cooley asked about the maximum height for the C-3 zone.

Senior Planner Darnell said it was 80 feet.

Chair Branch had concerns about that height in the downtown core, especially on Third Street.

The Committee then reviewed the Building and Site Design Standards.

Chair Branch did not have an issue with the building setbacks, although it might be different on 2nd and 4th. She also thought they needed to allow outdoor space as part of the design. Regarding building design, she questioned the language about building massing and configuration “similar to adjacent or nearby historic buildings on the same block”. If those buildings were not well done or attractive, they might not want it to be similar to that. She thought it could be more general to say “similar to historic buildings in the district” instead. She also questioned whether they wanted two-story buildings on street corners or intersections. She thought there should be a height restriction in the Third Street core.

Committee Member Mead thought they could survey the tallest buildings in the district to see what was existing and use that as a starting point for the height discussions.

Committee Member Drabkin did not want the difference in height to be so substantial that it impacted the look and feel of the downtown core.

Chair Branch thought how it looked as people approached the district in their vehicles was important to consider in terms of scale. The scale and massing needed to be appropriate to the district.

Committee Member Mead agreed the decision for the height on the areas outside of the historic core needed to relate to the downtown in a sensible way.

Committee Member Cooley thought they needed more information about height and how it related to use planning and economic feasibility.

Chair Branch suggested they survey the widths of the buildings to make sure that the numbers in the standards were still valid. Regarding the bays, she thought the language should be that the bays be “similar in scale to the district” not other adjacent historic buildings.

Senior Planner Darnell agreed the language could be clearer and they could include images that would help with clarity as well.

Committee Member Mead suggested adding illustrations for storefronts that depicted all of the requirements.

Chair Branch thought there should be more discussion about the materials, such as for the belt course and transitions from the first floor to the second floor.

Senior Planner Darnell thought there could be further clarification regarding the bulkhead as well.

Chair Branch suggested a definitions page as well as pictures that would be examples, and good and bad examples of the items. She thought the orientation of rooflines language made sense as well as the primary entrance and windows language.

Senior Planner Darnell asked about the specificity of the recessed doors and windows. Staff could look into options for that language.

Committee Member Mead thought the “scale and proportion of altered or added building elements shall be visually compatible” was difficult to enforce. It needed to be more clearly defined.

Chair Branch thought they needed to reword the language, "Buildings shall provide a foundation or base, typically form ground floor to the lower windowsills." She suggested a subcommittee work on examples of the building design items and determine if anything was missing.

Chair Branch and Committee Member Mead volunteered to be on the subcommittee to review all of these standards and bring back recommendations.

Chair Branch thought there needed to be different categories for Building Materials, such as windows, trim, siding, etc. Photos should be included as well. They needed to review current day building materials that were available and evaluate which ones would be allowed and which ones would not. They also needed to look at what other cities, the National Park Service, and SHPO were doing.

Committee Member Mead said regarding colors, he thought black should be allowed on the façade of the building, especially for trim.

Chair Branch thought the section on colors needed more detail and more categories as well, such as awnings, trim, doors, etc. but there should not be black brick. She liked the idea of a pre-approved color pallet. She suggested creating a list of pre-approved colors that staff could approve or it could be approved by the Committee via email with a week turnaround time instead of a formal review that could take two months.

Committee Member Cooley suggested using a pantone pallet.

Committee Member Mead suggested having five different pallets of body color, trim color, accent color, and door color that were pre-approved and could be a staff approval.

Chair Branch agreed that for applications that were only a painting project, they needed to streamline the process to save the applicant time and money.

Committee Member Cooley suggested changing the language to say if they were using a pre-approved pallet it would be considered a maintenance activity and did not need HRB approval.

Senior Planner Darnell said for Surface Parking Lots, the language "prohibited from locating on Third Street" needed to be clarified.

There was discussion regarding how to change the language and to what specificity.

Committee Member Cooley suggested defining it in terms of separation, that the parking lot must be separated from Third Street by one of the following, and then list the items.

Chair Branch thought for a hedge or wall, it should be stated the minimum was 30 inches in height. She thought it might be better to have the minimum be taller than that. She did not think they needed to specify the buffer strip size. The height was the most important. The language about street trees and spacing should also be removed.

Committee Member Cooley said they wanted a maximum spacing, not a minimum.

Committee Member Mead said for the section on Awnings, he thought black awnings should be allowed especially since several businesses currently had black awnings. He also did not think they should prohibit metal as an awning material.

Chair Branch thought the materials should be updated to make sure they were intended for outdoor use.

There was discussion regarding what “internal illumination of awnings” meant. Chair Branch thought the language should be changed to “prohibit up lighting of the awning from below”.

Senior Planner Darnell said for the section on Signs, there were a number of sign types listed that were not defined in the City’s Sign Code. He also thought the language stating “sign materials shall be compatible with materials used in the building” should be clarified.

Chair Branch said for the language stating “where two or more businesses occupy the same building”, it should say “occupy the same entrance” instead. She also suggested clarifying “Wall signs shall not exceed the height of the building cornice.”

Senior Planner Darnell said monument signs were not listed and should be added.

Chair Branch thought they should take out “historically incompatible canopies and awnings” as part of the prohibited list. She thought they needed to address folding signs, such as sandwich board signs, that people put on the sidewalk.

4. Committee Comments

None

5. Staff Comments

None

6. Adjournment

Chair Branch adjourned the meeting at 5:18 p.m.



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EXHIBIT 2 - STAFF REPORT

DATE: June 24, 2021
TO: Historic Landmark Committee Members
FROM: Chuck Darnell, Senior Planner
SUBJECT: DDR 1-21 (Downtown Design Review for New Construction) – 631 NE 1st Street

STRATEGIC PRIORITY & GOAL:



GROWTH & DEVELOPMENT CHARACTER

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

OBJECTIVE/S: Define the unique character through a community process that articulates our core principles

Report in Brief:

This is a quasi-judicial review of a Downtown Design Review land-use application for a proposed new building on the property at 631 NE 1st Street (Tax Lot 11300, Section 21BC, T. 4 S., R. 4 W., W.M). All new construction in the Downtown Design Overlay District needs to be reviewed and receive approval for how their design complies with McMinnville's downtown design review standards. Per the McMinnville Municipal Code (MMC), the McMinnville Historic Landmarks Committee serves as the decision-making body for the design review of all new construction. The applicant, Amy & Silas Halloran-Steiner, is requesting the approval of the exterior design of the proposed new building, including a request for an exception to the typical zero foot setback requirement to allow for a plaza/courtyard area in front of the building.

The Downtown Design Review request is subject to the review process described in Section 17.59.030(C) of the MMC. The Historic Landmarks Committee will make a final decision on the application, subject to appeal as described in Section 17.59.030(E) of the MMC.

Background:

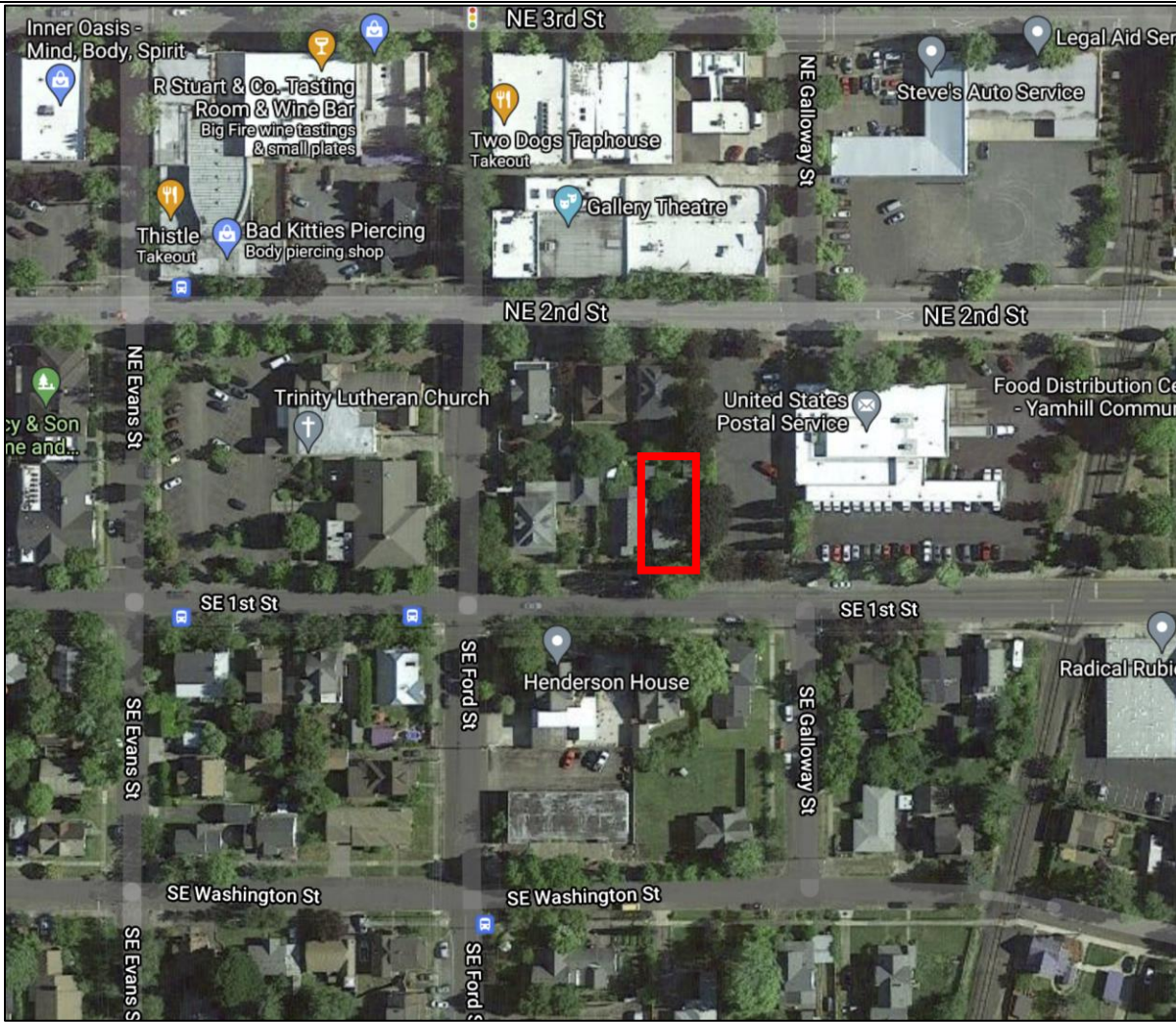
The subject property is located at 631 NE 1st Street. The property is identified as Tax Lot 11300, Section 21BC, T. 4 S., R. 4 W., W.M. **See Vicinity Map (Figure 1) below.**

Figure 1. Vicinity Map (Property Lines Approximate)

Attachments:

Attachment A: Decision, Conditions, Findings of Fact and Conclusionary Findings for the Approval of DDR 5-19

Attachment B: DDR 5-19 Application Materials



The property is currently vacant. A historic resource (resource number D878) previously existed on the property, but was approved to be demolished as reviewed under docket number HL 1-18. The historic resource was demolished in 2018. A proposal for a new building was reviewed and approved in 2018 as well, which was approved under docket number DDR 7-18. However, the construction of the previously proposed building never moved forward. The property has since changed ownership, and the current owners are requesting Downtown Design Review for a different new building on the subject property.

The applicant provided an overview of their proposal and project in the application narrative, which is as follows:

“The project is a new 2700 square foot mixed use office building with two (2) upper story dwellings above the office space. The building will be stucco exterior finish with a flat roof system with a roof deck on top of the building, and partial roof deck on the third level. The lot is zoned C-3.”

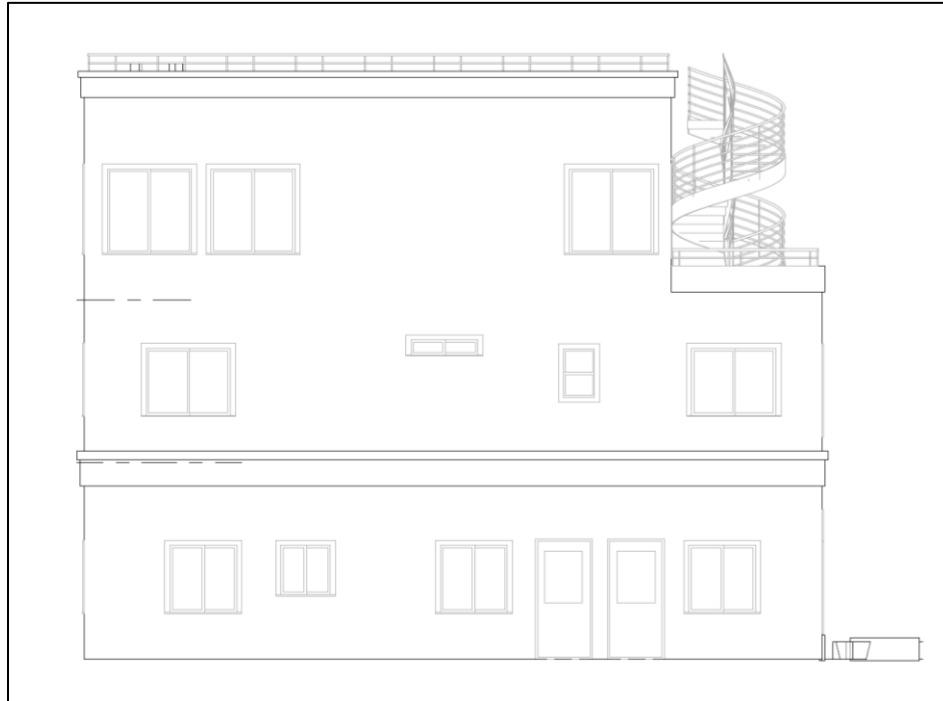
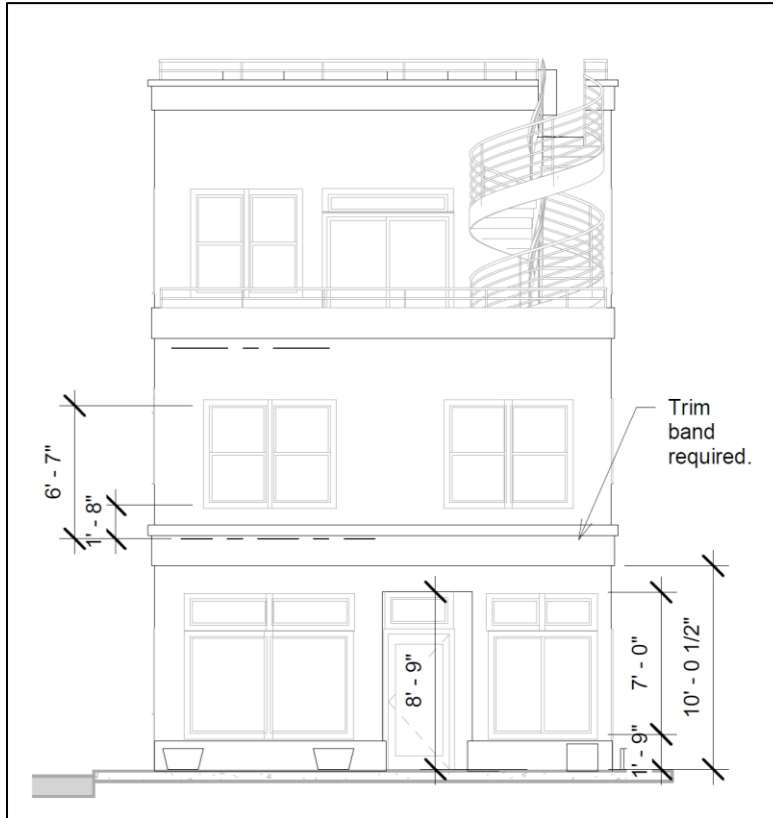
Elevations and renderings of the proposed new building are provided below. Full elevations and additional renderings are provided in the application materials (Attachment 1). **See South and West Facing Elevations (Figure 2) and Building Rendering (Figure 3) below.**

Attachments:

Attachment A: Decision, Conditions, Findings of Fact and Conclusionary Findings for the Approval of DDR 1-21

Attachment B: DDR 1-21 Application Materials

Figure 2. South and West Facing Elevations



Attachments:

Attachment A: Decision, Conditions, Findings of Fact and Conclusionary Findings for the Approval of DDR 1-21

Attachment B: DDR 1-21 Application Materials

Figure 3. Building Rendering**Discussion:**

Decisions and/or recommendations for approval of the land use application is dependent upon whether or not the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code. The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

The specific review criteria for Downtown Design Review for New Construction in Section 17.59.040 of the MMC require the proposal to be consistent with the applicable Downtown Design Standards and Guidelines in Chapter 17.59 of the MMC, as well as the following review criteria:

1. The City's historic preservation policies set forth in the Comprehensive Plan;
2. If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2);

In addition, any request for a waiver from a Downtown Design Standard is subject to the specific review criteria in Section 17.59.040(A)(3) of the MMC as follows:

Attachments:

Attachment A: Decision, Conditions, Findings of Fact and Conclusionary Findings for the Approval of DDR 1-21

Attachment B: DDR 1-21 Application Materials

- a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;
- b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and
- c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

Summary of Applicant Findings

The applicant has provided a written narrative and findings to support their requests. The narrative and findings are provided in the application materials, and are also reiterated and expanded upon in the Decision Documents for each land use application. The Decision Documents include the specific findings of fact for each of the applicable review criteria, but an overview of the findings in those Decision Documents is provided below.

Overall, staff concurs with most of the applicant's narrative and findings. Staff believes that much of the project design does meet the applicable Downtown Design Standards. The building is proposed to include a small setback to allow for a plaza space on the front of the building, which is allowed as an exception within the code and will be discussed in more detail below. The building includes a recessed primary entry on the front façade, all of the storefront façade features (glazing, belt course, decorative cap at roofline, etc.) required for the front elevation, and is proposed to be finished with smooth stucco which is an allowable exterior building material. Some of the architectural features, including the belt course (horizontal trim band between the first and second stories) and the decorative cornice/cap feature are proposed to extend along all four building elevations which provides for more visual interest in those side and rear façades.

There is no awning proposed for the building, so those standards are not applicable. Signage is also not proposed at this time. However, any future building signage will be reviewed against the applicable Downtown Design Standards during the sign permit review process.

Some minor clarifications and amendments to some design components are suggested by staff as conditions of approval where necessary to achieve the Downtown Design Standards, which will also be discussed in more detail below.

Analysis of Review Criteria/Design Standards

One of the few areas where the proposal deviates from the typical Downtown Design Standards is on the front building setback, which is typically required to be zero feet from the property line. However, MMC Section 17.59.050(A)(2) specifically allows the following: "Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways." The applicant has identified a plaza space on their site plan in the front of the building, between the building wall and the adjacent sidewalk along 1st Street. The applicant also provided reasoning for this plaza to help with some aspects of site design and functionality, given that the property in question is a somewhat small lot (about 4,000 square feet). This reasoning was provided partly in the form of findings for the plaza and slight setback as a waiver from the typical zero setback requirement. However, the setback is the only Downtown Design Standard that is listed in the code as being able to be provided as an exception (see Section 17.59.050(A)(2) language above), so a waiver is not specifically required. Staff believes that the setback exception could be granted in this case to allow for this plaza space to exist, given the applicant's reasoning and the unique characteristics of the lot. Some of those unique characteristics

Attachments:

Attachment A: Decision, Conditions, Findings of Fact and Conclusionary Findings for the Approval of DDR 1-21

Attachment B: DDR 1-21 Application Materials

include that the lot is small in size, and the lot is surrounded by other existing development that does not have zero foot setbacks.

A couple of other Downtown Design Standards that are unique in this proposal are the standard in MMC Section 17.59.050(B)(1) related to buildings having “massing and configuration similar to adjacent or nearby historic buildings on the same block”, and also the standard in MMC Section 17.59.050(B)(4) related to the orientation of rooflines of new construction being “similar to those of adjacent buildings”. MMC Section 17.59.050(B)(4) goes on to state that “Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.”. The applicant has proposed a building design that is intended to meet all of the applicable Downtown Design Standards. In doing so, the applicant notes that the visual appearance is not similar to adjacent nearby historic buildings on the same block. Staff would concur with this, and would note that the Downtown Design Standards are not written in such a way as to encourage a typical residential building form, but more of a commercial storefront type of building form. That being said, staff believes that the proposed “massing and configuration” of the proposed building can be found to be similar to adjacent and nearby historic buildings on the same block. These adjacent historic buildings are larger scale single family dwellings, most being 2.5 stories in height and of a larger building footprint. The proposed new building has a similar building footprint and configuration of placement on the lot, and the massing and building height overall is not substantially different from these larger adjacent historic residential homes, even though the new building will be different in visual appearance and style. In regards to the roofline orientation, the applicant has proposed a flat roofline and referenced the fact that the adjacent post office building has a flat roofline. In addition, the standard for roofline orientation specifically discourages gable or other residential roof forms. For these reasons, staff believes this roofline orientation standard is also being achieved.

One other component of the proposed building design that is not specifically referenced in the decision document is the balcony and rooftop deck, and exterior staircase providing access to the rooftop deck. These features are included on the building design, with the balcony on the third story in the area where the building wall steps back. On the balcony is an exterior staircase providing access to the proposed rooftop deck. Staff does not believe that there are any specific Downtown Design Standards that prohibit these types of features from being included on the building. Staff actually believes that they are beneficial features to have included in the mixed-use building design as they provide for some more usable open spaces for the future residents of the two dwelling units on the lot that is somewhat small and lacks other forms of usable open space after lot area is utilized for vehicle parking spaces and drive aisles. The primary components of these features that will be visible will be the railings along the balcony and rooftop deck and the staircase, but staff believes they are well incorporated into the building design by using the same coloring as the windows and building trim.

Suggested Conditions of Approval

Staff is suggesting some conditions of approval to ensure that all of the applicable Downtown Design Standards are being achieved by the proposal. The first condition of approval is related to the future building permit submittal process, and ensuring that the construction plans eventually submitted for building permit review are consistent with the plans submitted for Downtown Design Review.

The second condition of approval is related to the proposed plaza space, and requires that the plaza be a different material or finish (such as concrete scoring) to provide a visual identification of the space as a plaza and provide differentiation between the drive aisle and public sidewalk that will be immediately adjacent to the plaza space.

Attachments:

Attachment A: Decision, Conditions, Findings of Fact and Conclusionary Findings for the Approval of DDR 1-21

Attachment B: DDR 1-21 Application Materials

The third condition of approval is related to the windows and ensuring that they are all recessed. The applicant had described the windows as all being recessed, but some of the floor plans showed some windows being set flush to the outer building wall. The proposed condition of approval requires that all of the windows be set flush to the interior building wall so that the windows retain the appearance of being recessed from the exterior.

Finally, the applicant did provide renderings that identify the colors of the building and described in their narrative that the colors applied to the building would be subtle, neutral, or earth tone. The colors shown in the rendering consist of shades of grey, which are generally all subtle, neutral, and earth tones. To ensure that the final colors applied to the building are subtle, neutral, and earth tone in color, a condition of approval is included to require that the applicant provide samples or examples of the exterior building colors to the Planning Department for review and approval by the Planning Director prior to application on the building.

Commission Options:

- 1) Close the public meeting and **APPROVE** the application, per the decision document provided which includes the findings of fact.
- 2) **CONTINUE** the public meeting to a specific date and time.
- 3) Close the public meeting and **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation:

Based on the information and plans provided, staff believes that most of the Downtown Design Standards are being achieved by the proposed building design, and that the suggested conditions of approval would allow for the proposed design to achieve those standards that were not explicitly satisfied in the application materials.

Staff is recommending approval of the application, subject to the following suggested conditions of approval:

1. That the applicant shall submit building permit applications prior to completing any work. The construction plans submitted with the building permit applications will be reviewed by the Planning Director for consistency with the written narrative, exhibits, drawings, and renderings submitted for review by the Historic Landmarks Committee, along with any revisions to respond to other conditions of approval.
2. That the plaza space be of a different material or finish (concrete scoring, etc.) to provide visual identification of the plaza space and differentiation between the plaza and the adjacent sidewalk and drive aisle spaces.
3. That on the building permit construction plans submitted for the proposed building, all windows on the building shall be set flush to the inside face of the building so that they are recessed and not flush against the surface of the outer wall.
4. That the applicant shall provide samples or examples of the exterior building colors to the Planning Department for review and approval by the Planning Director prior to application on the building.

Attachments:

Attachment A: Decision, Conditions, Findings of Fact and Conclusionary Findings for the Approval of DDR 1-21

Attachment B: DDR 1-21 Application Materials

MOTION FOR DDR 1-21:

BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVES DDR 1-21, SUBJECT TO THE CONDITIONS OF APPROVAL PROVIDED IN THE DECISION DOCUMENT.

CD

Attachments:

Attachment A: Decision, Conditions, Findings of Fact and Conclusionary Findings for the Approval of DDR 1-21

Attachment B: DDR 1-21 Application Materials



DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR THE APPROVAL OF A NEW BUILDING AT 631 NE 1ST STREET WITHIN THE DOWNTOWN DESIGN AREA

- DOCKET:** DDR 1-21 (Downtown Design Review for New Construction)
- REQUEST:** Approval of a Downtown Design Review application to allow for the construction of a new building at 631 NE 1st Street on a parcel that is currently vacant. The proposed work includes construction of the new building, parking areas, and drive aisles. The proposal includes a request for an exception to the typical front setback requirement to allow for a plaza/courtyard area in front of the building.
- LOCATION:** 631 NE 1st Street. The property is identified as Tax Lot 11300, Section 21BC, T. 4 S., R. 4 W., W.M.
- ZONING:** C-3 (General Commercial)
- APPLICANT:** Amy & Silas Halloran-Steiner (property owners)
- STAFF:** Chuck Darnell, Senior Planner
- DATE DEEMED COMPLETE:** June 1, 2021
- DECISION-MAKING BODY & ACTION:** McMinnville Historic Landmarks Committee
- MEETING DATE & LOCATION:** June 24, 2021, Zoom Online Meeting ID 959 6293 5289
- PROCEDURE:** An application for a Downtown Design Review is processed in accordance with the procedures in Section 17.59.030(A) of the McMinnville Municipal Code.
- CRITERIA:** The applicable criteria for a Downtown Design Review are specified in Section 17.59.040 of the McMinnville Municipal Code. In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated, but are to be undertaken in relation to all applicable land use requests.
- APPEAL:** As specified in Section 17.59.030(E) of the McMinnville Municipal Code, the Historic Landmarks Committee's decision may be appealed to the Planning Commission within fifteen (15) days of the date written notice of decision is mailed. The City's final decision is subject to a 120 day processing timeline, including resolution of any local appeal.

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Fire Department, Police Department, Engineering Department, Building Department, Parks Department, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County Public Works; Yamhill County Planning Department; Frontier Communications; Comcast; and Northwest Natural Gas. Their comments are provided in this document.

RECOMMENDATION

Based on the findings and conclusionary findings, the Historic Landmarks Committee finds the applicable criteria are satisfied with conditions and **APPROVES** the exterior design of the proposed new building at 631 NE 1st Street (DDR 1-21).

////////////////////
DECISION: APPROVAL WITH CONDITIONS
////////////////////////////////////

Historic Landmarks Committee: _____ Date: _____
John Mead, Chair

Planning Department: _____ Date: _____
Heather Richards, Planning Director

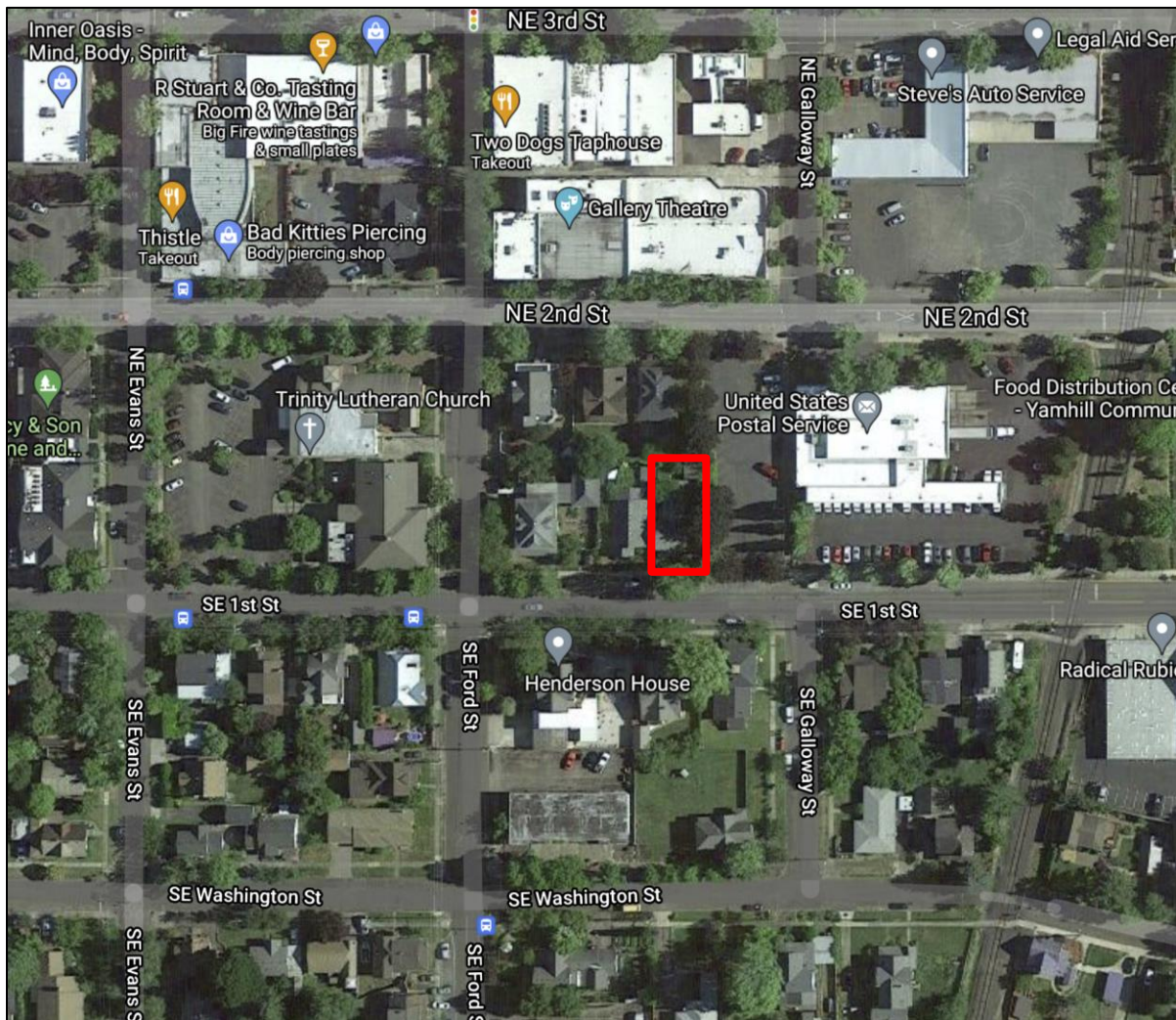
I. APPLICATION SUMMARY:

The applicant has provided information in their application narrative and findings (attached as Attachment 1) regarding the request under consideration. Staff has found the information provided to accurately reflect the current land use request, and excerpted portions are provided below to give context to the request, in addition to staff’s comments.

Subject Property & Request

The subject property is located at 631 NE 1st Street. The property is identified as Tax Lot 11300, Section 21BC, T. 4 S., R. 4 W., W.M. **See Vicinity Map (Figure 1) below.**

Figure 1. Vicinity Map (Property Lines Approximate)



The applicant provided an overview of their proposal and project in the application narrative, which is as follows:

“The project is a new 2700 square foot mixed use office building with two (2) upper story dwellings above the office space. The building will be stucco exterior finish with a flat roof system with a roof deck on top of the building, and partial roof deck on the third level. The lot is zoned C-3.”

Attachments :

Attachment 1 – Application and Attachments

Elevations and renderings of the proposed new building are provided below. Full elevations and additional renderings are provided in the application materials (Attachment 1). **See South and West Facing Elevations (Figure 2) and Building Rendering (Figure 3) below.**

Figure 2. South and West Facing Elevations

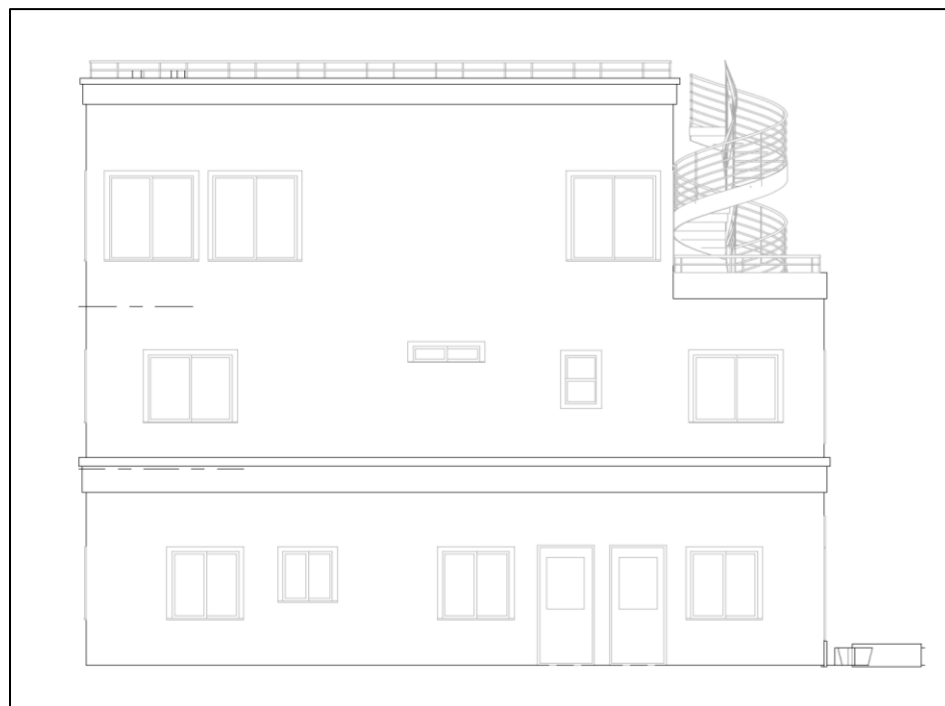
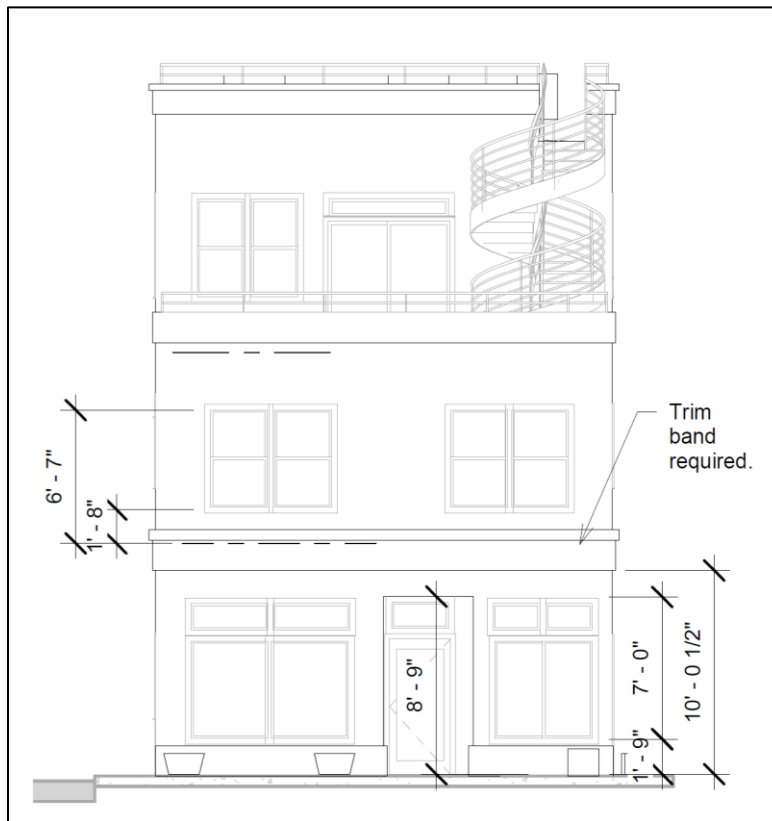


Figure 3. Building Rendering***Background***

The property is located within the Downtown Design Standards and Guidelines area described in Chapter 17.59 of the McMinnville Municipal Code. The property is currently vacant. A historic resource (resource number D878) previously existed on the property, but was approved to be demolished as reviewed under docket number HL 1-18. The historic resource was demolished in 2018. A proposal for a new building was reviewed and approved in 2018 as well, which was approved under docket number DDR 7-18. However, the construction of the previously proposed building never moved forward. The property has since changed ownership, and the current owners are requesting Downtown Design Review for a different new building on the subject property.

Summary of Criteria & Issues

Decisions and/or recommendations for approval of the land use application is dependent upon whether or not the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code. The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

Attachments :

Attachment 1 – Application and Attachments

The proposed construction activities are for a new building located in the Downtown Design Review Overlay District. Therefore, the new construction is subject to review against the Downtown Design Review criteria in Section 17.59.040 of the MMC, as the new building construction is an applicable activity per Section 17.59.020(B)(1) of the MMC. Section 17.59.030(C)(2) of the MMC states that the Historic Landmarks Committee shall review applications for major alterations and new construction.

The specific review criteria for Downtown Design Review for New Construction in Section 17.59.040 of the MMC require the proposal to be consistent with the applicable Downtown Design Standards and Guidelines in Chapter 17.59 of the MMC, as well as the following review criteria:

1. The City's historic preservation policies set forth in the Comprehensive Plan;
2. If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2);

In addition, any request for a waiver from a Downtown Design Standard is subject to the specific review criteria in Section 17.59.040(A)(3) of the MMC as follows:

- a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;
- b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and
- c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

In addition to the sections of the McMinnville Municipal Code referenced above, the goals and policies in Volume II of the Comprehensive Plan are also independent approval criteria for all land use decisions.

The applicant has provided findings to support the request for Downtown Design Review. These will be discussed in detail in Section VII (Conclusionary Findings) below.

II. CONDITIONS:

1. That the applicant shall submit building permit applications prior to completing any work. The construction plans submitted with the building permit applications will be reviewed by the Planning Director for consistency with the written narrative, exhibits, drawings, and renderings submitted for review by the Historic Landmarks Committee, along with any revisions to respond to other conditions of approval.
2. That the plaza space be of a different material or finish (concrete scoring, etc.) to provide visual identification of the plaza space and differentiation between the plaza and the adjacent sidewalk and drive aisle spaces.
3. That on the building permit construction plans submitted for the proposed building, all windows on the building shall be set flush to the inside face of the building so that they are recessed and not flush against the surface of the outer wall.
4. That the applicant shall provide samples or examples of the exterior building colors to the Planning Department for review and approval by the Planning Director prior to application on the building.

III. ATTACHMENTS:

1. DDR 1-21 Application and Attachments (on file with the Planning Department)

IV. COMMENTS:**Agency Comments**

This matter was referred to the following public agencies for comment: McMinnville Fire Department, Police Department, Engineering Department, Building Department, Parks Department, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County Public Works; Yamhill County Planning Department; Frontier Communications; Comcast; and Northwest Natural Gas. The following comments were received:

- McMinnville Engineering Department

No comments.

- McMinnville Fire Department

We have no issues with this request. Please note: building will need meet all current Fire Codes for occupancy type, including access and water supply. A fire hydrant may be needed in the area.

- McMinnville City Attorney

No comments.

- Comcast

After review, I don't see any conflicts with this project.

Public Comments

Notice of this request was mailed to property owners located within 300 feet of the subject site. As of the date of the Historic Landmarks Committee public meeting on June 24, 2021, no public testimony had been received by the Planning Department.

V. FINDINGS OF FACT - PROCEDURAL FINDINGS

1. The applicant, Amy & Silas Halloran-Steiner, submitted the Downtown Design Review application (DDR 1-21) on May 24, 2021.
2. The application was deemed complete on June 1, 2021. Based on that date, the 120 day land use decision time limit expires on September 29, 2021.
3. Notice of the application was referred to the following public agencies for comment in accordance with Section 17.72.110 of the McMinnville Municipal Code: McMinnville Fire Department, Police Department, Engineering Department, Building Department, Parks Department, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County Public Works; Yamhill County Planning Department; Frontier Communications; Comcast; and Northwest Natural Gas.

Comments received from agencies are addressed in the Decision Document.

4. Notice of the application and the June 24, 2021 Historic Landmarks Committee public meeting was mailed to property owners within 300 feet of the subject property in accordance with Section 17.59.030(C)(3) and Section 17.72.110 of the McMinnville Municipal Code on June 8, 2021.
5. No public testimony was submitted to the Planning Department prior to the Historic Landmarks Committee public meeting.
6. On June 24, 2021, the Historic Landmarks Committee held a duly noticed public meeting to consider the request.

VI. FINDINGS OF FACT – GENERAL FINDINGS

1. **Location:** 631 NE 1st Street. The property identified as Tax Lot 11300, Section 21BC, T. 4 S., R. 4 W., W.M.
2. **Size:** Approximately 4,000 square feet.
3. **Comprehensive Plan Map Designation:** Commercial
4. **Zoning:** C-3 (General Commercial)
5. **Overlay Zones/Special Districts:** Downtown Design Standards Area (per Section 17.59.020(A) of the McMinnville Municipal Code); Reduced Landscaping Requirements Area (per Section 17.57.080).
6. **Current Use:** Vacant
7. **Inventoried Significant Resources:**
 - a. **Historic Resources:** None (previous historic resource D878 demolished per docket number HL 1-18)
 - b. **Other:** None
8. **Other Features:** There is one existing mature street tree adjacent to the property. There are no other significant or distinguishing natural features associated with this property.
9. **Utilities:**
 - a. **Water:** Water service is available to the subject site.
 - b. **Electric:** Power service is available to the subject site.
 - c. **Sewer:** Sanitary sewer service is available to the subject site.
 - d. **Stormwater:** Storm sewer service is available to the subject site.
 - e. **Other Services:** Other utility services are available to the subject site. Northwest Natural Gas and Comcast is available to serve the site.
10. **Transportation:** The subject property is bounded on the south by 1st Street. The McMinnville Transportation System Plan identifies 1st Street as a minor collector. Section 17.53.101 of the McMinnville Municipal Code identifies the right-of-way width for minor collector streets at 56 or 66 feet, depending on whether a bike lane exists. The McMinnville Transportation System Plan identifies 1st Street as having a bike sharrow and no bike lane, which results in the necessary right-of-way width of 56 feet. The existing right-of-way adjacent to the subject property is currently 60 feet in width. Therefore, no right-of-way dedication is required.

VII. CONCLUSIONARY FINDINGS:

Attachments:

Attachment 1 – Application and Attachments

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable criteria for a Downtown Design Review request are specified in Section 17.59.040 of the Zoning Ordinance.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. “Proposals” specified in Volume II are not mandated, but are to be undertaken in relation to all applicable land use requests.

Comprehensive Plan Volume II:

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The property is not listed on the McMinnville Historic Resources Inventory or the McMinnville Downtown Historic District that is listed on the National Register of Historic Places.

GOAL IV 4: TO PROMOTE THE DOWNTOWN AS A CULTURAL, ADMINISTRATIVE, SERVICE, AND RETAIL CENTER OF McMINNVILLE

Downtown Development Policies:

Policy 36.00 The City of McMinnville shall encourage a land use pattern that:

- 1. Integrates residential, commercial, and governmental activities in and around the core of the city;*
- 2. Provides expansion room for commercial establishments and allows dense residential development;*
- 3. Provides efficient use of land for adequate parking areas;*
- 4. Encourages vertical mixed commercial and residential uses; and,*
- 5. Provides for a safe and convenient auto-pedestrian traffic circulation pattern.*

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The proposal results in a new mixed-use and commercial establishment in the core of the city. The proposed structure is proposed to be vertical mixed-use with commercial office space on the ground floor and two residential dwelling units on the upper stories. The proposal includes the construction of new parking areas to serve the proposed uses, and the applicant has proposed shared use of the parking as allowed by the McMinnville Municipal Code to allow for more dense residential development and efficient use of land for parking areas.

Attachments :

Attachment 1 – Application and Attachments

Policy 39.00 The City of McMinnville shall encourage and allow the development of pocket parks, landscaping, and other natural amenities to provide a visual contrast between streets and parking lots and buildings to enhance the general appearance of the downtown.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The proposal includes a proposed plaza/courtyard space with some landscaping between the front of the building and the adjacent sidewalk and street (1st Street right-of-way). The proposed parking areas will be located behind the building to minimize their visual impact from the adjacent sidewalk and street.

Policy 44.00 The City of McMinnville shall encourage, but not require, private businesses downtown to provide off-street parking and on-site traffic circulation for their employees and customers.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The proposal includes the construction of new parking areas to serve the proposed uses, and the applicant has proposed shared use of the parking as allowed by the McMinnville Municipal Code to allow for more dense residential development and efficient use of land for parking areas.

Policy 46.01 The City shall, through its Landscape Review Committee, develop a list of street trees acceptable for planting within the public rights-of-way, parks and open spaces, and downtown. In addition, the committee shall develop standards for the planting of these trees, particularly within the downtown area, such that sidewalk and tree root conflicts are minimized. This effort should be coordinated with McMinnville Water and Light in an effort to minimize conflicts with utility lines.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The site has one existing mature street tree that is proposed to be retained if possible. If required to be removed due to conflicts with providing adequate utilities to serve the vacant parcel, a replacement street tree will likely be required by the Landscape Review Committee. Any future street tree removal request and potential replacement will be reviewed by the Landscape Review Committee and evaluated against the applicable review criteria within the McMinnville Municipal Code.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

GOAL X 2: TO MAKE EVERY EFFORT TO ENGAGE AND INCLUDE A BROAD CROSS SECTION OF THE COMMUNITY BY MAINTAINING AN ACTIVE AND OPEN CITIZEN INVOLVEMENT PROGRAM THAT IS ACCESSIBLE TO ALL MEMBERS OF THE COMMUNITY AND ENGAGES THE COMMUNITY DURING DEVELOPMENT AND IMPLEMENTATION OF LAND USE POLICIES AND CODES.

Policy 188.00 The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The process for Downtown Design Review provides an opportunity for citizen involvement throughout the process through the public notice and the public meeting process. Throughout the process, there are opportunities for the public to review and obtain copies of the application materials and the completed staff report prior to the public meeting(s). All members of the public have access to provide testimony and ask questions during the public review and meeting process.

McMinnville Zoning Ordinance

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) provide criteria applicable to the request:

Chapter 17.03. General Provisions

17.03.020 Purpose. The purpose of this ordinance is to encourage appropriate and orderly physical development in the City through standards designed to protect residential, commercial, industrial, and civic areas from the intrusions of incompatible uses; to provide opportunities for establishments to concentrate for efficient operation in mutually beneficial relationship to each other and to shared services; to provide adequate open space, desired levels of population densities, workable relationships between land uses and the transportation system, and adequate community facilities; to provide assurance of opportunities for effective utilization of the land resource; and to promote in other ways public health, safety, convenience, and general welfare.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The purpose of the Zoning Ordinance is met by the proposal as described in the Conclusionary Findings contained in this Decision Document.

17.59.020 Applicability.

- A. The provisions of this Chapter shall apply to all lands located within the area bounded to the west by Adams Street, to the north by 4th Street, to the east by Kirby Street, and to the south by 1st Street. Lands immediately adjacent to the west of Adams Street, from 1st Street to 4th Street, are also subject to the provisions of this Chapter.
- B. The provisions of this ordinance shall apply to the following activities conducted within the above described area:
 1. All new building construction;
 2. Any exterior building or site alteration; and,
 3. All new signage.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The subject site is located in the Downtown Design area. The proposal includes complete new construction of a new building, so the provisions of the Downtown Design Standards and Guidelines chapter are applicable. Findings for the proposed new construction’s consistency with the applicable requirements of the Downtown Design Standards and Guidelines chapter are provided below.

17.59.030 Review Process.

- A. An application for any activity subject to the provisions of this ordinance shall be submitted to the Planning Department and shall be subject to the procedures listed in (B) through (E) below.
- B. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The application shall include the following information:

Attachments :

Attachment 1 – Application and Attachments

1. The applicant shall submit two (2) copies of the following information:
 - a. A site plan (for new construction or for structural modifications).
 - b. Building and construction drawings.
 - c. Building elevations of all visible sides.
 2. The site plan shall include the following information:
 - a. Existing conditions on the site including topography, streetscape, curbcuts, and building condition.
 - b. Details of proposed construction or modification to the existing structure.
 - c. Exterior building elevations for the proposed structure, and also for the adjacent structures.
 3. A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
 4. Photographs of the subject site and adjacent property.
 5. Other information deemed necessary by the Planning Director, or his/her designee, to allow review of the applicant's proposal. The Planning Director, or his/her designee, may also waive the submittal of certain information based upon the character and complexity (or simplicity) of the proposal.
- C. Review Process
1. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The Planning Director shall review the application and determine whether the proposed activity is in compliance with the requirements of this ordinance.
 2. The Planning Director may review applications for minor alterations subject to the review criteria stated in Section 17.59.040. The Historic Landmarks Committee shall review applications for major alterations and new construction, subject to the review criteria stated in Section 17.59.040. It shall be the Planning Director's decision as to whether an alteration is minor or major.
 3. Notification shall be provided for the review of applications for major alterations and new construction, subject to the provisions of Section 17.72.110.
 - a. The Historic Landmarks Committee shall meet within 30 (thirty) days of the date the application was deemed complete by the Planning Department. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action on the plans. A failure by the Planning Director or Historic Landmarks Committee, as applicable, to review within 30 (thirty) days shall be considered an approval of the application.
 - b. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity to be in compliance with the provisions of this ordinance, they shall approve the application.
 - c. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity in noncompliance with the provisions of this ordinance, they may deny the application, or approve it with conditions as may be necessary to bring the activity into compliance with this ordinance.

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED WITH CONDITION #1. The applicant submitted an application as required, and the application was reviewed by the Historic Landmarks Committee because the proposed construction activity consisted of new construction. Notification was provided to property owners within 300 feet of the subject site, and the Historic Landmarks Committee met within 30 days of the date the application was deemed complete. A condition of approval is included to ensure that the eventual building construction is consistent with what was reviewed and approved by the Historic Landmarks Committee. The condition requires that the applicant submit building permit applications prior to completing any work, and that the construction plans submitted with the building permit applications will be reviewed by the Planning Director for

consistency with the written narrative, exhibits, drawings, and renderings submitted for review by the Historic Landmarks Committee, along with any revisions to respond to other conditions of approval.

17.59.040 Review Criteria

- A. In addition to the guidelines and standards contained in this ordinance, the review body shall base their decision to approve, approve with conditions, or deny the application, on the following criteria:
1. The City's historic preservation policies set forth in the Comprehensive Plan;
 2. If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2); and

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. The proposal is consistent with the City's historic preservation policies in the Comprehensive Plan, as described in more detail in the findings for those Comprehensive Plan policies above. The subject site is not designated as a historic landmark or resource on the McMinnville Historic Resources Inventory, and the property is outside of the McMinnville Downtown Historic District that is listed on the National Register of Historic Places. Therefore, the City's historic preservation regulations are not applicable to this request.

3. If applicable (waiver request), that all of the following circumstances are found to exist:
 - a. There is demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

APPLICANT'S RESPONSE: As mentioned above, we are seeking a waiver to allow for a plaza/courtyard area in front of the building. 17.59.050(A)(2) states: "Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways." We are proposing a seven (7) foot setback for the following reasons:

- a. The proposed small plaza will provide a visual transition of the building massing between the fourteen (14) foot average setback of the nearby 1-2.5 story houses and the required zero setback of this 3-story building.
 - i. The proposed 7' plaza is the largest dimension to allow off-street parking behind the building.
 - ii. The proposed plaza has less setback than the adjacent single story post office to the east.
- b. The proposed plaza will include some landscaping to soften the transition between this commercial building and the nearby houses.
- c. The proposed plaza allows for better visibility in the new drive aisle for a safe exit onto 1st street.
- d. Functional Accessibility: the plaza will provide a few inches for slope from the existing sidewalk to the threshold of the accessible front door.

In summary, the waiver request meets the criteria in Section 17.59.040(A)(3)(a-c) because of the unique difficulty of the site, including but not limited to the narrow lot, city parking requirements, as well as visibility considerations for a safe exit onto First Street.

FINDING: NOT APPLICABLE. The City finds that the requested plaza space is allowed by as an exception by Section 17.59.050(A)(2), and therefore does not require a waiver request or

findings against the waiver review criteria. Findings for the allowance of the exception are provided in the findings for Section 17.59.050(A)(2) below.

- b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and

APPLICANT'S RESPONSE: Additionally, the alternative design accomplishes the purpose of the Chapter in a manner equal or superior to the standards in that it allows for a plaza space, including a visual transition and softening of the commercial buildings mixed with nearby houses even though it is all zoned C-3.

FINDING: NOT APPLICABLE. The City finds that the requested plaza space is allowed by as an exception by Section 17.59.050(A)(2), and therefore does not require a waiver request or findings against the waiver review criteria. Findings for the allowance of the exception are provided in the findings for Section 17.59.050(A)(2) below.

- c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

APPLICANT'S RESPONSE: The waiver request is the minimum needed to meet the requirements of the Chapter and allow for the site to be feasible for our purposes as stated in this narrative application; we are not seeking a significant setback of fourteen (14) feet, for example, as did the previous owner's when they presented to the HLC on June 27, 2018 and were approved (with conditions) for the requested setback.

FINDING: NOT APPLICABLE. The City finds that the requested plaza space is allowed by as an exception by Section 17.59.050(A)(2), and therefore does not require a waiver request or findings against the waiver review criteria. Findings for the allowance of the exception are provided in the findings for Section 17.59.050(A)(2) below.

17.59.050 Building and Site Design.

A. Building Setback.

1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.
2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

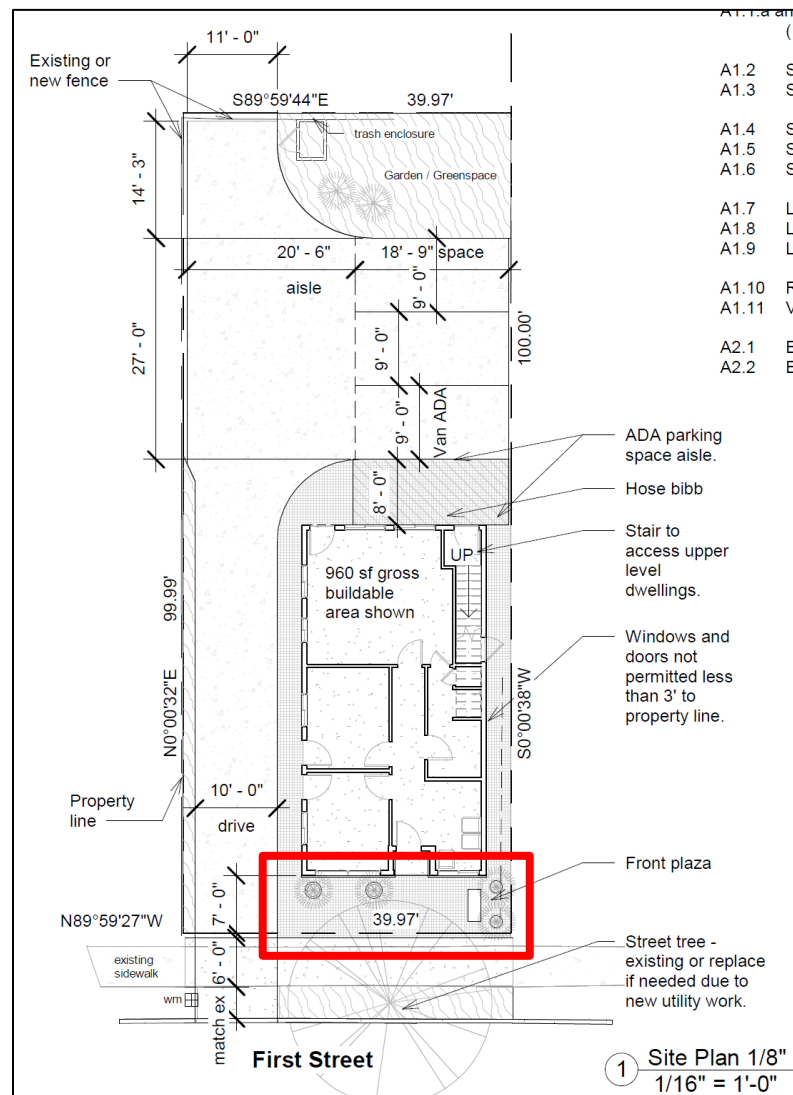
APPLICANT'S RESPONSE: the C-3 zone calls for a zero setback from the sidewalk or property line. We are seeking a waiver to allow for a plaza/courtyard area in front of the building. 17.59.050(A)(2) states: "Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways." We are proposing a seven (7) foot setback for the following reasons:

- a. The proposed small plaza will provide a visual transition of the building massing between the fourteen (14) foot average setback of the nearby 1-2.5 story houses and the required zero setback of this 3-story building.
 - i. The proposed 7' plaza is the largest dimension to allow off-street parking behind the building.
 - ii. The proposed plaza has less setback than the adjacent single story post office to the east.
- b. The proposed plaza will include some landscaping to soften the transition between this commercial building and the nearby houses.

- c. The proposed plaza allows for better visibility in the new drive aisle for a safe exit onto 1st street.
- d. Functional Accessibility: the plaza will provide a few inches for slope from the existing sidewalk to the threshold of the accessible front door.

FINDING: SATISFIED WITH CONDITION #2. The City concurs with the applicant’s findings, and allows for the exception to the zero foot setback from the property line based on the fact that the plaza space is being provided. The plaza space, and therefore the 7 foot setback, is allowed based on the reasoning provided by the applicant. The City adds that the applicant also provided visual examples of other plaza spaces that allowed for building setbacks within the Downtown Design Area. These examples of other plaza spaces are available within the application materials attached to this decision document (and on file with the Planning Department). In order to clearly identify this space as a plaza, a condition of approval is included to require that the plaza space be of a different material or finish (concrete scoring, etc.) to provide visual identification of the plaza space and differentiation between the plaza and the adjacent sidewalk and drive aisle spaces.

The plaza space and setback can be identified in the site plan below:



17.59.050 Building and Site Design

Attachments :

Attachment 1 – Application and Attachments

B. Building Design.

1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

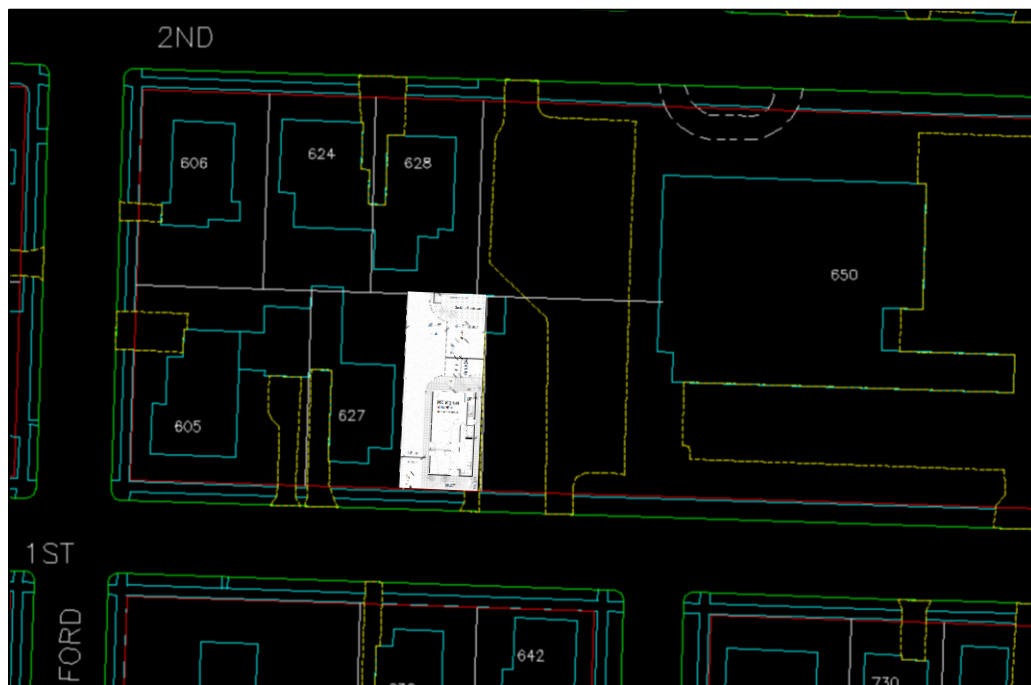
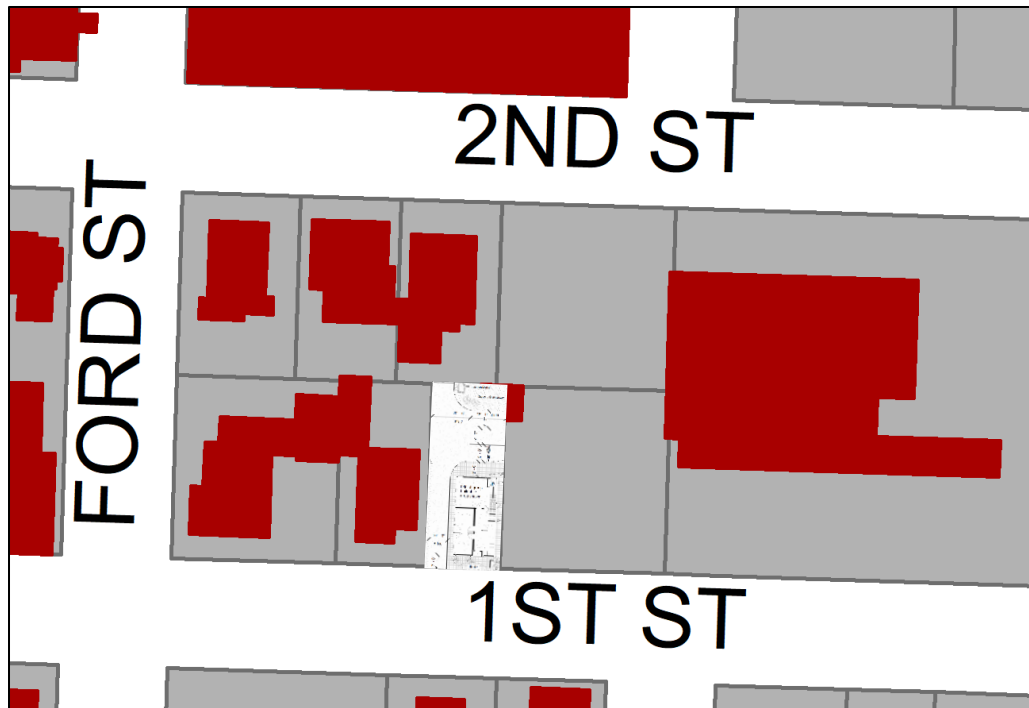
APPLICANT’S RESPONSE: The location for the proposed building is in a transition neighborhood, where older single and multifamily dwellings are being replaced with commercial buildings which are larger in massing and configuration than the nearby older houses. The area is zoned C-3, so while the city planned for this transition to occur, newer commercial buildings designed to meet the downtown design standards will appear visually different from adjacent houses and older commercial structures.

A building designed to be similar to adjacent houses will not meet the downtown design standards. A building designed to match adjacent house front setbacks will not allow space on this small site for critical off-street parking. A building designed to be smaller in mass will not be financially feasible.

The site plan shows a rectangular footprint which is seen in the buildings in all four directions around the property. The average square feet of the five (5) buildings to the North and West on the same block is 3,109 square feet. The Post Office building is a rectangular building with larger overall massing, but the effect is reduced with the setback and being a single story structure. The three (3) properties to the South, across First Street, average 3,286 square feet and are rectangular building footprints.

FINDING: SATISFIED. The City partially concurs with the applicant’s findings. The City concurs that the rectangular footprint and size of the footprint of the proposed building are similar in configuration to adjacent and nearby historic buildings on the same block. The City adds that the combination of the proposed building footprint size and location of the building on the lot will result in a similar configuration to the lots on which the adjacent historic buildings are located. The proposed configuration of the new building includes a slight setback that is not quite as large but is similar to adjacent historic buildings on the same block. The configuration of the proposed building on the lot also provides for other open spaces on the site that are similar to adjacent properties. These open spaces will allow for a plaza in the front of the building (usable front yard space), a driveway/drive aisle along the side of the building, parking areas behind the building, and a small usable green space behind the building similar to back yards of adjacent properties. This configuration and location of the building on the lot results in a similar proportion of the lot being covered with building footprint as exists on the lots of adjacent historic buildings.

The drawings below identify the approximate configurations of the adjacent historic homes and their configurations on their lots (note that the building shown on the subject property no longer exists, and the post office building to the east is not designated as a historic building). The site plan for the proposed new building is overlaid on top of these drawings to provide a visual of the configuration of the building on the lot (note that the site plan is not shown to the exact scale as the surrounding lots, but the inclusion of the site plan is intended as a general visual representation of the configuration of the building on the lot).



In regards to massing, the City partially concurs with the applicant’s findings. The City does acknowledge that the proposed design of the building, which meets the applicable Downtown Design Standards as described in the findings above and below, will result in a building that appears visually different from adjacent historic buildings on the same block. This is because, in this case, the existing historic buildings on the same block are residential buildings and uses. While different in visual appearance, the City finds that the overall massing of the proposed new building is similar to adjacent and nearby historic buildings on the same block. Besides the single story building immediately adjacent to the west, all other historic buildings on the same block are 2-2.5 stories, have square or rectangular building forms, and are of a height that is similar to the proposed new building when incorporating the maximum height of the peak of the gable or hipped roofs. The height of the proposed new building is approximately 34 feet. The

Attachments :

Attachment 1 – Application and Attachments

exact heights of adjacent buildings is not known, but is estimated to be near 30 feet in height when measured to the roof peaks. The proposed new building includes a flat roofline in order to achieve the Downtown Design Standard in Section 17.59.050(B)(4), which also specifically discourages gable roof shapes or other residential roof forms. However, the overall massing of the proposed new building is similar to adjacent historic buildings on the same block, in that the height and building size is similar.

The height and massing of some of the adjacent historic buildings on the same block can be seen below:

605 NE 1st Street



606 NE 2nd Street



Attachments :

Attachment 1 – Application and Attachments

624 NE 2nd Street



In addition, the proposed new building includes a step back of the front building wall on the third story, which will reduce some of the visual appearance of the flat roofline, building height, and building massing when viewed from the adjacent sidewalk and right-of-way.

17.59.050 Building and Site Design

- B. Building Design. [...]
 - 2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

APPLICANT’S RESPONSE: Not applicable, proposed building is 22'-6" wide, less than 60'.

FINDING: SATISFIED. The City concurs with the applicant’s findings.

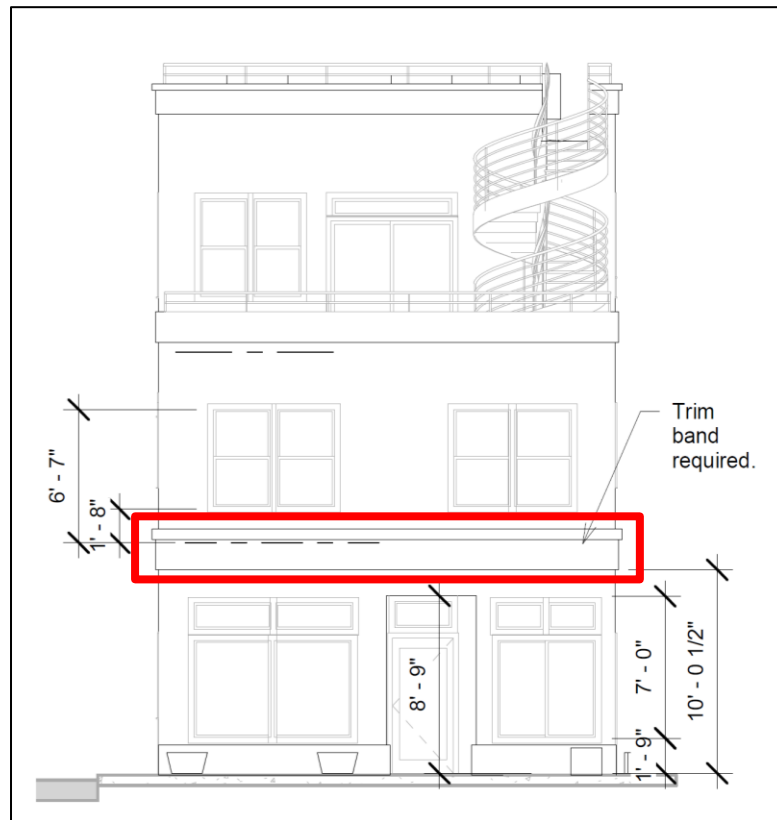
17.59.050 Building and Site Design

- B. Building Design. [...]
 - 3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include:
 - a. A belt course separating the upper stories from the first floor;

APPLICANT’S RESPONSE: The storefront portion of the building (office ground floor) includes: [...] A belt course, or nearly 2' wide trim band, which separates the upper 2 stories from the commercial ground level.

FINDING: SATISFIED. The City concurs with the applicant’s findings. The City adds that the belt course is proposed to continue around the entirety of the building on all four elevations. The belt course feature as identified in the elevations includes a narrow band along the top of the belt course and a wider band along the lower portion of the belt course. Each layer of these two

bands have different dimensions that extend outward from the remainder of the building wall. The belt course between the first floor and the upper stories can be seen below:



17.59.050 Building and Site Design

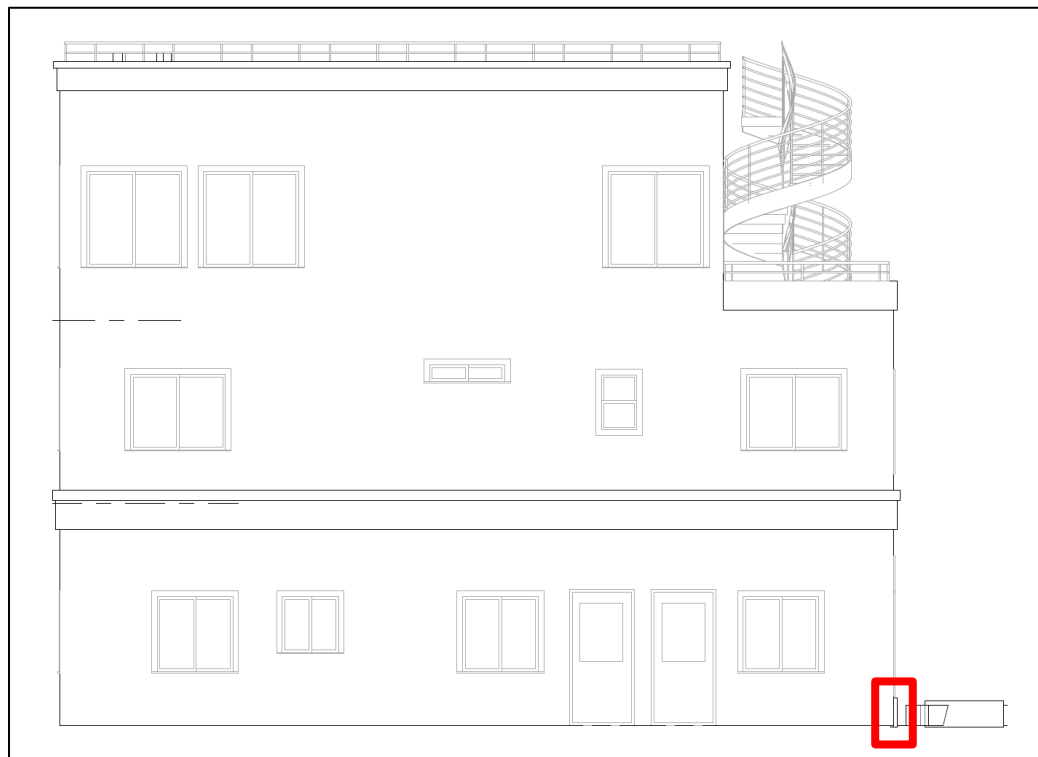
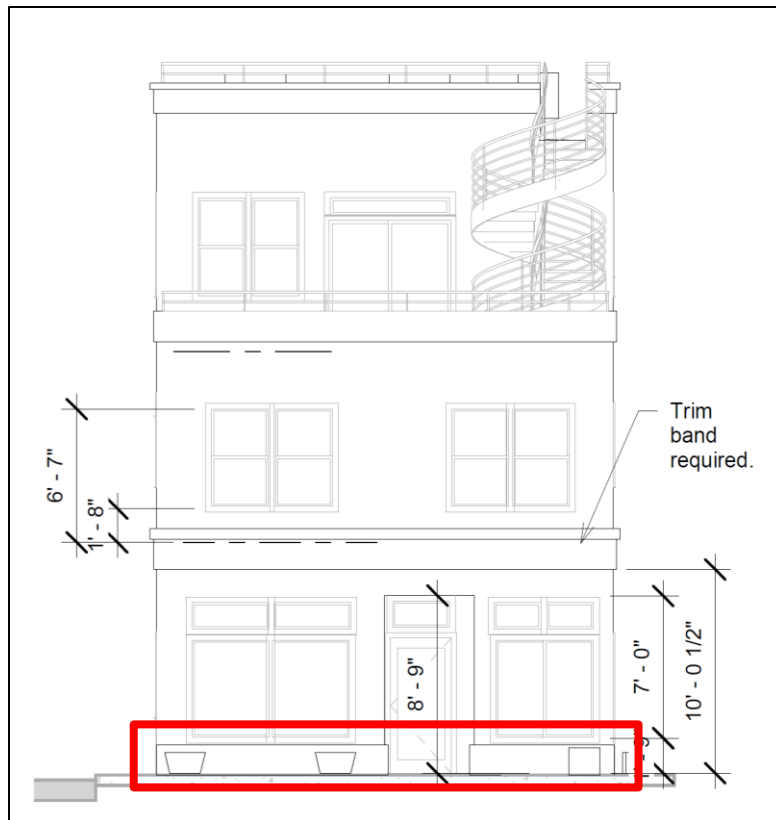
B. Building Design. [...]

- 3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include: [...]

 - b. A bulkhead at the street level;

APPLICANT’S RESPONSE: The storefront portion of the building (office ground floor) includes: [...] A nearly 2’ bulkhead is provided at the street level under the window sills along the street facade. Proposed finish is stucco.

FINDING: SATISFIED. The City concurs with the applicant’s findings. The bulkhead feature as identified in the front elevation has a dimensionality that extends outward from the remainder of the building wall. The stucco bulkhead proposed can be seen below:



17.59.050 Building and Site Design

B. Building Design. [...]

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include: [...]

Attachments :

Attachment 1 – Application and Attachments

- c. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;

APPLICANT’S RESPONSE: The storefront portion of the building (office ground floor) includes: [...] The proposed glazing and entry door recess in the lower 8' of the front facade exceeds the 70% minimum area requirement. There is more than 40% area devoted to glazing and the entry door recess between the belt course (also known as a horizontal trim band separating ground level from second level) and the ground level.

FINDING: SATISFIED. The City concurs with the applicant’s findings, but adds that the glazing below the transom line (which is 8’ 9” from grade) is approximately 137.83 square feet. Based on the façade width of 22.5’, the area below the transom line is approximately 196.875 square feet. Therefore, the amount of glazing below the transom line is just over 70%, and the amount of glazing below the horizontal belt course between the first and second stories (which is at just about 10’ in height) is approximately 61%.

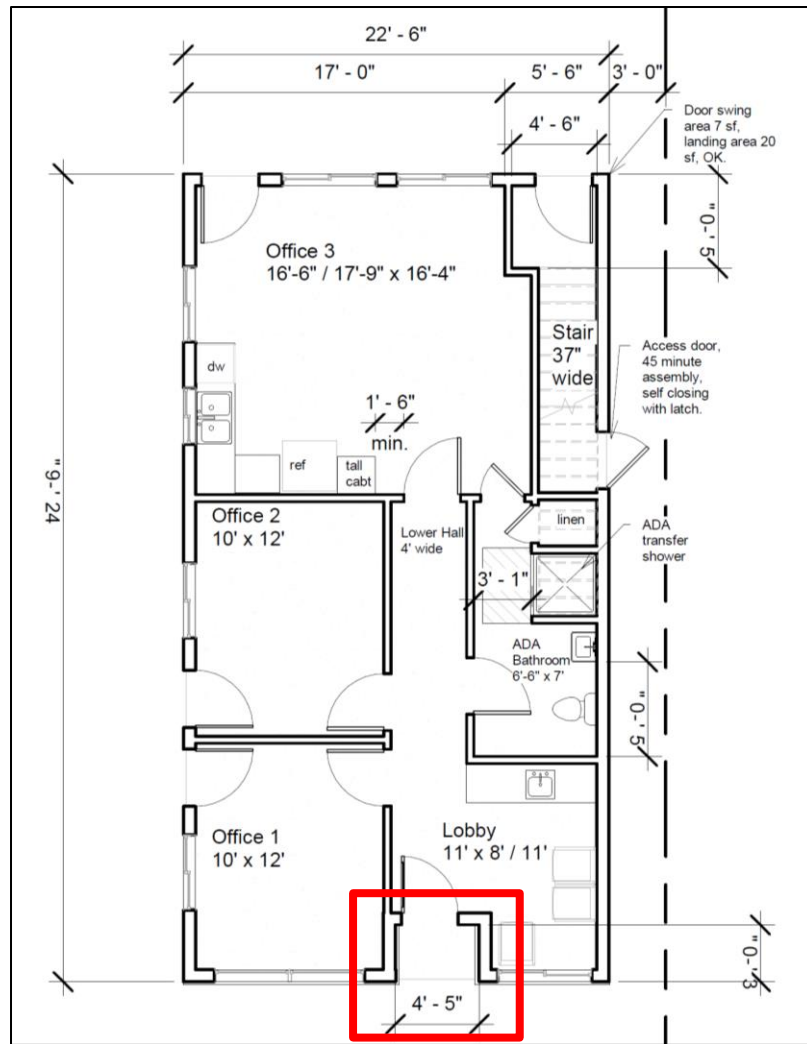
17.59.050 Building and Site Design

B. Building Design. [...]

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include: [...]
- d. A recessed entry and transom with transparent door; and

APPLICANT’S RESPONSE: The storefront portion of the building (office ground floor) includes: [...] A recessed entry with full glazed door and transom is provided that is both accessible and meets the design standard requirements.

FINDING: SATISFIED. The City concurs with the applicant’s findings. The floor plan and rendering provided with the application materials depict the recessed entry and transparent door proposed on the south (1st Street facing) façade, as seen below:



17.59.050 Building and Site Design

B. Building Design. [...]

- 3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include: [...]

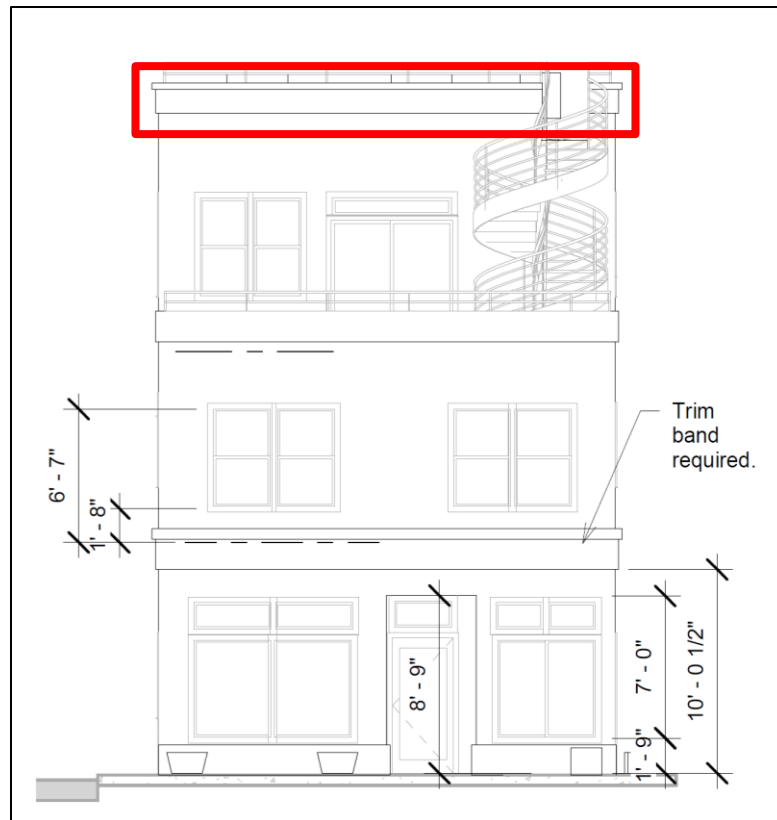
 - e. Decorative cornice or cap at the roofline.

APPLICANT’S RESPONSE: The storefront portion of the building (office ground floor) includes: [...] There is a decorative trim at the top of the parapet wall and at the top of the front wall wrapping around the roof deck on the third level.

FINDING: SATISFIED. The City concurs with the applicant’s findings. The City would add that the decorative cornice or cap at the roofline is proposed to continue around the entirety of the building on all four elevations. The decorative cornice feature as identified in the elevations includes a narrow band along the top of the cornice and a wider band along the lower portion of the cornice. Each layer of these two bands have different dimensions that extend outward from the remainder of the building wall. The cornice/cap trim can be seen below:

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Attachment 1 – Application and Attachments



17.59.050 Building and Site Design

B. Building Design. [...]

- 4. Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

APPLICANT’S RESPONSE: Proposed building is oriented with the narrow face to the street, similar to nearby houses. The proposed flat roofline is similar to other C-3 buildings, including the adjacent Post Office building. As noted in 17.59.050(8)(4) "Gable roof shapes, or other residential roof forms, are discouraged ... " There are many examples within historic downtown design standard that demonstrate a flat roof with a parapet at street-visible facades. We want to avoid creating any more visual height, and a gable roof line would add to overall building height. We intend to cover a portion of the roof in an ecoroof or green roof that will be a combo of sedum and grasses.

FINDING: SATISFIED. The City concurs with the applicant’s findings, and adds that gable or residential roof forms that exist on other adjacent buildings to the north and west are specifically discouraged by this design standard.

17.59.050 Building and Site Design

B. Building Design. [...]

- 5. The primary entrance to a building shall open on to the public right-of-way and should be recessed.

APPLICANT’S RESPONSE: The primary entrance is recessed 3' from the street face of the building.

FINDING: SATISFIED. The City concurs with the applicant’s findings, but adds that the recessed entry does not open on to the public right-of-way given that the proposed building

Attachments :

includes a plaza space on the front of the building as allowed by an exception to the zero foot setback requirement. Findings for this plaza on the front of the building are provided above. The primary entrance is recessed and opens onto this plaza, which in turn fronts onto the public right-of-way and sidewalk space along 1st Street.

17.59.050 Building and Site Design

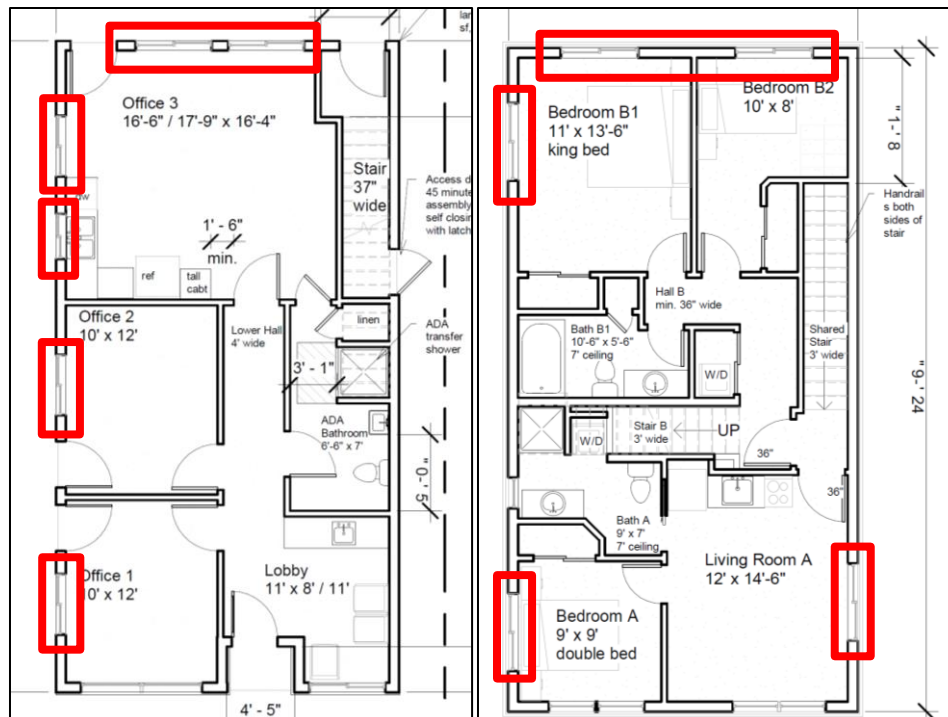
B. Building Design. [...]

6. Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical.

APPLICANT’S RESPONSE: We have set the windows flush to the inside face of the building so they appear to be recessed. We have oriented the upper story windows as vertical using single-hung windows, per 17.59.050(8)(5-6).

FINDING: SATISFIED WITH CONDITION #3. The City concurs with the applicant’s findings, but adds that the windows on the side elevations appear in the floor plans to be flush to the outside face of the building. A condition of approval is included to require that on the building permit construction plans submitted for the proposed building, all windows on the building shall be set flush to the inside face of the building so that they are recessed and not flush against the surface of the outer wall.

The floor plans and window locations shown in the floor plans can be seen below (note that the same applies to the third story, but only the first and second story are identified below). Areas where windows do not appear to be completely flush to the inside face of the building wall are identified.



17.59.050 Building and Site Design

B. Building Design. [...]

7. The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.

APPLICANT’S RESPONSE: This is an entirely new building, so this item is not applicable.

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FINDING: SATISFIED. The City concurs with the applicant’s findings.

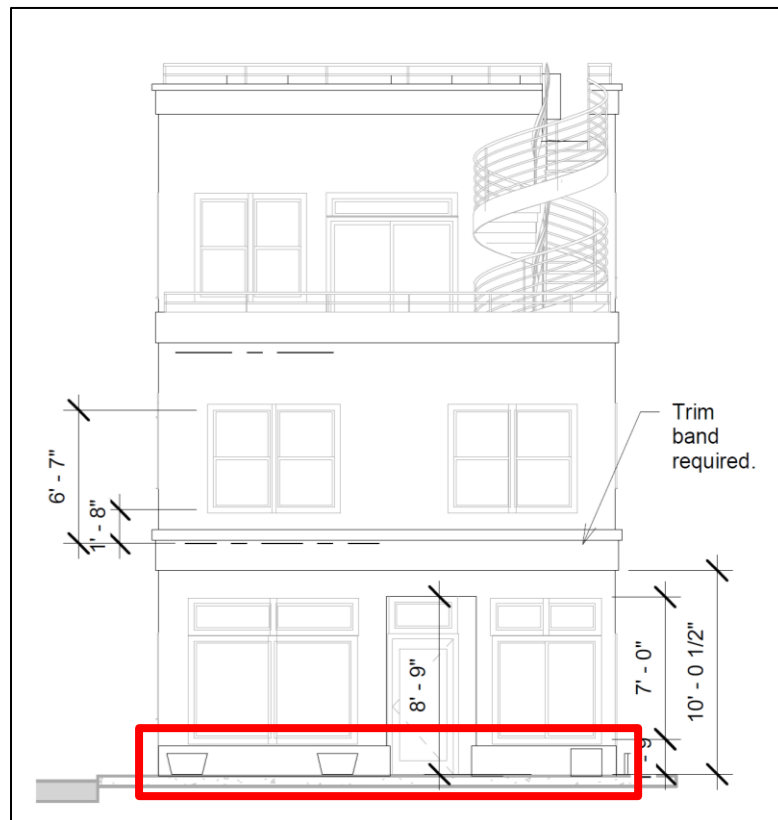
17.59.050 Building and Site Design

B. Building Design. [...]

8. Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.

APPLICANT’S RESPONSE: A nearly 2' bulkhead is provided at the street level under the window sills along the street facade. Proposed finish is stucco and will be a dark grey to tie into the other trim color.

FINDING: SATISFIED. The City concurs with the applicant’s findings. The foundation or base is proposed to be the same feature described as the bulkhead above, and can be seen below:



17.59.050 Building and Site Design

C. Building Materials.

1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

APPLICANT’S RESPONSE: The proposed building exterior materials will be smooth stucco. The proposed horizontal trim bands will be stucco. Windows will be black exterior frames. Prefinished metal is proposed for the visible railings for the roof decks and spiral stair access to upper roof. No awnings are proposed.

FINDING: SATISFIED. The City concurs with the applicant’s findings.

17.59.050 Building and Site Design

Attachments:

Attachment 1 – Application and Attachments

- C. Building Materials. [...]
2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):
 - a. Wood, vinyl, or aluminum siding;
 - b. Wood, asphalt, or fiberglass shingles;
 - c. Structural ribbed metal panels;
 - d. Corrugated metal panels;
 - e. Plywood sheathing, to include wood paneling such as T-111;
 - f. Plastic sheathing; and
 - g. Reflective or moderate to high grade tinted glass.

APPLICANT’S RESPONSE: There are no prohibitive materials proposed on this commercial structure.

FINDING: SATISFIED. The City concurs with the applicant’s findings.

17.59.050 Building and Site Design

- C. Building Materials. [...]
3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim.

APPLICANT’S RESPONSE: Exterior building colors shall be low reflective light grey with medium and dark grey trim bands and black trim along the parapet. Exterior finish of visible metal railings and stair will be black to match the windows.

FINDING: SATISFIED WITH CONDITION #4. The applicant provided color renderings of the building that identify exterior colors. The colors shown in the rendering consist of shades of grey, which are generally all subtle, neutral, and earth tones. Black is proposed but only for windows, trim, metal railings, and exterior stairs, which can be allowed for building trim materials. To ensure that the final colors applied to the building are subtle, neutral, and earth tone in color, a condition of approval is included to require that the applicant provide samples or examples of the exterior building colors to the Planning Department for review and approval by the Planning Director prior to application on the building.

The renderings of the building can be seen below:



17.59.060 Surface Parking Lots.

A. Surface parking lots shall be prohibited from locating on Third Street. In addition, vehicular access to parking lots from Third Street is prohibited.

Attachments :

Attachment 1 – Application and Attachments

APPLICANT’S RESPONSE: The off-street parking is set behind the building, screened from view from First Street. Vehicle access is allowed from First Street. Design complies.

FINDING: SATISFIED. The proposed off-street surface parking lot is not located on Third Street, as the property is located adjacent to and accessed from 1st Street.

- B. All parking lots shall be designed consistent with the requirements of Section 17.60.080 of the McMinnville Zoning Ordinance.

APPLICANT’S RESPONSE: Parking lot designed per 17.60.080:

- a. Lot and driveway will be paved.
- b. Not applicable to residential standards.
- c. Driveway and parking lot access and maneuvering will be reviewed and approved by city prior to construction.
- d. Parking areas will have a curb at edges. There is a sight-obscuring fence along the residential properties. Exterior lighting for the parking lot will be shielded so not to shine into residential zone.
- e. Parking lot spaces are designed to meet minimum standards.
- f. Parking space types and proportions are designed to meet McMinnville standards.
- g. Driveway and parking lot access and maneuvering will be reviewed and approved by city prior to construction.

FINDING: SATISFIED. The City concurs with the applicant’s findings. The City adds that the Planning Director has allowed for the proposed narrower access drive aisle, maneuvering space adjacent to the parking spaces, and the use of shared parking between uses on the site, as permitted by Sections 17.60.080(G) and 17.60.120 of the McMinnville Municipal Code.

- C. A hedge or wall, thirty (30) inches in height, or dense landscaping within a buffer strip a minimum of five feet in width shall be placed along the streetside edge of all surface parking lots. Landscaping within the buffer strip shall include street trees selected as appropriate to the situation and spaced according to its type, shrubs spaced a minimum of three feet on center, and groundcover. A landscaping plan for this buffer shall be subject to review and approval by the McMinnville Landscape Review Committee.

APPLICANT’S RESPONSE: The parking lot is set behind the building, out of view of the street. Adjacent residential properties have 6' visually solid fencing. Adjacent to the post office parking lot is an existing landscape strip with mature trees and shrubs.

FINDING: SATISFIED. The City concurs with the applicant’s findings, but adds that because the parking spaces are located behind the building, they are screened from view and do not have a direct streetside edge. Therefore, the specific landscaping buffer requirements of this section are not applicable. However, screening of the parking spaces and use, which may include landscaping or fencing, will be reviewed in greater detail by the Landscape Review Committee as part of the landscape plan for the subject site. Any landscaping or other features around the parking spaces will be reviewed against the applicable landscape plan review criteria during the Landscape Plan Review process.

17.59.070 Awnings.

- A. Awnings or similar pedestrian shelters shall be proportionate to the building and shall not obscure the building’s architectural details. If transom windows exist, awning placement shall be above or over the transom windows where feasible.
- B. Awnings shall be placed between pilasters.

- C. Where feasible, awnings shall be placed at the same height as those on adjacent buildings in order to maintain a consistent horizontal rhythm along the street front.
- D. Awnings should be constructed of soft canvas, fabric, or matte finished vinyl. The use of wood, metal or plastic awnings is prohibited.
- E. Awnings may be indirectly illuminated; internal illumination of awnings is prohibited.
- F. Awning colors shall be of a low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the awning are prohibited.

APPLICANT’S RESPONSE: No awnings are proposed for this project.

FINDING: NOT APPLICABLE. The City concurs with the applicant’s findings, in that no awnings are proposed on the new building. Therefore, the standards related to awnings are not applicable to the proposed project.

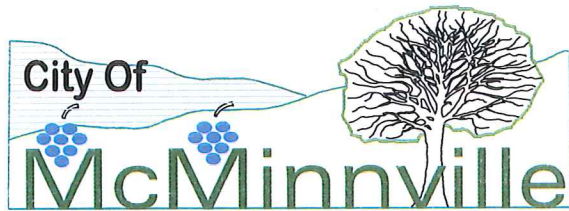
17.59.080 Signs.

- A. The use of flush-mounted signs, flag-mounted signs, window signs, and icon signs are encouraged. Sign materials shall be compatible with materials used in the building.
- B. Where two or more businesses occupy the same building, identifying signs should be grouped together to form a single panel.
- C. Wall signs shall be placed in traditional locations in order to fit within architectural features, such as: above transoms; on cornice fascia boards; or, below cornices. Wall signs shall not exceed the height of the building cornice.
- D. For every lineal foot of building frontage, 1.5 square feet of signage may be allowed, to a maximum of 200 square feet.
- E. The use of the following are prohibited in the downtown area:
 - 1. Internally-lit signs;
 - 2. Flashing signs
 - 3. Pedestal signs and pole-mounted signs;
 - 4. Portable trailer signs;
 - 5. Cabinet-type plastic signs;
 - 6. Billboards of all types and sizes;
 - 7. Historically incompatible canopies, awnings, and signs;
 - 8. Signs that move by mechanical, electrical, kinetic or other means; and,
 - 9. Inflatable signs, including balloons and blimps. (Ord. 4797 §1, 2003).

APPLICANT’S RESPONSE: We will comply with the sign regulations. The maximum sign area will be 22.5 LF building frontage x 1.5 SF sign/ LF = 33.75 SF maximum sign area.

FINDING: SATISFIED. The City concurs with the applicant’s findings, but clarifies that any future signage for the new building will be reviewed against the applicable sign standards during the sign permit review process. As stated by the applicant, the maximum amount of signage allowed will be 33.75 square feet based on the 22.5 feet of building frontage.

CD



Planning Department
 231 NE Fifth Street ◦ McMinnville, OR 97128
 (503) 434-7311 Office ◦ (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:	
File No.	<u>DOR 1-21</u>
Date Received	<u>5-24-21</u>
Fee	<u>1200.00</u>
Receipt No.	_____
Received by	<u>[Signature]</u>

Downtown Design Standards & Guidelines Application

Applicant Information

Applicant is: Property Owner Contract Buyer Option Holder Agent Other _____

Applicant Name AMY + SILAS HALLORAN-STEINER Phone (503) 435-7572

Contact Name _____ Phone _____
(If different than above)

Address 17504 SW MASONVILLE ROAD

City, State, Zip McMINNVILLE OR 97128

Contact Email silashalloransteiner@gmail.com

Property Owner Information

Property Owner Name SAME AS ABOVE Phone _____
(If different than above)

Contact Name _____ Phone _____

Address _____

City, State, Zip _____

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 631 NE FIRST STREET, McMINNVILLE, OR 97128

Assessor Map No. R4 421 - BC - 11300 Total Site Area 4000 SQ. FT.

Subdivision ROWLANDS ADDITION Block 5 Lot 7

Comprehensive Plan Designation COMMERCIAL Zoning Designation C-3

This request is for a:

Design Review

Design Waiver

1. Attach a written narrative that describes:
 - A. The proposed project in detail, including descriptions of the architectural features and building materials being used;
 - B. How the project meets the applicable downtown design standards and guidelines;
 - C. How the project meets the historic preservation standards and guidelines (if applicable); and
 - D. How the project will fit into the context of the downtown historic district.

2. As part of this application, is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so, explain in detail how the criteria for waiving a standard or guideline as listed in Section 17.59.040(A) have been met (*attach additional pages if necessary*)._____

SEE ATTACHED.

In addition to this completed application, the applicant must provide the following:

- A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size). For new construction or for structural modifications show the information listed in page one of the information sheet.
- Building and construction drawings including building elevations of all visible sides.
- A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
- Photographs of the subject site and adjacent property.
- Other information deemed necessary by the Planning Director. EMAIL DATED 4/5/21.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

Amy Halbran St
Applicant's Signature

5/20/21
Date

[Signature]
Property Owner's Signature

5/20/21
Date

Downtown Design Standards and Guidelines Narrative: Amy and Silas Halloran-Steiner

1. *Attach a written narrative that describes:*

(Please note that italic is copied from the application questions)

The proposed project in detail, including descriptions of the architectural features and building materials being used;

The project is a new 2700 square foot mixed use office building with two (2) upper story dwellings above the office space. The building will be stucco exterior finish with a flat roof system with a roof deck on top of the building, and partial roof deck on the third level. The lot is zoned C-3.

How the project meets the applicable downtown design standards and guidelines;

17.59.050 Building and Site Design.

A. Building Setback: the C-3 zone calls for a zero setback from the sidewalk or property line. We are seeking a waiver to allow for a plaza/courtyard area in front of the building. 17.59.050(A)(2) states: "Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways." We are proposing a seven (7) foot setback for the following reasons:

- a. The proposed small plaza will provide a visual transition of the building massing between the fourteen (14) foot average setback of the nearby 1-2.5 story houses and the required zero setback of this 3-story building.
 - i. The proposed 7' plaza is the largest dimension to allow off-street parking behind the building.
 - ii. The proposed plaza has less setback than the adjacent single story post office to the east.
- b. The proposed plaza will include some landscaping to soften the transition between this commercial building and the nearby houses.
- c. The proposed plaza allows for better visibility in the new drive aisle for a safe exit onto 1st street.
- d. Functional Accessibility: the plaza will provide a few inches for slope from the existing sidewalk to the threshold of the accessible front door.

B. Building Design:

1. The location for the proposed building is in a transition neighborhood, where older single and multifamily dwellings are being replaced with commercial buildings which are larger in massing and configuration than the nearby older houses. The area is zoned C-3, so while the city planned for this transition to occur, newer commercial buildings designed to meet the downtown design standards will appear visually different from adjacent houses and older commercial structures.

A building designed to be similar to adjacent houses will not meet the downtown design standards. A building designed to match adjacent house front setbacks will not allow space on

this small site for critical off-street parking. A building designed to be smaller in mass will not be financially feasible.

The site plan shows a rectangular footprint which is seen in the buildings in all four directions around the property. The average square feet of the five (5) buildings to the North and West on the same block is 3,109 square feet. The Post Office building is a rectangular building with larger overall massing, but the effect is reduced with the setback and being a single story structure. The three (3) properties to the South, across First Street, average 3,286 square feet and are rectangular building footprints.

2. Not applicable, proposed building is 22'-6" wide, less than 60'.

3. The storefront portion of the building (office ground floor) includes:

- a) A belt course, or nearly 2' wide trim band, which separates the upper 2 stories from the commercial ground level.
- b) A nearly 2' bulkhead is provided at the street level under the window sills along the street facade. Proposed finish is stucco.
- c) The proposed glazing and entry door recess in the lower 8' of the front façade exceeds the 70% minimum area requirement. There is more than 40% area devoted to glazing and the entry door recess between the belt course (also known as a horizontal trim band separating ground level from second level) and the ground level.
- d) A recessed entry with full glazed door and transom is provided that is both accessible and meets the design standard requirements.
- e) There is a decorative trim at the top of the parapet wall and at the top of the front wall wrapping around the roof deck on the third level.

4. Proposed building is oriented with the narrow face to the street, similar to nearby houses. The proposed flat roofline is similar to other C-3 buildings, including the adjacent Post Office building. As noted in 17.59.050(B)(4) "Gable roof shapes, or other residential roof forms, are discouraged..." There are many examples within historic downtown design standard that demonstrate a flat roof with a parapet at street-visible facades. We want to avoid creating any more visual height, and a gable roof line would add to overall building height. We intend to cover a portion of the roof in an ecoroof or greenroof that will be a combo of sedum and grasses.

5. The primary entrance is recessed 3' from the street face of the building.

6. We have set the windows flush to the inside face of the building so they appear to be recessed. We have oriented the upper story windows as vertical using single-hung windows, per 17.59.050(B)(5-6).

7. This is an entirely new building, so this item is not applicable.

8. A nearly 2' bulkhead is provided at the street level under the window sills along the street facade. Proposed finish is stucco and will be a dark grey to tie into the other trim color.

C. Building Materials:

1. The proposed building exterior materials will be smooth stucco. The proposed horizontal trim bands will be stucco. Windows will be black exterior frames. Prefinished metal is proposed for the visible railings for the roof decks and spiral stair access to upper roof. No awnings are proposed.
2. There are no prohibitive materials proposed on this commercial structure.
3. Exterior building colors shall be low reflective light grey with medium and dark grey trim bands and black trim along the parapet. Exterior finish of visible metal railings and stair will be black to match the windows.

17.59.060 Surface Parking lots:

- A. The off-street parking is set behind the building, screened from view from First Street. Vehicle access is allowed from First Street. Design complies.
- B. Parking lot designed per 17.60.080:
 - a. Lot and driveway will be paved.
 - b. Not applicable to residential standards.
 - c. Driveway and parking lot access and maneuvering will be reviewed and approved by city prior to construction.
 - d. Parking areas will have a curb at edges. There is a sight-obscuring fence along the residential properties. Exterior lighting for the parking lot will be shielded so not to shine into residential zone.
 - e. Parking lot spaces are designed to meet minimum standards.
 - f. Parking space types and proportions are designed to meet McMinnville standards.
 - g. Driveway and parking lot access and maneuvering will be reviewed and approved by city prior to construction.
- C. The parking lot is set behind the building, out of view of the street. Adjacent residential properties have 6' visually solid fencing. Adjacent to the post office parking lot is an existing landscape strip with mature trees and shrubs.

The site plan shows the off-street parking behind the building. The city planning director approved a shared parking arrangement for this site, with conditions outlined in the attached email from Chuck Darnell.

We intend to use the commercial space for business, and to primarily bike to work and keep driveway volume low in order to positively impact the environment and the neighbors who live nearby.

17.59.070 Awnings

No awnings are proposed for this project.

17.59.080 Signs

We will comply with the sign regulations. The maximum sign area will be 22.5 LF building frontage x 1.5 SF sign / LF = 33.75 SF maximum sign area.

How the project meets the historic preservation standards and guidelines (if applicable);

Not applicable.

How the project will fit into the context of the historic district.

The proposed new construction will extend historic downtown design standards further south on First Street and provide a strong example of a mixed use building in the C-3 zone.

2. *As part of this application is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so explain in detail how the criteria for waiving a standard or guidelines as listed in Section 17.59.040(A) have been met.*

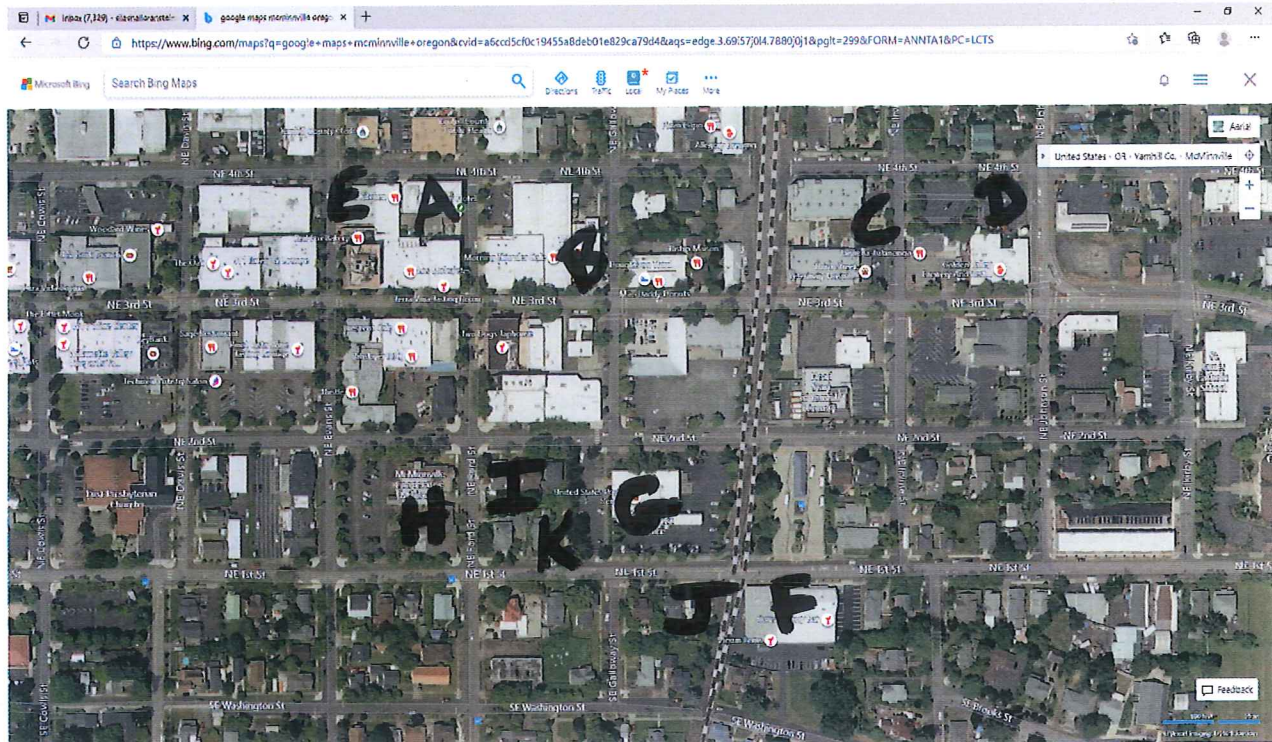
The review criteria under Section 17.59.040(A)(3) state: "If applicable (waiver request), that all of the following circumstances are found to exist: a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site; b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

As mentioned above, we are seeking a waiver to allow for a plaza/courtyard area in front of the building. 17.59.050(A)(2) states: "Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways." We are proposing a seven (7) foot setback for the following reasons:

- a. The proposed small plaza will provide a visual transition of the building massing between the fourteen (14) foot average setback of the nearby 1-2.5 story houses and the required zero setback of this 3-story building.
 - i. The proposed 7' plaza is the largest dimension to allow off-street parking behind the building.
 - ii. The proposed plaza has less setback than the adjacent single story post office to the east.
- b. The proposed plaza will include some landscaping to soften the transition between this commercial building and the nearby houses.
- c. The proposed plaza allows for better visibility in the new drive aisle for a safe exit onto 1st street.
- d. Functional Accessibility: the plaza will provide a few inches for slope from the existing sidewalk to the threshold of the accessible front door.

In summary, the waiver request meets the criteria in Section 17.59.040(A)(3)(a-c) because of the unique difficulty of the site, including but not limited to the narrow lot, city parking requirements, as well as visibility considerations for a safe exit onto First Street. Additionally, the alternative design accomplishes the purpose of the Chapter in a manner equal or superior to the standards in that it allows for a plaza space, including a visual transition and softening of the commercial buildings mixed with nearby houses even though it is all zoned C-3. The waiver

request is the minimum needed to meet the requirements of the Chapter and allow for the site to be feasible for our purposes as stated in this narrative application; we are not seeking a significant setback of fourteen (14) feet, for example, as did the previous owner's when they presented to the HLC on June 27, 2018 and were approved (with conditions) for the requested setback.



KEY:

A = ATTICUS PLAZA and WINDOW

B = 1882 BACK PLAZA and STREET PLAZA

C = VILLAGE QUARTER PLAZA

D = GVB PLAZA

E = PLAZA 4th and EVANS

F = BOHO PLAZA and 8' SET BACK ON FIRST

G = POST OFFICE SET BACK and ROOF EXAMPLE

H = COOP BUILDING VARIOUS SET BACKS on FIRST, SECOND, FORD

I = C-3 HOUSES TO NORTH and WEST (SECOND STREET)

J = NEIGHBOR ON FIRST STREET WITH BLACK WINDOWS

K = BUILDING SITE and STREET TREE

A = ATTICUS PLAZA and WINDOW



B = 1882 BACK PLAZA and STREET PLAZA



C = VILLAGE QUARTER PLAZA



D = GVB PLAZA



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F = BOHO PLAZA and 8' SET BACK ON FIRST



G = POST OFFICE SET BACK and ROOF EXAMPLE



H = COOP BUILDING VARIOUS SET BACKS on FIRST, SECOND, FORD



I = C-3 HOUSES TO NORTH and WEST (SECOND STREET)



J = NEIGHBOR ON FIRST STREET WITH BLACK WINDOWS

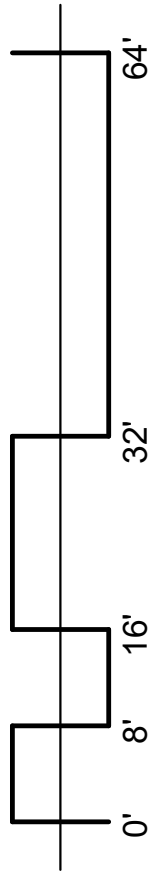
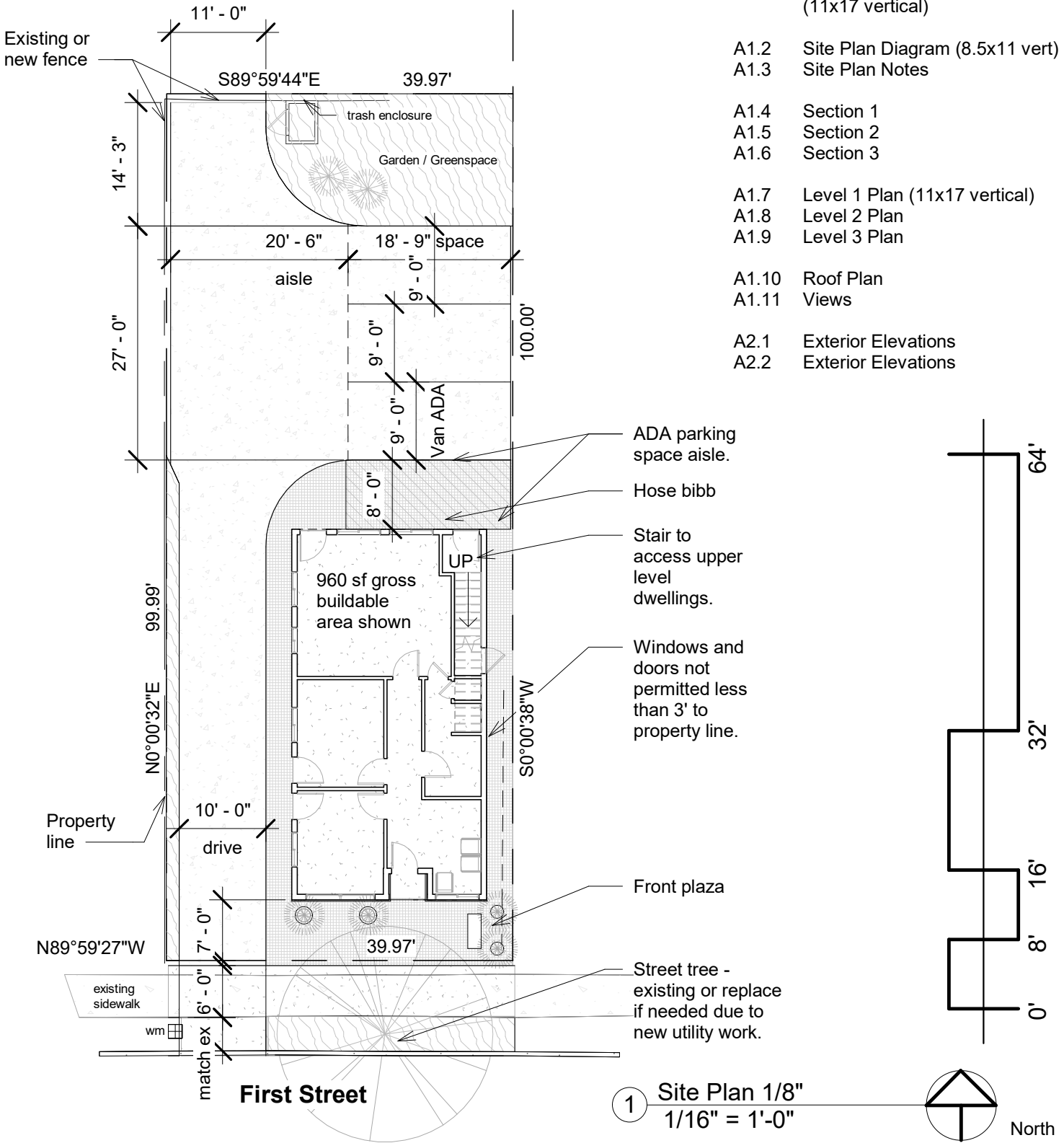


K = BUILDING SITE and STREET TREE



Drawing Index

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- A1.2 Site Plan Diagram (8.5x11 vert)
- A1.3 Site Plan Notes
- A1.4 Section 1
- A1.5 Section 2
- A1.6 Section 3
- A1.7 Level 1 Plan (11x17 vertical)
- A1.8 Level 2 Plan
- A1.9 Level 3 Plan
- A1.10 Roof Plan
- A1.11 Views
- A2.1 Exterior Elevations
- A2.2 Exterior Elevations



1 Site Plan 1/8"
1/16" = 1'-0"



**Preliminary
Not for Construction**

Design 5b

MARCIA A. MIKESH ARCHITECT, INC. 524 SE Hembree St. McMinnville, OR 97128-6051 P: 503.474.1900 www.goodhut.com marcia@goodhut.com	Halloran-Steiner Building		Site Plan 8.5x11	
	First St Mixed Use		Project number	2021.01
			Date	5/19/2021
			Revision	
			A1.2	
			Scale 1/16" = 1'-0"	

Site Plan Diagram Notes:

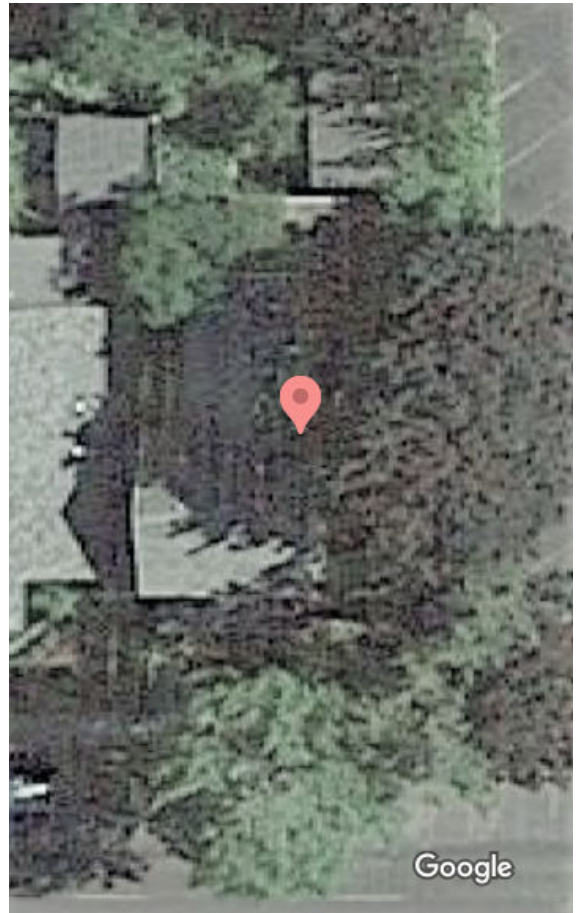
1. Tax lot R4421 BC 11300.
2. Parcel size 0.09 acres (3,999 sf).
3. Zoned C3 General Commercial, adjacent properties also zoned C3, properties south side of First St zoned O-R (office-residential). C3 regulations have no required building setbacks when adjacent properties have same zoning.
4. The site is designated Commercial on the McMinnville Comprehensive Plan.
5. Site is outside parking exclusion zone, requires 100% off-street parking. Per McMinnville Zoning Code:
 - A. Dwelling unit no larger than 2 bedrooms requires 1.5 parking spaces. Two dwelling units provided.
 - B. Office space requires 1 parking space / 300 sf gross office building area, 890 sf gross office use.
 - C. Per MMC Section 17.60.120, the Planning Director will allow for the joint use of the three off-street parking spaces on site, with copy of lease agreement specifying the shared parking use.
6. Site is inside the downtown design area, and is required to follow the Downtown Design Review process.
7. Landscape area - 50% of commercial zone (7%/ 2 = 3.5% or minimum 140 sf required).
8. Existing lot had a single-family home and garage, demolished about 2019.
9. Site elevation above 500-year flood plain.

Site Design Areas

Site area 3999 sf rounded up to 4000 sf.
 Building Footprint 960 sf
 Pavement:
 Driveway and Parking lot 1896
 Walkways 567
 Landscape 495 sf, about 12% > 3.5% minimum.



1 Front West View



Site Aerial Photo, before house was demolished. Also during full summer leaf cover. Google maps 2/9/2021.

Not to scale.

**Preliminary
 Not for Construction**

Design 5b

MARCIA A. MIKESH ARCHITECT, INC. 524 SE Hembree St. McMinnville, OR 97128-6051 P: 503.474.1900 www.goodhut.com marcia@goodhut.com	Halloran-Steiner Building First St Mixed Use	Site Plan Notes		
		Project number	2021.01	A1.3
		Date	5/19/2021	
		Revision		
		Scale		



① Front East View



② Back West View

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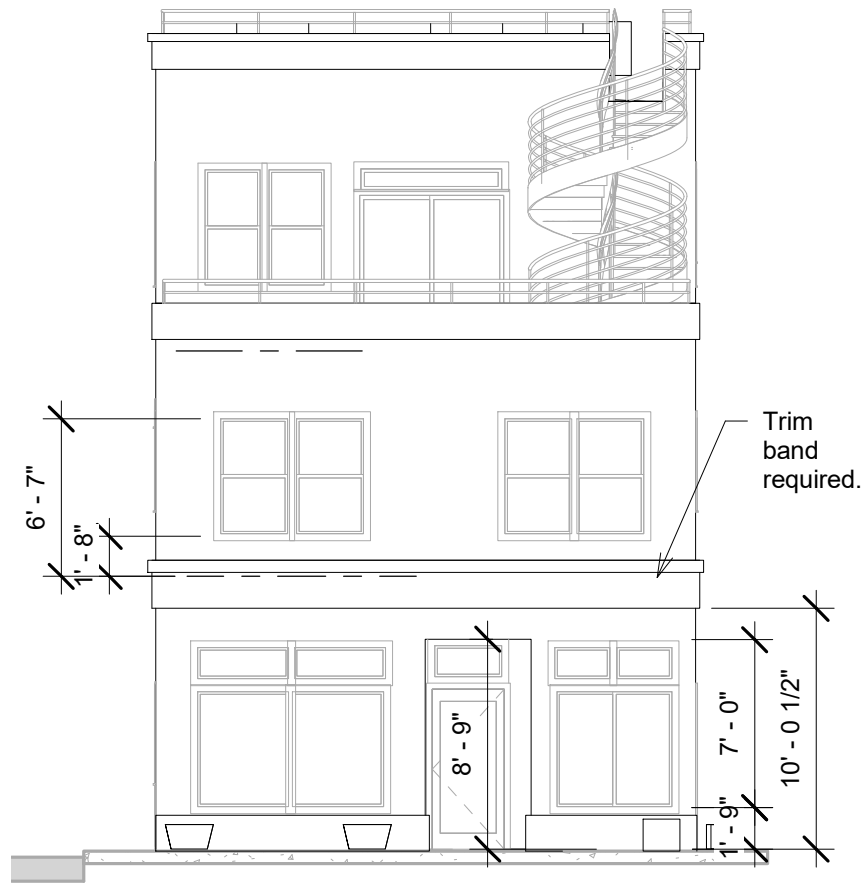
Halloran-Steiner Building

First St Mixed Use

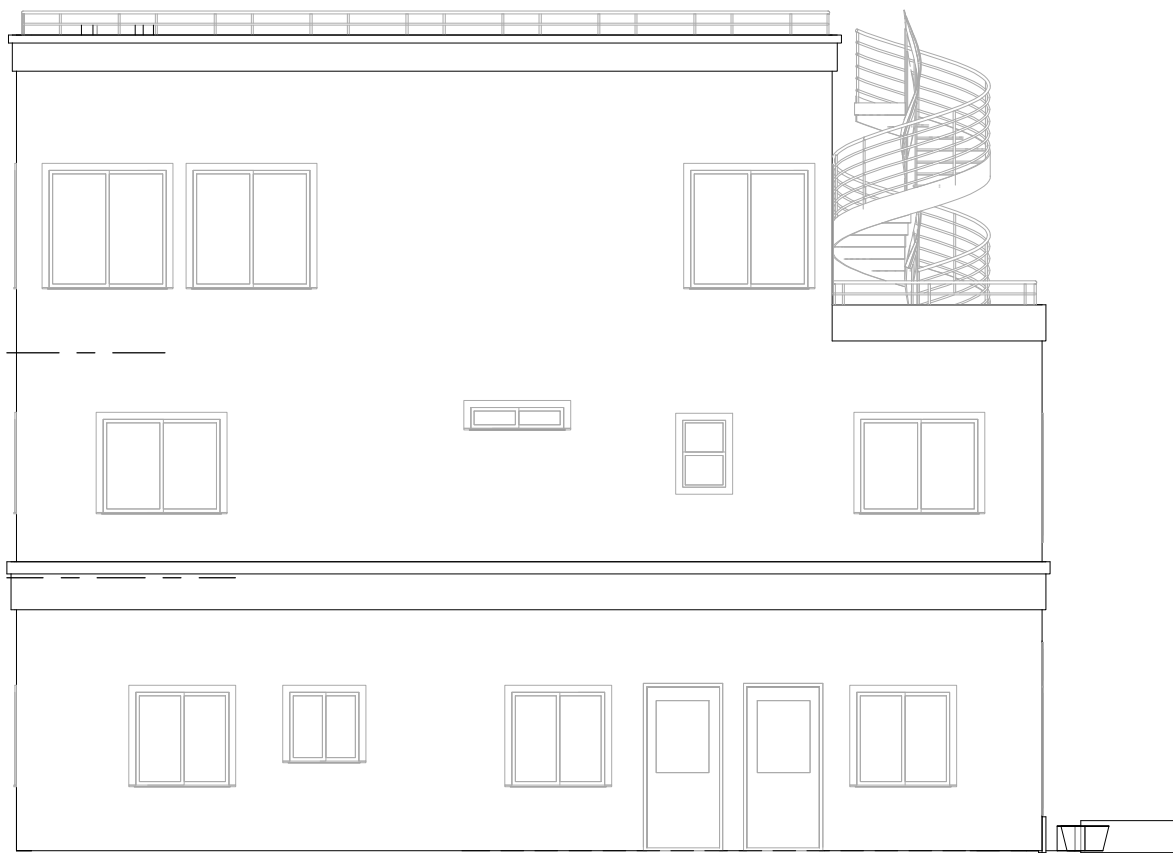
Design 5 c

Views
Project 2021.01
number
Date 5/19/2021

A1.11



① Front Elevation
1/8" = 1'-0"



② West Side Elevation
1/8" = 1'-0"

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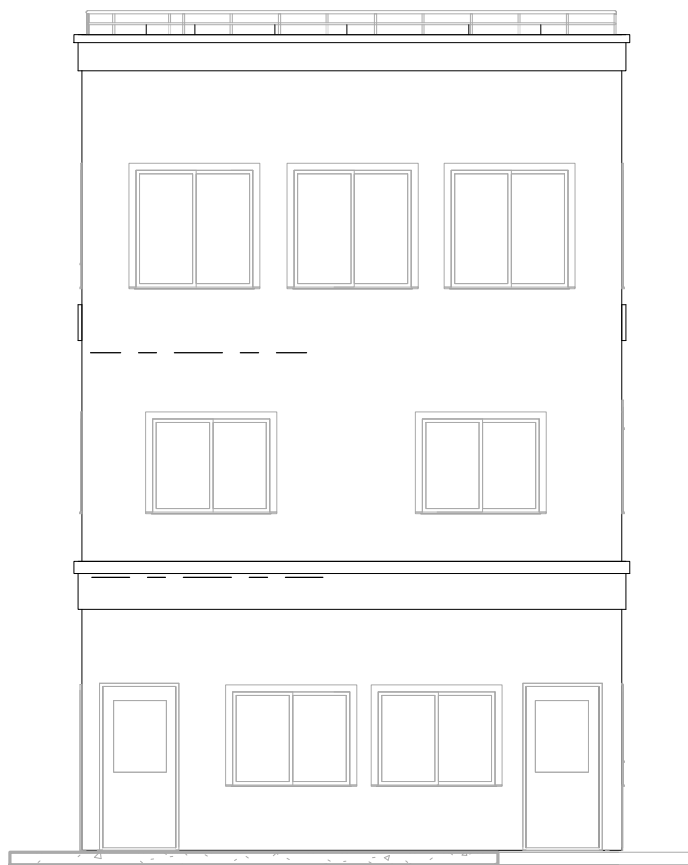
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Halloran-Steiner Building

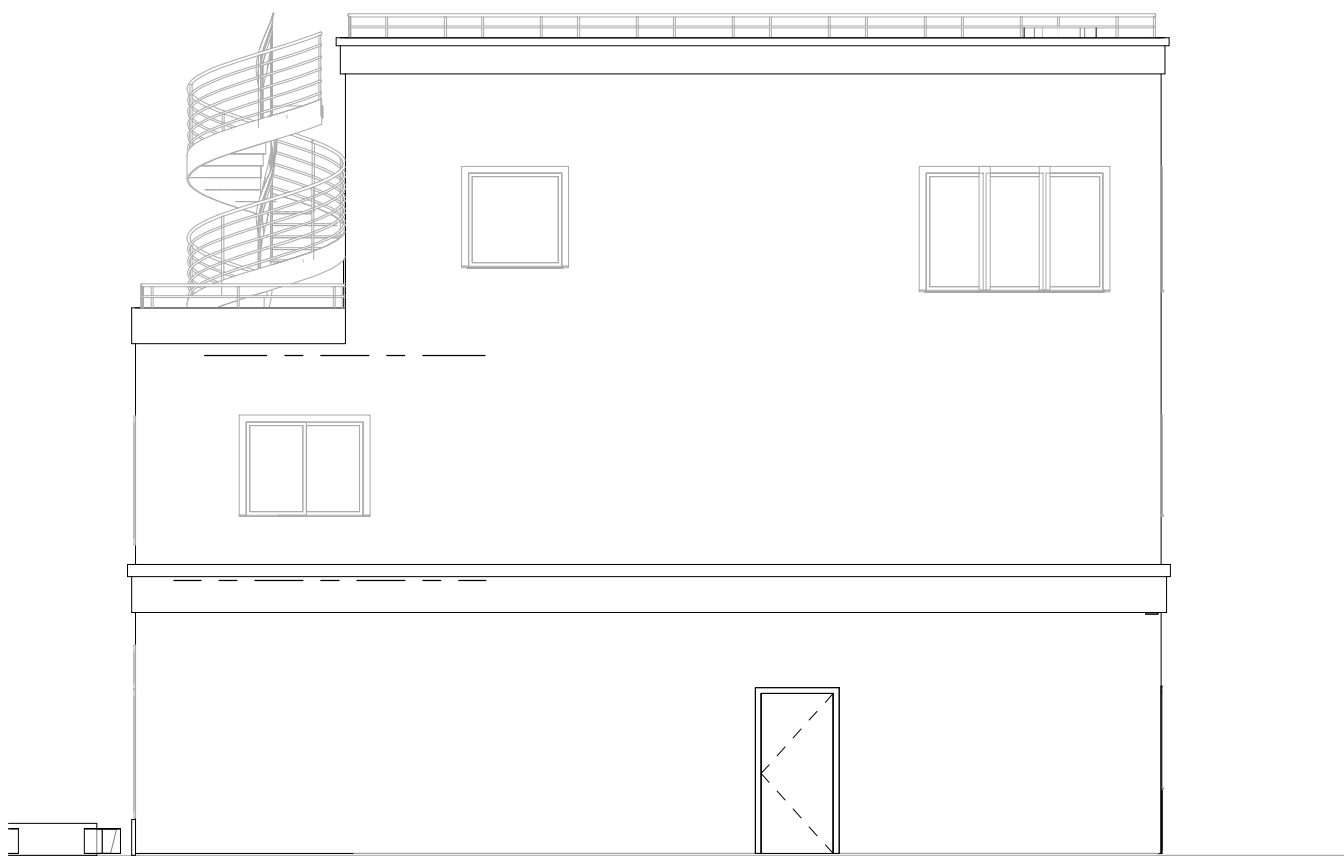
First St Mixed Use

Exterior Elevations
Project 2021.01
number
Date 5/19/2021

A2.1



① Back Elevation
1/8" = 1'-0"



② East Side Elevation
1/8" = 1'-0"

Preliminary
Not for Construction

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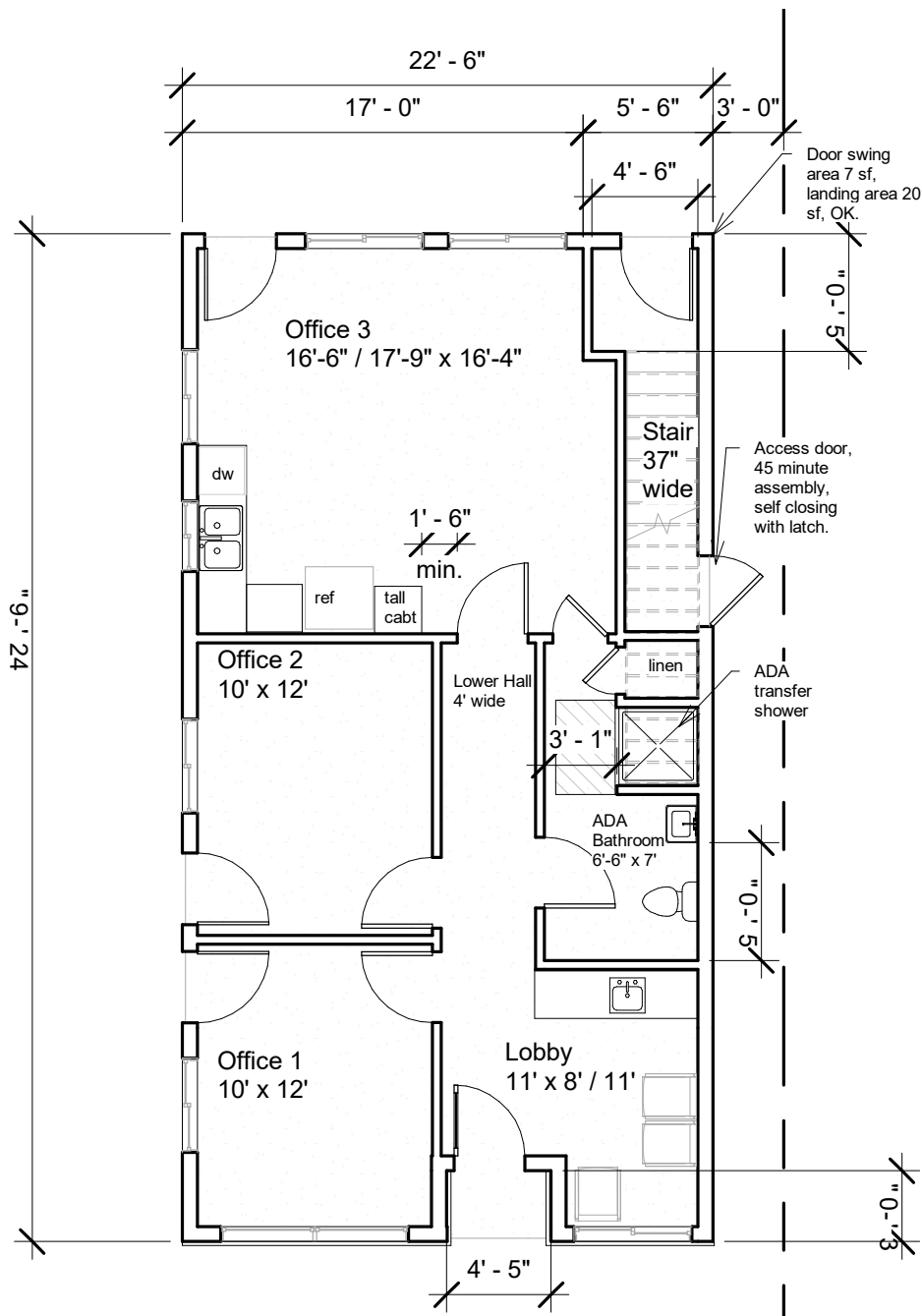
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Halloran-Steiner Building

First St Mixed Use

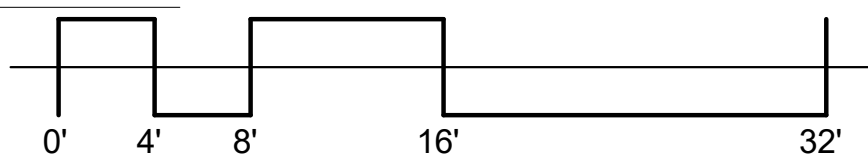
Exterior Elevations
Project 2021.01
number
Date 5/19/2021

A2.2



Office Level
 960 sf gross building footprint
 892 sf gross office (excludes
 stair to upper apts.)

① Level 1 Floor Plan
 1/8" = 1'-0"



Code Notes

1. Parking limits site to 2 residential units.
2. NFPA 13R fire sprinklers throughout building, OK per McMinnville Fire Dept.
3. Levels 2 and 3 are R2, require NFPA 13R sprinklers, fire partition walls between units and Horizontal assembly between units.
 - A. Per McMinnville Fire Dept, B occupancy on level 1 is considered low hazard occupancy, so can also use NFPA 13R fire sprinkler system.
4. Ground floor is B occupancy. Per Table 508.4, 1 hour separation required between B and R occupancies in building with fire sprinkler system.
5. Per Table 707.3.10, 2 hour fire barrier required separating fire areas for occupancies B and R.
6. Exterior wall less than 10' from property line must be 1 hour fire rating.
7. No elevator required: Per OSSC 1104.4 exc. 1, an accessible route is not required to stories with an aggregate area of not more than 3000 sf and are located above accessible levels.
8. Level 3 has no sleeping rooms.

**Preliminary - Not for
 Construction**

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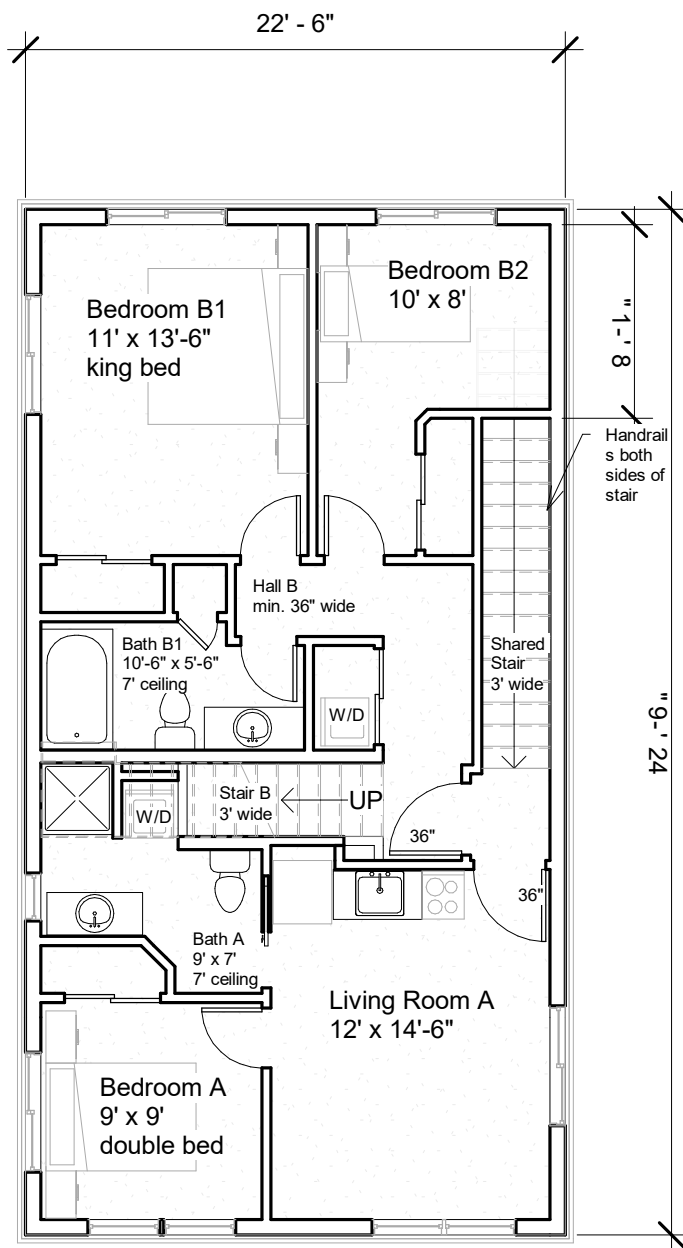
Halloran-Steiner Building

First St Mixed Use

Design 5 c

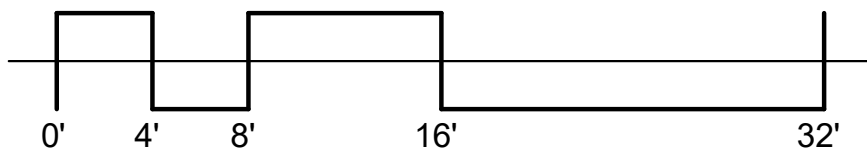
Level 1 Plan
 Project 2021.01
 number
 Date 5/19/2021

A1.7



Level 2 - 960 sf gross footprint
 Apt. A - 375 sf
 Apt. B - 518 sf lower
 787 sf upper
 1305 sf total
 175 sf deck level 3

① Level 2 Floor Plan
 1/8" = 1'-0"



Preliminary - Not for Construction

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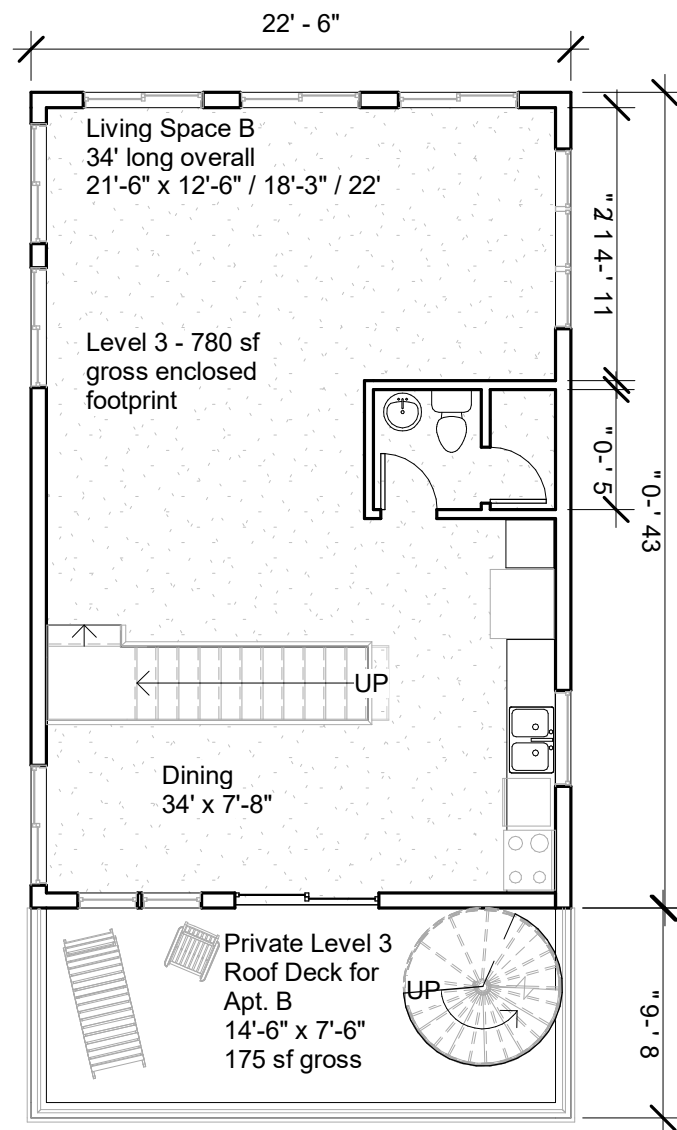
Halloran-Steiner Building

First St Mixed Use

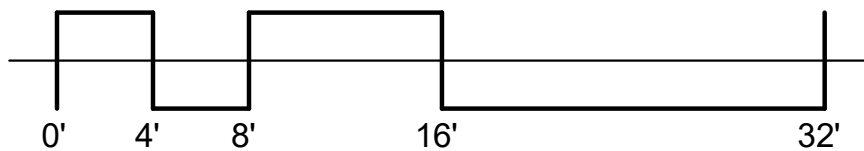
Design 5c

Level 2 Plan
 Project 2021.01
 number
 Date 5/19/2021

A1.8



① Level 3 Floor Plan
1/8" = 1'-0"



**Preliminary - Not for
Construction**

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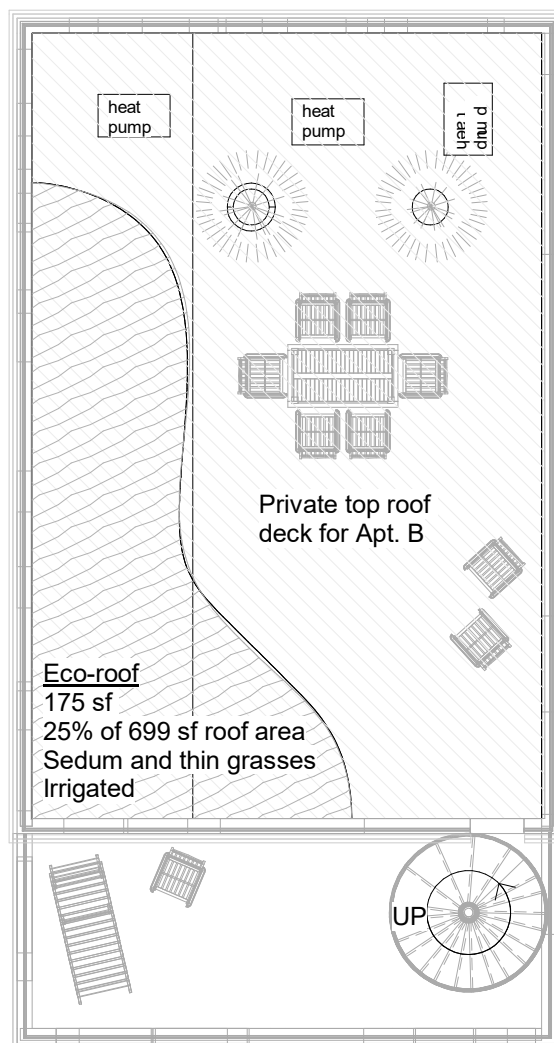
Halloran-Steiner Building

First St Mixed Use

Design 5c

Level 3 Plan
Project 2021.01
number
Date 5/19/2021

A1.9



① Parapet Roof Plan
1/8" = 1'-0"

Preliminary
Not for Construction

Design 5b

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Halloran-Steiner Building

First St Mixed Use

Roof Plan
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number
Date 5/19/2021

A1.10



Front West View

**Preliminary
Not for Construction**

Design 5b

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Halloran-Steiner Building

First St Mixed Use

Color View
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number
Date 5/19/2021

A1.1.a



Front East View

**Preliminary
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Design 5b

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Halloran-Steiner Building

First St Mixed Use

Color View
Project 2021.01
number
Date 5/19/2021

A1.1.b



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311
www.mcminnvilleoregon.gov

EXHIBIT 3 - STAFF REPORT

DATE: June 24, 2021
TO: Historic Landmark Committee Members
FROM: Chuck Darnell, Senior Planner
SUBJECT: Presentation from Northwest Vernacular Historic Preservation on Goal 5 Historic Resources Survey Work in New UGB Areas

STRATEGIC PRIORITY & GOAL:



GROWTH & DEVELOPMENT CHARACTER

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

OBJECTIVE/S: Strategically plan for short and long-term growth and development that will create enduring value for the community

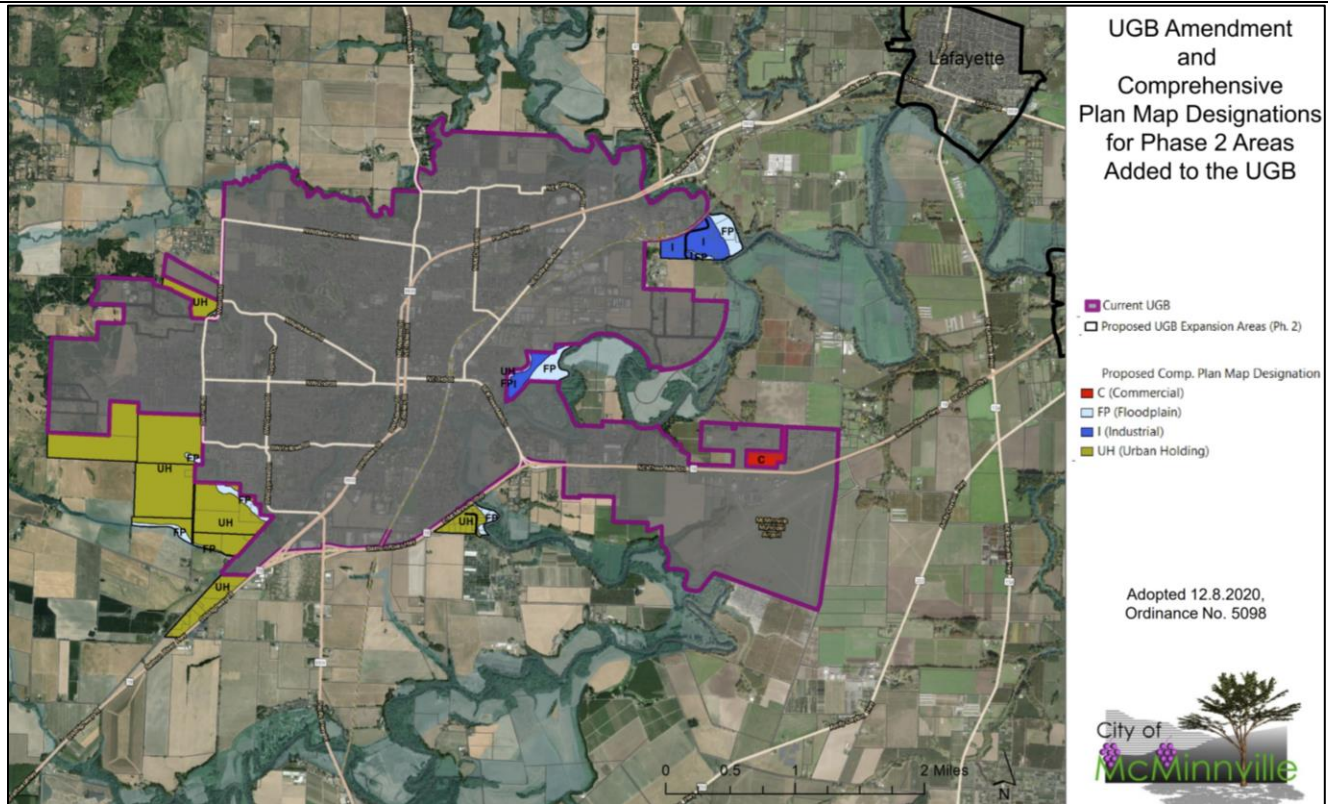
Report in Brief:

The purpose of this discussion item is for the Historic Landmarks Committee to receive a presentation from a consultant, Spencer Howard with Northwest Vernacular Historic Preservation, that has been hired to assist the Planning Department in completing inventory, survey, and evaluation work for the identification of potential Goal 5 historic resources within areas of the recently expanded Urban Growth Boundary (UGB). As a discussion item, this presentation will provide an opportunity for the Committee to receive an update on the work, preliminary findings, and recommendations, and also to provide any feedback to the consultant team as they finalize their work tasks and final report. No action is requested by the Committee at this time.

Background:

On December 8, 2020, the McMinnville City Council approved Ordinance No. 5098 adopting the McMinnville Growth Management and Urbanization Plan and its appendices. This action added land to the McMinnville Urban Growth Boundary (UGB), provided comprehensive plan designations for the land in the city's urban growth boundary that is not currently in the city limits, adopted amendments to the Comprehensive Plan goals, policies and proposals, and adopted amendments to Chapter 17 of the McMinnville Municipal Code. The City Council's action has been acknowledged by the Oregon Department of Land Conservation and Development, so the UGB expansion and all of the other Comprehensive Plan and code amendments are now effective.

A map identifying the new McMinnville UGB can be seen below (new areas added to the UGB are identified in colored areas as identified in the legend):



The Planning Department is now moving forward with the next steps in planning for the eventual urbanization of the new UGB areas. This will include updating public infrastructure plans (transportation, waste water, storm sewer, etc.) to accommodate the provision of services in these areas, and then more detailed area planning and master planning prior to the designation of City zoning districts and eventual development.

One of the components of the planning for these new UGB areas is a consideration of historic resources as required by Goal 5 of the Oregon Statewide Land Use Planning Goals. To do so, the Planning Department contracted with Northwest Vernacular Historic Preservation to complete the necessary Goal 5 historic resource inventory process to identify and evaluate the potential existence and protection of historic resources in the new UGB areas.

Discussion:

Spencer Howard with Northwest Vernacular Historic Preservation (NWWHP) will be attending the Historic Landmarks Committee meeting and providing a presentation on their recent Goal 5 historic resources inventory work, their preliminary findings, and recommendations.

The overall focus of the project was fulfill the inventory requirements for historic resources in the new UGB areas to identify conflicting uses and develop programs to protect significant resources in compliance with Goal 5 requirements, per Oregon Administrative Rules (OAR) sections 660-023-0030 and 066-023-0200. This is a local process, and the consultant’s work focused on the fact that the City of McMinnville’s existing historic preservation program would continue to be utilized for protection of any additional areas/resources within the expanded UGB, as the City’s existing program is consistent with the Goal 5 protection requirements. Therefore, NWWHP focused on completing an inventory and individual resource evaluation process as described in the Goal 5 OARs, which included a standard reconnaissance-level survey (RLS) of built environment resources within the new UGB areas. NWWHP’s scope of work also included the preparation of an archaeological resources existing conditions report and an archaeological predictive model that would assist in identifying areas of the UGB that may be of higher probability of encountering buried archaeological resources. This archaeological work was completed

by Environmental Science Associates (ESA) as a subconsultant with specific expertise in archaeological resources.

The focus of NWVHP's presentation at the June 24, 2021 Historic Landmarks Committee will be on the RLS work. Staff will share more information on the archaeological resource components of the work at a later meeting.

Attached to this staff report is a DRAFT of the Reconnaissance Level Survey (RLS) Report for the new UGB areas, which was prepared by Northwest Vernacular Historic Preservation. Please note that this is a draft of the report, and may still be revised as staff reviews and provides comments to NWVHP. The Historic Landmarks Committee will also have an opportunity to provide feedback and suggestions for NWVHP to consider as they make final edits to the report. A final version of the RLS report will be delivered to the Planning Department near the end of June 2021.

In summary, the attached Draft RLS report includes the following sections:

- 1) Executive Summary
- 2) Statement of Project Objective
- 3) Methodology
- 4) Historical Overview
- 5) Data Summary
 - a. This chapter includes a summary of the data findings of the RLS survey work. This includes a summary of the number of buildings surveyed, the number of potential resources, the architectural styles and building forms identified, common alterations identified, and a summary of the consultant's evaluation of eligibility.
- 6) Recommendations
 - a. This chapter summarizes the consultant's recommendations based on their RLS survey work and findings.
- 7) Bibliography
- 8) Statistical Report City
 - a. This chapter includes tables that provide more specific evaluation of each of the buildings, structures, and properties that were surveyed and evaluated, which includes the consultant's recommendations on potential historic resource classifications and eligibility.
- 9) Maps
 - a. This section includes detailed maps of each sub area of the recently expanded UGB and the findings of the RLS work in each sub area.

Fiscal Impact:

None.

Recommendation/Suggested Motion:

As a discussion item, no specific action is required. Staff suggests that the Historic Landmarks Committee provide feedback and direction to staff and the consultant on any potential considerations or updates that could be made incorporated into the RLS report as it is being finalized.

Prior to any specific action being taken on any potential addition or change to the Historic Resources Inventory, the Planning Department would provide the Historic Landmarks Committee with a more detailed presentation on the steps in that process and would complete necessary public and property owner noticing.

CD

MAY 2021 | DRAFT

RECONNAISSANCE LEVEL SURVEY

URBAN GROWTH BOUNDARY (UGB)

McMinnville, Oregon



PREPARED BY
Northwest Vernacular

Report prepared and survey conducted by:

Katie Pratt, Architectural Historian, Northwest Vernacular, Inc.

Spencer Howard, Historic Preservationist, Northwest Vernacular, Inc.



NORTHWEST VERNACULAR
HISTORIC PRESERVATION

Abbreviations and Definitions

- Crop land:** Land worked (plowed or tilled) regularly and used for single or under crop rotation systems.
- ESA:** Environmental Science Associates.
- GIS:** Geographic Information System.
- Historic resources:** Per OAR 660-023-0200(1)(e) are those buildings, structures, objects, sites, or districts that potentially have a significant relationship to events or conditions of the human past.
- HLC:** Historic Landmark Committee.
- HRI:** City of McMinnville Historic Resource Inventory.
- Locally significant historic resource:** Per OAR 660-023-0200(1)(f) means a building, structure, object, site, or district deemed by a local government to be a significant resource according to the requirements of this division and criteria in the comprehensive plan.
- MMC:** McMinnville Municipal Code.
- National Register Resource:** Per OAR 660-023-0200(1)(g) means buildings, structures, objects, sites, or districts listed in the National Register of Historic Places pursuant to the National Historic Preservation Act of 1966 (PL 89-665; 16 U.S.C. 470).
- NWV:** Northwest Vernacular, Inc.
- OAR:** Oregon Administrative Rules.
- Pasture land:** Land used for livestock grazing or cutting of hay absent the regular working associated with crop lands.
- RLS:** Reconnaissance Level Survey.
- SHPO:** Oregon Historic Preservation Office (Officer)
- Significant historic resource:** Per OAR 660-023-0200(1)(j) means a locally significant historic resource or a National Register Resource.
- UGB:** Urban Growth Boundary.

Photograph Citations

All photographs and maps included in this report were created by Northwest Vernacular, Inc. unless otherwise noted.

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1. Executive Summary

This report addressing the built environment and cultural landscape, and the May 21, 2021 memorandum relative to below ground archaeological resources existing conditions and the associated GIS predictive model (both prepared by ESA), fulfill the inventory requirements for historic resources in the “UGB Amendment and Comprehensive Plan Map Amendment Showing Designations for Phases 1 and 2” to identify conflicting uses and develop programs to protect significant resources in compliance with Goal 5 and Urban Reserve Area requirements, per Oregon Administrative Rules (OAR) sections 660-023-0030 and 066-023-0200.

Built environment inventory developed through field work and survey area analysis used historic maps and aerials to identify extant resources built in or prior to 1976. All surveyed resources were recorded in the Oregon Historic Sites database at the reconnaissance level.

Analysis relative to archaeology was developed through a review of existing conditions for below ground archaeological resources and development of a GIS predictive model. The model analyzes the potential for buried pre-contact and early historic-era archaeological resources within the proposed UGB.

2. Statement of Project Objective

The objective of this reconnaissance level survey (RLS) is to fulfill the inventory requirements for historic resources in the areas shown in the “UGB Amendment and Comprehensive Plan Map Amendment Showing Designations for Phases 1 and 2” to identify conflicting uses and develop programs to protect significant resources in compliance with Goal 5 and Urban Reserve Area requirements, per Oregon Administrative Rules (OAR) sections 660-023-0030 and 066-023-0200.

This is a local process and as such Section 17.06.060 of the McMinnville Municipal Code (MMC) provides the definition for the inventory’s classifications. In addition, eligibility evaluation also utilizes State Historic Preservation Office (SHPO) classifications (ES, EC, NC, NP, and UN) per Appendix B of the SHPO’s “Guidelines for Historic Resource Surveys in Oregon.”

The City of McMinnville hired historic preservation consultant firm Northwest Vernacular, Inc. (NWV) and subcontractor Environmental Science Associates (ESA) to complete the RLS, with the following tasks supporting the project objective:

- Conduct a standard reconnaissance-level survey (RLS) of built environment resources.
- Prepare an archaeological resources existing conditions report.
- Develop an archaeological predictive model.
- Present findings and recommendations at a public meeting of the McMinnville Historic Landmarks Committee.

3. Methodology

The following addresses built environment methodology specific to this report.

Katie Pratt and Spencer Howard of NWV conducted the field work and both meet the U.S. Secretary of the Interior's *Professional Qualifications for Architectural History*. Katie Pratt meets the US Secretary of the Interior's *Professional Qualifications for Historian*.

Based on the requirements under OAR sections 660-023-0030 and 066-023-0200, and the scale of the collective survey areas (roughly 1,285 acres with over 145 buildings built prior to 1976) located around the perimeter of the city, NWV utilized the following approach to complete the built environment RLS. This approach included collecting information about historic resources, determining the adequacy of the information, determining the significance of the historic resources, and resulted in a list of locally significant historic resources for review and adoption by the Historic Landmarks Committee (HLC).

NWV staff set up the inventory in an extraction of the SHPO's Oregon Historic Sites Database. Our research, field work, and documentation followed the process set forth in OAR 660-023-0030 Inventory Process and standards set forth by the Oregon SHPO in "Guidelines for Historic Resource Surveys in Oregon" and by the National Park Service in *Guidelines for Local Surveys: A Basis for Preservation Planning*, National Register Bulletin 30 *Guidelines for Evaluating and Documenting Rural Historic Landscapes*, and was conducted in accordance with the U.S. Secretary of the Interior's *Standards and Guidelines for Historic Preservation and Archaeology* (Federal Register, Vol. 48, No. 190, Sept. 1983). We used methodology established in Appendices 3 and 4 of the 1980 *McMinnville Historic Resource Survey and Inventory: Phase I* and updated in the *2020 McMinnville Reconnaissance Level Survey* to assign recommended City of McMinnville Historic Resource Inventory (HRI) categories.

Based on a review of the survey areas using Geographic Information System (GIS) data, including a comparison of existing buildings with historic aerials, NWV determined a selective (vs standard) reconnaissance-level survey as the appropriate approach. The SHPO defines a selective reconnaissance-level survey as one that examines only resources within a survey area that are about 45 years old or older. The survey areas each contain a majority of resources less than 45 years of age, precluding the need for a standard reconnaissance-level survey, which examines every resource within a survey area regardless of age. For this project, conducted in 2021 and based on the 45-year threshold, all resources built in or before 1976 were surveyed. Agricultural landscapes are addressed in the Historic Context chapter under the Land Uses and Activities section. Year built data was obtained from Yamhill County and the City's Engineering Department.

A reconnaissance-level (vs intensive) survey and associated historic context are adequate relative to the standard Goal 5 inventory process (OAR 660-023-0030(1)) steps of:

- Collect information about Goal 5 resource sites;
- Determine the adequacy of the information;
- Determine the significance of resource sites; and
- Adopt a list of significant resource sites.

An RLS collects sufficient information related to development patterns, land uses, and each historic building, structure, and site to inform potential Historic Resource Inventory category and National Register eligibility under criteria A and C. The presentation of survey findings at a public HLC meeting provided an opportunity for community-wide participation as part of the inventory process.

3.1. PREVIOUS SURVEYS

NWV staff obtained a GIS extract point layer of the Oregon Historic Sites database. No resources had been previously surveyed within the study areas as of 2021.

3.2. RESEARCH

NWV staff conducted research to collect information on and understand the history, development patterns and spatial organization of the survey areas, how they shaped the area and how they relate to the development periods established in the city's Historic Preservation Plan. This research included local newspapers, general land office records, historic aerials, and historic maps. We georeferenced all collected historic aerials and maps to enable a direct comparison with existing conditions within each survey area. The City of McMinnville GIS staff provided map layers, including Yamhill County and City Engineering Department year built data. This work built on the information in the historic context within the *McMinnville Historic Preservation Plan*, adopted in 2019 as an appendix to the *Comprehensive Plan*. This historic context provided the basis for informing eligibility evaluation of surveyed resources.

In order to provide estimated dates of construction for buildings for which the Yamhill County Assessor and City Engineering Department did not have data, we geo-referenced historic aerials from the University of Oregon from 1936, 1944, 1948, and 1963 and from the U.S. Geological Survey from 1953, 1954, 1970, and 1976, as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950 in order to narrow down estimated year built based on building form, materials, style (if applicable), and when it first showed up in one of the maps or aerials.

3.3. FIELD WORK

All field work was done from the public right of ways and conducted on April 20 and 21, 2021. We drove each survey area, recording survey form data for each surveyed resource, including address, historic/current name(s), original use, construction date(s), materials, style, plan type, comments (such as alterations observed, window details, or any notable aspects), number of contributing and non-contributing resources, and an eligibility evaluation.

Two high resolution digital photographs were taken for each primary resource (such as the house or barn) and a single photograph of each secondary resource (such as a garage or small shed) on the property. NWV staff completed one form for each primary resource and included all secondary resources on that property with the primary resource. The digital photographs were renamed by street and building number for inclusion in the survey report, individual forms for each resource, and renamed by street address to provide a digital archive for the City. We provided the City and SHPO with both a database optimized image set and a full high resolution image set.

3.4. DATA ENTRY

NWV staff started forms for each resource and entered data collected in the field into the SHPO database. We processed latitude and longitude coordinates in decimal degrees to at least the fifth decimal place for all survey forms in GIS based on the center of the primary resource on the property using the North American Datum of 1983 (NAD83) for use during form data entry.

We linked the database optimized images to each form, exported reports and lists for inclusion in the survey report, and included a copy of the final survey report content in the database.

3.5. PRESENTATIONS

[Pending final draft]

We conducted a workshop with the HLC and City staff to review findings and the recommendations for the locally significant historic resource list. We presented our findings at a public HLC meeting. This included a PowerPoint presentation. The draft copy of the survey report was delivered to City staff to distribute to the HLC in advance of this meeting. This meeting included a discussion of what National Register eligibility means and regulation under Goal 5 for locally significant historic resources.

3.6. BOUNDARY EXPLANATION AND JUSTIFICATION

The survey areas consist of the areas shown in the “UGB Amendment and Comprehensive Plan Map Amendment Showing Designations for Phases 1 and 2.” The survey areas included over 143 buildings of which 101 were considered primary resources for which a form was completed with the rest being secondary buildings and included as part of the form for the associated primary resource. The survey areas are defined as follows in “Table: Survey Areas” with road names applied to each based on a key road within the survey area to support orientation to the location of each survey area.

Table 1. Survey Areas

SURVEY AREAS	GENERAL DESCRIPTION	PARCELS WITHIN SURVEY AREAS
Area A, NW Cemetery Road Area	Uplands and lowland lands west of NW Hill Road to the west end of NW Fox Hill Road and north of NW Fox Hill Road to the mill race remnant and south to NW Cemetery Road and NW Jefferson Way.	32 parcels: R4418 00700; R4418 00701; R4418CC 00100; R4418CC 00101; R4418CC 00102; R4418CC 00104R4418CC 00500; R4418CC 01000; R4418CC 01100; R4419 01200; R4419 01200; R4419 01900; R4419 02000; R4418CC 00300; R4418CC 00400; R4418CC 00700; R4418CC 00800; R4418CC 00900; R4419 02100; R4513 01000; R4513 01001; R4513 01100; R4513 01200; R4513 01201; R4513 01202; R4513 01300; R4524 00100; R4524 00200; R4524 00300; R4524 00301; R4524 00400; R4418CC 00200.
Area B, SW Redmond Hill Road Area	Uplands along the north and south sides of SW Redmond Hill Road west of SW Grayson Street and lowlands south of SW Redmond Hill Road and SW Alexandria Street to Cozine Creek, west of SW Old Sheridan Road and east of the foothills.	29 parcels: R4430 01900; R4430 00300; R4430 01200; R4430 01201; R4430 01202; R4430 01300; R4430 01400; R4430 01500; R4430 01800; R4419 02600; R4430 01700; R4524 01000; R4524 01001; R4524 01002; R4524 01003; R4524 01004; R4524 01005; R4524 01100; R4524 00900; R4524 00901; R4524 00903; R4524 00903; R4524 00904; R4524 00905; R4524 00906; R4430AD 00600; R4430AD 00700; R4430AD 00300; R4430AD 00400.
Area C, SW Old Sherman Road Area	Lowlands bounded by SW Old Sheridan Road on the west, Highway 18 on the east, SW Durham Lane on the south, and ending just north of SW Peavine Road on the north.	13 parcels: R4430 00800; R4430 00801; R4430 00900; R4431 00100; R4431 00900; R4431 01000; R4431 01100; R4431 01200; R4431 01400; R4431 01500; R4431 01600; R4431 01700; R4431 01701.

SURVEY AREAS	GENERAL DESCRIPTION	PARCELS WITHIN SURVEY AREAS
Area D, Morgan Lane Area	Lowlands bounded by SE Booth Bend Road on the south, Highway 18 on the west and north, the South Yamhill River on the north and east.	24 parcels: R4428A 01900; R4428A 02000; R4428A 02100; R4428A 02200; R4428A 02300; R4428A 02400; R4428A 02500; R4428A 02600; R4428A 02700; R4428A 02800; R4428A 02801; R4428A 02802; R4428C 00100; R4428C 00200; R4428C 00300; R4428C 00400; R4428C 00500; R4428D 00100; R4428D 00100; R4428D 00200; R4428D 00200; R4428D 00300; R4428D 00400; R4428D 00600.
Area E, SE Brooks Street Area	Lowlands bounded on the east by the South Yamhill River, Joe Dancer Park on the south, the creek drainage just east of NE Oregon Street on the west, and industrial land use on the north.	1 parcel: R4421 00400.
Area F, NE Three Mile Lane Area	Lowlands north of Highway along the north side of Three Mile Lane bounded by the Evergreen Aviation and Space Museum on the west and north, and Laurel Drive to the east.	1 parcel: R4423 00600.
Area G, NE Riverside Loop Area	Lowlands along NE Riverside Drive bounded by the South Yamhill River on the south-west, NE Riverside Loop on the southeast, SE Parma Drive on the east, agricultural fields on the north, and NE Blossom Drive on the west.	78 parcels: R4422 02200; R4414 02100; R4414 02101; R4414 02102; R4414 02200; R4414 02201; R4414 02202; R4414 02203; R4414 02300; R4414 02301; R4414 02400; R4414 02401; R4414 02402; R4414 02501; R4414 02502; R4414 02600; R4414 02700; R4414 02800; R4414 02900; R4414 02901; R4414 02990; R4414 02991; R4414 03000; R4414 03100; R4414 03101; R4414 03104; R4414 03106; R4414 03107; R4414 03108; R4414 03109; R4415 03500; R4415 03600; R4415DD 00100; R4415DD 00200; R4415DD 00300; R4415DD 00400; R4415DD 00500; R4415DD 00600; R4415DD 00700; R4415DD 00800; R4415DD 00900; R4415DD 01200; R4415DD 01300; R4415DD 01400; R4422 00601; R4422 00700; R4422 00900; R4422 00901; R4422 00902; R4422 01000; R4422 01100; R4422 01200; R4422 01300; R4422 01400; R4422 01500; R4422 01600; R4422 01601; R4422 01700; R4422 01800; R4422 01900; R4422 02000; R4422 02100; R4423 02000; R4423 02100; R4423 02200; R4423 02201; R4423 02300; R4423 02400; R4423 02401; R4423 02500; R4423 02600; R4423 02601; R4423 02602; R4423 02603; R4423 02604; R4423 02605; R4423 02607; R4423 02608.

SURVEY AREAS	GENERAL DESCRIPTION	PARCELS WITHIN SURVEY AREAS
Area H, NE Riverside Drive Area	Lowlands bounded by the North and South Yamhill Rivers on the east, a creek drainage along the south, the railroad right-of-way along the northwest and agricultural lands on the west.	15 parcels: R4414 00200; R4414 00300; R4414 00400; R4414 00500; R4414 00600; R4414 00601; R4414 01200; R4414 01300; R4414 01400; R4414 01600; R4414 01601; R4414 01602; R4414 01603; R4414 01700; R4414 01800.

3.7. SETTING

The survey areas are rural in character and in the city-adjacent Yamhill County lands around McMinnville, Oregon, within the Willamette Valley. Survey areas encompass both upland and lowland areas. Refer to Response to the Natural Environment below for additional details.

4. Historical Overview

The *McMinnville Historic Preservation Plan*, adopted in 2019 as an appendix to the *Comprehensive Plan*, provides a historical overview of the city’s development, residential architecture, and architectural styles. The following “Survey Areas” section provides the historic context for each survey area followed by a brief synopsis of the city’s development periods per Chapter 3 of the *Historic Preservation Plan*.

The *Historic Preservation Plan* establishes the following development periods relating to the city’s growth and development and extend to the surveyed areas.

- Settlement and Early Development (1844–1879)
- Entry of the Railroad and Development of Industry (1879–1903)
- Motor Age, Boom and Bust (1903–1940)
- World War II and the Post-war Years (1941–1965)

4.1. SURVEY AREAS

The survey areas reside within city-adjacent lands, which for the purpose of this study extend 1.5 miles out from the City of McMinnville city limits as of 2021. These unincorporated areas of Yamhill County provide an important context and setting for the city, particularly as historic agricultural uses are supplanted by new uses as the population increases.

The purpose of this historic context per the U.S. Secretary of the Interior’s *Standards and Guidelines for Archaeology and Historic Preservation*, is to provide “the foundation for decisions about the identification, evaluation, registration and treatment of historic properties, and surveys.” Commensurate with the reconnaissance level of the survey, which relies on architectural character visible from the public right of way, this historic context for the survey areas is a not an exhaustive history of each area, but instead focuses on the key historical development patterns to provide a framework for understanding the significance of resources surveyed and identify future research needs. Organization is based on guidance from the National Register Bulletin 30 *Guidelines for Evaluating and Documenting Rural Historic Landscapes*.

Survey area analysis to identify responses to the natural environment, land uses and activities, and patterns of spatial organization utilized georeferenced historic maps and aerials combined with estimated dates of construction for buildings from the Yamhill County Assessor and City Engineering Department. General land office survey maps from 1852, 1853, 1860, and 1861 provided both land use and ownership information. Historic aerials sourced from the University of Oregon for 1936, 1944, 1948, and 1963 and from the U.S. Geological Survey from 1953, 1954, 1970, and 1976, as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950 illustrated types of and changes in land use and spatial organization patterns over time.

4.1.a. Response to the Natural Environment

The natural environment’s influence on the built environment within the survey areas is evident in the effect topography, rivers and creeks, vegetation, and soil types had on broad development patterns within each area and relative to each area’s role within the city-adjacent lands. The placement of circulation systems (roads and railroads) and the locating of industry, agricultural, funerary, and domestic land use development patterns in both the survey areas and contextual city-adjacent lands responded to the characteristics of the natural environment. These patterns relative to settler-colonist activities

begin by at least the early 1850s, with the September 27, 1850, Oregon Donation Land Act under which land claims in the survey areas were made required arrival between December 1, 1850 and December 1, 1853. These patterns are evident in current and historic U.S. Geological Survey topographic maps and 1850s General Land Office survey maps, as well as historic aerials from the 1936 through present.

The character of city-adjacent lands west of McMinnville’s city limits are, from west to east, forested foothills (uplands) of the coastal mountain range transitioning to open agricultural fields interspersed with small knolls (lowlands). The Berry, Baker, and Cozine creek drainages and associated channels extend east to the North and South Yamhill rivers. The ridge separating the Baker and Cozine creek drainages extends out from the main foothills with an elevation between 350 and 400 feet that drops to near 180 feet—just west of NW Hill Road.

The city-adjacent lands east of the city limits are characterized by relatively flat land-benches bounded by the winding channels of the North and South Yamhill rivers. The gently sloped sides of the benches descend to the rivers’ edges. Elevations are lower than those west of the city, ranging from 150 to 100 feet. The city-adjacent lands north and south of the city limits transition between the character of the west and east city-adjacent lands. The south city-adjacent lands consist of more open gently sloped landforms, and the character of the north is shaped by the channels of the North Yamhill River and Panther and Baker creeks.

Widespread land uses within the survey areas were agriculture, domestic, and transportation. Funerary and industrial uses occurred in specific locations. This same general pattern extended throughout the city-adjacent lands along with other land uses that did not occur within these survey areas.

Distinctive land uses and activities within the survey areas are identified in the following table and which survey area(s) they remain in active use.

Table 2. Characteristic Land Uses

CHARACTERISTICS/SURVEY AREA EVIDENT IN/SURVEY AREAS	A	B	C	D	E	F	G	H
<u>Agricultural</u> land use occurs predominately within the lowland areas benefiting from soil conditions and water access. Established during the city’s 1844-1879 and 1879-1903 development periods as well as the early portion of the 1903-1940 period. These include agricultural fields, outbuildings, and associated houses comprising individual farmsteads. Pasture lands tend to occur in the upland areas with single crop fields in the lowlands. Christmas tree farms occur in both the upland and lowland areas.	X	X	X	-	X	X	X	X
<u>Industrial</u> land uses tend to be in the uplands benefiting from the elevation and land form materials. These uses include waterworks for the municipal supply, and a former stone quarry since converted to a pond. A remnant mill race associated with a processing facility within the city limits extends through the west city-adjacent lands. These were established during the city’s 1879-1903 and 1903-1940 development periods.	X	-	-	-	-	-	-	-
<u>Funerary</u> land uses consist of a cemetery located in the uplands on land not disturbed through agricultural use and affording picturesque views of the surrounding landscape and Mount Hood. This was established towards the end of the city’s 1844-1879 development period.	X	-	-	-	-	-	-	-

CHARACTERISTICS/SURVEY AREA EVIDENT IN SURVEY AREAS	A	B	C	D	E	F	G	H
<u>Domestic</u> land uses consist primarily of single dwellings and occur predominately in the uplands and along the river edge on less arable lands and locations affording picturesque views. Lowland domestic land use is shaped to a greater extent by transportation, with single farmsteads placed along roads and denser residential development emerging along roadways. This land use generally developed in concert with agricultural land use, and by the 1941-1965 development period shifted notably to domestic only land use to support the city's growing population, separate from agricultural land use.	X	X	X	X	-	-	X	X
<u>Transportation</u> land uses consist primarily of road-related use within the survey areas with abutting rail-related usage patterns. The development of arterials and key secondary roads within the city-adjacent lands overlapped the survey areas and tended towards the lowlands with generally direct routes. Upland road development occurred as industrial, funerary, and domestic land uses extended outward from the city. Many of the arterial and some secondary roads developed from usage patterns established during the 1844-1879 development period. Railroad development occurred during the 1879-1903 development period.	X	X	X	X	X	-	X	X

The following identifies and addresses the known chronology of land uses and activities as well as patterns of spatial organization within each survey area. Distinctive land use and associated components characteristic of each survey's historic development patterns are identified in tables for each survey area. Refer to the Data Summary section for a full resource inventory for each survey area, and eligibility recommendations based on the level of integrity.

4.1.b. NW Cemetery Road Area (A)

Spanning both up- and lowlands, the land uses and activities include agriculture, industry, funerary, domestic and transportation.

Background provided in this section stems from Yamhill County Assessor and City Engineering Department property data; General Land Office maps from 1852, 1853, 1860, and 1861; historic aerials from 1936, 1944, 1948, 1953, 1954, 1963, 1970, and 1976; Sanborn Fire Insurance Maps from 1889, 1892, 1902, 1912, and 1923; and as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950.

Table 3. Area A Remaining Distinctive Characteristics

LAND USE	COMPONENTS
Agriculture and Domestic	Lowland fields and associated farmstead cluster at 11200 NW Fox Ridge Road tie into broader land use patterns once widely evident in city-adjacent lands and diminished through subdivision development. Upland fields associated with the farmstead cluster at 11501 NW Fox Ridge Road tie into agricultural land use patterns of the upland areas with the western city-adjacent lands.
Industrial	Three of the City's municipal reservoirs (built ca. 1909, ca. 1917, and between 1955 and 1970) is associated with the city's growth and development.

LAND USE	COMPONENTS
Funerary	The 1876 McMinnville Masonic Cemetery is associated with early and ongoing funerary activity supporting the city’s population.
Transportation	NW Cemetery Road, secondary road providing access for both the cemetery and the municipal water reservoirs. NW Hill Road, arterial road providing north–south circulation in the western city-adjacent lands and crossing two survey areas.

Land Uses and Activities

Agricultural land use remains evident in both the upland and lowland areas and directly shaped the physical and visual character of this survey area.

The lowland areas extend north of present day NW Fox Ridge Road. The 1852 General Land Office survey identified the soils as ‘first rate.’ By 1860 these areas resided within the over 630 acre land claim of Martha and Thomas J. Shadden (document no. 1414) under the 1850 Oregon-Donation Act, and abutted the land claims of James H. D. and Mary E. Henderson (over 320 acres, document no. 2927), George W. and Sidney Burnett (over 620 acres, document no. 957, claim 66), and John G. and Catharine Baker (over 630 acres, document no. 105, claim 48) to the north and east. Solomon and Eliza Ann Beary’s land claim (over 500 acres, document no. 953, claim 54) encompassed the upland areas south of present day NW Fox Ridge Road. Cultivated lowland fields remain in consistent agricultural use in 2021. A former seven-acre Christmas tree field along the north side of the intersection of NW Hill Road and NW Fox Ridge Road existed by 1936 and remained through 1976.

Upland areas north of NW Fox Ridge Road were in agricultural use prior to 1936 as cropland, including Christmas trees with cut over former timber lands immediately west. By 1944, the former timber lands were in use as agricultural fields. Quarry use, cutting into the hillside at a creek drainage, grew and displaced some of the fields (see industrial below). Shifts to domestic land use (single family houses on less than an acre parcels) began at a steeper slope transition between fields north of NW Fox Ridge Road in the early 1950s along and included the establishment of SW Dawson Lane. Upland areas south of NW Fox Ridge Road remain in consistent agricultural use in 2021.

Industrial land use remains evident in the upland areas. Refer to Patterns of Spatial Organization below regarding the mill race in the lowland area. Uses included a waterworks (municipal reservoirs) and an extractive facility (quarry). The municipal reservoirs store water collected from the city’s intake dam along Haskins Creek (10.5 miles northwest of McMinnville) and remain in active use. The two square-plan concrete reservoirs were originally open-air, with the first built ca. 1909 and the second ca. 1917.¹ Both received their existing roofs between 1949 and 1953. The third, round plan, reservoir was built between 1955 and 1970, with a fourth and an associated support building added post 1976. The gravel and rock quarry began operation between 1927 and 1936, excavating into the hill side at a former creek drainage. Support buildings developed at the end of the access road from NW Fox Ridge Road, including a former house or office built between 1945 and 1948 along NW Fox Ridge Road and removed after 1976. By 1954 the quarry reached nearly two acres in size, and by 1976 had expanded to nearly 10 acres.² Between 1976 and 2021 the quarry was converted to a pond.

1. Sanborn Fire Insurance Map, 1948, sheet 1.

2. Currently owned by Meisel Rock Products (formerly C. C. Meisel Company) and supplier of rock products since ca. 1955.

Funerary land use consisting of the McMinnville Masonic Cemetery, established in 1876, remains in active use in the upland area south of NW Fox Ridge Road. Located within Solomon Beary's land claim, the cemetery consists of multiple sections extending up the hillside. Access is possible through NW Cemetery Road via the subdivision built south of the cemetery in the late 1990s.

Domestic land use has expanded from farmstead to include residential lots, with farmsteads remaining a prominent use within the survey area. By 1924 and continuing through 1948, the survey area had only three farmsteads. Two of which (11200 NW Fox Ridge Rd, built ca. 1901; 11501 NW Fox Ridge Rd, established prior to 1924) stood at the lower edge of the upland slope on small land benches with associated outbuildings and fields. The third stood just off the northeast corner of the municipal reservoirs. Three other farmsteads outside of, but adjacent this survey area along NW Hill Road existed during this same period as part of a broader extension of the agricultural land use patterns evident in the survey area. During the early 1950s the extension of NW Fox Hill Road beyond the farmstead at 11501 NW Fox Ridge Road up to the municipal reservoirs supported the building of single family dwellings on small (less than 1 acre) parcels and development of SW Dawson Lane along the steeper portions of the uplands. Houses were added along SW Dawson Lane through the 1950s and 1960s. Conversion of the former gravel quarry to a pond post 1976 provided a picturesque setting supporting additional residential development alongside the pond in the 1990s and 2000s. The subdivision of abutting former agricultural lands to the east, north, and south led to substantial single family dwelling development in the late 1990s and 2000s.

Patterns of Spatial Organization

Organization of the lands within this survey area characterizing agricultural, industrial, and funerary land uses is reflected in the road system, lowland field patterns, and mill race remnant. These large-scale patterns have remained constant since the City's 1879-1903 development period and convey historic land use associations. The establishment of SW Dawson Lane and NW Fox Ridge Road during the City's 1941-1965 development period provided both improved access to the City's municipal reservoirs and more recent single family residential development.

Key distinctive patterns of spatial organization remaining within this survey area include NW Cemetery Road, the mill race remnant, lowland fields, and NW Hill Road.

NW Cemetery Road established ca. 1876 to provide access to the McMinnville Masonic Cemetery (est. 1876) remains as an important part of the circulation system for access to the cemetery and connection to the cemetery's road network. The gravel road also provided the only access to the City's water reservoirs prior to establishment of NW Fox Hill Road between 1949 and 1952. By 1936 the first quarter mile of the road west of NW Hill Road was tree lined to provide an allée, or pathway. These trees remained through 1976. Development of the subdivision south of the cemetery in the late 1990s severed this connection with NW Hill Road, with access to NW Cemetery Road now provided via roads within the subdivision.

NW Hill Road (SW south of SW Second Street) established prior to 1924 provided an important north-south transportation corridor along the base of the foothills connecting multiple land uses and extending originally from SW Old Sheridan Road north to NW Baker Creek Road. Use of the land area along the base of the foothills for transportation is evident in the 1852 GLO showing two road segments in the general vicinity of the present day NW Hill Road alignment. Parcel and right-of-way configuration off the northeast corner of the intersection of NW Hill and NW Fox Ridge roads indicates planned straightening of NW Hill Road at this corner that has not been implemented as of 2021.

Field patterns within the lowland area remain largely unchanged and in active agricultural use. Boundary demarcations defining their extent consist of the toe edge of the uplands along the south and west, a natural feature pre-dating the city's development. With NW Hill Road on the east, and the mill race remnant to the north, both built environment features date to the city's 1879-1903 development period. They retain their association with the farmstead at 11200 NW Fox Ridge Road, established ca. 1901 based on assessor year built data.

Mill race remnant, a nearly half mile segment of which forms the north boundary of this survey area. Established by ca. 1892, the mill race is attributed to the Star Mill operation near NW Starr Mill Way near downtown McMinnville. The mill race diverted water from Baker Creek to pour the flour mill, with a boxed flume entering the mill and an underground tail race discharging from the mill to Cozine Creek.³ The mill race generally aligns with the present day NW Wallace Road west of NW Medinah Drive and curved south at NW Starr Mill Way. West of the survey area, field cultivation has removed a segment, with some residual sections remaining further west. Relative to the survey area, the mill race provided an important and constant boundary demarcation and visual feature along the north edge of the fields.

4.1.c. SW Redmond Hill Road Area (B)

Spanning both up- and lowlands, the land uses and activities related to the built environment include agriculture, education, domestic, transportation, as well as a natural environment feature.

Background provided in this section stems from Yamhill County Assessor and City Engineering Department property data; General Land Office maps from 1852, 1853, 1860, and 1861; historic aerials from 1936, 1944, 1948, 1953, 1954, 1963, 1970, and 1976; as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950.

Table 4. Area B Remaining Distinctive Characteristics

LAND USE	COMPONENTS
Agriculture	Lowland fields and associated farmstead clusters at 1301 SW Hill Road and 1761 SW Old Sheridan Road tie into broader land use patterns once widely evident in city-adjacent lands and diminished through subdivision development. Farmstead placement in the lowlands along and directly adjacent roads. Barn and tree-lined driveway at 3150 SW Redmond Hill Road associated with one of the two oldest upland farmsteads and conveying the historic setback from the road characteristic of upland farmsteads in this survey area.
Domestic	The farmhouse at 1301 SW Hill Road.
Transportation	SW Redmond Hill Road, a secondary road providing access to agriculture, domestic and education land uses in the uplands. SW Hill Road, see Area A for details. SW Old Sheridan Road as an important regional arterial.
Natural Environment	Cozine Creek, due to its distinctive role as a boundary demarcation for both property ownership and land use. Vegetation at the creek relative to adjacent crop land makes it a distinct visual natural feature.

3. Sanborn Fire Insurance Maps, 1884, 1889, 1892, 1902, sheet 1.

Land Uses and Activities

Agricultural land use remains evident in the lowland areas and has had the greatest impact on shaping the physical and visual character of this survey area.

Uplands comprise a small part of this survey area and reside within the over 300 acre John B. Davis land claim (document no. 2507, claim 44). Solomon Beary's claim abutted the north side, with (outside of the survey area) William J. Davis' (over 200 acres, document no. 4376, claim 69) land claim to the east, and Ephraim M. and Sarah Jane Adams land claim (over 630 acres, document no. 2446, claim 46) to the south. SW Redmond Hill Road provided access to the area from SW Hill Road. Two farmsteads occupied the survey area, one on either side of SW Redmond Hill Road, each with associated small orchards (around 1 acre each), fields, barns, and small outbuildings. Fencing and building placement at the 3150 SW Redmond Hill Road farm suggest animal facilities, including barn(s) and corrals. This farmstead also featured a distinctive tree lined driveway providing access to the farmstead. Both upland farmsteads, in contrast to lowland farmsteads, were set back from the road. These patterns remained active through 1976. Subsequent subdivision of the fields into 2 to 5 acre parcels resulted in single family housing development in the 1980s and 1990s and the expansion of the wooded area along the north side of SW Redmond Hill Road. These changes substantially altered the character of the upland area.

Lowlands comprise most of this survey area and the northeast edge of a larger agricultural use area that extends southwest between the foothills and SW Old Sherman Road beyond the city-adjacent lands. The 1852 and 1853 General Land Office Survey maps identify the soils as 'first rate' and show a cabin with approximately 3 acres of cultivated land in the north portion within the William J. Davis land claim (document no. 4376) and the Ephraim M. and Sarah Jane Adams land claim (document no. 2446). The east portion of the survey area resides the Ephraim M. and Sarah Jane Adams land claim (document no. 2446). The lands remained in agricultural use through 1924 with farmsteads located along SW Hill Road and SW Old Sherman Road. Fields were worked with multiple crop types, evident in the different working patterns (e.g., tilling, cutting) visible in historic aerials from 1936 through 1976. These patterns continued and remain evident in 2021. The Peavey Reservoir is first evident in a 1953 aerial along an existing creek.

Education use existed previously in the form of the Walnut Hill School established along the south side of SW Redmond Hill Road west of SW Heath Street at the current 3230 SW Redmond Hill Road property. Established prior to 1924, the school remained in operation through ca. 1943.

Domestic land use has increased in the uplands and decreased in the lowlands slightly due to the loss of at least two farmsteads. Refer to Agriculture above for information on the two farmsteads extant by 1926 and subsequent single family housing development in the 1980s and 1990s.

The lowlands, by 1924, had six farmsteads with at least another six adjacent the survey area. Each farmstead cluster within the survey area consisted of a house, barn(s), smaller outbuildings, kitchen gardens (less than an acre in size), often an orchard (less than an acre in size), and some animal facilities based on associated corrals extending from barns. By 1954 the decrease in the number of outbuildings and associated gardens and orchards was evident with fields moving in closer to the farmsteads. The domestic land use patterns of the remaining two farmsteads (1301 SW Hill Road, and 1761 SW Old Sheridan Road) remain partially evident in 2021 amidst the setting of large agricultural fields.

Patterns of Spatial Organization

Organization of the lands within this survey area characterizing agricultural and domestic land uses is reflected in the road system, lowland field patterns, and Cozine Creek. These large-scale patterns have remained constant since at least the City's 1903-1940 development period and convey historic land use associations.

Key distinctive patterns of spatial organization remaining within this survey area include: SW Redmond Hill Road, SW Hill Road, SW Old Sheridan Road, lowland field patterns, Cozine creek, and farmstead placement along key roads.

SW Redmond Hill Road established prior to 1924 and at least by ca. 1900 based on assessor year built data for a building at 3230 SW Redmond Hill Road. The road connected the upland farmsteads and Walnut Hill School with the lowlands and the city via NW Hill Road and SW Second Street.

SW Hill Road, refer to NW Hill Road in the above NW Cemetery Road Area (A) for road background.

SW Old Sheridan Road established prior to 1924 and at least by ca. 1909 based on assessor year built data for buildings along the road, this road provided an important regional north-south transportation corridor linking McMinnville with other cities. Use of the corridor for transportation is evident in the 1852 GLO showing the main southwest to northeast road passing through McMinnville as Baker Street and continuing northeast near the present day alignment of Pacific Highway W. By 1924 the highway was known as the Sheridan Highway, then the McMinnville-Tillamook Highway by 1926, followed by the Salmon River Highway by 1940 through the 1950s. The road served as the east boundary edge for the lowland fields.

Field patterns within the lowland area remain largely unchanged, extending over 500 acres, and in active agricultural use. Boundary demarcations defining their extent consist of SW Old Sheridan Road on the east and Cozine Creek along the south edge, and the toe edge of the uplands along the west edge. Recent single family subdivision development defines the north edge.

Farmstead placement along SW Hill Road (1301 SW Hill Road) and SW Old Sheridan Road (1761 SW Old Sheridan Road) reflects the patterns of farmsteads situated directly adjacent main roadways and often identified on the relatively flat landscape by the stand of mature trees and/or the visibility of a large barn at the farmstead location.

Cozine Creek serves as a distinct boundary demarcation along the south edge of the survey area with fields worked directly up to the creek bank on both sides. The change in vegetation along the creek relative to the uniform field crops provided a visual marker for the creek location and its role as a property boundary line with parcel edges along the creek following the creek channel.

4.1.d. SW Old Sherman Road Area (C)

This survey area encompasses only lowlands. The land uses and activities related to the built environment include agriculture, domestic, religious, and transportation. Post 1976 changes include industrial land use, with an energy facility constructed along Highway 18.

Background provided in this section stems from Yamhill County Assessor and City Engineering Department property data; General Land Office maps from 1852, 1853, 1860, and 1861; historic aerials from 1936, 1944, 1948, 1953, 1954, 1963, 1970, and 1976; as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950.

Table 5. Area C Remaining Distinctive Characteristics

LAND USE	COMPONENTS
Agriculture and Domestic	<p>Lowland fields and associated farmstead clusters at 10205 and 1960 SW Old Sheridan Road tie into broader land use patterns once widely evident in city-adjacent lands.</p> <p>Farmstead placement in the lowlands along and directly adjacent roads.</p>
Transportation	<p>SW Old Sheridan Road, refer to Area B for background.</p> <p>Highway 18 alignment change, shifting this corridor to the east from its original alignment along present day SW Old Sheridan Road.</p>

Land Uses and Activities

Agricultural land use held a defining role that has diminished in recent decades due to transportation and domestic land use changes. The 1852 General Land Office survey identified the soils as ‘first rate’ with a roadway shown bisecting this survey area and an early dwelling along this roadway attributed to the James W. and Mary E. Rogers land claim of over 640 acres (document no. 2534, claim 74). The southwest portion of this survey area is within a separate land claim. By 1924 this area contained two farmsteads at the north (1960 SW Old Sheridan Rd, est. ca. 1918 and 10205 SW Old Sheridan Rd, est. ca. 1909) and south (10751 SW Old Sheridan Rd) ends. By 1936 an additional farmstead developed in the middle portion of the survey area (formerly at 10365 SW Old Sheridan Rd). The orchard and/or Christmas tree farmland use at 1960 SW Old Sheridan Rd was established prior to 1936 and remains in use through 2021. Cultivated fields, extending south to SW Durham Lane prior to development of Highway 18, ranged from 15 to over 40 acres in size and comprised the rest of the survey area. By 1948, concurrent with construction of Highway 18 that bisected the main fields, the west edge of fields along SW Old Sheridan Road into less than an acre to just under two acres in size were subdivided for single family residential development. The subdivision of fields continued through the 1960s and 1970s and included the post 1976 construction of a power substation along Highway 18.

Domestic land use consisted of farmsteads, see Agricultural land use above, with the gradual infill of single family dwellings from the late 1940s through 2021. Each farmstead cluster within the survey area consisted of a house, barn(s), smaller outbuildings, and often kitchen gardens (less than an acre in size) and an orchard (less than an acre in size). By 1954 the decrease in the number of outbuildings and associated gardens and orchards was evident with fields moving in closer to the farmsteads.

Religious land use emerged as a recent change between 1970 and 1976 with the construction of a religious facility on Highway 18 with access to the facility from SW Old Sherman Road. The building’s placement benefits from the high visibility of the building from Highway 18, even though there is no direct access from the highway.

Patterns of Spatial Organization

Organization of the lands within this survey area characterizing agriculture and domestic land use has been substantially modified by changes in the road system.

Key distinctive patterns of spatial organization remaining within this survey area include: SW Old Sheridan Road, farmstead placement along key roads, and Highway 18.

SW Old Sheridan Road, refer to SW Redmond Hill Road Area (B) for background.

Farmstead placement along SW Old Sheridan Road (1960 and 10205 SW Old Sheridan Road) reflects the patterns of farmsteads situated directly adjacent main roadways.

Highway 18 alignment change, established by 1948. Highway 18 generally followed the alignment of SW Old Sheridan Road; however, just about a mile and a half southwest of the city the alignment shifts away from SW Old Sheridan Road. This new alignment angled slightly to the east from the original alignment. This modified alignment provided a direct connection to SW Baker Street and avoided crossing Cozine Creek. Prior to this shift in alignment a small unnamed creek a half mile to the east, marked the edge of the agricultural fields, which ranged from 20 to over 40 acres in size. The Highway 18 alignment change cut diagonally through these fields, leaving only a narrow strip between it and the former highway route that became SW Old Sheridan Road. This contributed to subdividing the farmland into smaller parcels for single family development along SW Old Sheridan Road.

4.1.e. Morgan Lane Area (D)

This survey area encompasses lowlands along the South Yamhill River. Land uses and activities related to the built environment include agriculture, domestic, and transportation.

Background provided in this section stems from Yamhill County Assessor and City Engineering Department property data; General Land Office maps from 1852, 1853, 1860, and 1861; historic aerials from 1936, 1944, 1948, 1953, 1954, 1963, 1970, and 1976; as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950.

Table 6. Area D Remaining Distinctive Characteristics

LAND USE	COMPONENT
Domestic	The farmhouse at 9070 SE Morgan Lane connected to past agricultural land use of the area.
Natural Feature	South Yamhill River continues to define the east edge of the area.

Land Uses and Activities

Agricultural land use consisted of cultivated fields. By 1860, the west portion of the area resided within the Samuel and Mahala Cozine land claim of over 630 acres (document no. 955) with the east portion in the Nehemiah and Eliza Martin land claim of over 630 acres (document no. 966). By 1936 this survey area consisted of small (less than 2 acres) farms with land cultivation extending to within 130 feet of the riverbank, as well as a large nearly 3-acre field east of Morgan Lane, and two 10-acre fields to the west. The smaller farms were consistent with land use to the north, closer to the city, and distinct from the larger farms (40 acre plus size fields) south of SE Booth Bend Road. The small farmland uses pattern remained consistent through the 1950s, except for the large field east of Morgan Lane. Evidence of active use of this field in aerials diminished by 1948, followed by extensive tree growth replacing the open field by 1970.

The development of Highway 18 East McMinnville Bypass, in place by 1963, cut through and now defines the west edge of the survey area. Subdivision of the smaller farmlands along the north side of Morgan Lane followed by the late 1960s. The fields west of Morgan Lane remained in agricultural use through 1976 before being subdivided into two acre parcels and single family dwellings built during the 1990s and 2010s.

Domestic land use was initially tied to three small former farmsteads off the north, east, and west sides of Morgan Lane through 1926. Establishment of the 9070 SE Morgan Lane farmstead location is attributed to ca. 1905 based on assessor year built data. Each farmstead generally consisted of a farmhouse, barn, several outbuildings and often a kitchen garden and/or small orchard. By 1936 there were several houses and associated cultivated fields along the north and east sides of Morgan Lane. Single

family development in the late 1960s infilled around existing houses north of Morgan Lane on parcels set back from the road. Housing development in the 1990s and 2010s consisted of houses along the roads with undeveloped land extending off the back of the house.

Patterns of Spatial Organization

The organization of the lands within this survey area no longer reflect the agricultural land uses that had developed during the city’s 1879-1903 and 1903-1940 development periods. The development of Highway 18 East McMinnville Bypass, in place by 1963 cut off this lower portion of Morgan Lane from the rest of the roadway to the north. The subdivision of the farmland into two-acre parcels with associated single family dwelling construction during the 1990s and 2010s changed the spatial organization of the lands. SW Booth Bend Road continues to define the south edge of the area. Both SW Booth Bend Road and Morgan Lane were established prior to 1924. The South Yamhill River continues to define the east edge of the area.

4.1.f. SE Brooks Street Area (E)

This survey area encompasses lowlands along the South Yamhill River. Land uses and activities related to the built environment include agriculture, domestic, and transportation.

Background provided in this section stems from Yamhill County Assessor and City Engineering Department property data; General Land Office maps from 1852, 1853, 1860, and 1861; historic aerials from 1936, 1944, 1948, 1953, 1954, 1963, 1970, and 1976; as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950.

Table 7. Area E Remaining Distinctive Characteristics

LAND USE	COMPONENTS
Agriculture	Lowland fields as they tie into broader land use patterns once widely evident in city-adjacent lands and diminished through subdivision development.
Natural Features	South Yamhill River continues to define the east edge of the area.

Land Uses and Activities

Agricultural land uses consisted of cultivated fields along the South Yamhill River. By 1860 the area resided mostly within the William E. and Sarah J. Newby land claim of over 630 acres (document no. 104). By 1924 an initial driveway along the alignment of SE Brooks Street provided access to a farmstead located in the north end of the survey area. By 1936, access to this farmstead also included a driveway from the north, close to the alignment of present day NE Marsh Lane. Farming use included cultivated fields generally just over 10 acres in size, including a Christmas tree farm or an orchard in the northeast portion. Similar land use extends south, north, and west of the survey area. These land use patterns remained through 1976.

Domestic land uses were tied to the initial farmstead through 1936. By 1944 a second house and associated barns were built in the south end of the survey area off SE Brooks Street along the west edge of the field. By 1948, the initial farmstead at the north end of the survey area had been removed with the location and former driveway converted to field use. These land use patterns remained through 1976. By 2020 the second house and associated barns had been removed and the area shifted to recreation use as part of Joe Dancer Park.

Patterns of Spatial Organization

Organization of the lands within this survey characterizing agricultural land uses that developed during the city's 1844-1879 development period and continued through the next three development periods remains in the open fields. The South Yamhill River continues to define the east and south edges with the west creek drainage marking the west edge. SE Brooks Street follows the general alignment of the former driveway providing access to the former farmsteads.

4.1.g. NE Three Mile Lane Area (F)

This survey area encompasses lowlands. Land uses and activities related to the built environment include agriculture.

Background provided in this section stems from Yamhill County Assessor and City Engineering Department property data; General Land Office maps from 1852, 1853, 1860, and 1861; historic aerials from 1936, 1944, 1948, 1953, 1954, 1963, 1970, and 1976; as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950.

Land Uses and Activities

Agricultural land uses stem from largely the over 540 acre Reuben and Clarinda Harris land claim (document no. 964) with the survey area being adjacent to and directly south of the farmstead location shown in the 1852 General Land Office (GLO) survey map. The 1852 GLO map identified the soil in the area as 'first rate clay loam' and showed similar agricultural land uses extending out around the survey area. These land use patterns continue through 2021. The associated farmstead off the northwest corner (500 feet distant) of the survey area was replaced ca. 1991 by the Evergreen Aviation and Space Museum. Fairview School was established immediately southwest of the survey area along NE Three Mile Lane by 1924 and the former building remaining through 1976. Between 1970 and 1976 the Olde Stone Village mobile home and recreational vehicle park was established along the east side of the survey area. An exhibit runway and associated airplanes related to the museum extend into the west portion of the survey area.

Patterns of Spatial Organization

Organization of the lands within this survey area characterizing agricultural land use is reflected in the field pattern. This area historically comprised only a small portion of much larger agricultural fields, which have been replaced with new development. NW Three Mile Lane, established prior to 1924, continues to mark the south boundary of the area and provides an important east/west transportation corridor.

4.1.h. NE Riverside Loop Area (G)

This survey area encompasses lowlands along the South Yamhill River. Land uses and activities related to the built environment include agriculture, domestic, and transportation.

Background provided in this section stems from Yamhill County Assessor and City Engineering Department property data; General Land Office maps from 1852, 1853, 1860, and 1861; historic aerials from 1936, 1944, 1948, 1953, 1954, 1963, 1970, and 1976; as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950.

Table 8. Area G Remaining Distinctive Characteristics

LAND USE	COMPONENTS
Agriculture	Lowland fields and associated farmstead clusters tie into broader land use patterns once widely evident in city-adjacent lands and diminished through subdivision development.
Domestic	Small scale farm development between NE Riverside Drive and the South Yamhill River
Transportation	NE Riverside Drive as a secondary road providing circulation to the area.
Natural Feature	The South Yamhill River shaping the west, south, and east edges of the area.

Land Uses and Activities

Agricultural land uses are associated primarily with the Vincent and Adelia Snelling land claim of over 580 acres (document no. 564) encompassing most of the survey area with only the north portion being within the Joseph R. and Mary Young over 630 acre land claim (document no. 1510). The 1852 General Land Office survey map identified the survey area as cultivated lands (over 90 acres) near the river south of present day NE Riverside Drive with the main north–south road passing just a mile west of the survey area. Soil conditions were identified as “first rate clay loam.” By 1936, the larger fields were being worked in smaller 5-acre sections with different crops, including Christmas tree farms and/or orchards in some of the fields. These same land use patterns extended out around the survey area. Agricultural lands remained the main land use within the survey area through 1976, with single family development from the 1950s through 2000s gradually shifting most of the fields to a semi-rural domestic land use character with parcels of less than 1 acre to just over 3 acres in size.

Domestic land use initially consisted of the Jesse house by 1852 in the southwest corner of the survey area along the river and was directly associated with the agricultural land use. By 1924 residential development associated with small scale agricultural land use extended along the river at the west side of the survey area south of NE Riverside Drive and west of NE Riverside Loop. At least six small farmsteads existed in the east portion of the survey area. These included 5820 NE Riverside Drive and 4714 and 4751 NE Riverside Loop. By 1936 the farmsteads at 5825 and 5950 NE Riverside Drive had been established along with residential development along NE Walnut Avenue. Establishment of SE Blossom Drive between 1964 and 1969 was followed by single family development in the late 1960s including housing development along, NE Walnut Avenue and NE Riverside Drive on parcels ranging in size from less than 1 acre to around 2 acres in size with a couple of larger 5-acre parcels south of NE Riverside Drive. Single family development continued with development in the 1970s, 1980s, and 2000s.

Patterns of Spatial Organization

Organization of the lands within this survey area characterizing agricultural and domestic land uses is reflected in the road system and river. Field patterns and farmstead placement remain somewhat evident; however, domestic single family infill has diminished their role in spatial organization.

NE Riverside Drive established prior to 1924 provided the main transportation corridor servicing this area. The road extended from NE Lafayette Avenue east and then continued north, jogging slightly west to cross a creek, before crossing the railroad and following the top edge of the south bank of the North Yamhill River west to connect with Pacific Highway W. The proximity of the road to the South Yamhill River at the west end of the Survey area created a swath of land along a half-mile stretch of the river that developed as small farms (less than 1 acre) prior to 1924, while the lands not contained

between the river and road developed as larger farms (40 acres and larger). Road placement kept it up out of the river’s floodway.

NE Riverside Loop gradually extended outward from NE Riverside Drive to provide transportation connection to development closer to the river. SE Parma Drive functioned as the north extension to the loop. The west connection of the loop to NE Riverside Drive was originally west of the existing location, closer to the corner.

South Yamhill River channel established a land bench above the channel area that contained the agricultural, domestic, and transportation land uses.

SE Blossom Drive and NE Walnut Avenue both directly supported the shift from agricultural to domestic land use in the area. The south two-thirds of NE Walnut Avenue was established by 1936, providing access to two farmsteads along its west side. The full length of the road was established ca. 1963. SE Blossom Drive was established ca. 1968.

4.1.i. NE Riverside Drive Area (H)

This survey area encompasses lowlands along the South Yamhill River. Land uses and activities related to the built environment include agriculture, domestic, and transportation.

Background provided in this section stems from Yamhill County Assessor and City Engineering Department property data; General Land Office maps from 1852, 1853, 1860, and 1861; historic aerials from 1936, 1944, 1948, 1953, 1954, 1963, 1970, and 1976; as well as U.S. Geological Survey topographic maps from 1924, 1926, 1940, 1943, and 1950.

Table 9. Area H Remaining Distinctive Characteristics

LAND USE	COMPONENTS
Agriculture	Lowland fields and associated farmstead clusters at 1301 SW Hill Road and 1761 SW Old Sheridan Road tie into broader land use patterns once widely evident in city-adjacent lands and diminished through subdivision development. Barn and tree lined driveway at 3150 SW Redmond Hill Road associated with one of the two oldest upland farmsteads and convey the setback from the road characteristic of upland farmsteads in this survey area.
Domestic	The farmhouse at 1301 SW Hill Road.
Transportation	NE Riverside Drive as a secondary road providing circulation to the area. Portland & Western Railroad freight line along the northwest edge of the survey area bisecting the former larger agricultural lands.
Natural Feature	The North and South Yamhill Rivers shaping the east edge of the area. The unnamed creek drainage along the south edge of the survey area that in conjunction with the railroad and rivers defined this compact agricultural area.

Land Uses and Activities

Agricultural land uses are associated with the Joseph R. and Mary Young over 630 acre land claim (document no. 1510) encompassing this survey area as well as lands to the west and south. The 1852 General Land Office survey map identified the survey area as cultivated lands (over 110 acres) with the main north–south road passing west of the survey area. Soil conditions were identified as “good second rate clay loam”, with “timber fir, ash, maple and dense under growth.” The Youngs’ house stood west of this road, with a house attributed to Miller being within the survey area and directly west of the

4400 NE Riverside Drive farmstead. Establishment of the railroad line through the area isolated the survey area from the former larger agricultural lands to the west and in recent years served as a buffer to domestic and industrial land use development. The large, cultivated fields remain in agricultural use through 2021.

Domestic land uses initially consisted of the Miller house by 1852 and was directly associated with the agricultural land uses. By the early 1900s three farmsteads had been established (4361 NE Riverside Drive, ca. 1900; 4400 NE Riverside Drive, ca. 1905; and 4280 NE Riverside Drive, ca. 1900) based on assessor year built information and a 1924 US Geological Survey topographic map. The farmsteads continued the agricultural land use association and each consisted of a farmhouse, barn(s), associated outbuildings, and often a kitchen garden and/or orchard. The former barn on the east side of NE Riverside Drive across from the 4280 NE Riverside Drive farmstead is attributed to that farmstead based on development patterns near the house on both sides of the road. The 4329 NE Riverside Drive farmstead was established ca. 1930. Residential single family development not directly associated with agricultural land use started to increase slightly in the 1940s, with construction of the houses at 4285 NE Riverside Drive (ca. 1946) and a house along the west side of NE Riverside Drive just south of 4400 NE Riverside Drive, and increased in the 1960s through 2009.

Patterns of Spatial Organization

Organization of the lands within this survey area characterizing agricultural and domestic land uses is reflected in the road system, river, field patterns, and farmstead placement.

Railroad, the Western Oregon Railroad Company incorporated in 1879 and began to extend a rail line to McMinnville with the right of way (present day Portland & Western Railroad line) defining the northwest edge of the survey area. The line through McMinnville was established by 1889 as the Oregon and California Railroad.

NE Riverside Drive refer to NE Riverside Loop Area (G) above for details. By 1936 changes in the curves of road were evident with remnant gravel pull outs remaining.

4.2. CITY

The following city historic context stems entirely from the *McMinnville Historic Preservation Plan*, adopted in 2019 as an appendix to the *Comprehensive Plan*.

4.2.a. Settlement and Early Development (1844–1879)

Euro-American settlement began in the area now comprising much of northwestern McMinnville in 1844 when John G. Baker filed a claim for just over 635 acres of land. Other emigrants to the area soon joined Baker; these emigrants included William Newby, Samuel Cozine, Nehemiah Martin, and Madison Malone. These early settlers established wheat farms in the area and sold to William Newby and shipped harvested wheat from nearby Lafayette.

More settlers arrived in the area following the passage of the Oregon Donation Land Act by the U.S. Congress in 1850. The land act encouraged settlement in the newly formed Oregon Territory (1848), but also established the Office of Surveyor-General of Oregon, and provided for the public land surveys.⁴ Single white men who had arrived in Oregon Territory prior to December 1, 1850, could claim

4. Champ Clark Vaughan, *A History of the United States General Land Office in Oregon* (U.S. Department of the Interior, Bureau of Land Management, 2014), 12, <https://www.blm.gov/or/landsrealty/glo200/files/glo-book.pdf>.

up to 320 acres; if the man was married, his wife could claim an additional 320 acres for a total of 640 acres. The act stipulated that the man must live and work the land for four years before receiving title. The land act also allowed men who had arrived between December 1, 1850, and December 1, 1853, (later extended to 1855) to claim up to 160 acres of land if they were single and 320 acres if they were married.⁵ As the Oregon Donation Land Act took effect, the population in the Willamette Valley grew. The 1862 Homestead Act replaced the Donation Land Act.

As more settlers arrived to the area, a community developed around the donation land claim of William Newby, who constructed a grist mill in 1853 (near the west end of present-day 3rd Street). Commerce grew as local farmers bringing their harvest to the grist mill and Solomon Beary opened the first general store adjacent to the mill. The first post office opened in 1855. Newly arrived settlers sought permission from Newby to construct their homes on his land claim. Newby had a 5-acre townsite surveyed on his land claim; the plat for the town was drawn in 1856 and Newby named it McMinnville after his hometown of McMinnville, Tennessee. Although followed for several years, the plat was officially filed with the Yamhill County Courthouse in 1865.

In the meantime, a business district began to form along 3rd Street. By 1871, the town had five general stores, two drug stores, two wagon shops, four blacksmiths, two cobblers, a furniture store, a barber, a saloon, a hotel, a livery stable, two boarding houses, a land agent, a jeweler/watchmaker, a butcher, a photographer, two doctors, a dentist, two lawyers, a tin store, and a saddler. The town also had two operating flouring mills, the college, a sash and door factory, two churches, and several fraternal organizations. McMinnville was incorporated as a town in 1876 with a mayor-council form of government.

4.2.b. Entry of the Railroad and Development of Industry (1879–1903)

McMinnville, first as a town and then as a city (incorporated in 1882), flourished with the arrival of a railroad connection. The Western Oregon Railroad Company incorporated in 1879 and began to extend a rail line to McMinnville. Once the railroad arrived, McMinnville became the dominant city in the region. Oregon City merchants Jacob Wortman and his son John Wortman established a bank in McMinnville in 1884, the First National Bank of McMinnville, cementing the new city's status. The city's economic growth reflected its population growth; between 1880 and 1890, McMinnville grew from 400 residents to over 1,300.⁶

By 1887 the city was the county seat and by 1888 was providing electricity to every building as part of a combined municipal electricity and water/sewer system. Between 1888 and 1892, seventeen new additions to the city were platted. Brick buildings lined the business district on 3rd Street with macadamized streets and a mixture of plank and "artificial stone" (cement) sidewalks. During this period, another bank arrived in the city and two newspapers provided residents with news. A nationwide economic depression started in 1893 and extended through 1897, briefly slowing growth until recovery started circa 1900.

5. Margaret Riddle, "Donation Land Claim Act, Spur to American Settlement of Oregon Territory, Takes Effect on September 27, 1850," HistoryLink.org Online Encyclopedia of Washington State History (2010), <http://www.historylink.org/File/9501> (accessed February 23, 2018).

6. Several population statistics exist for McMinnville during this period, with the Oregon Blue Book indicating the population had boomed to nearly 2,500 while the Oregon Secretary of State estimated it more conservatively at 1,368.

4.2.c. Motor Age, Boom and Bust (1903–1940)

This period marked the arrival of the automobile. Most of the garages added to the houses surveyed were built during this period. The city was amid a massive population growth extending from 1900 through 1910 and increased prosperity with industrial growth provided jobs and steady wages. By 1914 a spur from the main interurban railroad corridor along the Willamette Valley linked the city with Portland and cities to the south. Building construction grew considerably from 1900 to 1909 relative to pre-1900 construction, and then nearly doubled during the 1910s.⁷

Population growth continued between 1910 and 1940, increasing from 2,767 in 1920 to 3,706 in 1940.⁸ New industries established in the city and surrounding area included including a small foundry, a machine shop, a planing mill, a creamery, and an incandescent and arc light factory. The launch of Prohibition in 1919 devastated the hops industry, the area's second-most profitable crop, motivating farmers to diversify their products to include legumes, clover, and animal products.

The nation's Great Depression started with the 1929 stock market crash and lasted just over a decade until the industrial ramp up during the late 1930s and the United States' entry into World War II in 1941. Prior to the stock market crash, 1928 had been an active year in building construction for the city. However, existing building stock (as of 2018) built during the 1930s rivals the level of construction during the 1910s. During the 1930s, several innovations did occur in the city and surrounding region. Cooperative creameries opened up in the area with the Farmer Cooperative Creamery opening in McMinnville in 1939. Turkey farming and processing also started in the area.

4.2.d. World War II and the Post-war Years (1941–1965)

The United States' entry into World War II after the bombing of Pearl Harbor on December 7, 1941, had profound consequences nation-wide as men were drafted and production shifted to support the war effort. In McMinnville, the U.S. Army established an airfield just outside the city in 1942. The airfield transferred to city ownership after the war. Building construction within the city jumped significantly during the 1940s and held to a high volume of construction through the 1950s before starting to slow in the 1960s.⁹ Residential growth from this period extended predominately to the north and north-east of the historic residential areas along the north side of downtown.

After the war, several new industries were established in McMinnville. The Yamhill Plywood Company, with financial investment from McMinnville citizens, arrived in 1955. A manufacturing facility for

7. Analysis based on City of McMinnville GIS data and estimated building construction dates. As of 2018 110 properties remain in the city attributed to the 1800s, with 127 attributed to 1900-1909, 230 attributed to the 1910s, 179 attributed to the 1920s, 237 attributed to the 1930s, and 511 attributed to the 1940s. These numbers reflect only remaining buildings and does not account for buildings demolished to construct later buildings but does provide a general context to quantity of construction for these periods.

8. Robert S. Farrell, Jr., Oregon Blue Book 1945-1946 (State Printing Department, Salem: 1945), 290 in SWCA.

9. Analysis based on City of McMinnville GIS data and estimated building construction dates. As of 2018 511 properties remain attributed to the 1940s, 566 attributed to the 1950s, and 484 attributed to the 1960s. These numbers reflect only remaining buildings and does not account for buildings demolished to construct later buildings but does provide a general context to quantity of construction for these periods. Of note, construction increased dramatically during the 1970s, with 1,049 properties attributed to the 1970s and then another 4,496 properties attributed to the next nearly four decades from 1980 to 2018. The bulk of these last four decades of growth has occurred predominately to the west and southwest of downtown.

Rex Mobile Homes as constructed in 1956. Nelson Paint Company and Northwest Fabrics, Inc. were established in the city in 1960 and 1961, respectively. Bradley Frozen Foods, Inc. was founded in 1964 and L & W Food Products in 1965.

5. Data Summary

The 90 buildings and structures surveyed for this RLS, inclusive 112 secondary resources, represent four development periods, span eight survey areas, and exhibit nearly ten architectural styles. Resource types, inclusive secondary resources, included 195 buildings, 6 structures, and one site.

The survey areas reflected the lower density of built environment resources characteristic of agricultural land uses within the city-adjacent lands, relative to urban land area within the city limits. Collectively across all the survey areas, the most numerous resources surveyed were single-family dwellings (71) spanning several development periods, compared to just fifteen (12) agricultural buildings of which all but two were built prior to 1936.

Within the survey areas, the pre 1920s domestic land use, often tied to small acreage farms along the South Yamhill River (areas D and G) had a notable impact on the relative volume of houses built, with 24 houses built prior to 1945 within the survey areas. The next significant increase in housing construction within the survey areas occurred during the late 1940s through the 1960s with 41 houses built and was often tied to transportation improvements, such as adding SW Dawson Lane (area A), NE Blossom Drive (area G), and the Highway 18 alignment shift (areas C and D).

Refer to “**8. Statistical Report City**” on page 43 for analysis findings for inventoried resources.

5.2.a. Architectural Styles

There are a variety of architectural styles present within the survey areas; however, the number of resources exhibiting a style is limited, often to just a single resource in each survey area. Craftsman was the most prominent style. Most resources did not have a style and were either vernacular or utilitarian in character. The vernacular resources have stylistic elements from one or more styles, but in general do not embody a single architectural style. Utilitarian resources do not have a style, instead their architectural character relates directly to the function they performed.

Table 10. Architectural Styles

STYLE	NUMBER
Colonial Revival	1
Contemporary	1
Craftsman	3
Minimal Traditional	1
Modern Period	2
Queen Anne	1
Tudor Revival	1
Vernacular	17
Utilitarian	10

The following sections provide background on some of the architectural styles exhibited by surveyed buildings.

Colonial Revival

The style began in the late nineteenth century and continued in popularity through the first few decades of the twentieth century. By 1900 it had become one of the more popular residential styles in the Pacific Northwest and in the Willamette Valley. The Colonial Revival style is distinguished by its

use of symmetrical distribution of windows and doors, especially on the principal elevation, and the application of somewhat muted classical elements. These elements include pedimented or segmentally pedimented entry porches and gables, eave returns on gable ends, window and door trim with varying degrees of elaborated moldings, corner boards, and entry doors flanked with sidelights and frequently topped by a transom. Windows tend to be double-hung with multi-light sashes on the upper or both sashes.¹⁰ The Colonial Revival example within the survey is 4375 NE Riverside Loop (ca. 1948).

Craftsman

The style is the first major architectural style movement that originated on the West Coast. California architects Charles and Henry Greene are credited with popularizing the style in the beginning of the twentieth century. The style arrived in Oregon shortly after these early applications. The style dominated residential architecture from 1905 until the 1930s throughout the country as well as in McMinnville. The Craftsman style embraced the idea that design should suggest the labor of a master craftsman, so design elements associated with the style are often derived from structural elements of the building. The style relies heavily on shaping exposed framing and bracing, heaviness of design elements such as box posts, and use of mixed materials, such as wood in the main body of a building, and river cobble or cast stone in porch elements.¹¹ Craftsman examples within the survey area include 1960 SW Old Sheridan Road (ca. 1918) and 8845 SE Morgan Lane (ca. 1938).

Minimal Traditional

The style is derived from the Tudor Revival and English Cottage styles that reached the height of their popularity in the 1930s. Minimal Traditional houses share the form common on Tudor Revival and English Cottage houses with a forward-facing cross-gable. However, the Minimal Traditional style is more simplified, with a smaller footprint and profile and minimal stylistic elements.¹² The Minimal Traditional example within the survey is 3950 NE Riverside Loop (ca. 1943).

Queen Anne

The style is well represented in McMinnville from the 1880s to about 1910. English architects (especially Richard Norman Hunt) developed the style in the nineteenth century, although the adoption of the style in the United States was accompanied by the application of American stylistic tastes to the basic form.¹³ Queen Anne architecture is marked by complex and asymmetrical roof lines, incorporating hips and gables as well as towers and other irregularities. Asymmetry continues on the elevations, with projecting gables, isolated or compound projecting bays, some cantilevering (especially at the bays), and rich, highly stylized detail in all elements of trim work. Porches are almost always included, and many wrap around two or more elevations. The overall massing is quite heavy, although this is usually somewhat offset by the intricacy of the detailing. Queen Anne architecture often incorporated mixed materials in siding; examples in McMinnville typically just use wood, but incorporate a variety of applications, such as horizontal board (e.g., ship lap and clapboard) and shingles (coursed or more

10. Northwest Vernacular, "McMinnville Historic Preservation Plan," 26.

11. Northwest Vernacular, "McMinnville Historic Preservation Plan," 27-28.

12. Northwest Vernacular, "McMinnville Historic Preservation Plan," 30.

13. Virginia and Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 2002), 268.

elaborate). Queen Anne houses are typically large, 2- or 2.5-story residences, but smaller 1-story cottages are not uncommon.

In McMinnville, the Queen Anne style is most seen in the larger form, although smaller cottages in the style are known to exist. The overall trend in Queen Anne stylistic design tended to be one of decreasing elaboration, with the earliest examples tending to be the most elaborate while later examples were more simplistic and representative of the Free Classic subset. Free Classic Queen Anne buildings feature a restrained use of decorative applications, and the inclusion of stylistic elements commonly associated with the Classical styles of architecture and those styles that drew on classical stylistic motifs, especially the Colonial Revival style. 4280 NE Riverside Drive (ca. 1900) is an example.

Tudor Revival

One smaller-scale Tudor Revival example was present in the survey area. The Tudor Revival style loosely interprets the decorative elements of the Jacobean and Elizabethan buildings of the of late Medieval period in England and typically feature a dominant cross-gable on the front facade, steeply pitched roofs, decorative half-timbering, tall narrow windows (often grouped), and massive chimneys. Gable details, patterned brickwork, and round or Tudor arches are also hallmarks of this style.¹⁴ Tudor Revival is a variation of Eclectic Revival; other variations include the Swiss Chalet Revival, Mission Revival, and Spanish Eclectic. The Tudor Revival example is 2000 SW Old Sheridan Road (ca. 1948).

5.2.b. Common Alterations

Common alterations to building materials within the survey areas included the replacement of original wood windows with vinyl or metal horizontal sliders and the replacement or covering up of original wood siding with vinyl, aluminum, or cement fiber board siding. Additions to buildings were not common, at least from the public right of way.

5.2.c. Eligibility Evaluation

The eligibility evaluation utilized both the City Historic Resource Inventory (HRI) categories per section 17.65.030.C of the City's Historic Preservation Ordinance and the SHPO terms (ES, EC, NC, NP, and UN) per appendix B of the SHPO's "Guidelines for Historic Resource Surveys in Oregon."

Integrity

NWV utilized the following process in evaluating integrity and the types of changes and combinations of changes to and impact on resource integrity. The primary character-defining features evaluated on each building were windows, cladding (including trim and detailing), and plan (encompassing the full building envelope) based on what was visible from the public right of way. Sites and structures were evaluated based on their primary character-defining features, which varied based on design and resource role.

Evaluation of each resource's architectural integrity was based on the estimated year built, establishing the character-defining features of the resource based on the age, building form, and any applicable architectural style, and then determining the extent to which these character-defining features remained.

14. McAlester, 355-358.

The following guiding principles were used for windows, cladding, and plan to gauge the level of impact a change has on building integrity.

- Windows:
 - » Intact: no visible changes to windows and exterior trim.
 - » Slight: most visible windows and trim remain intact.
 - » Moderate: most visible windows have been replaced, but at least one original window visible from the public right of way remains, and all window openings retain their original trim; or all windows have been replaced but the replacements are generally compatible and all openings retain their original trim. Replacing wood double hung windows (single or multi-lite) with 1:1 windows (vinyl, wood, or clad) rather than horizontal sliders. Most visible windows remain intact, but all or most original trim has been replaced.
 - » Extensive: all the visible windows have been replaced and replacements are not compatible.
- Cladding:
 - » Intact: no visible changes.
 - » Slight: majority of visible cladding remains intact.
 - » Moderate: most of the visible cladding has been altered but some original cladding remains, and/or replacement cladding is compatible.
 - » Extensive: all the visible cladding has been altered, and the replacement cladding is not compatible.
- Plan:
 - » Intact: no visible changes.
 - » Slight: rear addition set below the roof line, such as a back deck or shed roof extension.
 - » Moderate: side addition(s), set back from front; rear addition projecting slightly above the roof line; or a front porch enclosure. Generally, the original building form and massing remains legible and is not overwhelmed by the addition(s).
 - » Extensive: front addition(s), side addition(s) towards front of house; rear addition that is larger than the original building such that the original building form and massing is no longer legible from the public right of way.

SHPO Eligibility Evaluation



Eligibility evaluation for potential National Register of Historic Places listing (individually and where applicable as part of a historic district) utilized categories in appendix B of the SHPO's "Guidelines for Historic Resource Surveys in Oregon." The following identifies how integrity identified through the field work informed eligibility.

- Eligible/Significant (ES) assigned if the character-defining features (windows, cladding, and plan for buildings) remain intact; or have slight changes but the resource exhibits a high level of design, and/or quality of construction or notable form.
- Eligible/Contributing (EC) assigned for individual resources that remained intact, but lacked architectural detailing, or if the resource resided within a potential historic district and had up to one moderate and up to one extensive alteration to its character-defining features (windows, cladding or plan for buildings). Resources in this category could have a mix of intact/slight alterations, but it was the number of extensive alterations or moderate alterations to character-defining features (primarily windows and cladding for buildings) that pushed a building to NC.

- Not Eligible/Non Contributing (NC) assigned if there are two or more extensive changes to windows, cladding, or plan. NC also assigned if enough moderate changes (typically two or more) to windows, cladding, or plan, obscured the property’s historic visual character.
- Not Eligible/Out-of-Period (NP) assigned when a resource currently is not yet 45 years or older. Resources within 1 to 2 years of the 45-year mark exhibiting a high level of integrity, design and/or quality of construction or notable form were evaluated as ES.
- Undetermined (UN) assigned when the integrity of the resource cannot be determined due to vegetation obscuring visibility. This often occurred for resources set far back from the public right-of-way and surrounded by dense vegetation. A brief explanation for why the resource was evaluated as “UN” is included in the “Notes/Comments” field in the project database.

Of the resources surveyed, two (2) appear to have enough integrity, distinctive architectural character, and historical associations to be considered Eligible/Significant (ES): 10205 SW Old Sheridan Road and the McMinnville Masonic Cemetery.

Table 11. Eligible Significant Recommended Resources

ADDRESS	YEAR BUILT	DESCRIPTION	IMAGES
10205 SW Old Sheridan Road	Ca. 1909	Farmstead house. This resource retains enough historic features to convey its architectural significance and retains integrity of design, materials, workmanship, feeling, and association. Mature trees and associated agricultural outbuildings and fields remain around the resource.	
NW Cemetery Road	1876	McMinnville Masonic Cemetery. This resource retains enough historic features to convey its historic cemetery function and historical associations. The cemetery retains integrity of design, materials, workmanship, feeling, and association. Mature trees remain around the resource.	

City Historic Resource Inventory

Classification recommendations were made according to the City of McMinnville’s Historic Preservation program. Section 17.65.030.C of the City’s Historic Preservation code establishes the criteria for HLC decision-making regarding additions or changes to the McMinnville Historic Resources Inventory. To support this process in the survey report findings we reviewed the original methodology used to calculate each of these. Refer to **“8. Statistical Report City” on page 43** for analysis findings for resources.

All resources categorized as either “Distinctive” or “Significant” on the McMinnville Historic Resource Inventory are considered City of McMinnville historic landmarks. Per Section 17.06.060 of the McMinnville Municipal Code (MMC), a historic landmark is defined as, “Any historic resource which is classified as “Distinctive” or “Significant” on the McMinnville Historic Resources Inventory.”¹⁵

15. City of McMinnville, Ordinance No. 4401 Section 2.(e), http://www.mcminnvilleoregon.gov/sites/default/files/fileattachments/planning/page/1307/4401_historicresources.pdf (accessed February 15, 2018).

Section 17.06.060 of the McMinnville Municipal Code (MMC) provides the definition for the inventory's classifications:

- Distinctive (A): Resources outstanding for architectural or historic reasons and potentially worthy of nomination to the National Register of Historic Places,
- Significant (B): Resources of recognized importance to the City due to historical association or architectural integrity, uniqueness, or quality,
- Contributory (C): Resources not in themselves of major significance, but which enhance the overall historic character of the neighborhood or City. Removal or alteration would have a deleterious effect on the quality of historic continuity experienced in the community, and
- Environmental (D): This category includes all resources surveyed that were not classified as distinctive, significant, or contributory. The resources comprise an historic context within the community.

Appendices 3 and 4 of the 1980 McMinnville Historic Resource Survey and Inventory: Phase I established the methodology. Evaluations are provided using this system for all resources surveyed. Refer to **“Table 13. Historic Resource Inventory”** on page 45 for the full inventory.

6. Recommendations

The following recommendations stem from field work, research findings, and National Park Service Bulletin, “How to Apply the National Register Criteria for Evaluation.”

NWV identified three areas for the City to consider additional work related to historic resources. These areas are related to future intensive level survey work, updates to the city historic resource inventory (HRI), and the potential establishment of overlay districts.

6.1. INTENSIVE LEVEL SURVEY

NWV recommends intensive level survey (ILS) work be undertaken for the following:

- Resources recommended as eligible significant (ES) based on their integrity, and architectural significance to evaluate their potential for NRHP eligibility.
- An archaeological survey of the remnant mill race as part of any land use changes to any of the parcels abutting the remnant section. Since this feature is no longer in operation it would be addressed as a historic archaeological resource. The purpose of this evaluation would be to confirm its history and use, and to identify and document what remains. This information will directly inform guidance relative to a treatment approach in the context of the proposed land use change.

Conduct outreach to owners of ES buildings to engage them in the process and ask if they are interested in NRHP listing, implications of listing, and financial incentives available.

6.2. CITY HISTORIC RESOURCE INVENTORY

Recommendations for additions to the City of McMinnville’s historic resource inventory based on the field work in the two survey areas follows in “**8. Statistical Report City**” on page 43. Recommendations are organized based on survey area, category assignments for resources, and then building address.

These are recommendations only and require review and approval by the Historic Landmarks Committee and public process per Section 17.65.030 of the McMinnville Municipal Code.

6.3. OVERLAY DISTRICTS

Consider the use of overlay districts to preserve the large parcels and open character of specific agricultural lands retaining a high level of integrity and continuity relative to historic use patterns. The intent is to determine if there is public interest in encouraging and continuing agricultural activities within these areas. Historic land uses and the visual character of the city’s outlying lands are changing at a rapid pace. Agricultural land uses are an important aspect of McMinnville’s history, economy, and visual character. Refer to “**Map 6. Area A | Recommendations**” on page 87, “**Map 22. Area B | Recommendations.**” on page 103, and “**Map 91. Area H | Recommendations.**” on page 172 for maps showing the areas identified below.

Examples of include the City of Boise’s Big Sky Neighborhood (BSN) Overlay District which focuses on smaller land use areas and animals. Sustainable City Code includes additional examples of agricultural overlay zoning.

Table 12. Potential Overlay District Areas

AREA	PARCELS	BASIS
A	R4418 00701 and R4418 00700.	These lowland fields remain in active agricultural use, with an associated farmstead, with the remnant section of the mill race forming the north edge and NW Hill Road defining the east edge. They reflect historic land use patterns that previously extended throughout the western city-adjacent lands.
H	The entire survey area.	This area remains in active agricultural use, with associated farmsteads and minimal infill development. They reflect historic land use patterns that previously extended throughout eastern city-adjacent lands. The combined natural environment (North and South Yamhill Rivers and the south creek drainage) along with the railroad right of way enclose a unique pocket of landscape that retains its rural, agricultural character.
B	R4430 01500; R4430 01400; R4430 01201; R4430 01202; R4430 01200; R4430 01300; R4430 00300; and R4430AD 00400.	This area remains in active agricultural use. Historic boundary demarcations remain through SW Hill Road on the west, Cozine Creek on the south, SW Old Sheridan Road on the east, and the creek along the north. The agricultural buildings from an associated farmstead remain along SW Old Sheridan Road. This area reflects existing agricultural land uses to the west within the survey area and southwest within the city-adjacent lands.
B	R4419 02600; R4430 01800; R4430 01700; and R4430 01900.	This area remains in active agricultural use. Historic boundary demarcations remain through SW Hill Road on the east, and Cozine Creek on the south. The area retains large parcels over 100 acres in size conveying the open character historically associated with agricultural land uses throughout the city-adjacent lands.

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8. Statistical Report City

Section 17.06.060 of the McMinnville Municipal Code (MMC) provides the definition for inventory's classifications:

- **Distinctive:** Resources outstanding for architectural or historic reasons and potentially worthy of nomination to the National Register of Historic Places,
- **Significant:** Resources of recognized importance to the City due to historical association or architectural integrity, uniqueness, or quality,
- **Contributory:** Resources not in themselves of major significance, but which enhance the overall historic character of the neighborhood or City. Removal or alteration would have a deleterious effect on the quality of historic continuity experienced in the community, and
- **Environmental:** This category includes all resources surveyed that were not classified as distinctive, significant, or contributory. The resources comprise an historic context within the community.

Appendices 3 and 4 of the 1980 *McMinnville Historic Resource Survey and Inventory: Phase I* established the methodology. Evaluations are provided using this system.

Stage 1 consisted of applying points based on the property. As of 1980, the 50-year threshold was 1930. We adjusted the points to reflect the current 50-year threshold of 1971, and proportional point changes to the 1900s to 1930s based on their age relative to the 50-year threshold as of 2021.

- **History, up to three points**
 - » 3 points: pre-1900 [originally 2]
 - » 2 points: 1900-1939 [originally 1]
 - » 1 point: 1940 to 1971 [originally 0 for post 1930]
 - » 0 points: post 1971
- **Style, up to three points**
 - » 3 points: clearly an exceptional example of a style
 - » 2 points: has distinctive stylistic (materials, design) features
 - » 1 point: well-constructed, but without a clear style or distinctive features
 - » 0 points: extensively altered
- **Integrity, up to two points**
 - » 2 points: relatively unaltered, as viewed from the street
 - » 1 point: modest, reversible, or compatible alterations
 - » 0 points: extensively altered
- **Environment, up to two points**
 - » 2 points: if the building is associated with a farmstead, agricultural land use or a key historic transportation feature, or funerary or historic industrial land use patterns.
 - » 1 point: if the building is related to post World War II domestic land use patterns relative to the growth of single family housing.

State 2 is anticipated as being completed by the Historic Landmarks Committee. In addition to review of scorings, the following two tasks are recommended based on the 1980-1984 methodology.

- Determine if extra points should be awarded for any buildings under the history category. No extra points were awarded under the history category for additional historical information, since this was a reconnaissance level survey. Under the history category the 1980-1984 methodology allowed for “one to two points were awarded if historical information was provided.”
- Determine if bonus points should be awarded for any buildings. No bonus points were awarded as the original evaluation system utilized these as a means for the Historic Landmarks Committee to apply their knowledge of the neighborhood, the resource, and background material not available to the surveyors.

The following table is based on the table format in Appendix 5 of the 1980 report. The buildings are organized into tables based on change in classification and level reflecting completion of stages 1 and 2 defined above. The Import ID stems from the Oregon Historic Sites Database and is a unique number for each building. HRI is an abbreviation for McMinnville’s Historic Resource Inventory, with the unique identifier from this inventory included in this column for each building as applicable.

- Distinctive resources (A): 9 or 10 points
- Significant resources (B): 7 or 8 points
- Contributory resources (C): 5 or 6 points
- Environmental resources (D): Less than 5 points





The following buildings were not sufficiently visible from the public right of way in order to make an evaluation.





- 8975 SE Morgan Lane
- 8875 SE Morgan Lane
- 6851 NE Riverside Drive
- 6605 NE Riverside Drive
- 5695 SW Dawson Lane
- 5691 SW Dawson Lane
- 4325 NE Riverside Drive
- 2000 SW Old Sheridan Road
- 1401 NE Walnut Avenue
- 12160 NW Fox Ridge Road





Table 13. Historic Resource Inventory





Note: H = History, S = Style, I = Integrity, E = Environmental, B = Bonus





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
Area A												
35056	Masonic Cemetery	NW Cemetery Road	1876	Cemetery with commanding view of Mount Hood. Headstones range in age.	3	2	2	2		9	A	
	Silo	11200 NW Fox Ridge Road	1901	Appears intact but surrounding farm properties lack integrity	2	1	2	2		7	B	
35066	Barn	11200 NW Fox Ridge Road	1901	Appears intact but surrounding farm properties lack integrity	2	1	2	2		7	B	
35064	Residence	11200 NW Fox Ridge Road	1901	Difficult to see from public ROW but alterations visible siding make it appear ineligible	2	1	1	2		6	C	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35052	Water Reservoir	12302 NW Fox Ridge Road	1917	Appears intact but lacks architectural detail	2	1	1	2		6	C	
35053	Water Reservoir No. 1	12302A NW Fox Ridge Road	1909	Appears intact but lacks architectural detail	2	1	1	2		6	C	
35051	Water Reservoir	12302D NW Fox Ridge Road	1970	Appears intact but lacks architectural detail	1	1	2	2		6	C	
35063	Residence	5691 SW Dawson Lane	1952	Resource not visible from public ROW; will need owner permission to access.	1	2	1	1		5	C	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35062	Residence	5695 SW Dawson Lane	1950	Resource too far from public ROW to determine eligibility	1	2	1	1		5	C	
35057	Shed	NW Cemetery Road	1970	Altered and does not contribute to significance of cemetery	1	0	0	1		2	D	
35058	Residence	11501 NW Fox Ridge Road	1945	Altered windows and large addition	1	0	0	1		2	D	
	Barn	11501 NW Fox Ridge Road	1924	Altered siding	2	0	0	2		4	D	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35059	Residence	11850 NW Fox Ridge Road	1955	Altered windows. Difficult to see from public ROW.	1	0	0	1		2	D	
35060	Residence	11950 NW Fox Ridge Road	1955	Altered plan and windows.	1	0	0	1		2	D	
35055	Residence	11995 NW Fox Ridge Road	1954	Altered siding. Difficult to see from public ROW.	1	0	0	1		2	D	
35050	Residence	12160 NW Fox Ridge Road	1949	Resource not visible from public ROW; will need owner permission to access.	1	?	?	?		?	?	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35061	Residence	5821 SW Dawson Lane	1952	Altered windows and plan. Large addition.	1	0	0	1		2	D	
Area B												
	Barn	1761 SW Old Sheridan Road	1910	Barn and other out buildings with mostly intact siding, plan, and setting. House is newer than barn.	2	2	1	2		7	B	
35049	Barn	3150 SW Redmond Hill Road	1910	Barn with intact siding and plan that stands out in landscape	2	2	2	2		8	B	
35046	Residence	1301 SW Hill Road S	1916	Altered siding and windows	2	0	0	2		4	D	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35045	Residence	1761 SW Old Sheridan Road	1960	Altered siding	1	0	0	1		2	D	
35047	Residence	3230 SW Redmond Hill Road	1900	Altered windows. Difficult to see from public ROW.	2	0	0	2		4	D	
Area C												
35041	Residence	10205 SW Old Sheridan Road	1909	Historic farmhouse with EC outbuilding. Retains siding, windows, plan, and setting.	2	3	2	2		9	A	
	Bridge	SW Old Sheridan Road	1930	Concrete bridge over creek with intact elements.	2	1	2	2		7	B	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
	Residence	10751 SW Old Sheridan Road	1961	Ranch with garage that has intact plan, siding, windows, and design	1	3	2	1		7	B	
35044	Residence	1960 SW Old Sheridan Road	1918	Altered siding. Storm windows appear to cover some original windows. House plus garage, two barns, and a manufactured house	2	0	1	2		5	C	
35043	Residence	2000 SW Old Sheridan Road	1948	Resource not visible from public ROW due to vegetation; will need owner permission to access.	?	?	?	?		?	?	
35068	Residence	9070 SE Morgan Lane	1905	Altered windows and siding	2	1	0	2		5	C	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35036	Residence	11590 SW Durham Lane	1967	Altered windows and siding	1	0	0	1		2	D	
35040	Residence	10315 SW Old Sheridan Road	1961	Altered windows. Detached garage plus outbuilding on property.	1	0	0	1		2	D	
35039	Church	10475 SW Old Sheridan Road	1965	Altered windows and large addition.	1	0	0	1		2	D	
Area D												
35067	Residence	5165 SE Booth Bend Road	1971	Altered windows	0	0	0	1		1	D	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35076	Residence	8825 SE Morgan Lane	1969	Altered windows. Set far back from the road and difficult to see from public ROW.	1	0	0	1		2	D	
35073	Residence	8845 SE Morgan Lane	1936	Altered windows and enclosed porch.	2	0	0	1		3	D	
35072	Residence	8865 SE Morgan Lane	1965	Altered windows and plan. Difficult to see from public ROW.	1	0	0	1		2	D	
35069	Garage	8975 SE Morgan Lane	1960	Only garage visible from public ROW.	?	?	?	?		?	?	






IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
	Residence	8875 SE Morgan Lane	1965	Not visible from the public right of way due to vegetation and setback.	?	?	?	?		?	?	
Area G												
	Residence	6041 NE Riverside Drive	1940	House with intact siding, windows, and plan	1	2	2	1		6	C	
35083	Residence	6605 NE Riverside Drive	1951	Resource not visible from public ROW; will need owner permission to access.	?	?	?	?		?	?	
35084	Barn No	6605 NE Riverside Drive	1935	Gambrel barn with added windows at loft and addition	2	1	1	2		6	C	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35085	Barn	6605 NE Riverside Drive	1935	Other buildings on property NC. Lacks distinctive features	2	1	1	2		6	C	
	Barn	6605 NE Riverside Drive	1935		2	1	1	2		6	C	
35121	Residence	1401 NE Walnut Avenue	1963	Appears intact but is difficult to see from public ROW due to vegetation	1	1	2	1		5	C	
35113	Residence	1220 SE Blossom Drive	1968	Ranch with garage that has intact plan, siding, windows, and design	1	2	2	1		6	C	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35106	Residence	5580 NE Riverside Drive	1959	Altered windows	1	0	0	1		2	D	
35107	Residence	5595 NE Riverside Drive	1940	Altered windows and siding	1	0	0	1		2	D	
	Residence	5631 NE Riverside Drive	1968	Altered windows	1	0	0	1		2	D	
35104	Residence	5651 NE Riverside Drive	1949	Altered windows and large garage addition	1	0	0	1		2	D	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35103	Barn	5700 NE Riverside Drive	1955	Altered windows, NC barn/garage on property.	1	0	0	1		2	D	
35102	Residence	5820 NE Riverside Drive	1926	Altered windows and siding, large addition.	2	0	0	2		4	D	
35100	Residence	5825 NE Riverside Drive	1953	Altered windows and siding.	1	0	0	1		2	D	
35096	Barn	5950 NE Riverside Drive	1955	Altered siding. NC house on property.	1	0	0	2		3	D	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35095	Residence	5950 NE Riverside Drive	1921	Altered siding, windows, and plan. NC barn on property.	2	0	0	2		4	D	
35109	Residence	6331 NE Riverside Drive	1965	Altered windows. Garage appears to have been infilled	1	0	0	1		2	D	
35110	Residence	6450 NE Riverside Drive	1968	Altered windows	1	0	0	1		2	D	
	Residence	6490 NE Riverside Drive	1965	Altered windows	1	0	0	1		2	D	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35082	Residence	6851 NE Riverside Drive	1951	Resource not visible from public ROW; will need owner permission to access.	?	?	?	?		?	?	
35081	Residence	6901 NE Riverside Drive	1964	Altered windows and siding	1	0	0	1		2	D	
35080	Residence	7025 NE Riverside Drive	1969	Altered windows and siding. Garage appears filled in.	1	0	0	1		2	D	
35079	Residence	7081 NE Riverside Drive	1972	Altered windows	0	0	0	1		1	D	
35078	Residence	7151 NE Riverside Drive	1961	Altered windows	1	0	0	1		2	D	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35077	Residence	7301 NE Riverside Drive	1938	Altered windows and plan	2	0	0	1		3	D	
35086	Residence	3950 NE Riverside Loop	1943	Altered windows.	1	0	0	1		2	D	
35108	Residence	3951 NE Riverside Loop	1972	Altered garage doors. Minimal architectural features.	0	1	1	1		3	D	
35087	Residence	3970 NE Riverside Loop	1947	Altered windows. Minimal architectural features.	1	0	0	1		2	D	





IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35089	Barn	4004 NE Riverside Loop	1937	Altered siding on side addition	2	0	0	2		4	D	
35090	Residence	4375 NE Riverside Loop	1948	Altered siding, windows, and plan	1	0	0	1		2	D	
35091	Barn	4375 NE Riverside Loop	1948	Altered siding	1	0	0	2		3	D	
35097	Residence	4714 NE Riverside Loop	1910	Altered windows and large addition.	2	0	0	2		4	D	


IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35099	Residence No. 2	4714 NE Riverside Loop	1971	Appears to be a house constructed to resemble a barn.	0	1	2	1		4	D	
35092	Residence	4751 NE Riverside Loop	1950	Altered windows and siding with large addition. Detached garage on property	1	0	0	1		2	D	
35093	Residence	4795 NE Riverside Loop	1945	Altered windows and large 2-story addition obscures form	1	0	0	1		2	D	
35122	Residence	1325 NE Walnut Avenue	1957	Altered windows	1	0	0	1		2	D	

IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35120	Residence	1531 NE Walnut Avenue	1974	Altered front window	0	1	1	1		3	D	
35119	Residence	1605 NE Walnut Avenue	1963	Altered windows	1	0	0	1		2	D	
35118	Residence	1701 NE Walnut Avenue	1964	Altered windows, siding, and plan. Large garage addition; original garage may have been filled in.	1	0	0	1		2	D	
35114	Residence	1270 SE Blossom Drive	1968	Altered windows	1	0	0	1		2	D	

IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35115	Residence	1320 SE Blossom Drive	1968	Altered windows	1	0	0	1		2	D	
35116	Residence	1446 SE Blossom Drive	1969	Altered windows and siding	1	0	0	1		2	D	
35117	Residence	1490 SE Blossom Drive	1969	Altered windows	1	0	0	1		2	D	
Area H												
35131	Residence	4329 NE Riverside Drive	1930	Bungalow that has intact siding, plan, and windows.	2	2	2	2		8	B	

IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35127	Barn	4400 NE Riverside Drive	1943	Large barn with intact siding and plan.	1	2	2	2		7	B	
35126	Residence	4325 NE Riverside Drive	1966	Resource not visible from public ROW due to vegetation; will need owner permission to access.	?	?	?	?		?	?	
	Barn	4361 NE Riverside Drive	1900	Barn retains form, but altered siding on one elevation	2	1	1	2		6	C	
35128	Residence	4370 NE Riverside Drive	1971	Ranch with garage that has intact plan, siding, windows, and design	0	2	2	1		5	C	

IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35129	Residence	4280 NE Riverside Drive	1900	Altered siding and windows, but distinctive bay window form on main elevation remains.	2	0	0	2		4	D	
35130	Residence	4285 NE Riverside Drive	1946	Altered siding and windows.	1	0	0	1		2	D	
35125	Residence	4361 NE Riverside Drive	1900	Altered siding and plan, difficult to see from public ROW	2	0	0	2		4	D	
35124	Residence	4400 NE Riverside Drive	1900	Altered siding and plan. Multiple out-buildings on property including a large barn.	2	0	0	2		4	D	

IMPORT ID	NAME	ADDRESS	CA. YEAR BUILT	INTEGRITY NOTES	H	S	I	E	B	TOTAL	HRI	IMAGE
35123	Residence	4725 NE Riverside Drive	1971	Altered windows. NC barn/outbuilding on property	0	0	0	1		1	D	

8.3.a. Statistical Reports SHPO

5/26/2021

Historic Building Report/Counts (All Properties Inventoried)

Page 1 of 2

Evaluation Counts - McMinnville UGB RLS 2021

Evaluation	Quantity	% of Total
eligible/contributing	8	9%
eligible/significant	2	2%
not eligible/non-contributing	70	78%
undetermined	10	11%
Total:	90	

Construction Date Decade Counts - McMinnville UGB RLS 2021

Decade	Quantity	% of Total
1870s	1	1%
1900s	11	12%
1910s	6	7%
1920s	3	3%
1930s	10	11%
1940s	14	16%
1950s	14	16%
1960s	24	27%
1970s	7	8%
Total:	90	

Original Use Counts - McMinnville UGB RLS 2021

Original Use	Quantity	% of Total
AGRICULTURE / SUBSISTENCE	14	16%
DOMESTIC	69	77%
FUNERARY	2	2%
GOVERNMENT	3	3%
RELIGION	1	1%
TRANSPORTATION	1	1%
Total:	90	

Material Counts - McMinnville UGB RLS 2021

Materials	Quantity	% of Total
BRICK	2	2%
CONCRETE	4	4%
METAL	4	4%
SYNTHETIC SIDING	15	17%
Undefined	5	6%
WOOD	60	67%
Total:	90	

Historic Building Report/Counts

(All Properties Inventoried)

Style Category Counts - McMinnville UGB RLS 2021





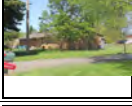

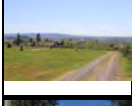



Style Categories	Quantity	% of Total
VICTORIAN ERA		
Queen Anne	1	
Victorian Era: Other	4	
Category Total	5	6%
OTHER		
Other / Undefined	1	
Utilitarian	10	
Vernacular	13	
Category Total	24	27%
MODERN PERIOD		
Contemporary	1	
Minimal Traditional	1	
Modern Period: Other	2	
Ranch (Type)	42	
WWII Era Cottage (Type)	3	
Category Total	49	54%
LATE 19TH/20TH CENT. PERIOD REVIVALS		
Colonial Revival	1	
Tudor Revival	1	
Category Total	2	2%
LATE 19TH/20TH CENT. AMER. MOVEMENTS		
Craftsman	3	
Foursquare (Type)	2	
Category Total	5	6%
Unrecorded		
Unrecorded	5	
Category Total	5	6%
Total:	90	

8.3.b. Property List

(printout date: 5/26/2021)

Architectural Survey Data for McMinnville UGB RLS 2021 Oregon State Historic Preservation Office

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Address/ Property Name	Ht	Eval/ NR	Yr(s) Built	Materials	Arch Classifs/Styles	Orig. Use/ Plan (Type)	RLS / ILS Dates	Listed Date	
1220 SE Blossom Dr Residence	1	EC	c.1968	Vertical Board	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on assessor data. Ranch with garage that has intact plan, siding, windows, and design. Associated shed off southeast corner. Shed built between 1971 and 1975 based on aerial photographs.</i>									
1270 SE Blossom Dr Residence	1	NC	c.1968	Horizontal Board Wood Sheet	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows.</i>									
1320 SE Blossom Dr Residence		NC	c.1968	Horizontal Board Wood Sheet	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Altered windows. Detached garage off southeast corner. Two barns behind house, one built between 1971-1976 and the other post 1976.</i>									
1446 SE Blossom Dr Residence	1	NC	c.1969	Synthetic Siding: Other/Undefin Glazed Brick	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data.</i>									
1490 SE Blossom Dr Residence	1	NC	c.1969	Wood Sheet	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on assessor data. Two small sheds off the north side of the house, both built post 1976.</i>									
5165 SE Booth Bend Rd Residence	1	NC	c.1971	Wood Sheet	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows.</i>									
NW Cemetery Rd McMinnville Masonic Cemetery	0	ES	1876			Cemetery	4/16/2021		
<i>Comments: Cemetery with commanding view of Mount Hood. Headstones range in age.</i>									
NW Cemetery Rd Shed	1	NC	c.1936	Wood Sheet Corrugated metal	Utilitarian	FUNERARY: General Shed	4/16/2021		
<i>Comments: Built prior to 1936 based on historic aerials. Altered and does not contribute to significance of cemetery.</i>									
5691 SW Dawson Lane Residence	1	UN	c.1952	Cedar Shake Shingle	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on the building existing in a 1953 USGS aerial but not a 1948 aerial. Resource not visible from public ROW; will need owner permission to access.</i>									
5695 SW Dawson Lane Residence	1	UN	c.1950	Wood Sheet	Ranch (Type)	Single Dwelling Early Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on assessor data. Resource too far from public ROW and visibility blocked by vegetation to determine eligibility. Shed off southwest corner built between 1955 and 1969 based on aerials.</i>									








Evaluation Codes: ES=eligible/significant EC=eligible/contributing NC=not eligible/non-contributing NP=not eligible/out of period UN=undetermined/lack of info XD=demolished
NR Status Codes: NRI=individually listed NHD=listed in Hist Dist NRB=listed individually and w/i Hist Dist NHL=listed as National Hist Landmark NS=listed as part of an NRI

Architectural Survey Data for McMinnville UGB RLS 2021
Oregon State Historic Preservation Office

Table with columns: Address/Property Name, Ht, Eval/NR, Yr(s) Built, Materials, Arch Classifs/Styles, Orig. Use/Plan (Type), RLS / ILS Dates, Listed Date. Includes rows for properties at 5821 SW Dawson Lane, 11590 SW Durham Lane, 11200 NW Fox Ridge Rd (Barn, Residence, Silo), and 11501 NW Fox Ridge Rd (Residence, Barn). Each row includes a photo of the property.

Evaluation Codes: ES=eligible/significant EC=eligible/contributing NC=not eligible/non-contributing NP=not eligible/out of period UN=undetermined/lack of info XD=demolished
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Architectural Survey Data for McMinnville UGB RLS 2021 Oregon State Historic Preservation Office

Address/ Property Name	Ht	Eval/ NR	Yr(s) Built	Materials	Arch Classifs/Styles	Orig. Use/ Plan (Type)	RLS / ILS Dates	Listed Date	
11995 NW Fox Ridge Rd Residence	1	NC	c.1954	Vinyl Siding	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
				<i>Comments: Year built based on assessor data. Altered siding. Difficult to see from public ROW. A small shed is off the southwest corner of the house.</i>					
12160 NW Fox Ridge Rd Residence		UN	c.1949			Single Dwelling	4/16/2021		
				<i>Comments: Built between 1948 and 1953 based on historic aerials.Resource not visible from public ROW; will need owner permission to access.Two sheds, west and southwest of the house were both built post 1976 based on historic aerials.</i>					
12302 NW Fox Ridge Rd Water Reservoir No. 3	1	NC	c.1960	Poured Concrete	Utilitarian	Public Works Other/Undefined	4/16/2021		
				<i>Comments: Built between 1954 and 1970 based on historic aerials.Appears intact but lacks architectural detail. A post 1976 reservoir No. 4 built off the northwest corner, and two associated facility buildings also built post 1976 located to the east and southeast of the reservoir.</i>					
12302 NW Fox Ridge Rd Water Reservoir No. 2	1	NC	c.1917	Poured Concrete Horizontal Board	Utilitarian	Public Works Other/Undefined	4/16/2021		
				<i>Comments: Built prior to 1936 based on historic aerials.Appears intact but lacks architectural detail. Roof structure added between 1948 and 1953.</i>					
12302 NW Fox Ridge Rd Water Reservoir No. 1	1	NC	c.1909	Poured Concrete	Utilitarian	Public Works Other/Undefined	4/16/2021		
				<i>Comments: Year built based on Sanborn Fire Insurance map description of the city's water system and historic aerials. Roof structure added between 1948 and 1953.</i>					
1301 SW Hill Rd S Residence	2.5	NC	c.1916	Vinyl Siding	Foursquare (Type)	Single Dwelling Foursquare (Box)	4/16/2021		
				<i>Comments: Year built based on assessor data. Altered siding and windows. Associated outbuildings are directly west of the house. A pole barn replacing the former barn at this location is southwest of the house.</i>					
SE Morgan Lane			c.						
SE Morgan Lane									
				<i>No image available.</i>					
8825 SE Morgan Lane Residence	1	NC	c.1969	Vertical Board	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
				<i>Comments: Year built based on assessor data. Altered windows. Set far back from the road and difficult to see from public ROW.</i>					

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Architectural Survey Data for McMinnville UGB RLS 2021
Oregon State Historic Preservation Office

Table with columns: Address/Property Name, Ht, Eval/NR, Yr(s) Built, Materials, Arch Classifs/Styles, Orig. Use/Plan (Type), RLS / ILS Dates, Listed Date. Includes rows for properties on Morgan Lane and Sheridan Rd with associated photos and comments.

Evaluation Codes: ES=eligible/significant EC=eligible/contributing NC=not eligible/non-contributing NP=not eligible/out of period UN=undetermined/lack of info XD=demolished
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Table with 8 columns: Address/Property Name, Ht, Eval/NR, Yr(s) Built, Materials, Arch Classifs/Styles, Orig. Use/Plan (Type), RLS / ILS Dates, Listed Date. Includes rows for properties like 1761 SW Old Sheridan Rd Barn, 1960 SW Old Sheridan Rd Residence, 2000 SW Old Sheridan Rd Residence, 10205 SW Old Sheridan Rd Residence, 10315 SW Old Sheridan Rd Residence, 10475 SW Old Sheridan Rd Religious Facility, 10751 SW Old Sheridan Rd Residence, and 3150 SW Redmond Hill Rd Barn. Each row includes a photo of the property.

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Table with columns: Address/Property Name, Ht, Eval/ NR, Yr(s) Built, Materials, Arch Classifs/Styles, Orig. Use/ Plan (Type), RLS / ILS Dates, Listed Date. Includes rows for properties like 3230 SW Redmond Hill Rd, 3950 NE Riverside Lp, 3951 NE Riverside Lp, 3970 NE Riverside Lp, 4004 NE Riverside Lp, 4280 NE Riverside Dr, 4285 NE Riverside Dr, 4325 NE Riverside Dr, and 4329 NE Riverside Dr. Each row includes a photo of the property.

Evaluation Codes: ES=eligible/significant EC=eligible/contributing NC=not eligible/non-contributing NP=not eligible/out of period UN=undetermined/lack of info XD=demolished
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Architectural Survey Data for McMinnville UGB RLS 2021
Oregon State Historic Preservation Office

Table with columns: Address/Property Name, Ht, Eval/ NR, Yr(s) Built, Materials, Arch Classifs/Styles, Orig. Use/ Plan (Type), RLS / ILS Dates, Listed Date. Includes rows for properties at 4361 NE Riverside Dr, 4361 NE Riverside Dr, 4370 NE Riverside Dr, 4375 NE Riverside Lp, 4375 NE Riverside Lp, 4400 NE Riverside Dr, 4400 NE Riverside Dr, 4714 NE Riverside Lp, and 4714 NE Riverside Lp. Each row includes a photograph of the property.

Evaluation Codes: ES=eligible/significant EC=eligible/contributing NC=not eligible/non-contributing NP=not eligible/out of period UN=undetermined/lack of info XD=demolished
NR Status Codes: NRI=individually listed NHD=listed in Hist Dist NRB=listed individually and w/i Hist Dist NHL=listed as National Hist Landmark NS=listed as part of an NRI

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Table with columns: Address/Property Name, Ht, Eval/NR, Yr(s) Built, Materials, Arch Classifs/Styles, Orig. Use/Plan (Type), RLS / ILS Dates, Listed Date. Includes 10 rows of property data with photos and comments.





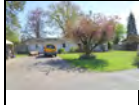

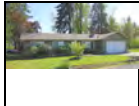



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Table with columns: Address/Property Name, Ht, Eval/NR, Yr(s) Built, Materials, Arch Classifs/Styles, Orig. Use/Plan (Type), RLS / ILS Dates, Listed Date. Includes rows for properties at 5825 NE Riverside Dr, 5950 NE Riverside Dr, 5950 NE Riverside Dr, 6041 NE Riverside Lp, 6331 NE Riverside Dr, 6450 NE Riverside Dr, 6490 NE Riverside Dr, 6605 NE Riverside Dr, and 6605 NE Riverside Dr.




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Address/ Property Name	Ht	Eval/ NR	Yr(s) Built	Materials	Arch Classifs/Styles	Orig. Use/ Plan (Type)	RLS / ILS Dates	Listed Date	
6605 NE Riverside Dr Residence	1	UN	c.1951	Horizontal Board	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on assessor data. Resource not visible from public ROW; will need owner permission to access.</i>									
6605 NE Riverside Dr Barn No. 2	1	NC	c.1935	Horizontal Board	Vernacular	Agric. Outbuilding Barn - Other	4/16/2021		
<i>Comments: Built prior to 1936 based on historic aerials.</i>									
6851 NE Riverside Dr Residence		UN	c.1951			Single Dwelling	4/16/2021		
<i>Comments: Year built based on assessor data. Resource not visible from public ROW; will need owner permission to access.</i>									
6901 NE Riverside Dr Residence	1	NC	c.1964	Synthetic Wood Siding	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows and siding. Non contributing shed off the southeast corner of the building.</i>									
7025 NE Riverside Dr Residence	1	NC	c.1969	Vinyl Siding Shingle	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows and siding. Garage appears filled in. Three small non contributing sheds behind the house all built post 1976.</i>									
7081 NE Riverside Dr Residence	1	NC	c.1972	Vertical Board Wood Sheet	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows.</i>									
7151 NE Riverside Dr Residence	1	NC	c.1961	Cedar Shake Shingle Wood Sheet	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows. Non contributing garage off the southeast corner of the house.</i>									
7301 NE Riverside Dr Residence	1	NC	c.1938	Horizontal Board Standard Brick	Ranch (Type)	Single Dwelling Early Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows and plan.</i>									
1325 NE Walnut Ave Residence	1	NC	c.1957	Cedar Shake Shingle	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows. Two non contributing out buildings northwest of the house. The larger built post 1976 and the smaller built between 1963 and 1970 based on historic aerials.</i>									
1401 NE Walnut Ave Residence	1	UN	c.1963	Horizontal Board Wood Sheet	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on assessor data. Appears intact but is difficult to see from public ROW due to vegetation. Two non contributing out buildings, the smaller built ca. 1968 and the larger built post 1976.</i>									

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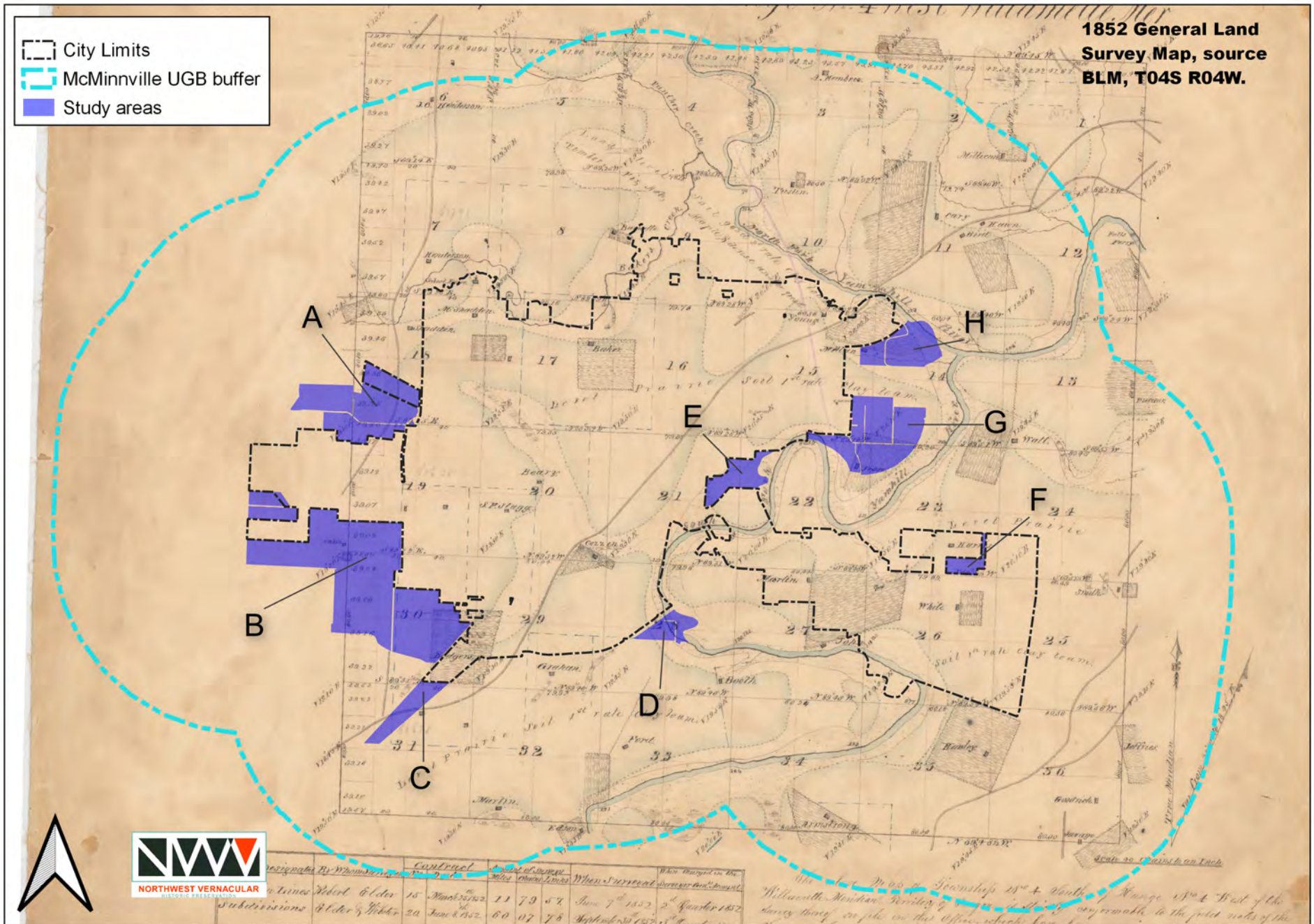
Address/ Property Name	Ht	Eval/ NR	Yr(s) Built	Materials	Arch Classifs/Styles	Orig. Use/ Plan (Type)	RLS / ILS Dates	Listed Date	
1531 NE Walnut Ave Residence	1	NC	c.1974	Vertical Board	Ranch (Type)	Single Dwelling Ranch w/Garage	4/16/2021		
<i>Comments: Year built based on assessor data. Two non contributing out buildings west of the house, both built between 1963 and 1970 based on aerials.</i>									
1605 NE Walnut Ave Residence	1	NC	c.1963	Vertical Board	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows. A non contributing shed is west of the house and built post 1976.</i>									
1701 NE Walnut Ave Residence	1	NC	c.1964	Roman Brick Vertical Board	Ranch (Type)	Single Dwelling Ranch/Rambler	4/16/2021		
<i>Comments: Year built based on assessor data. Altered windows, siding, and plan. Large garage addition; original garage may have been filled in. Non contributing out buildings north (built post 1976) and south (built between 1970 and 1976) of the house, based on aerials.</i>									

Total Resources Identified: 94

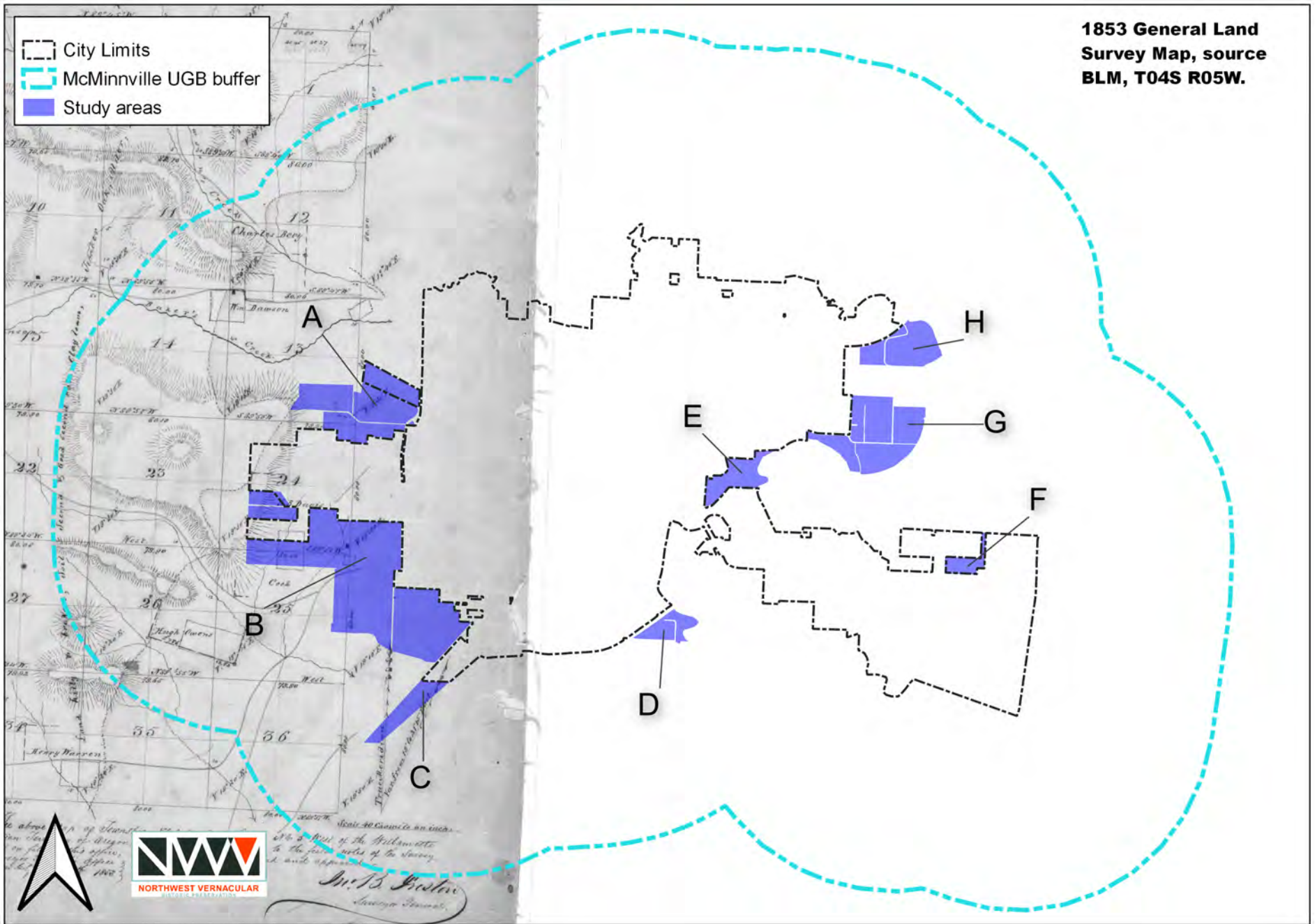
Evaluation Codes: ES=eligible/significant EC=eligible/contributing NC=not eligible/non-contributing NP=not eligible/out of period UN=undetermined/lack of info XD=demolished
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9. Maps

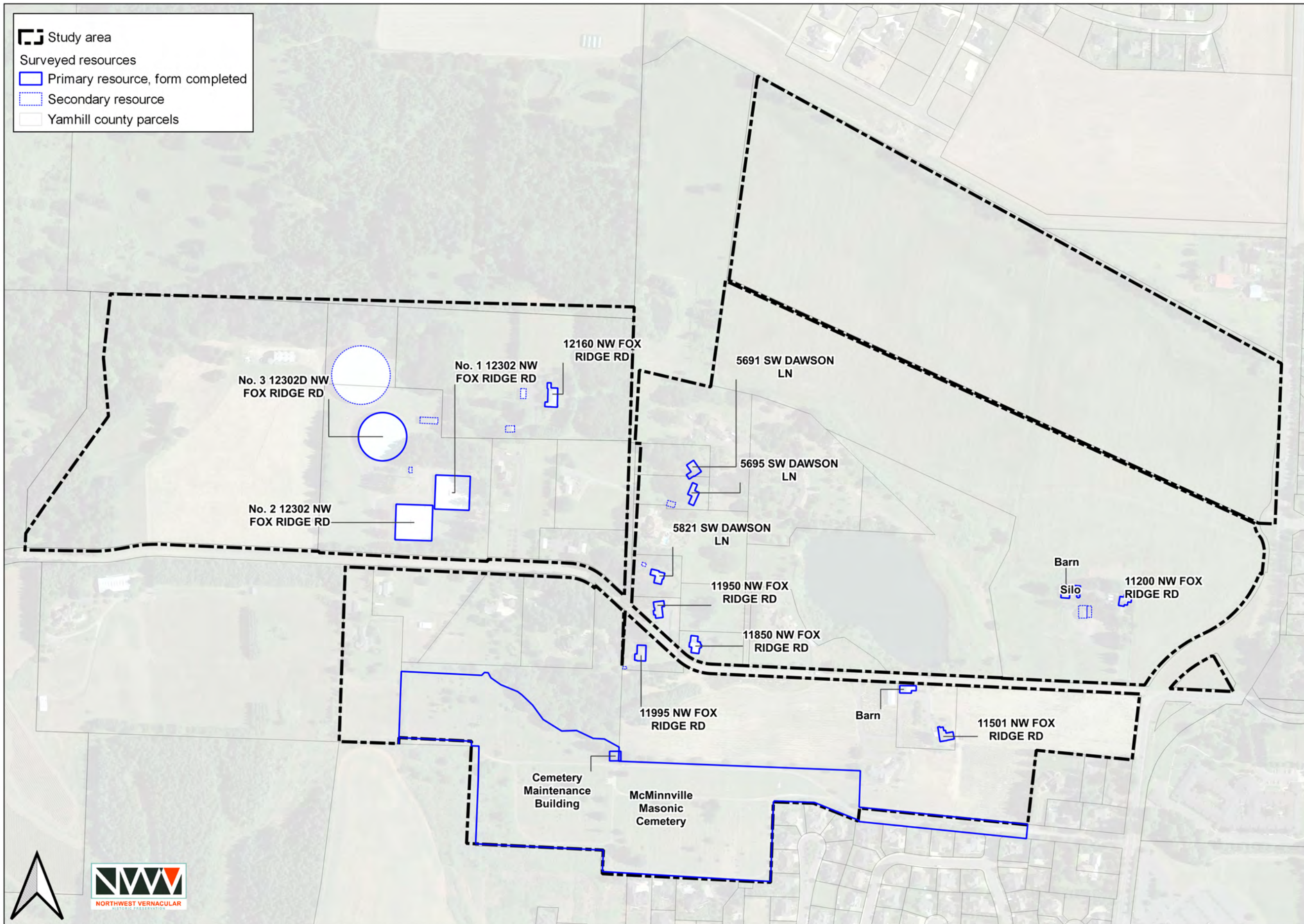
The following maps were developed as part of this survey. They are organized by overview first, followed alphabetically by survey area. Due to the size of several survey areas sheet size changes to accommodate the full geographic area.

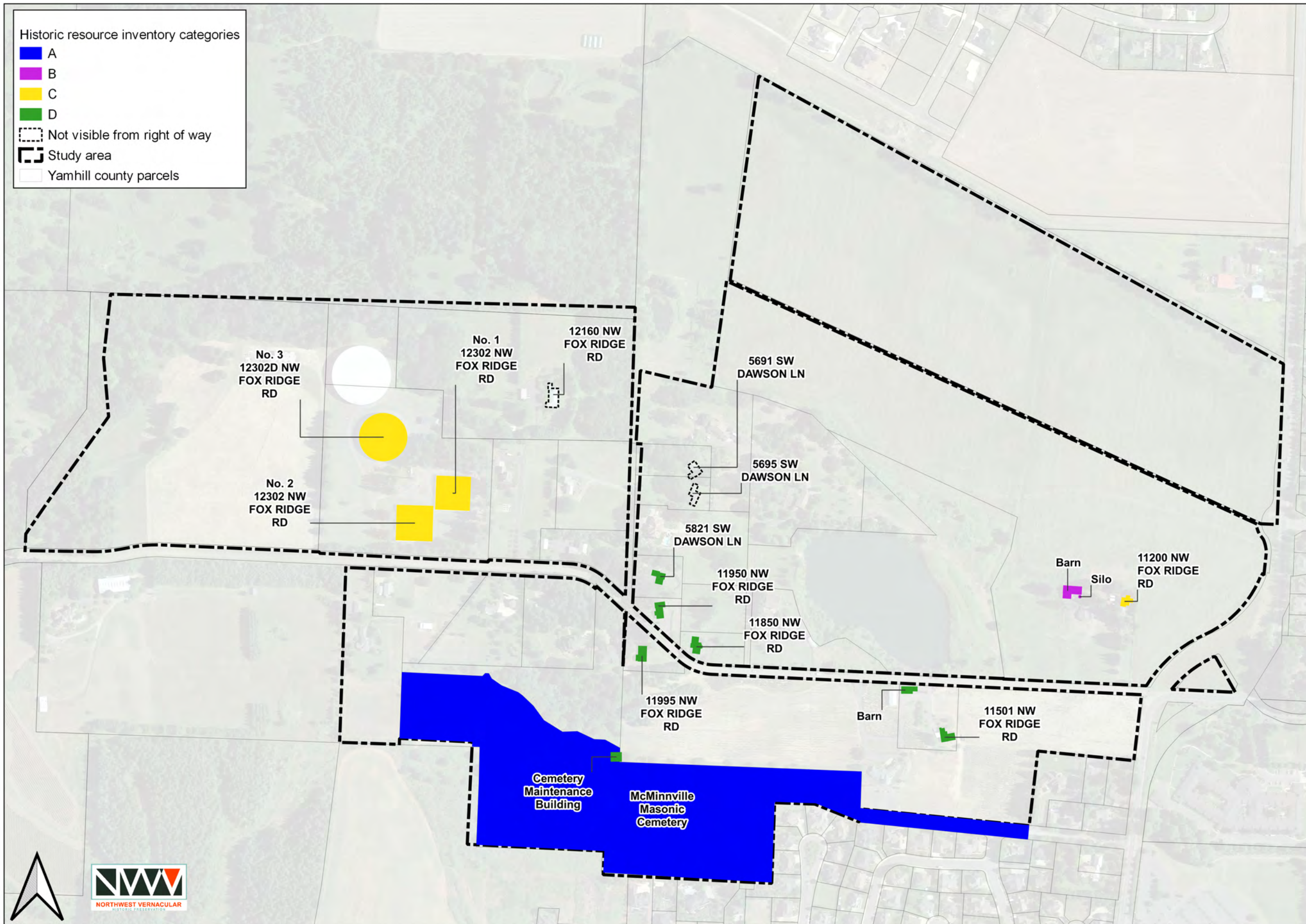


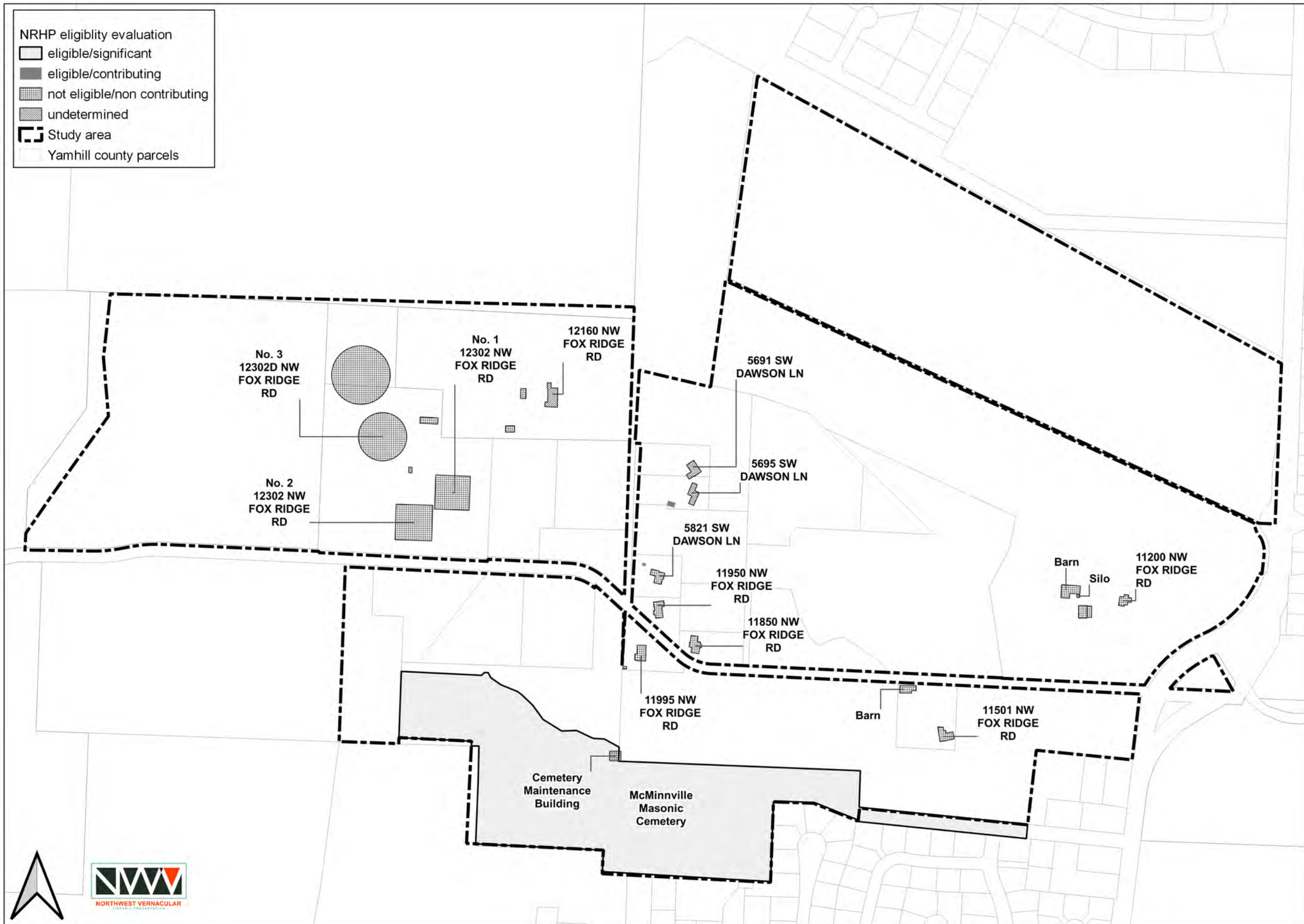
Map 1. 1852 General Land Office Survey.

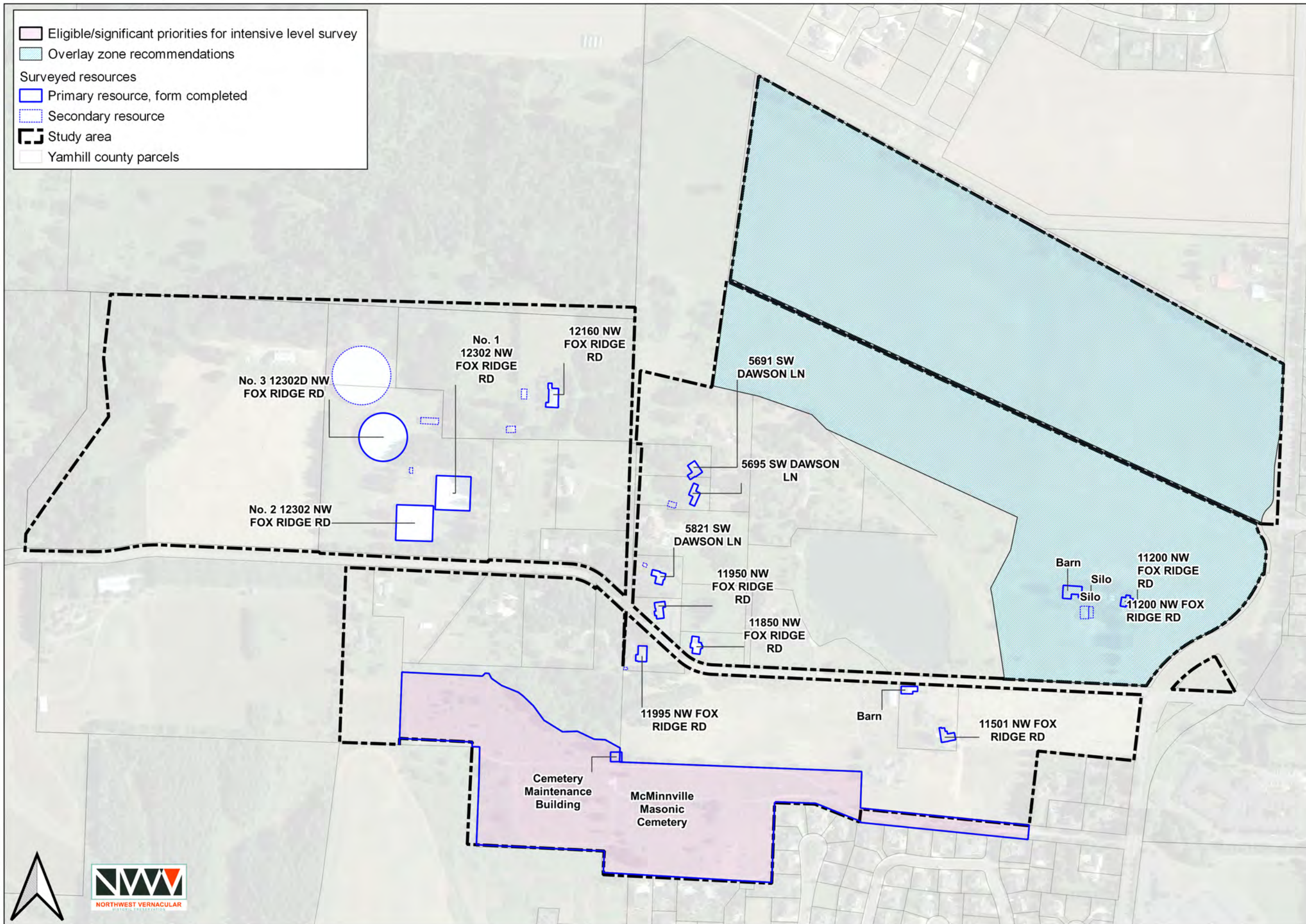


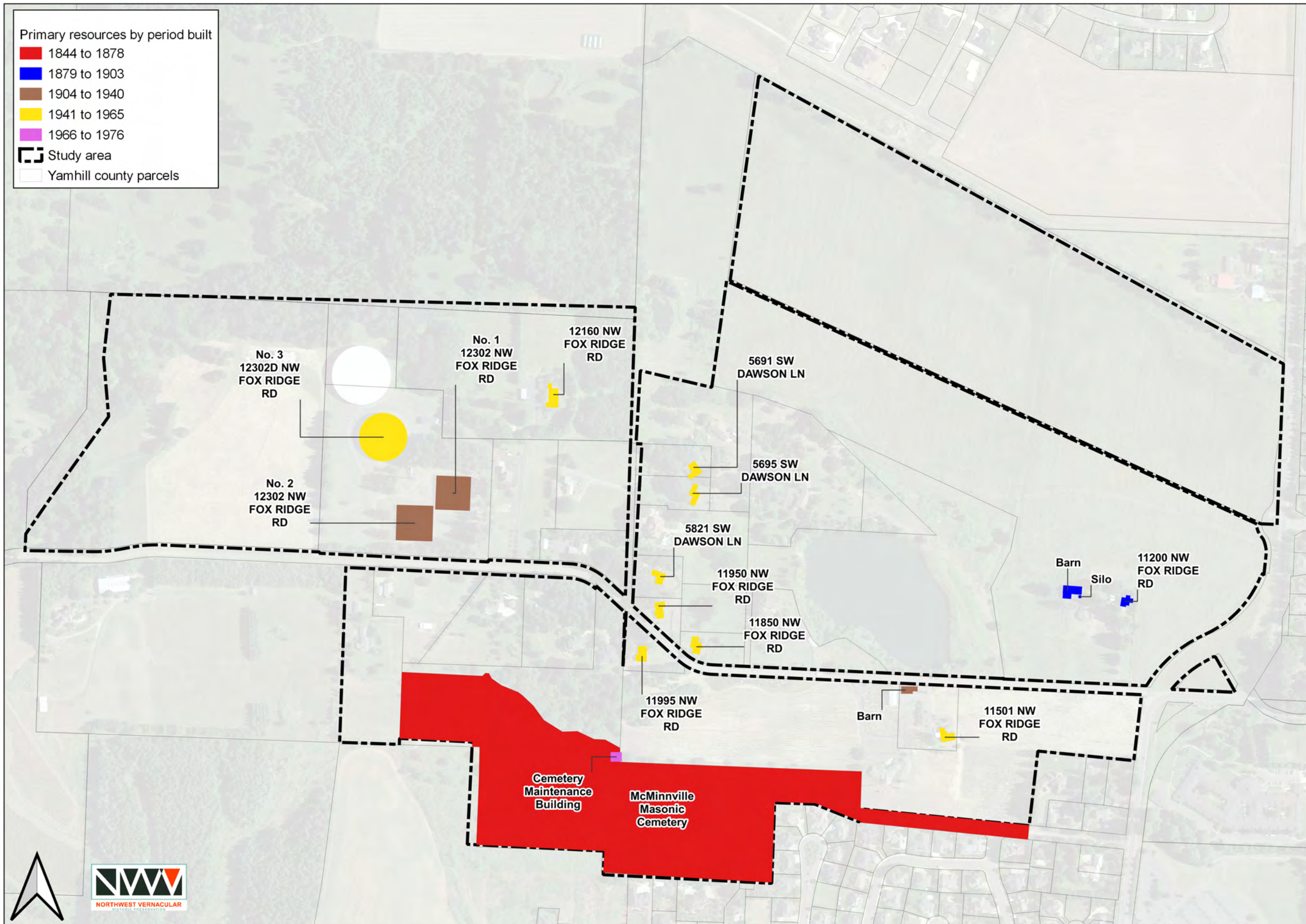
Map 2. 1853 General Land Office Survey.

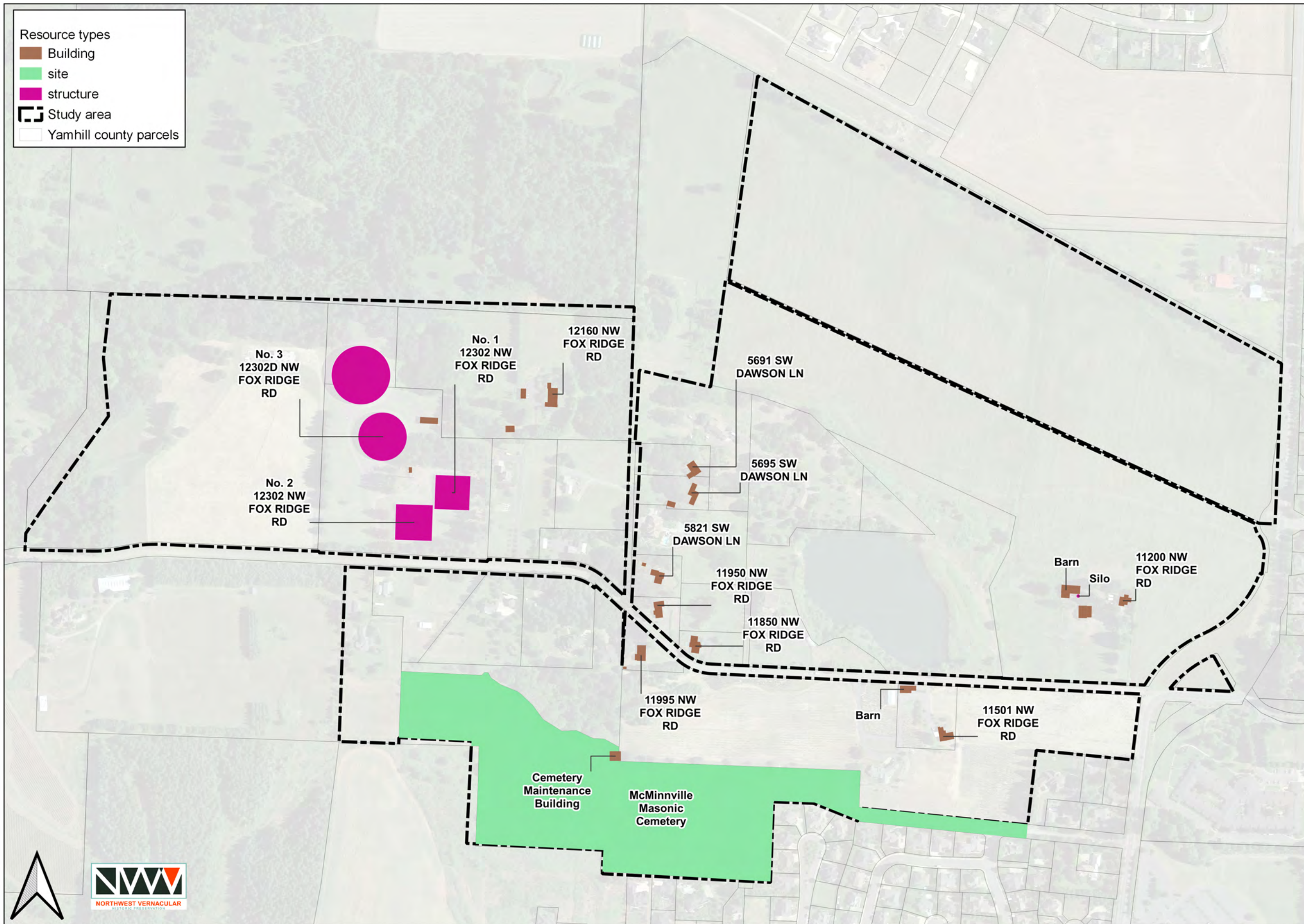


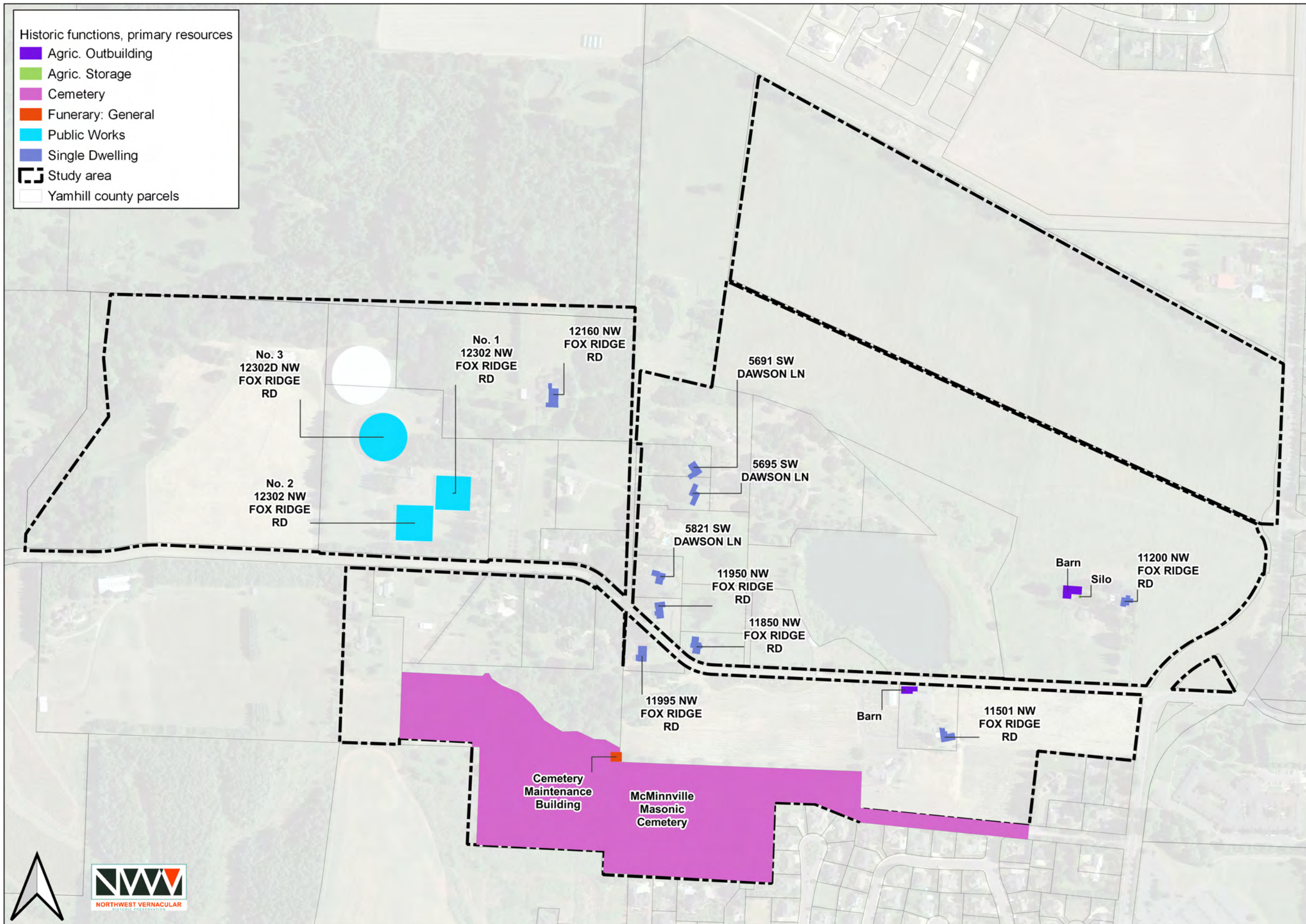


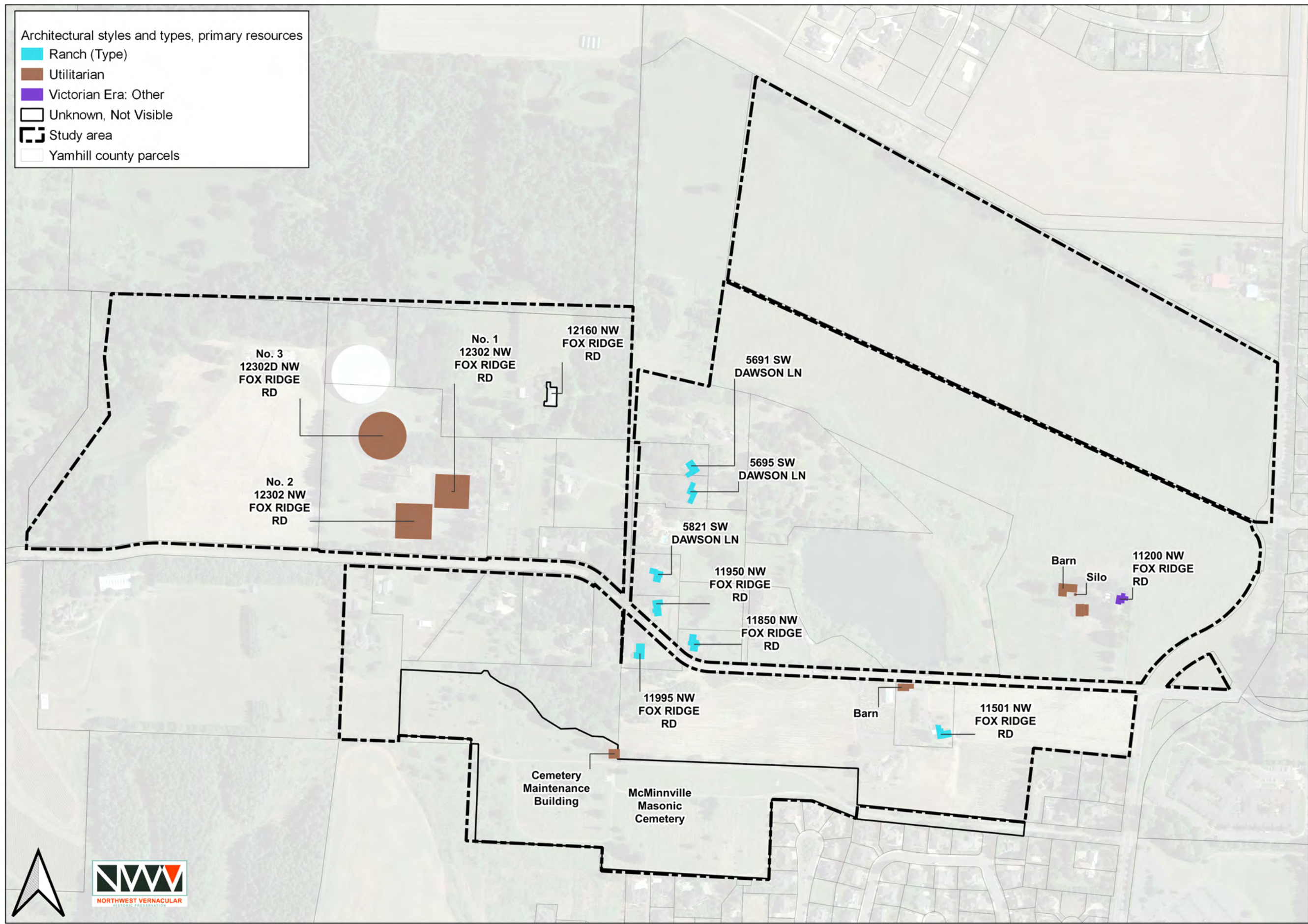


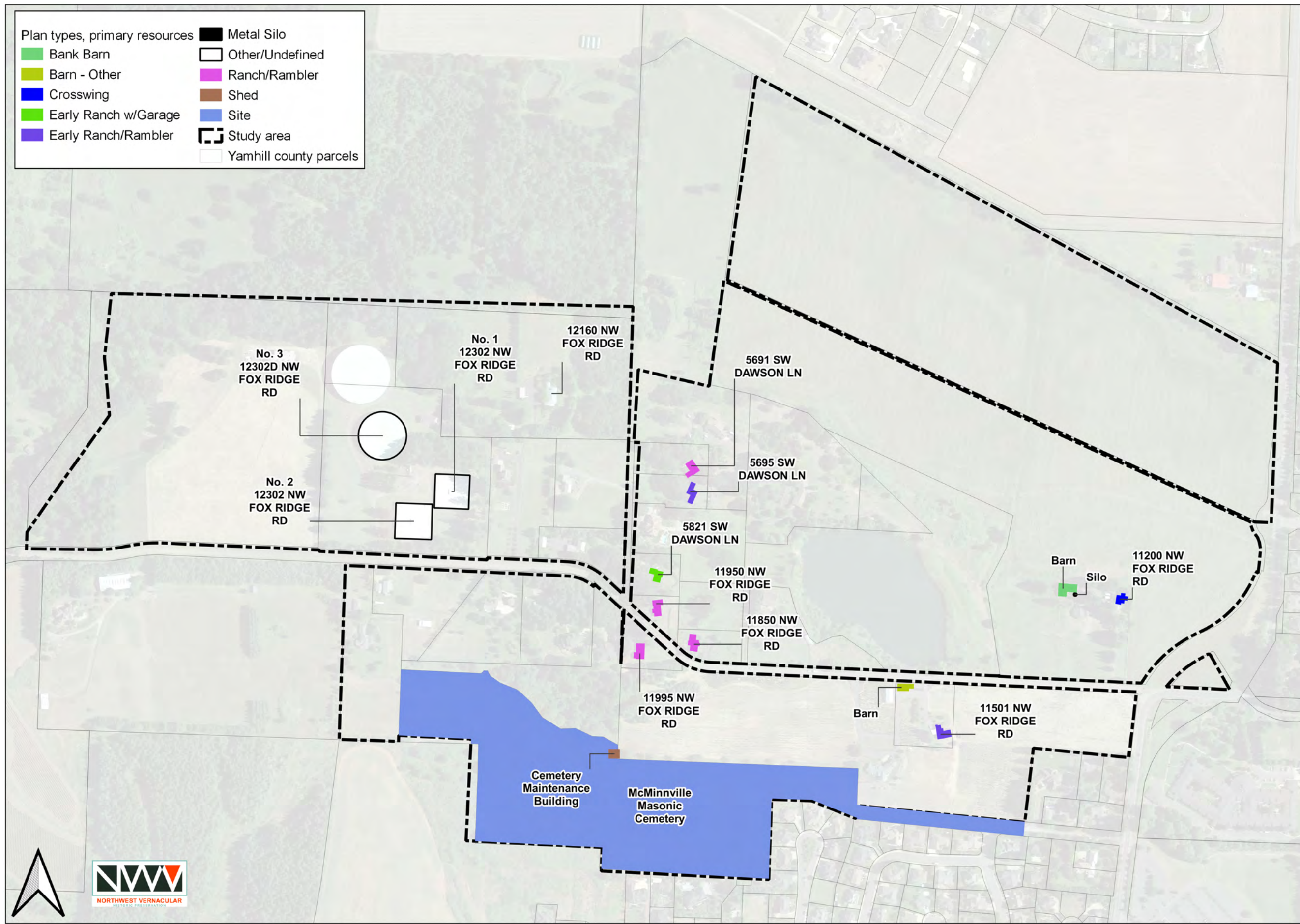


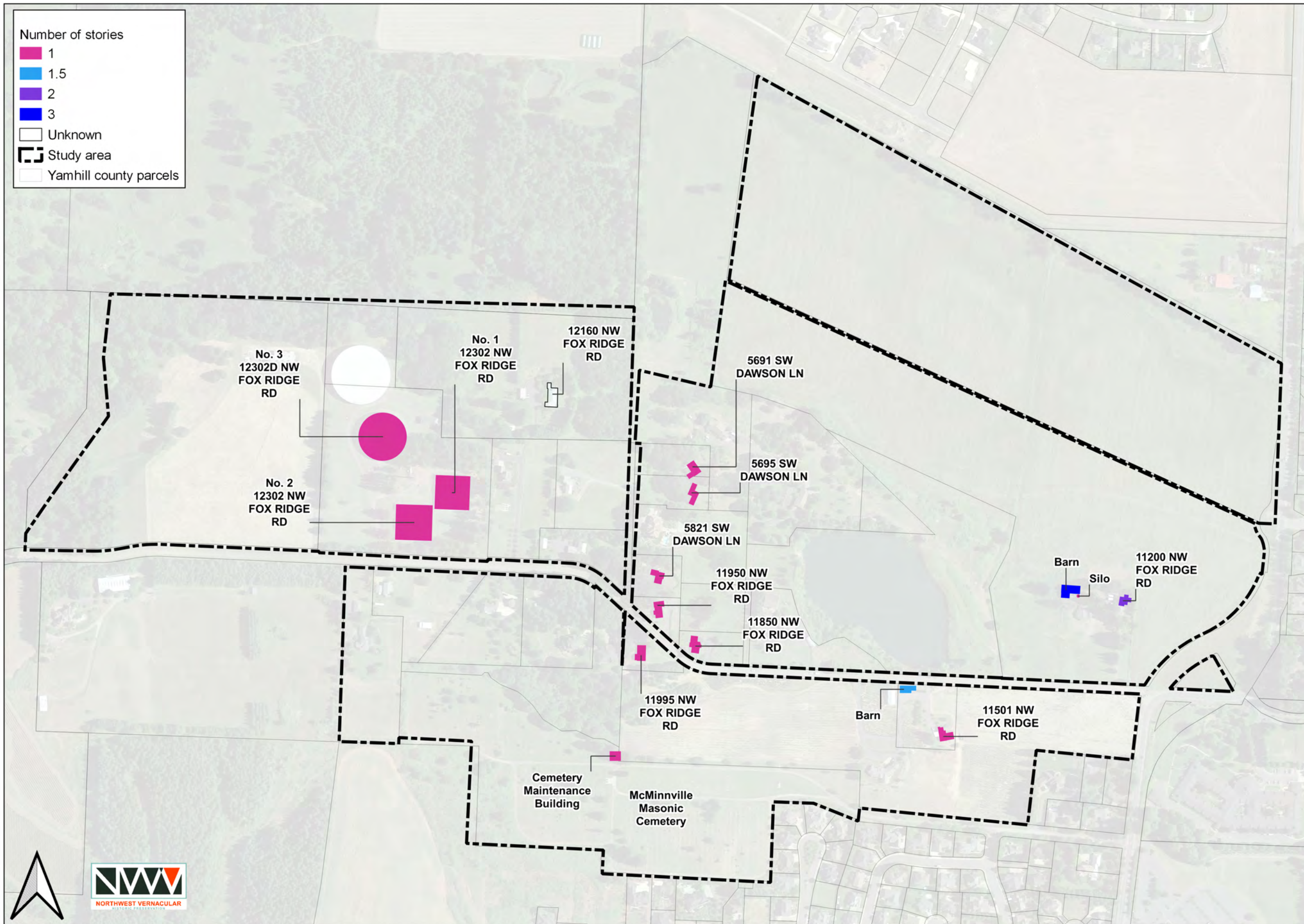


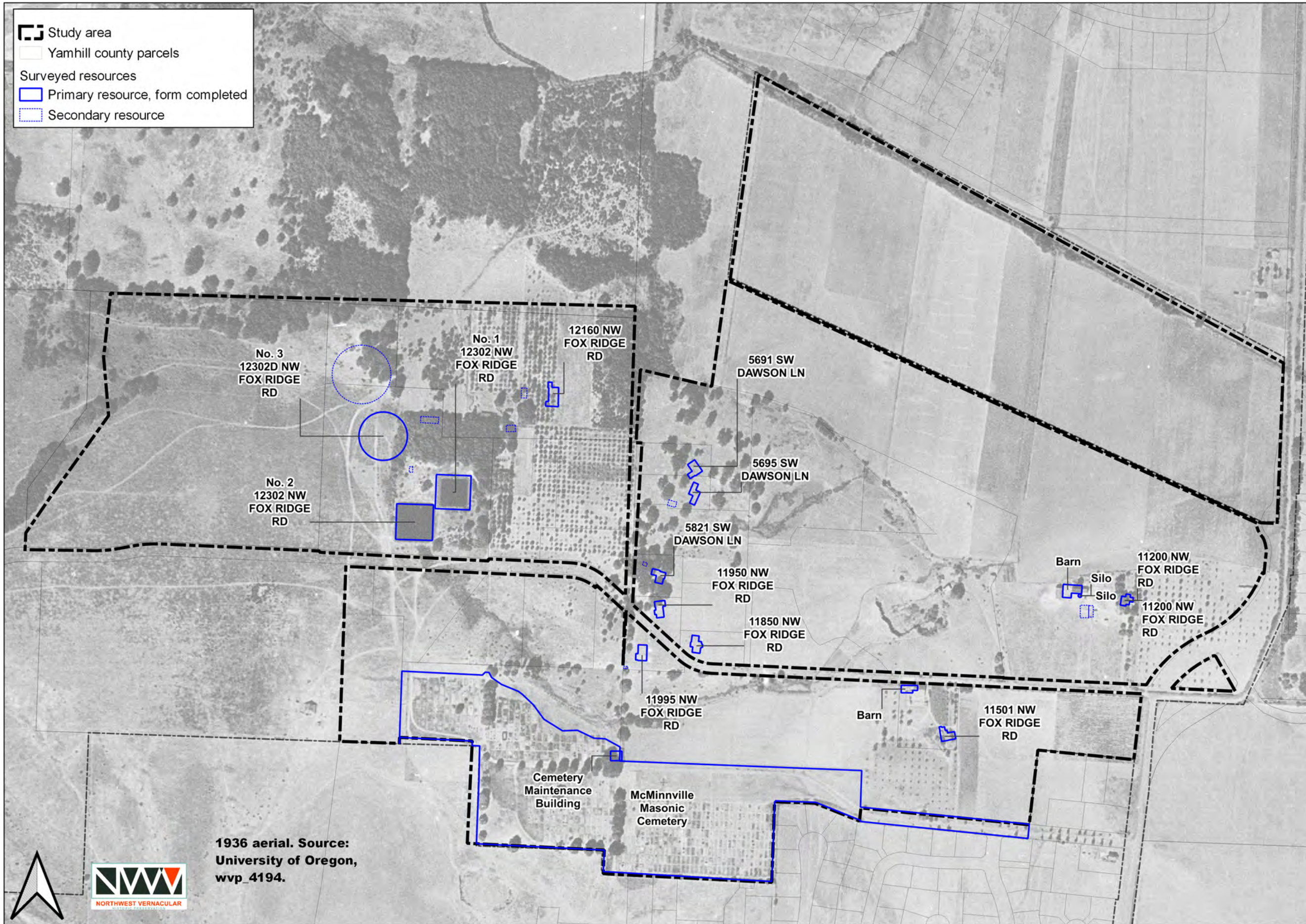


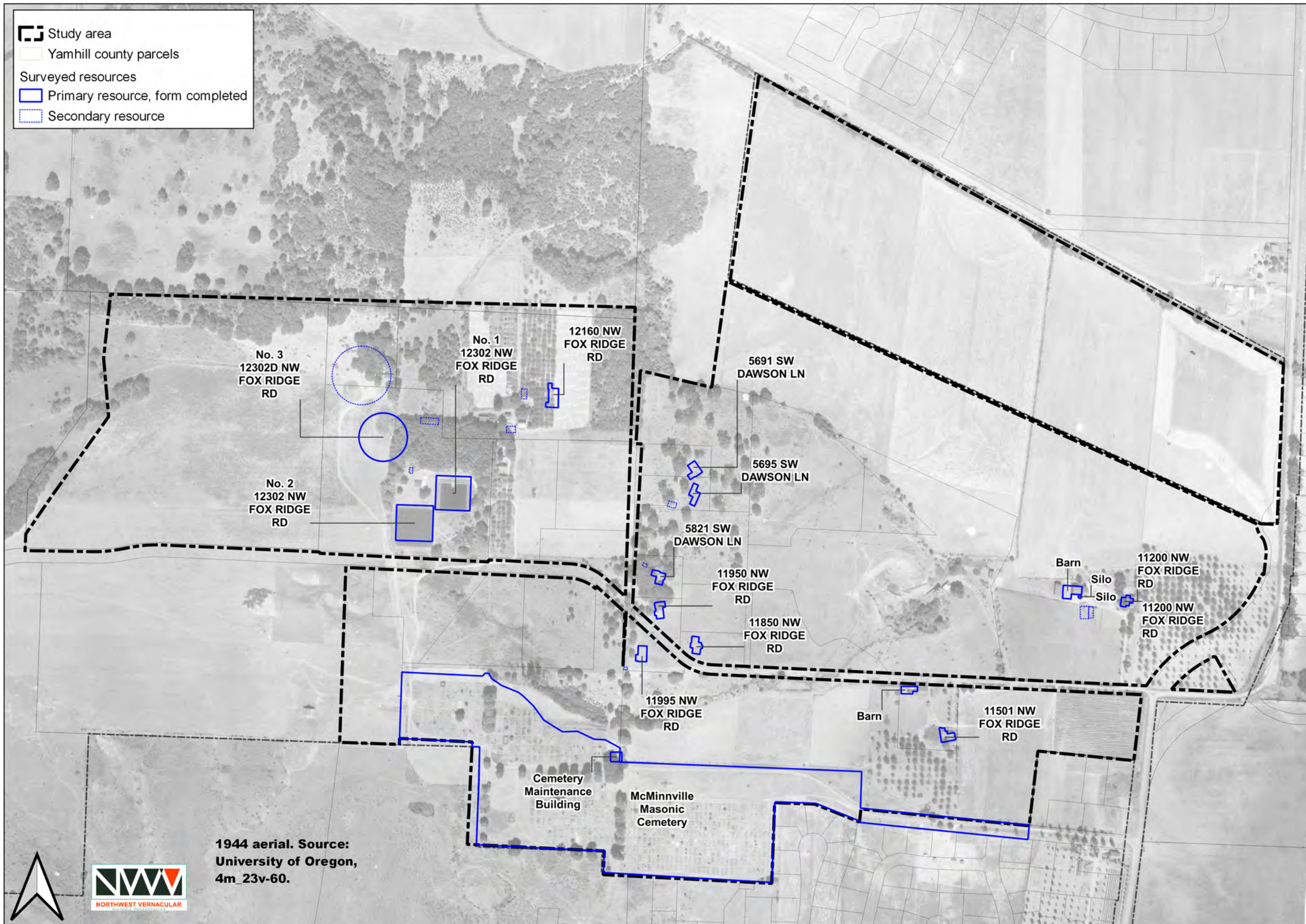


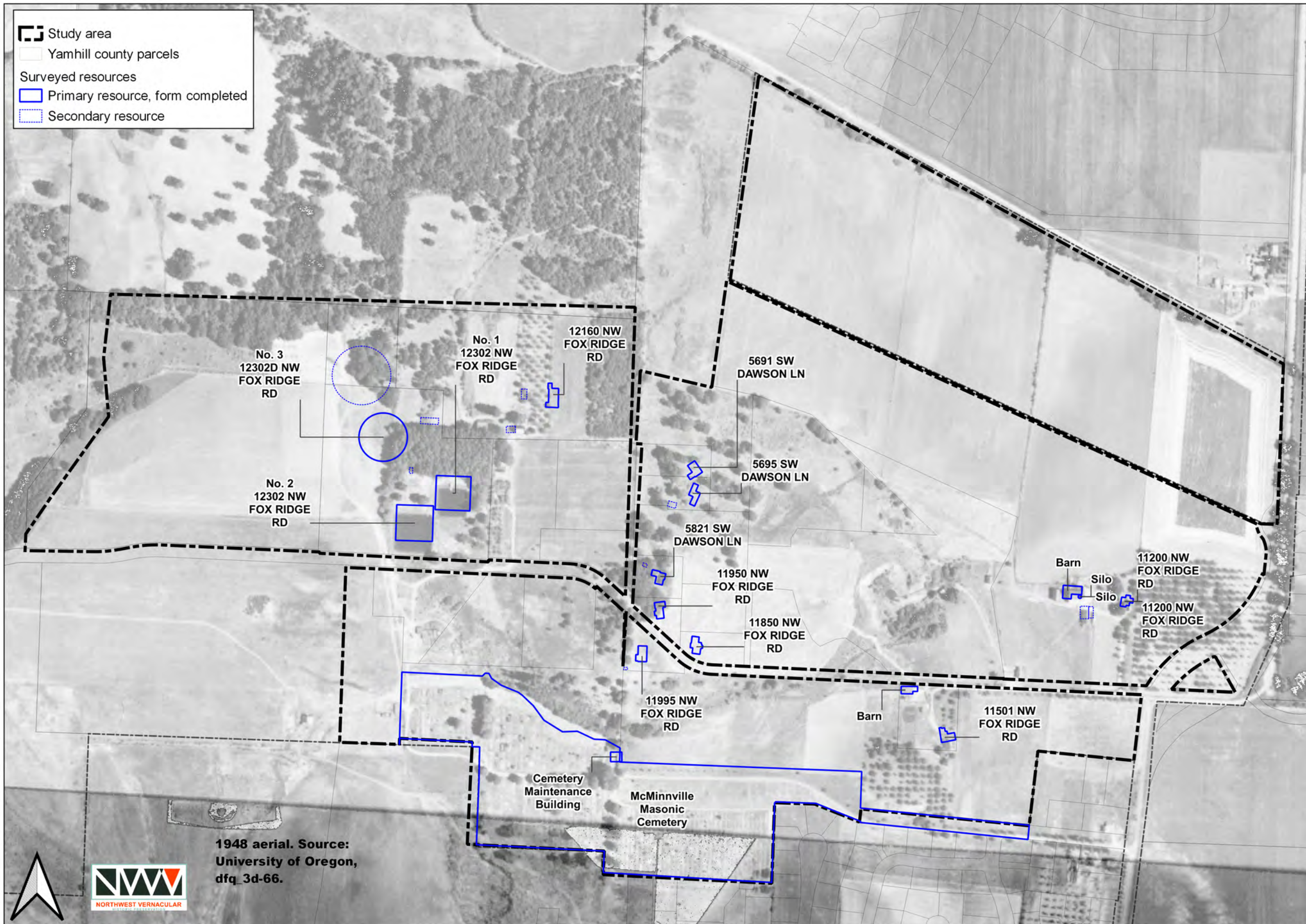


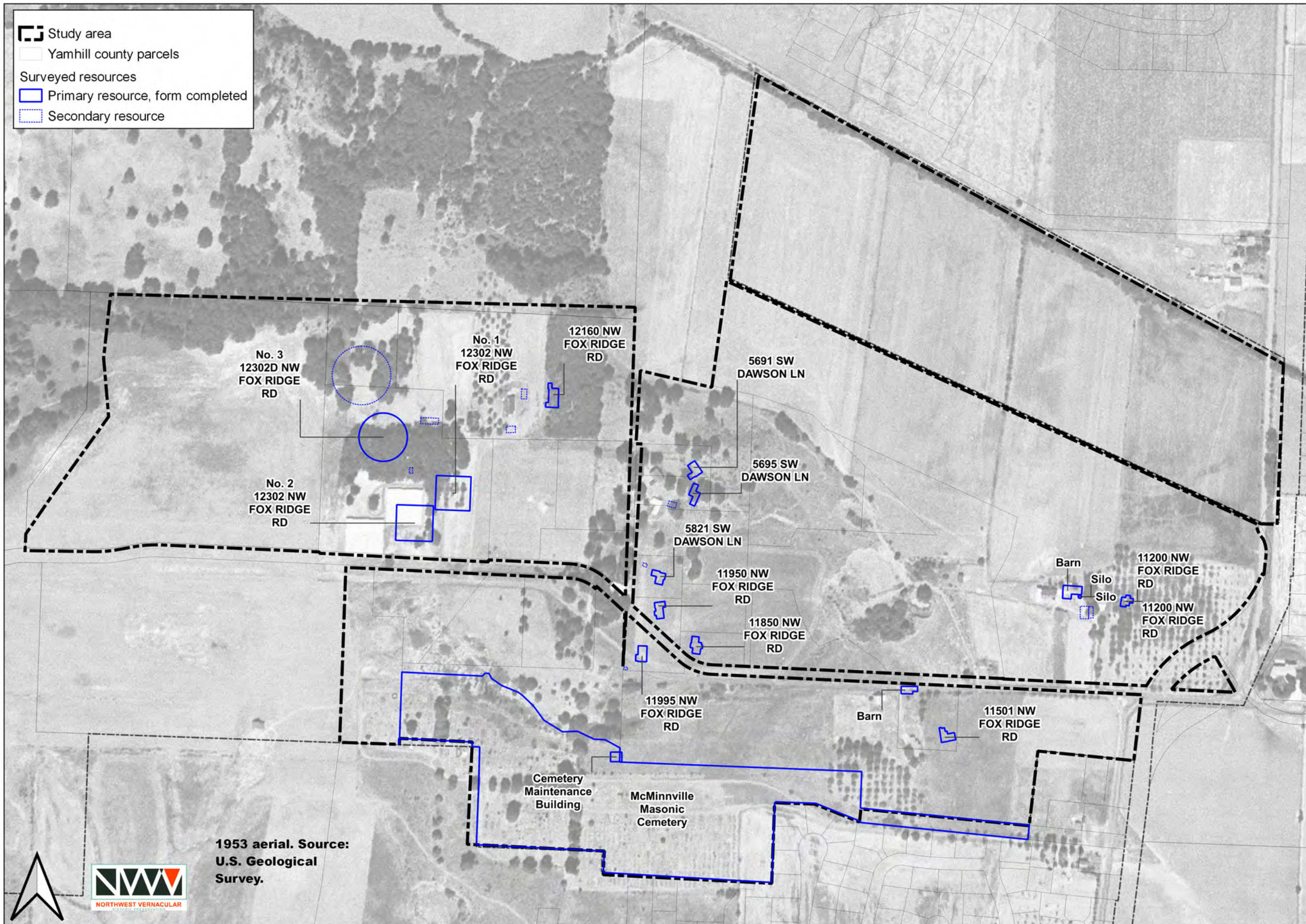


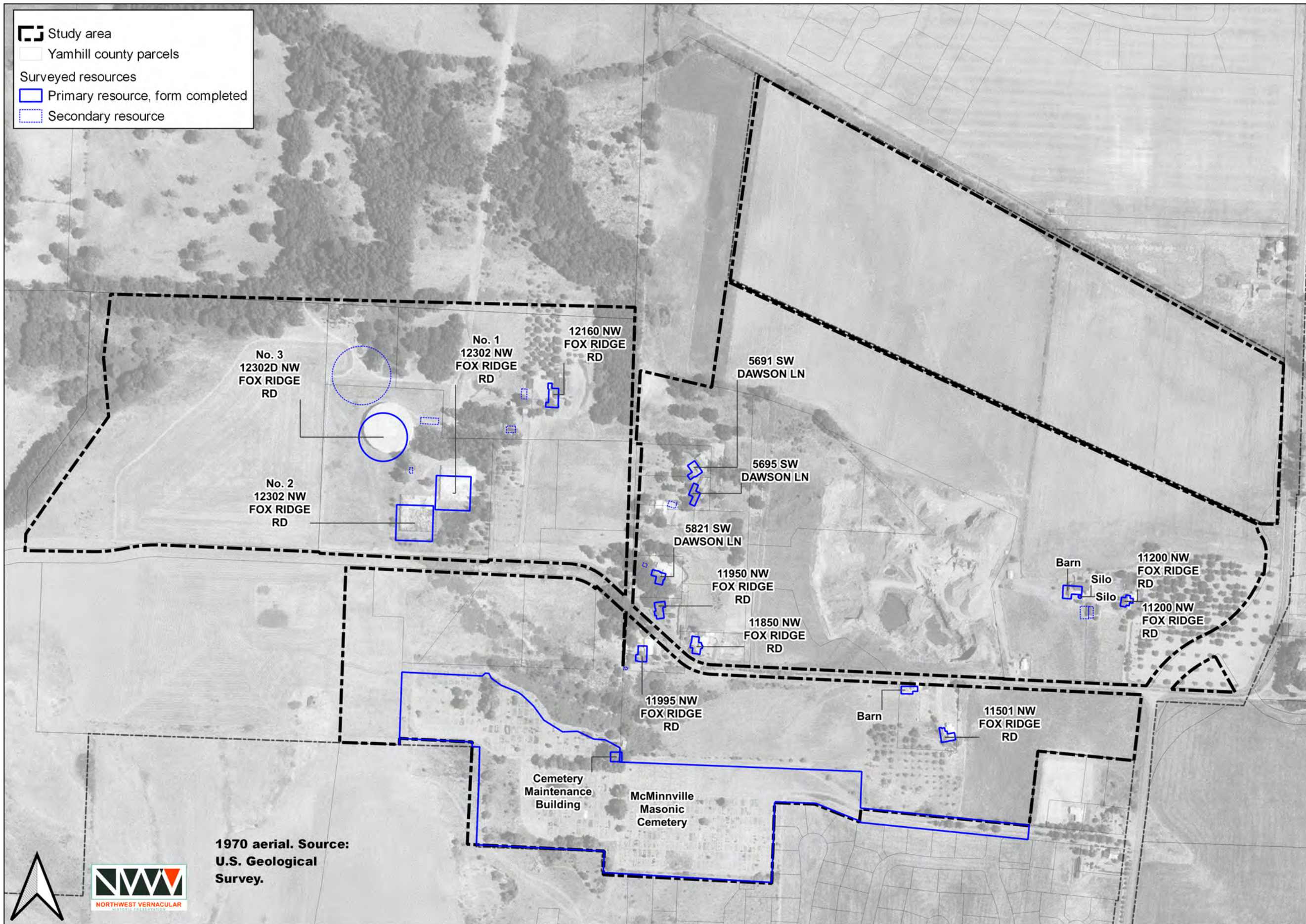


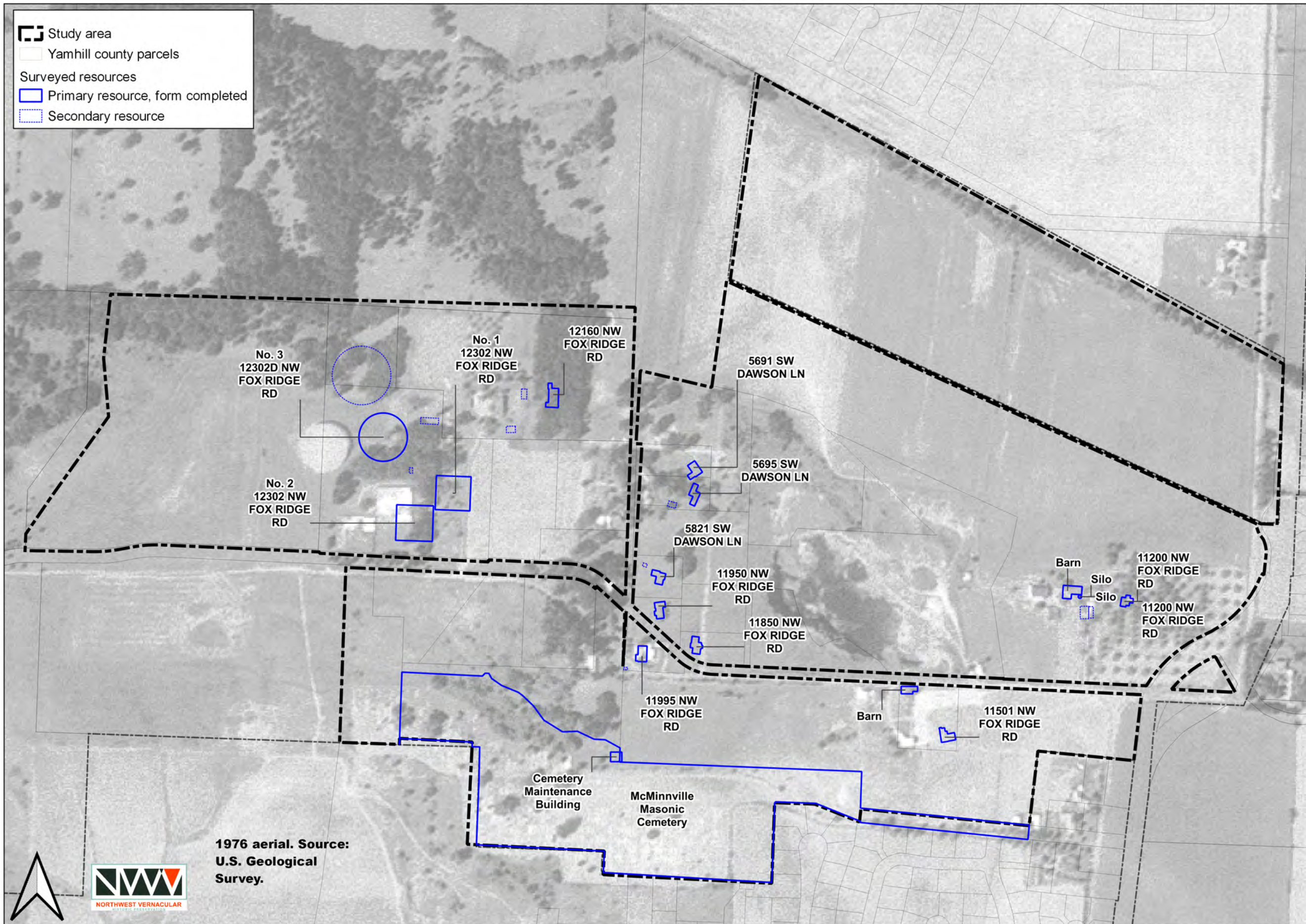


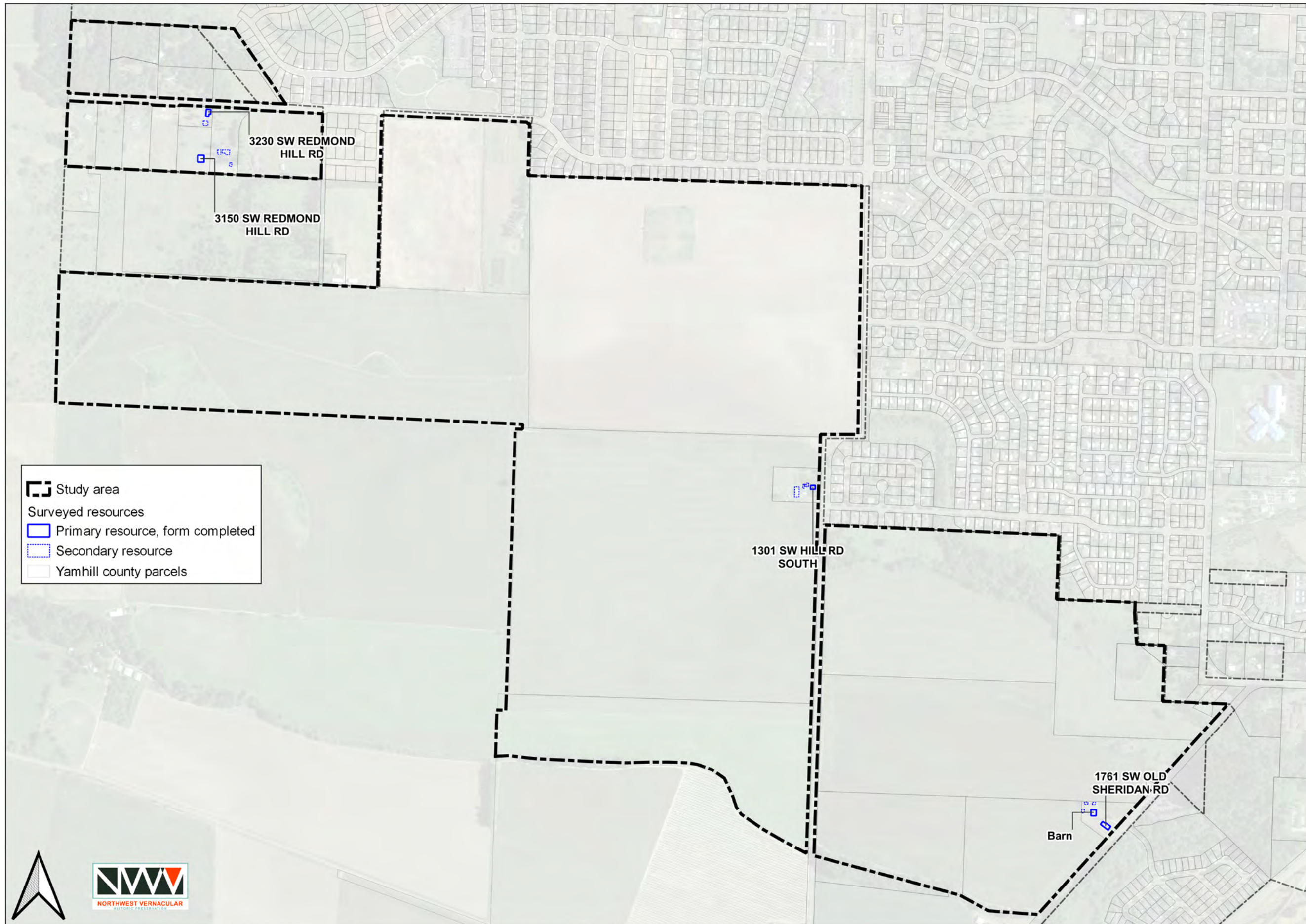


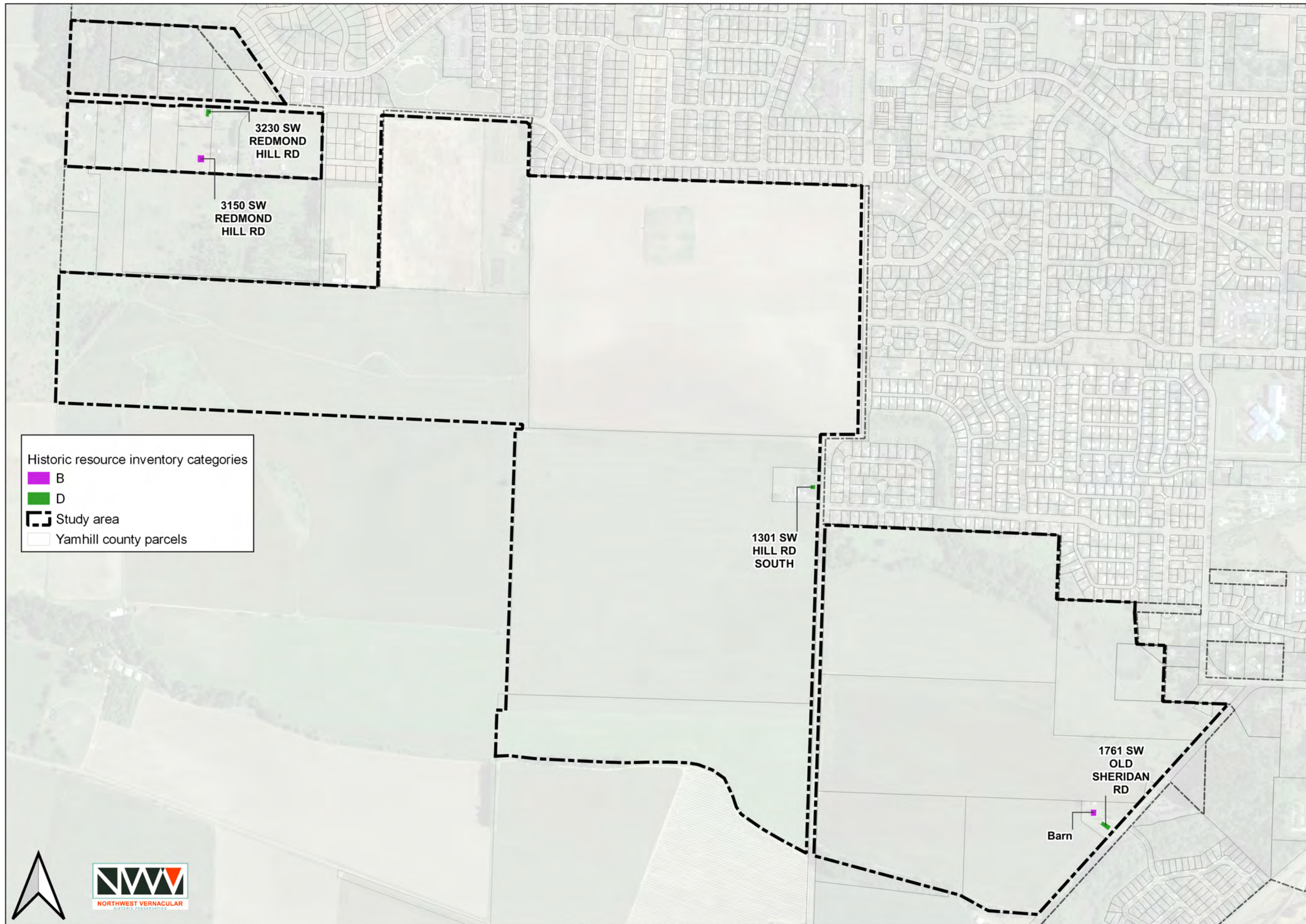


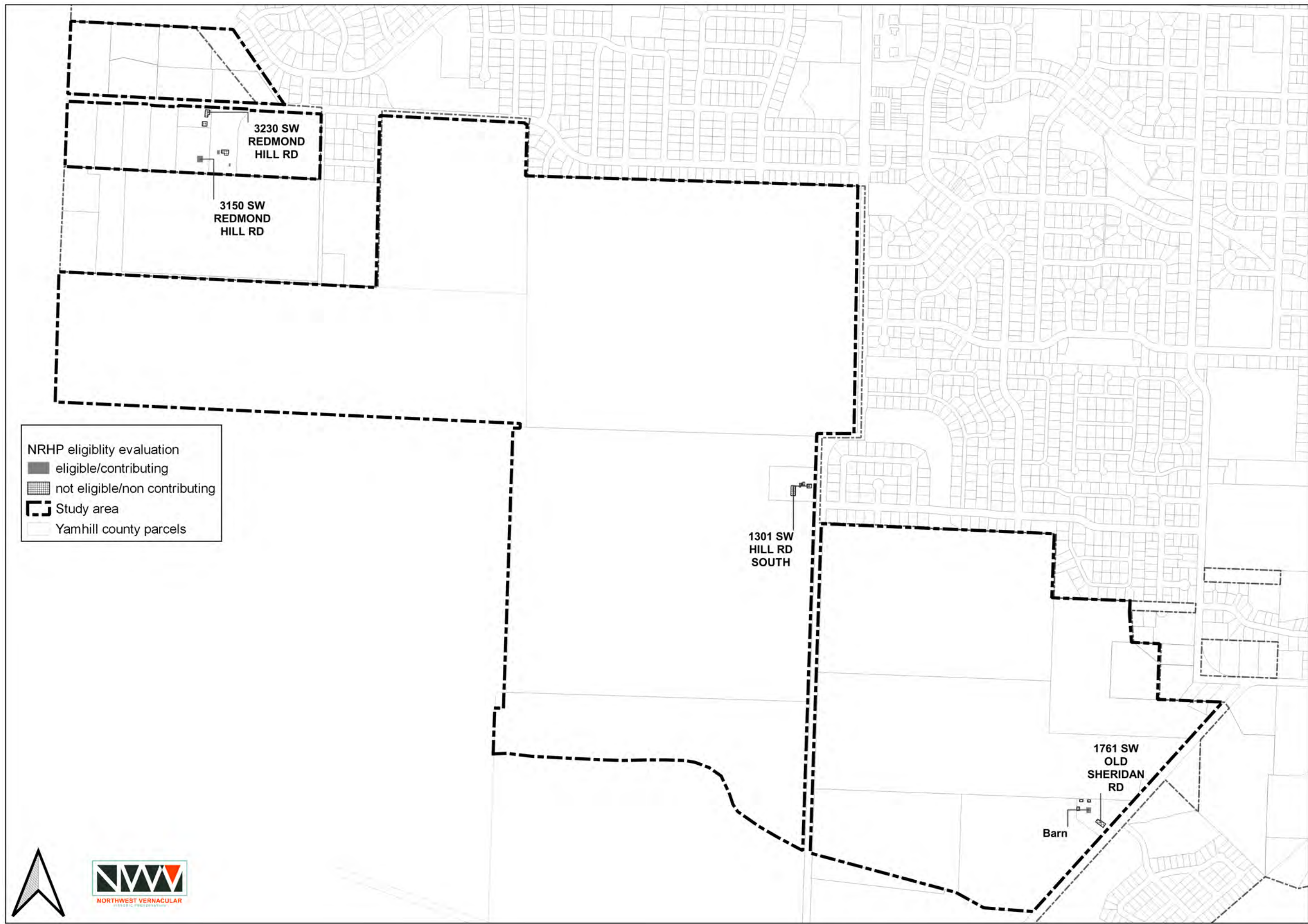


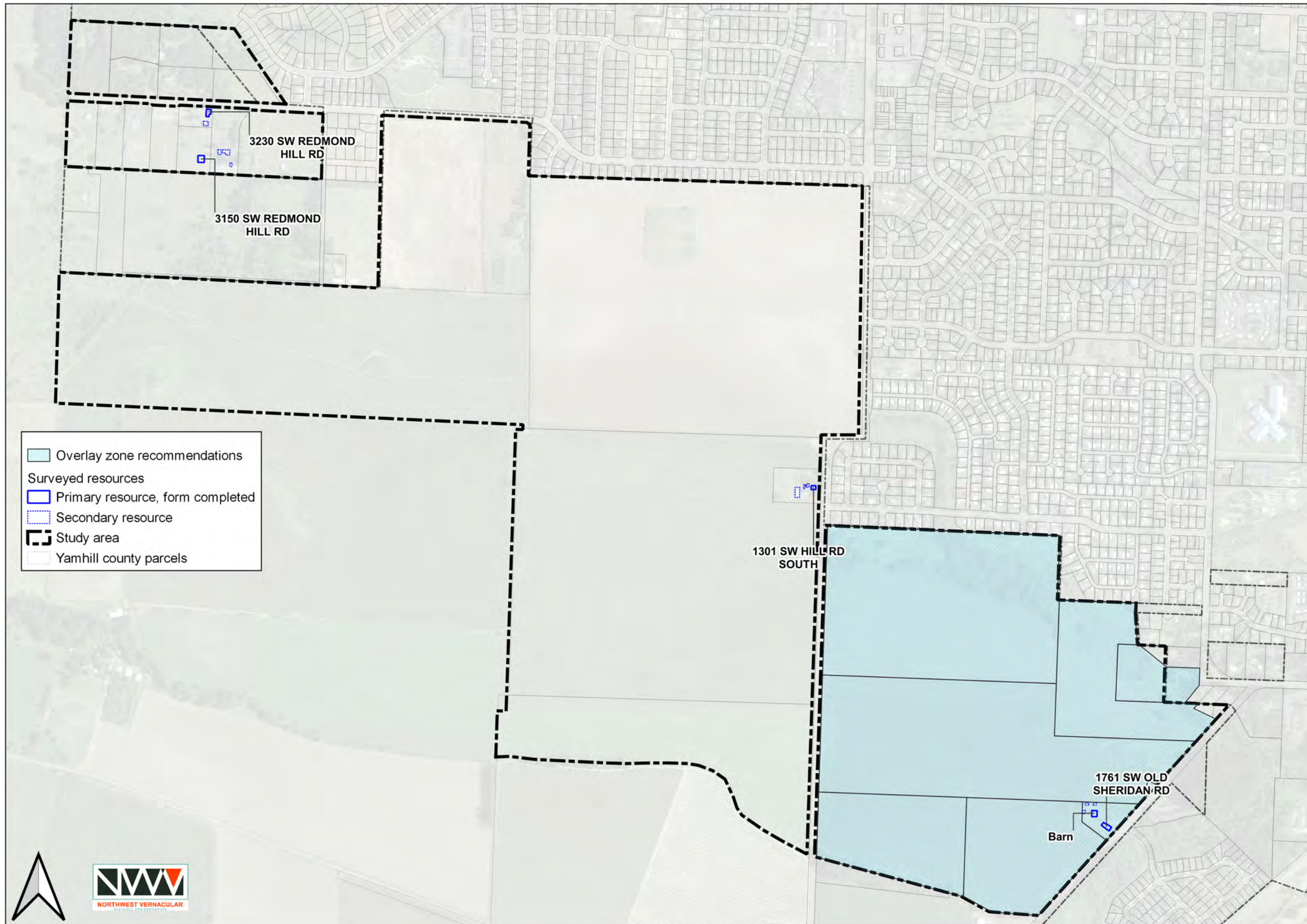


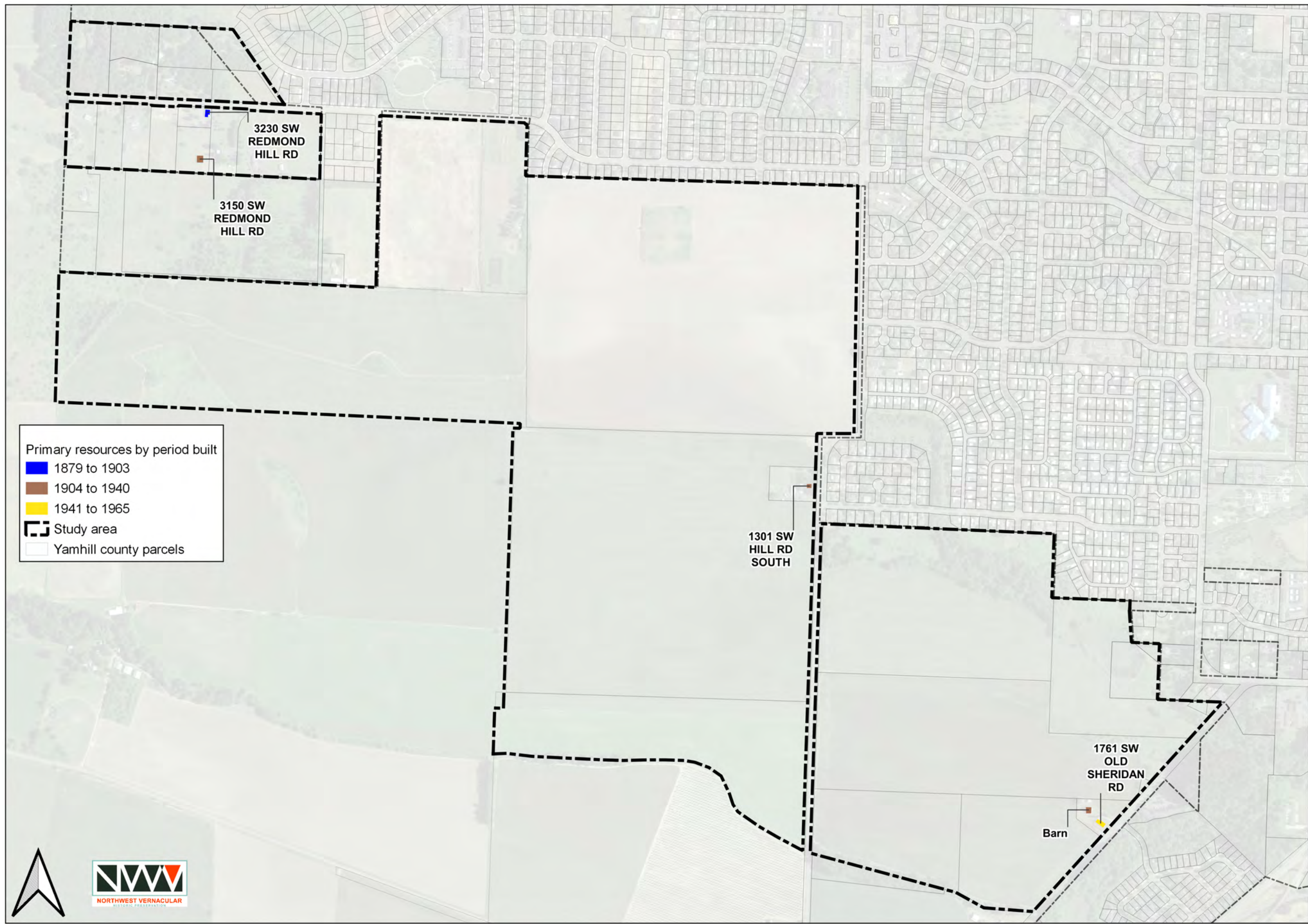


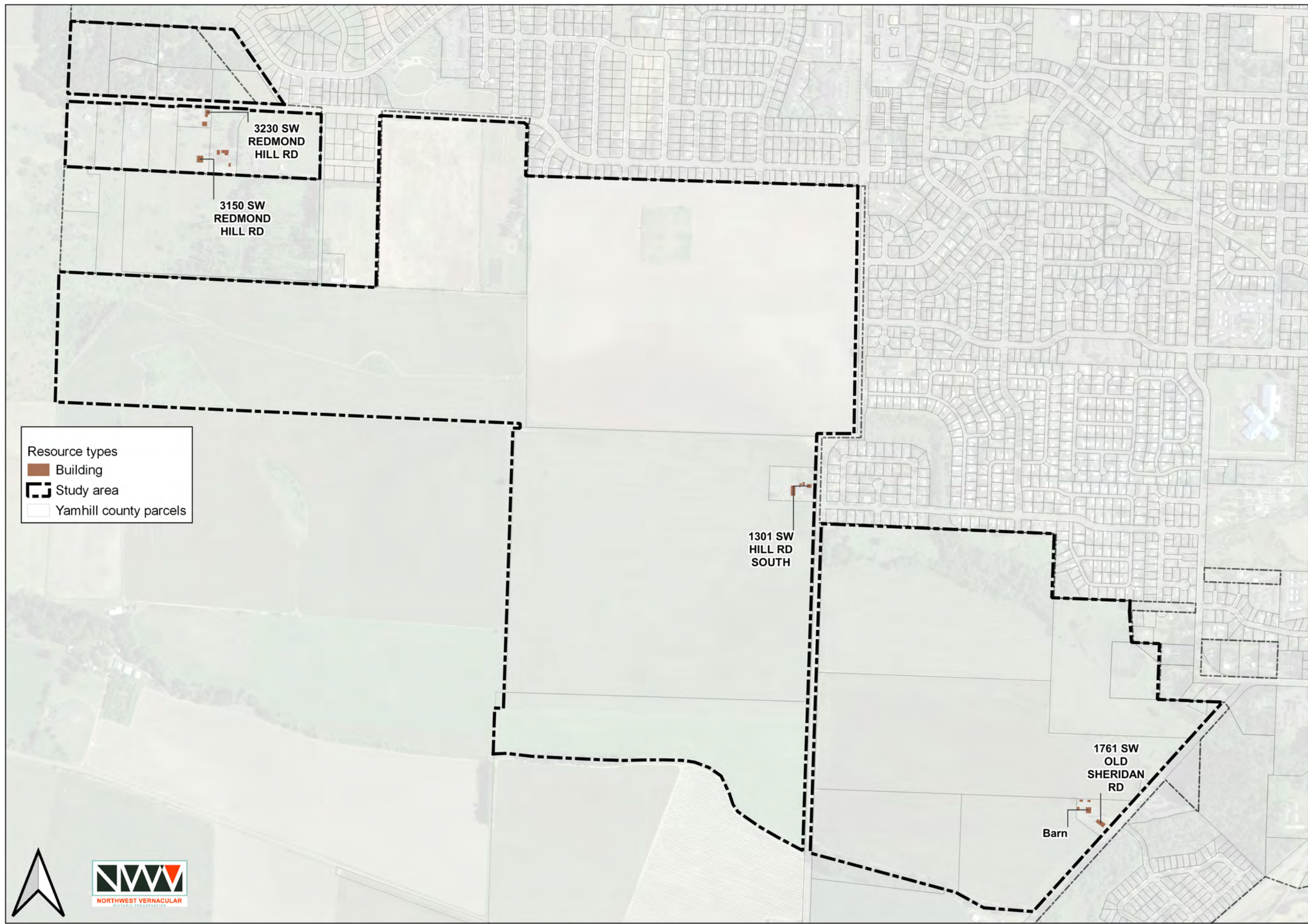


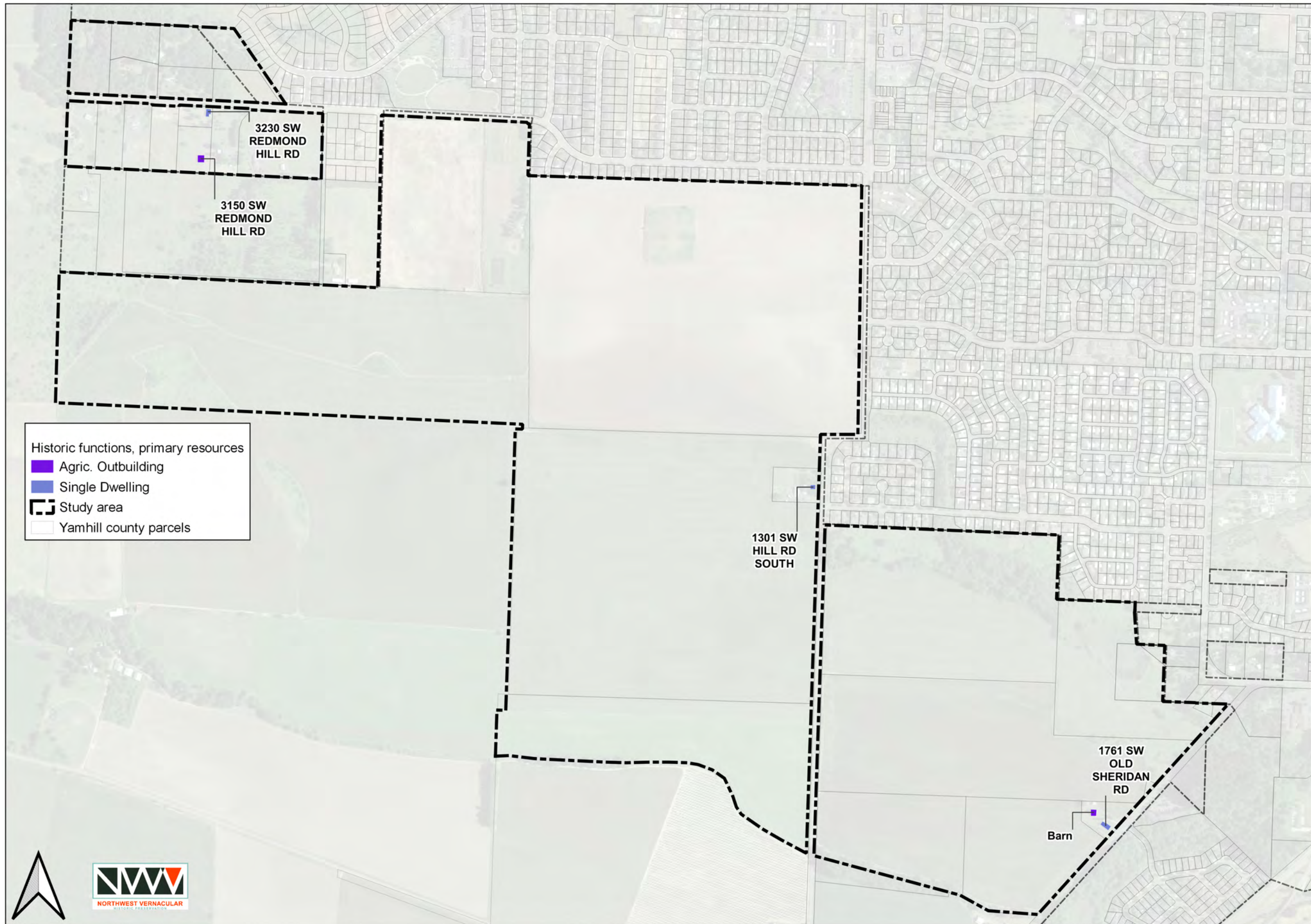


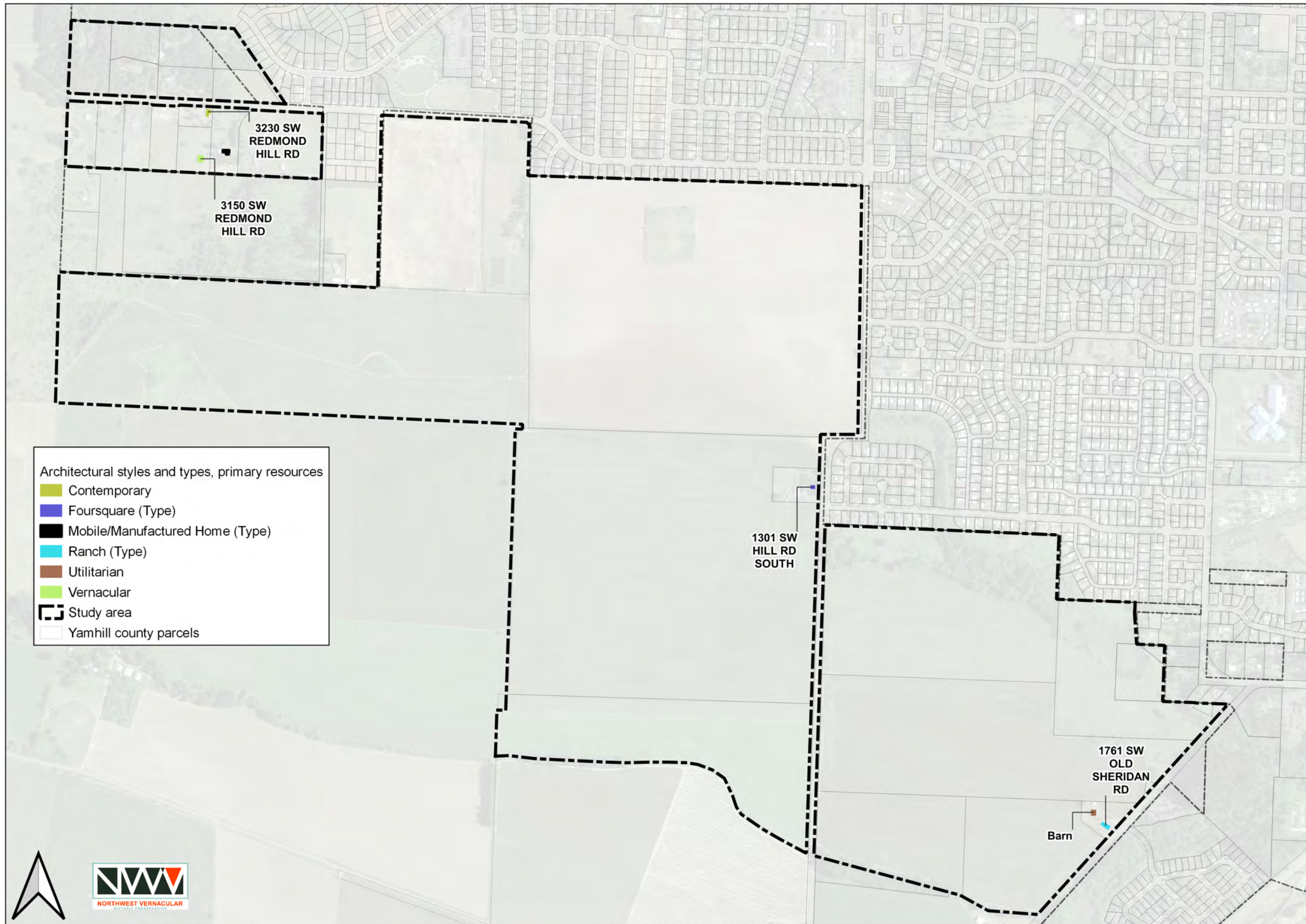


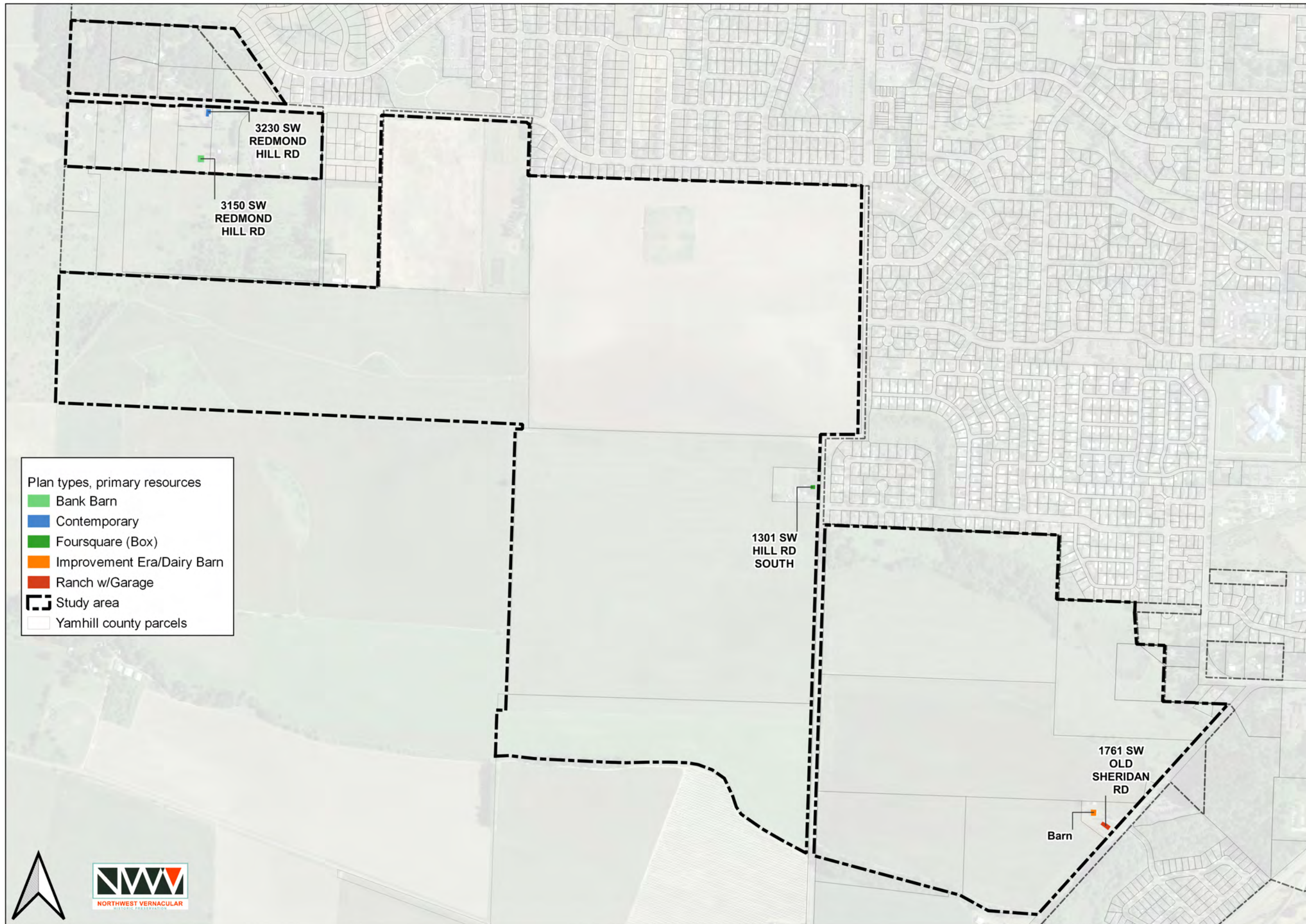


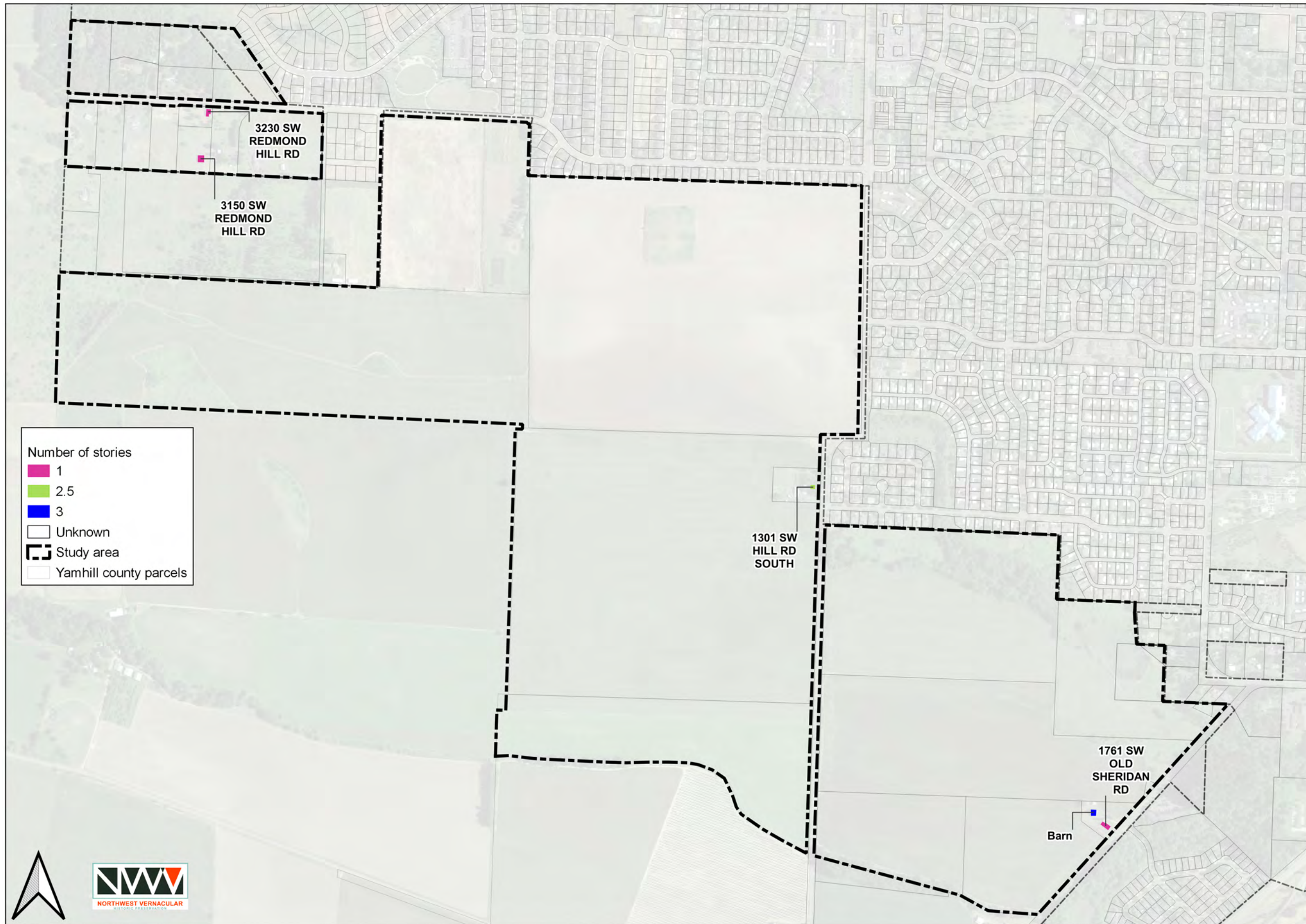


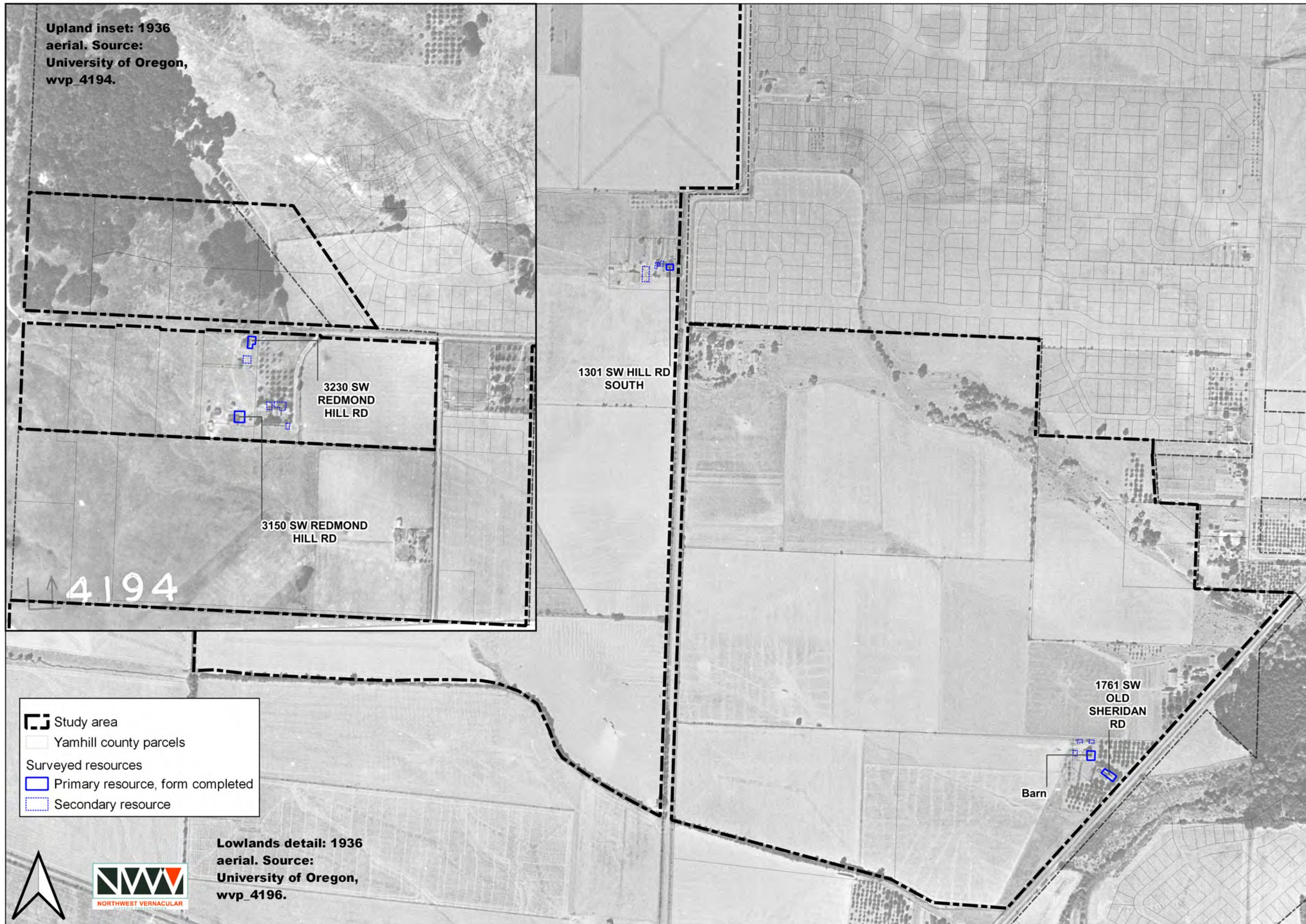


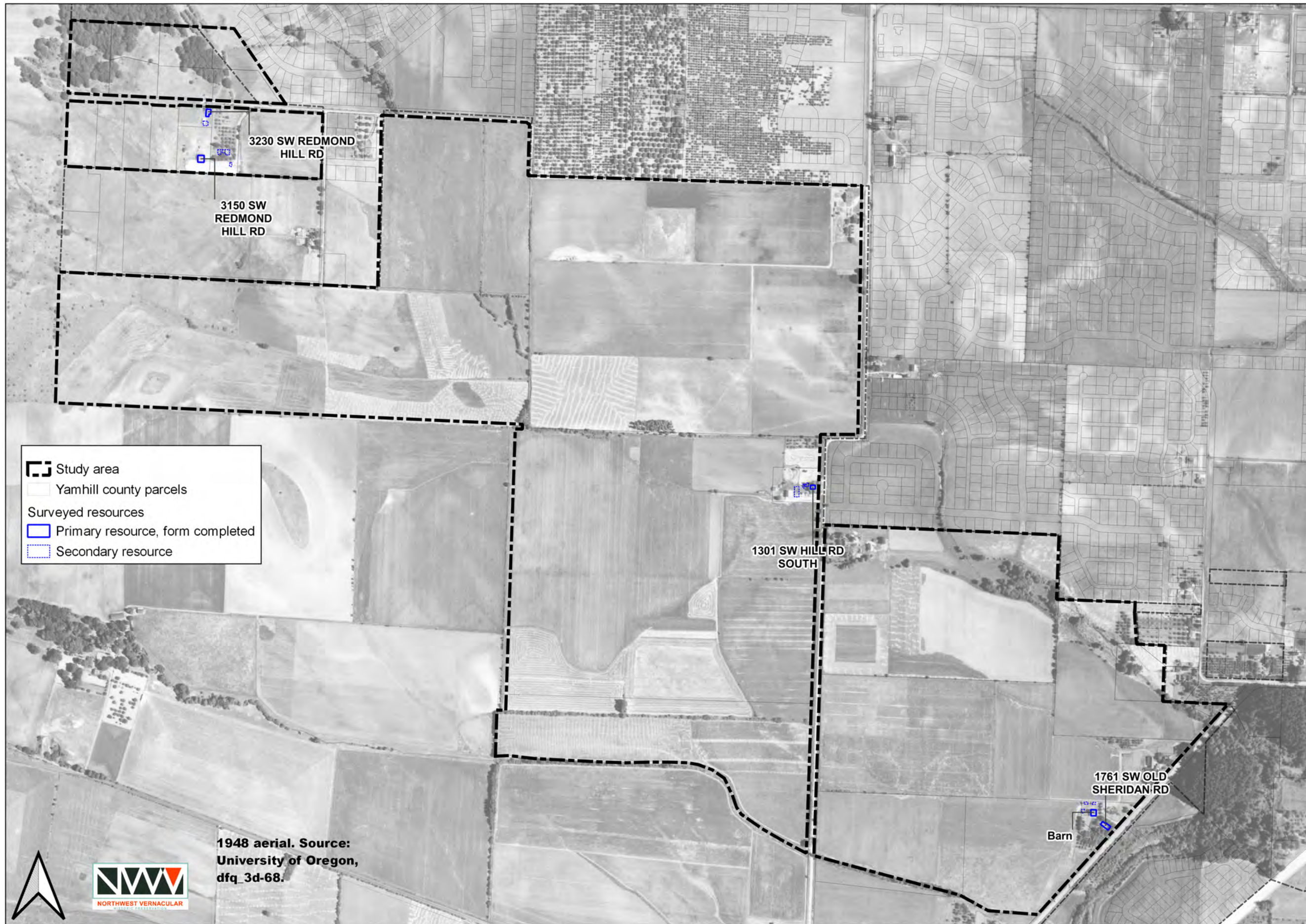


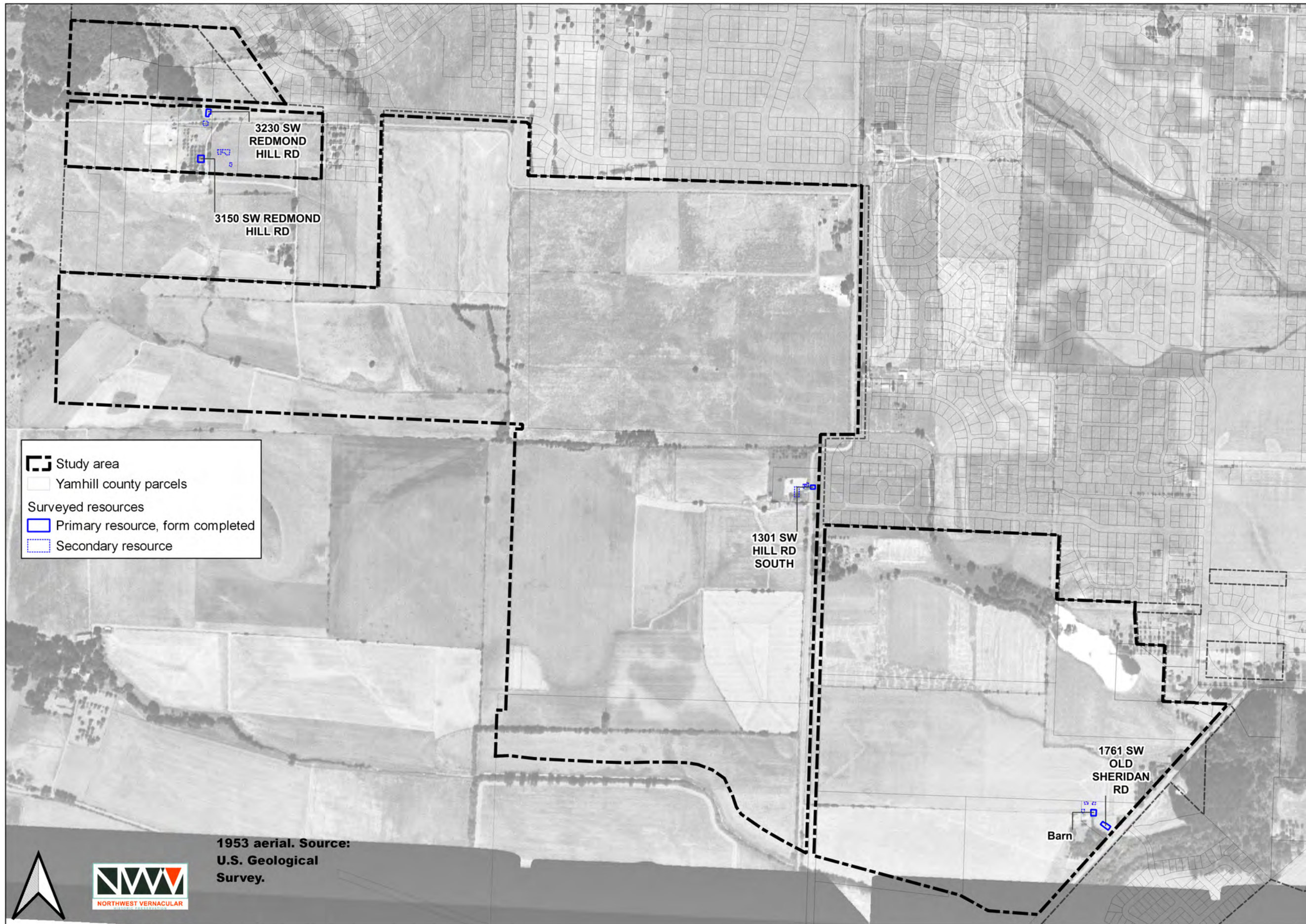


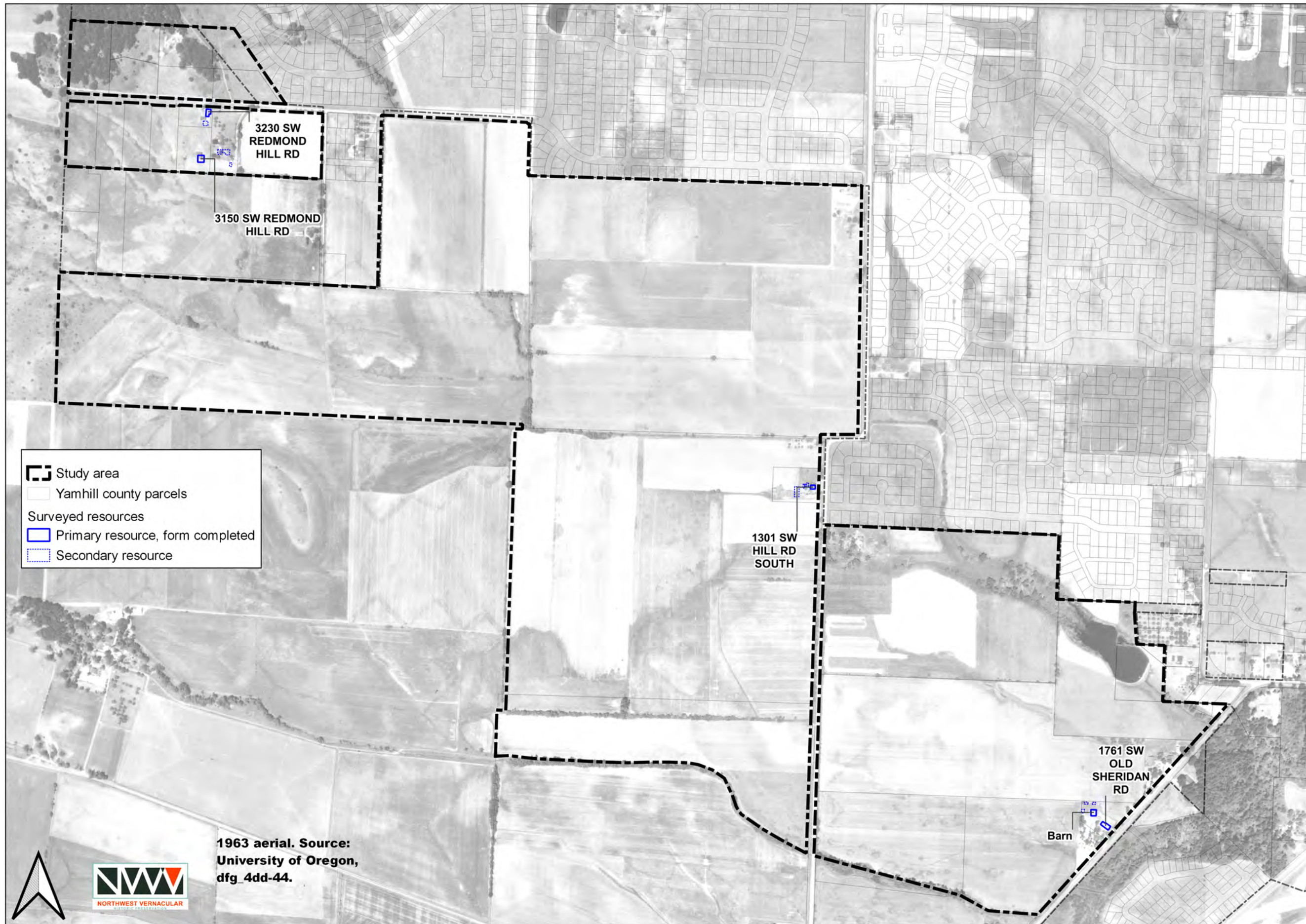


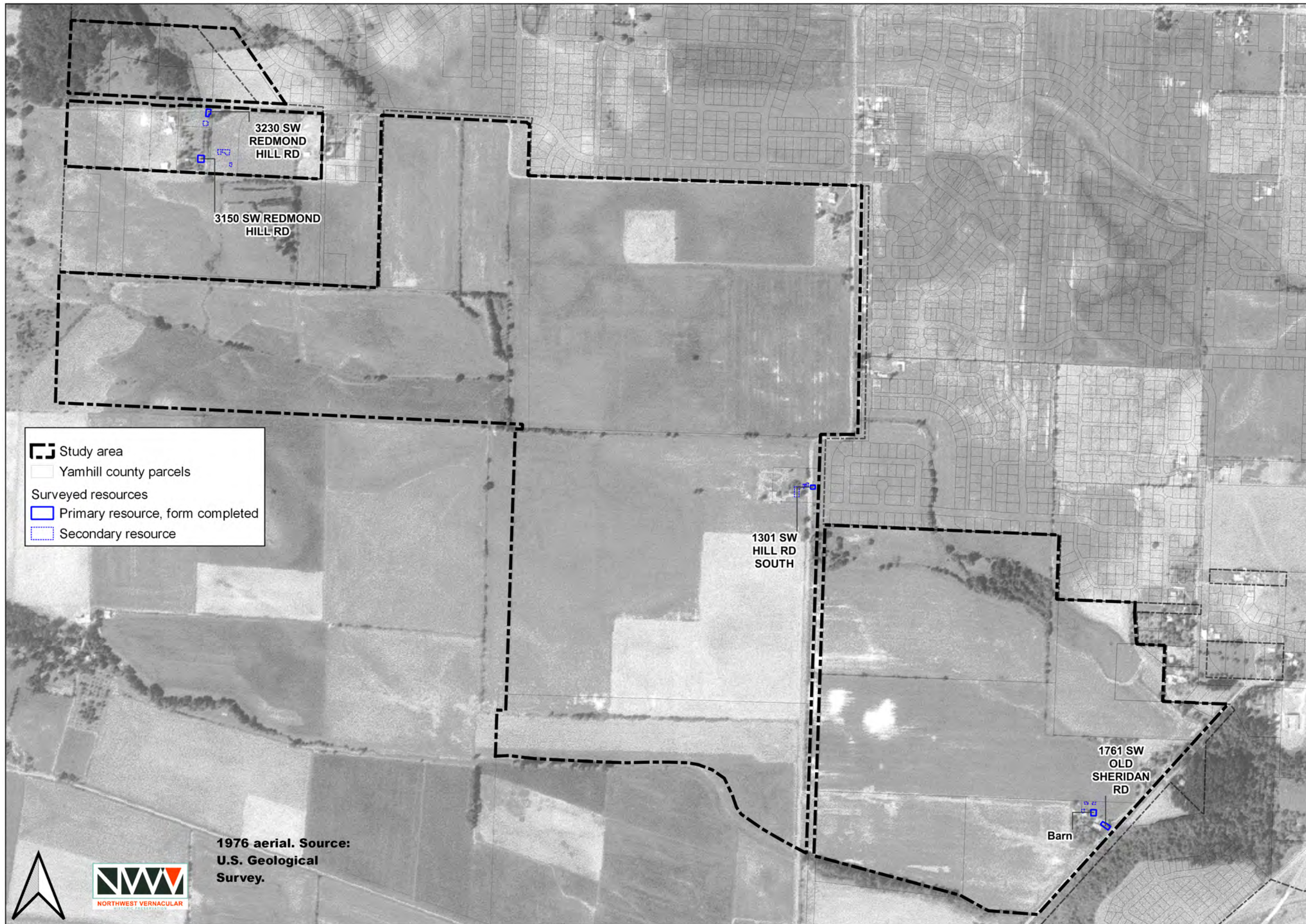


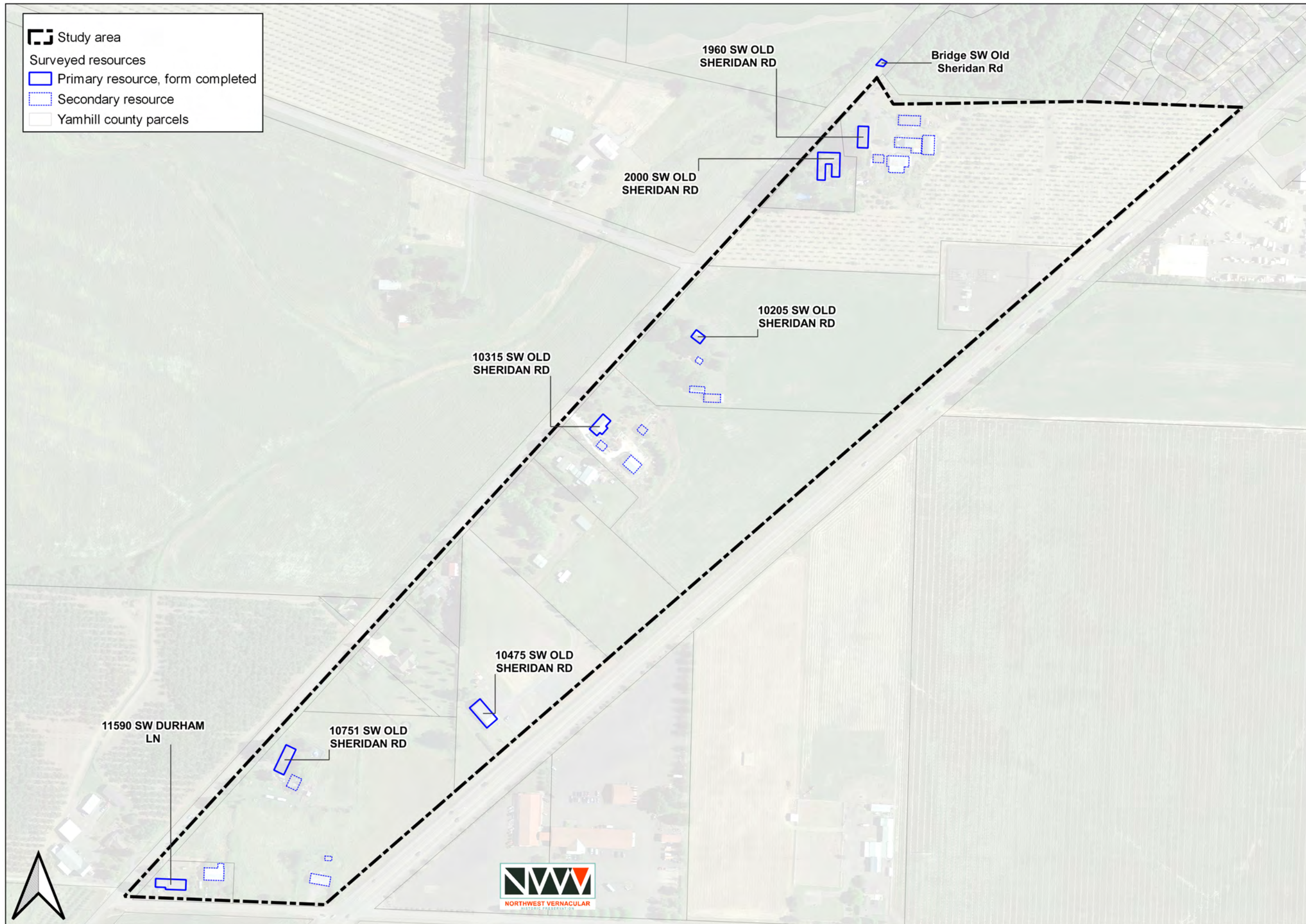


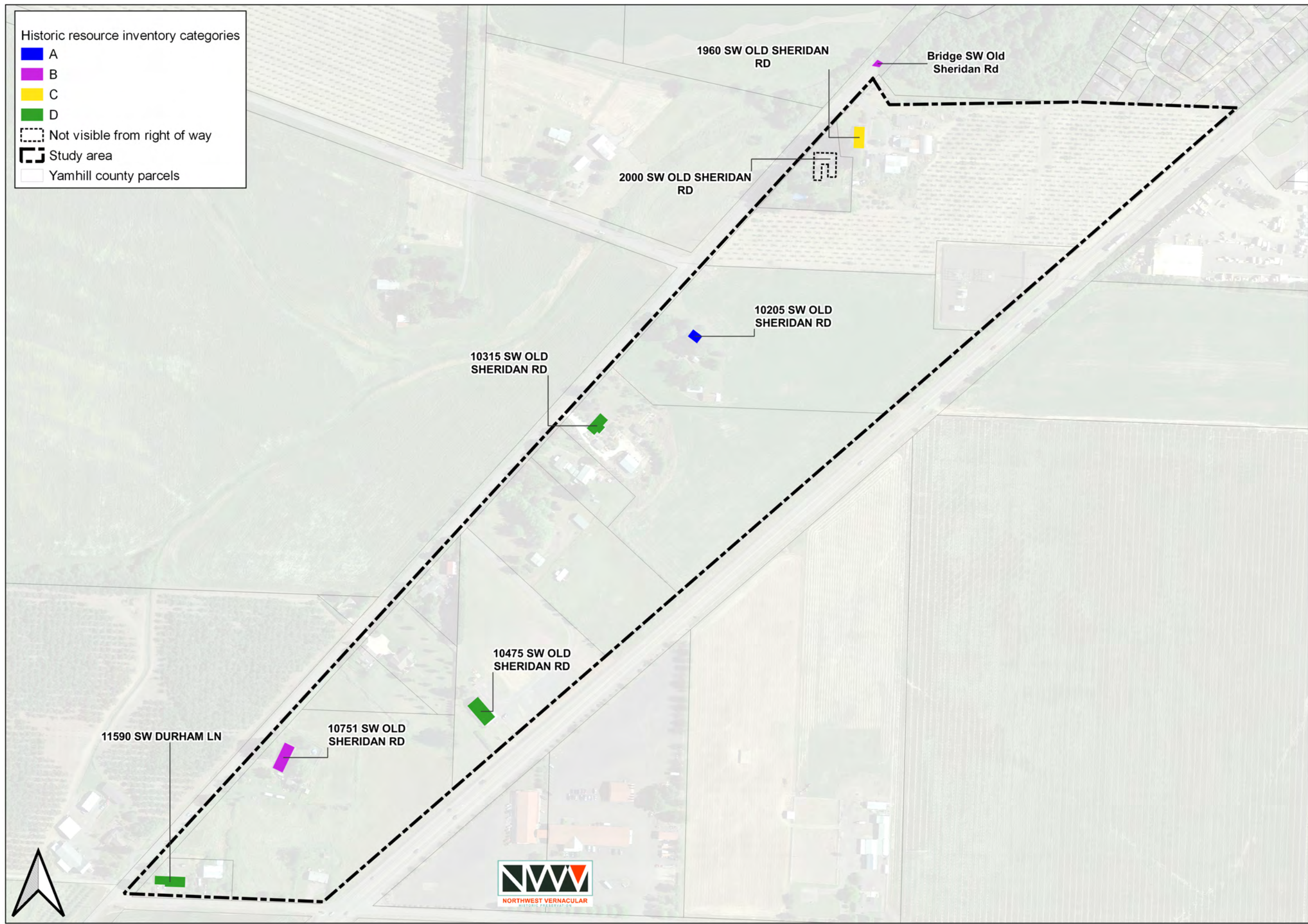


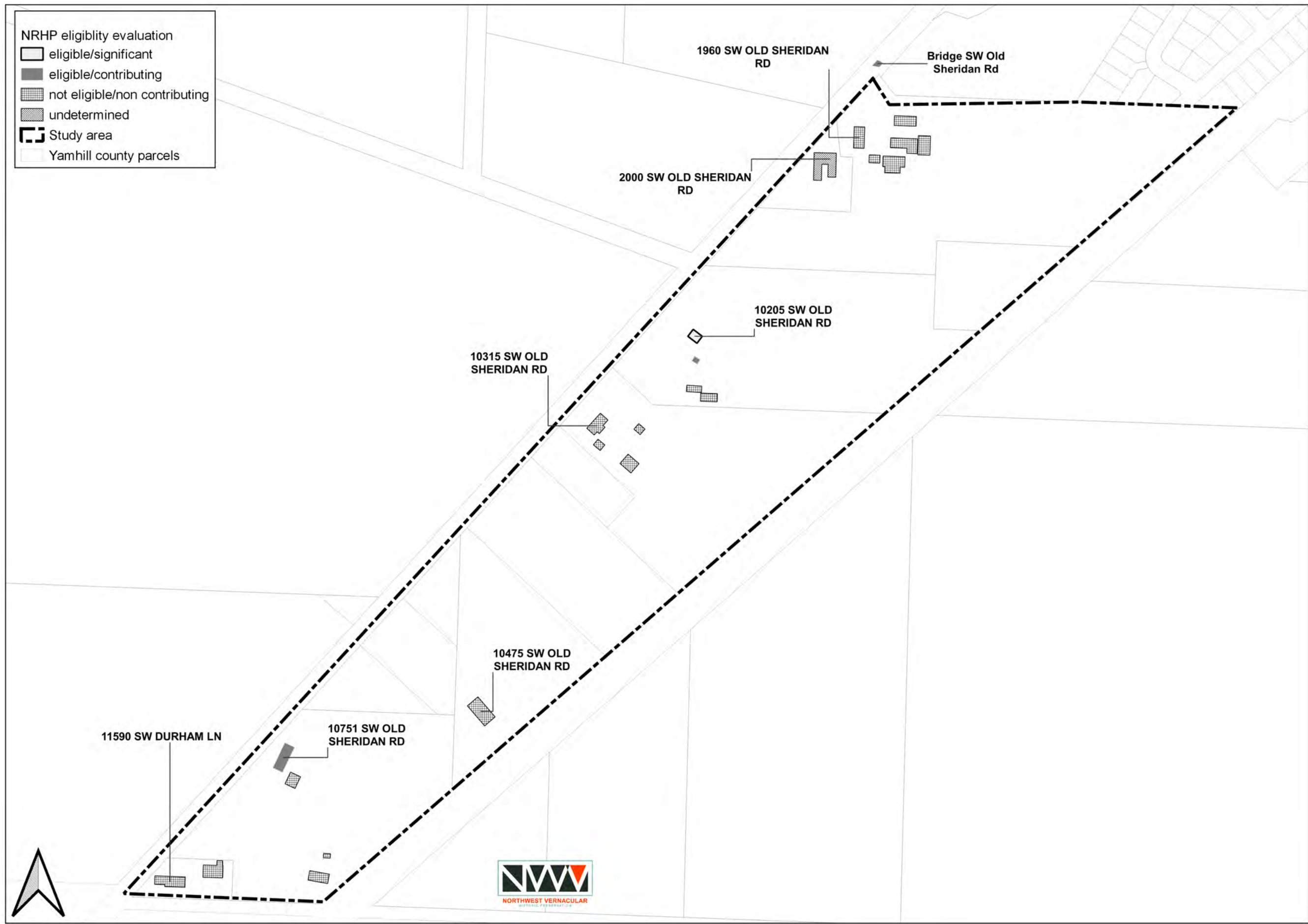


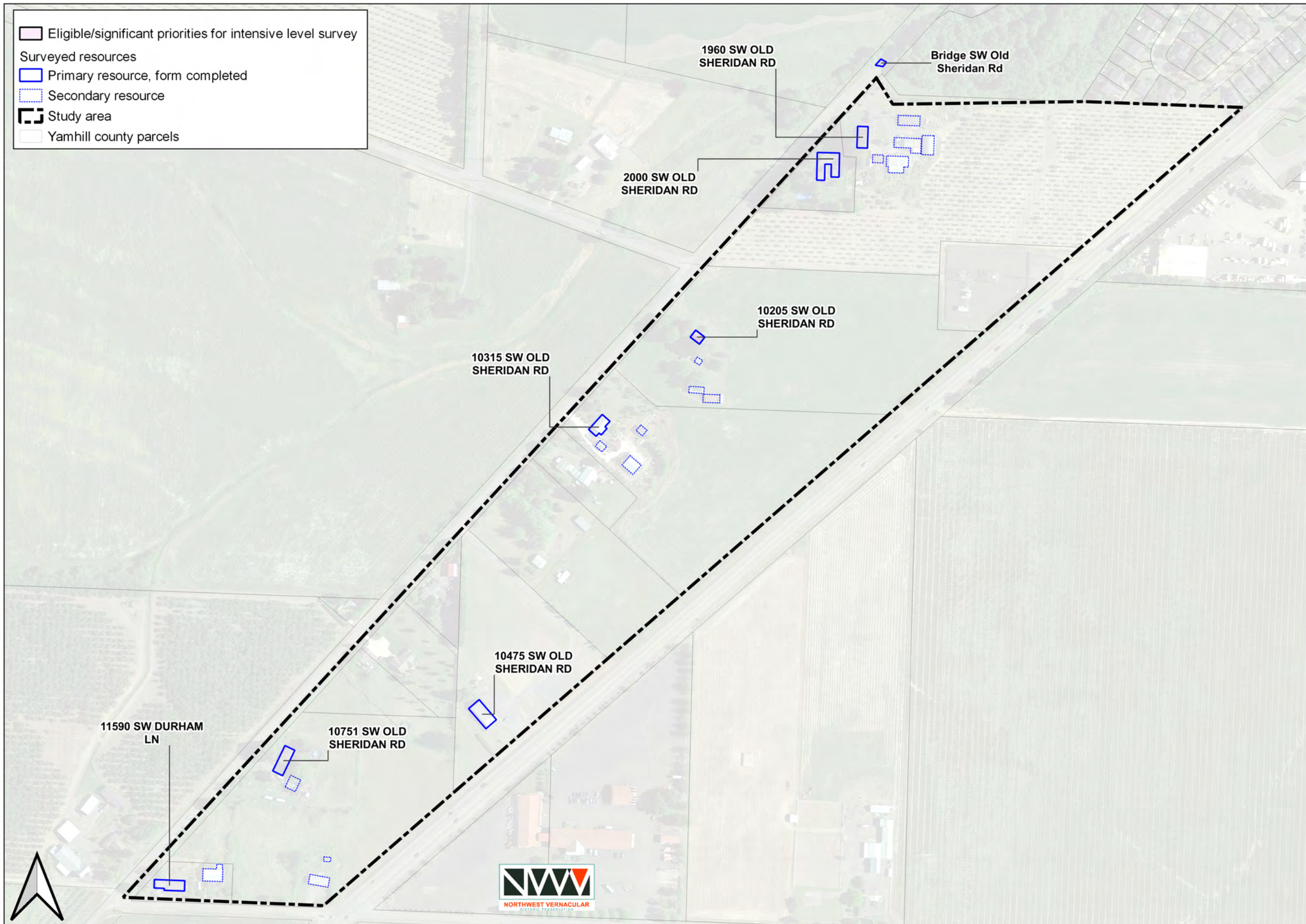


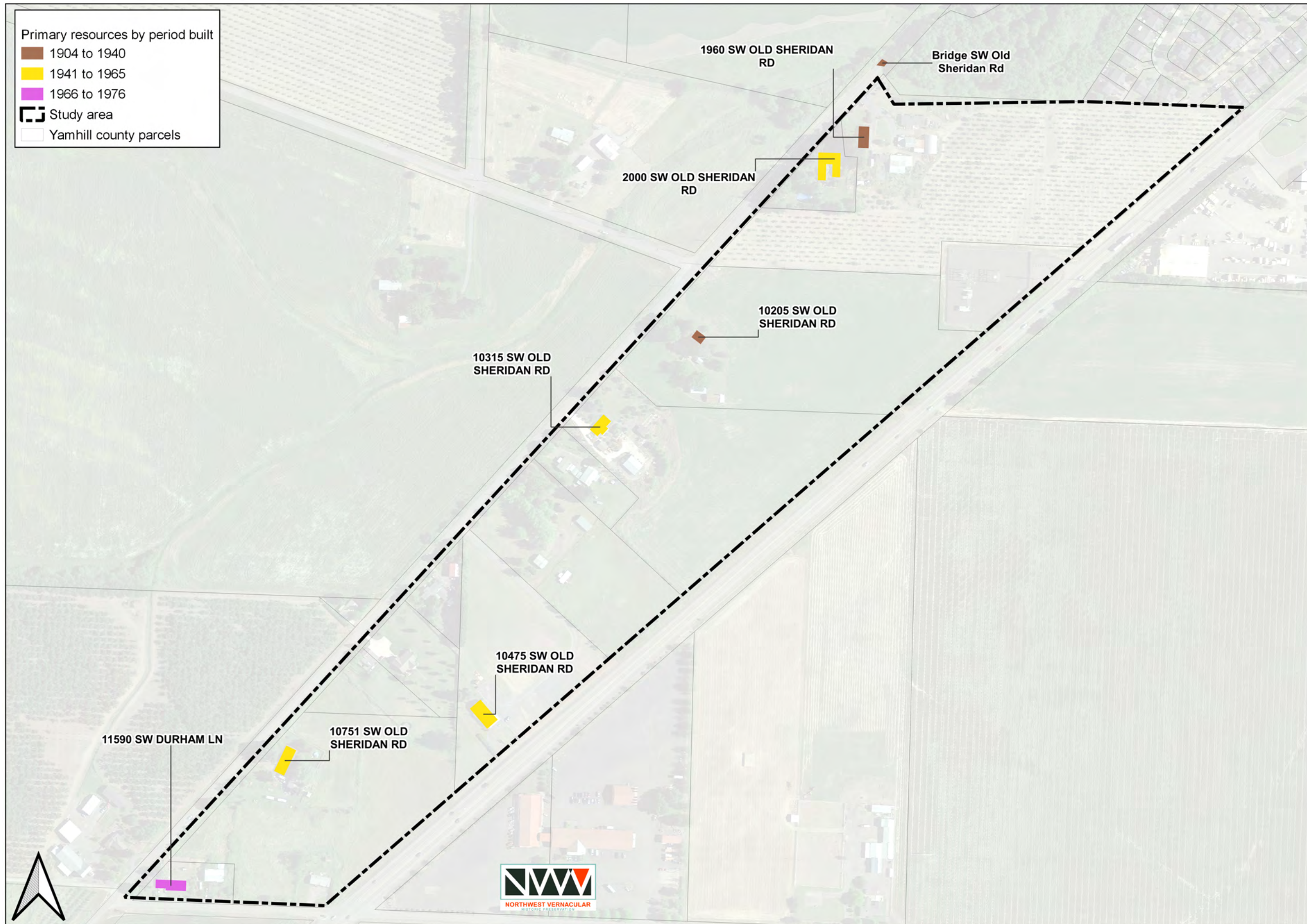


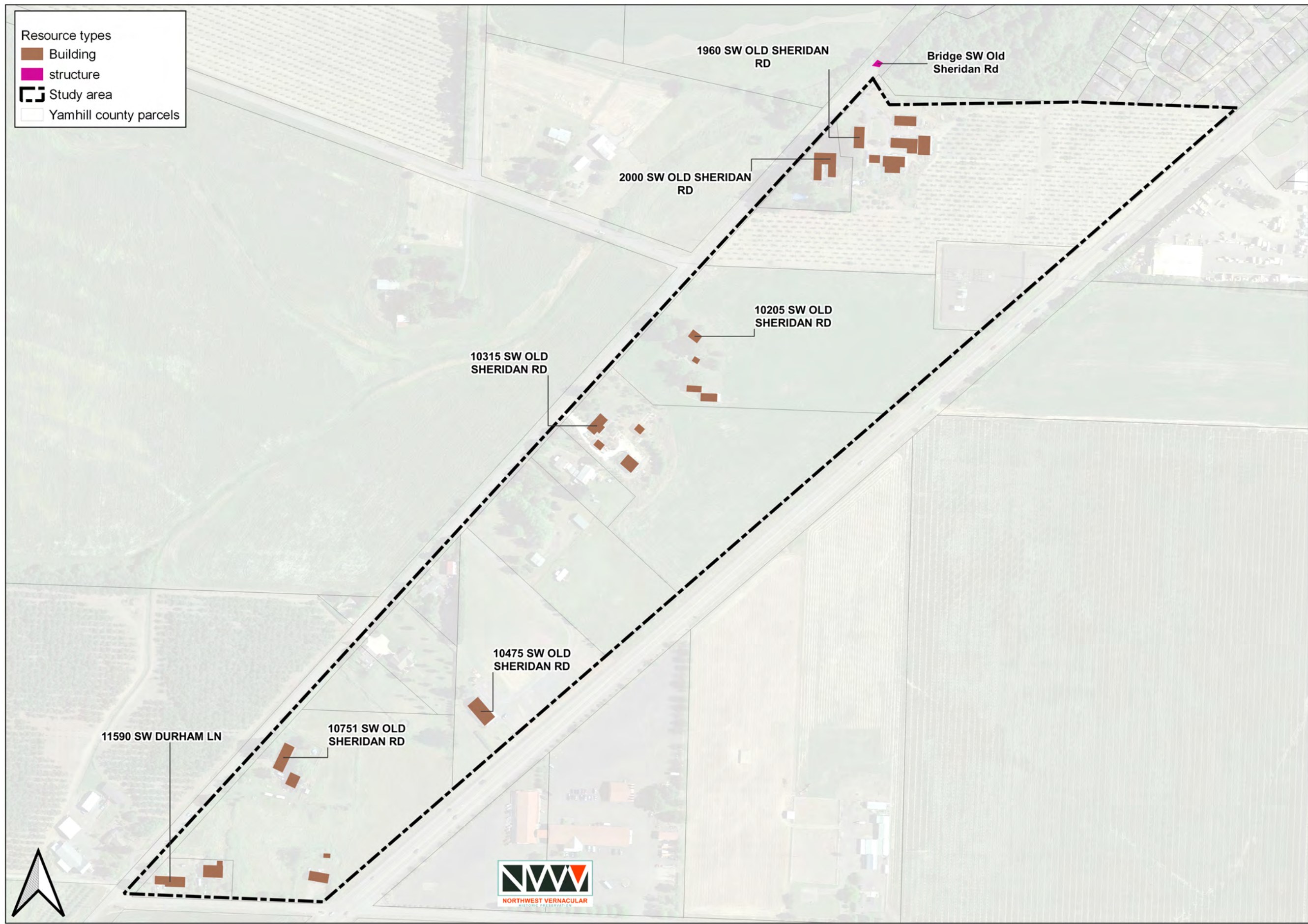


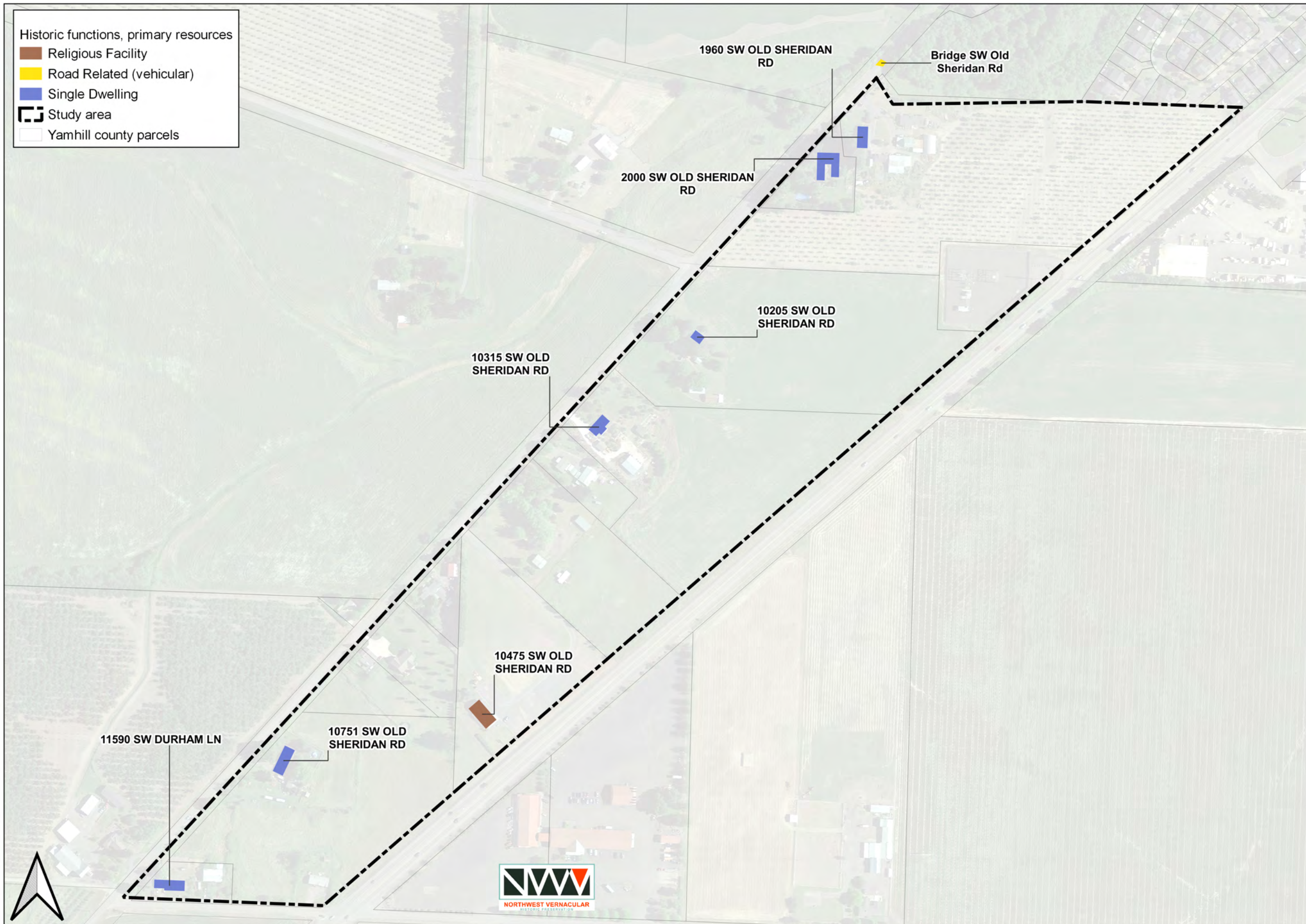


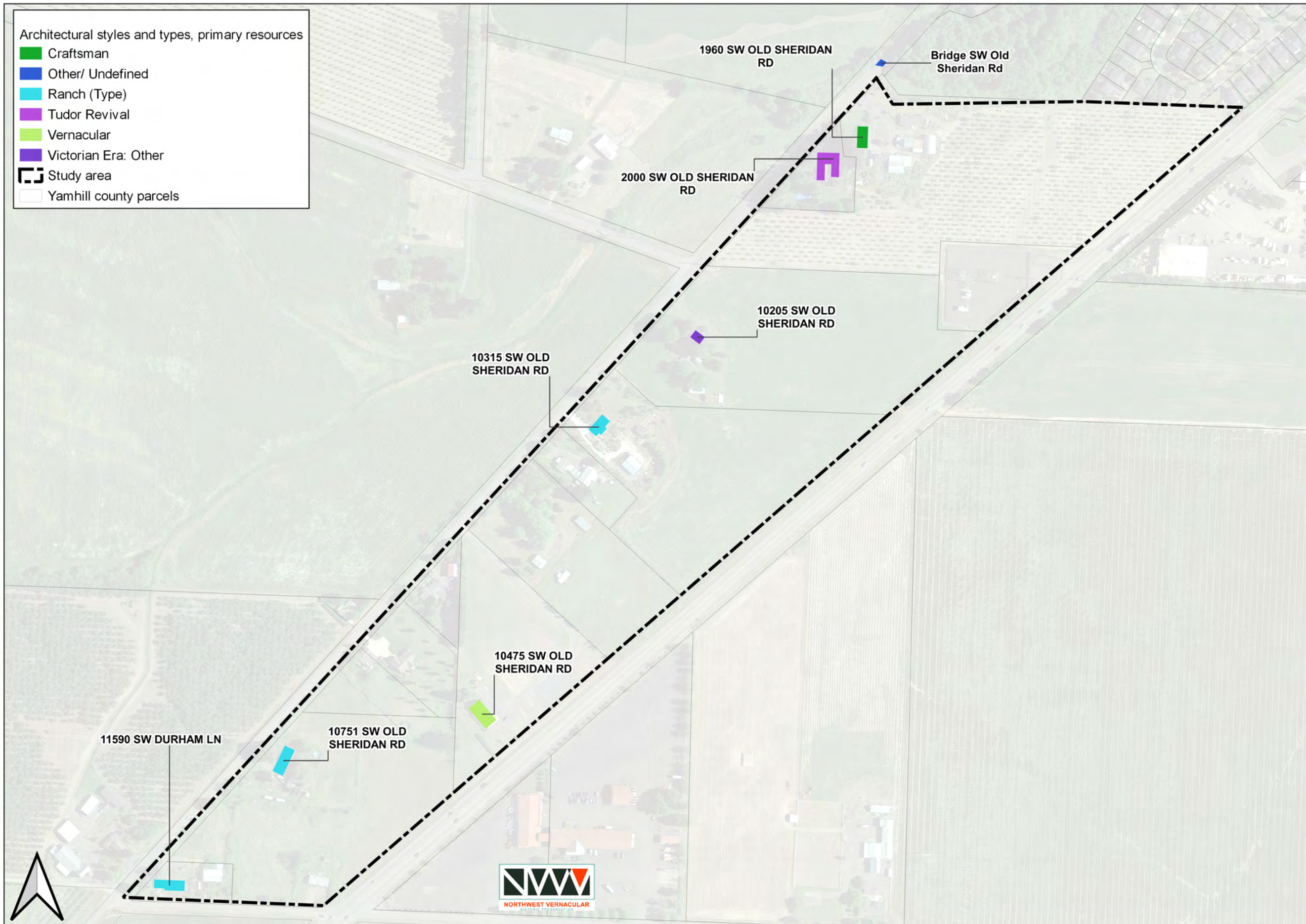


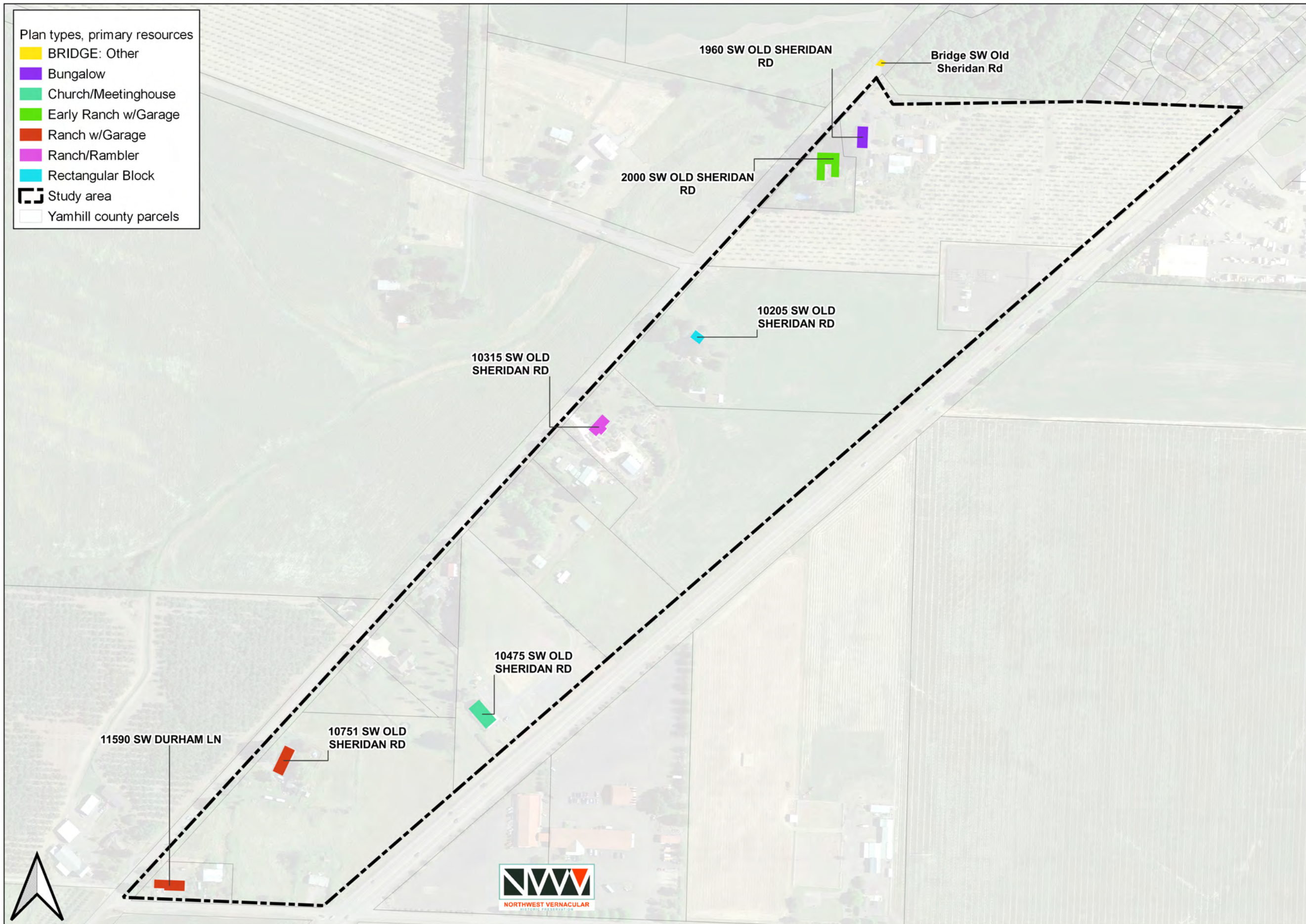


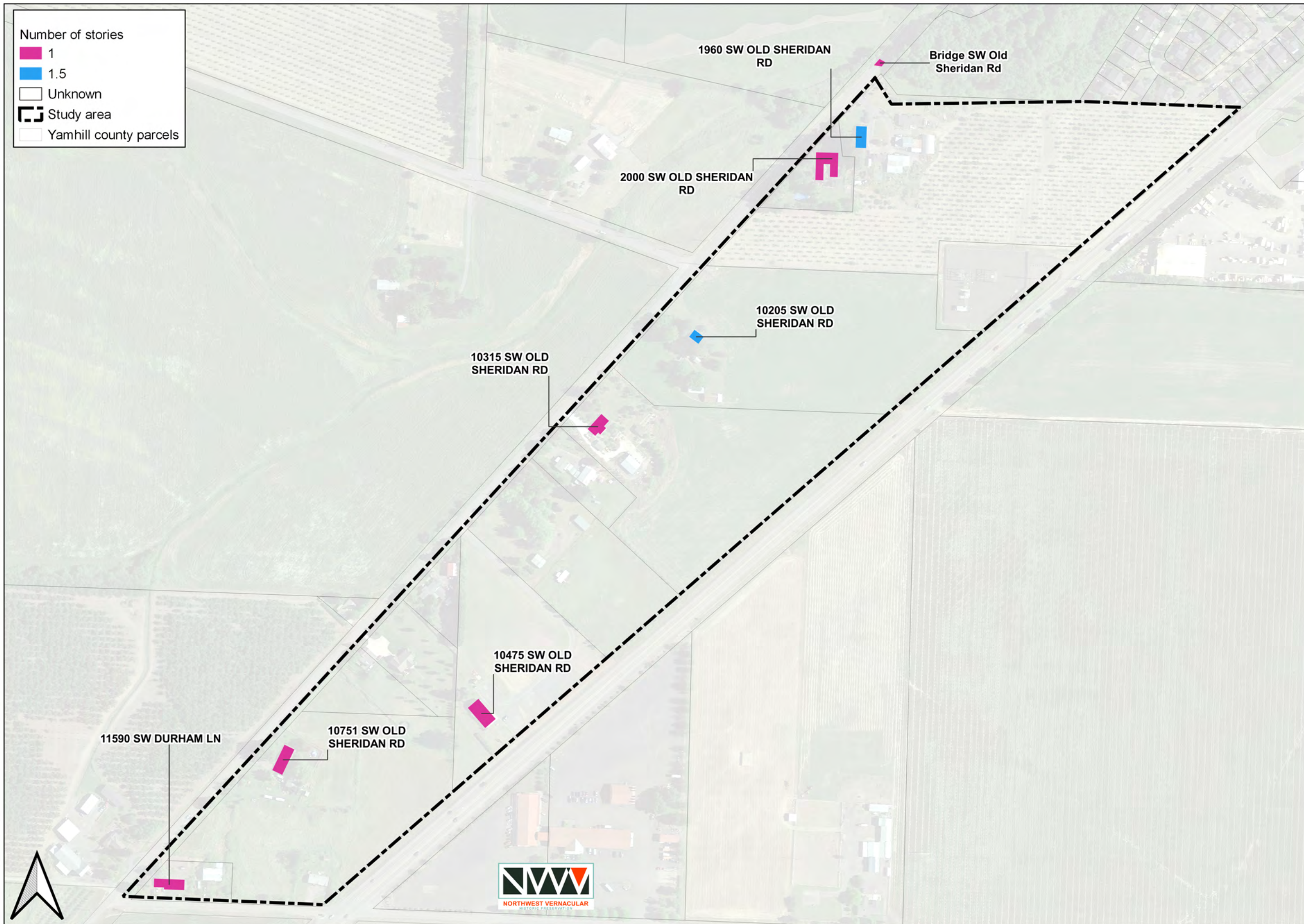


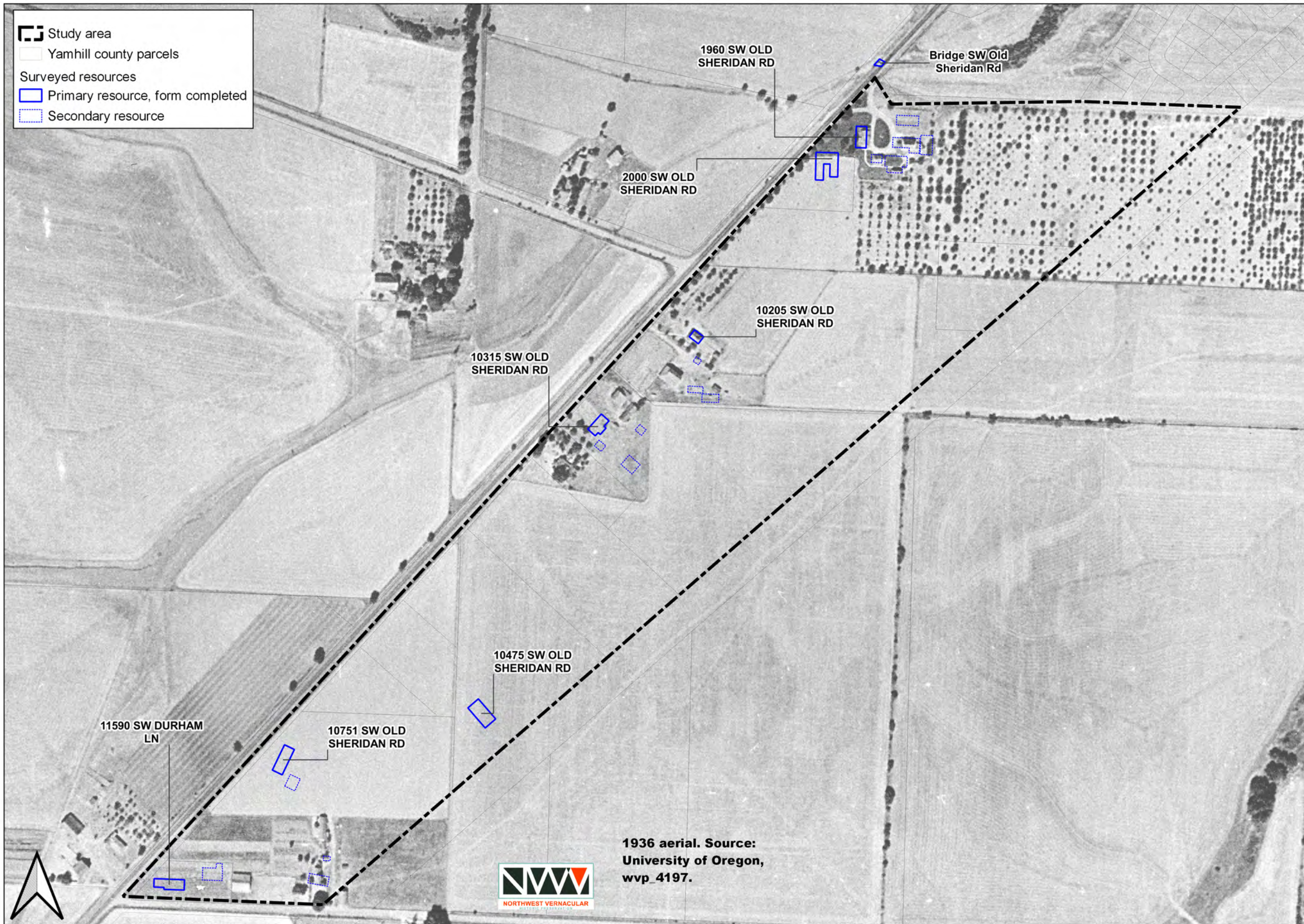


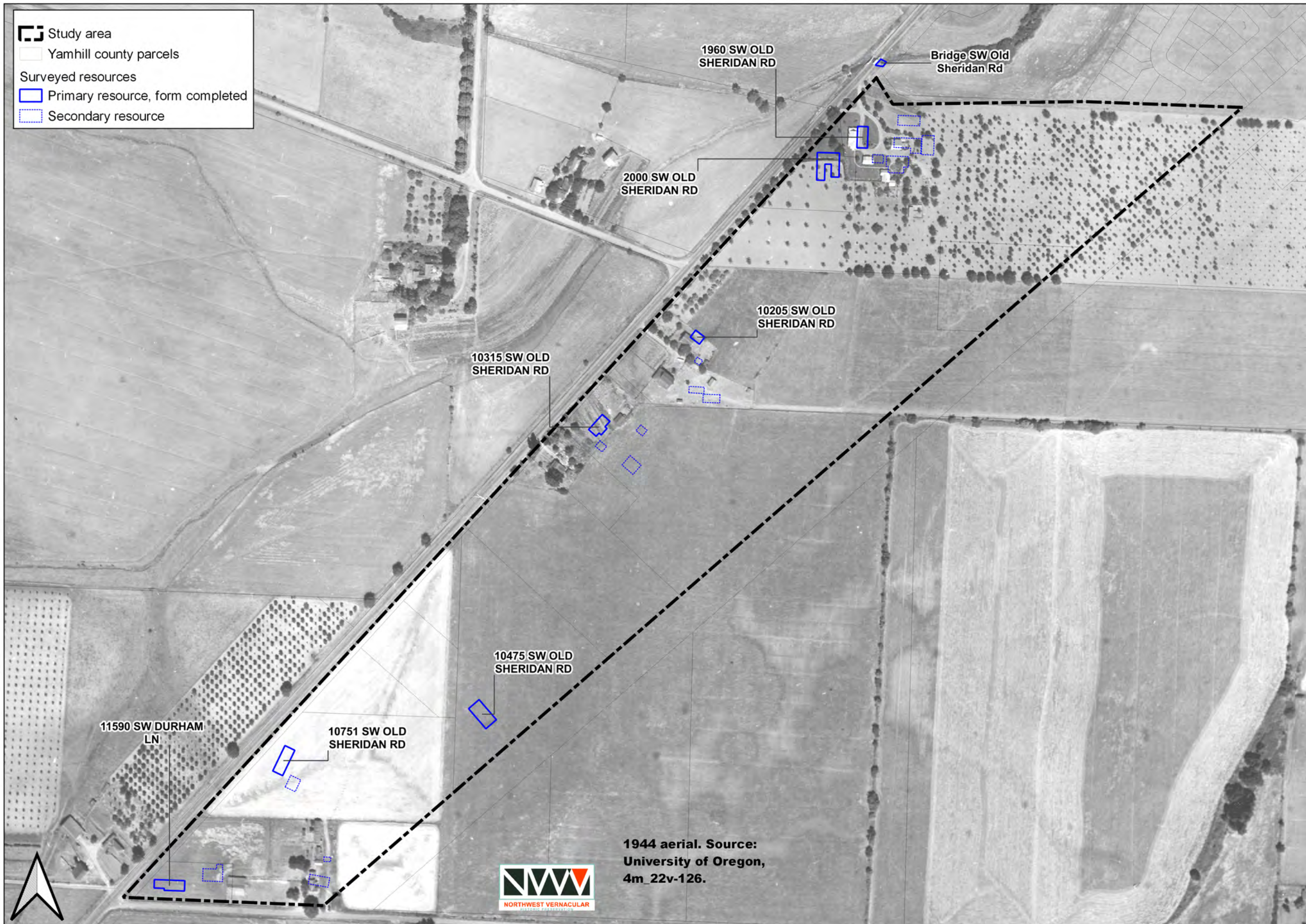


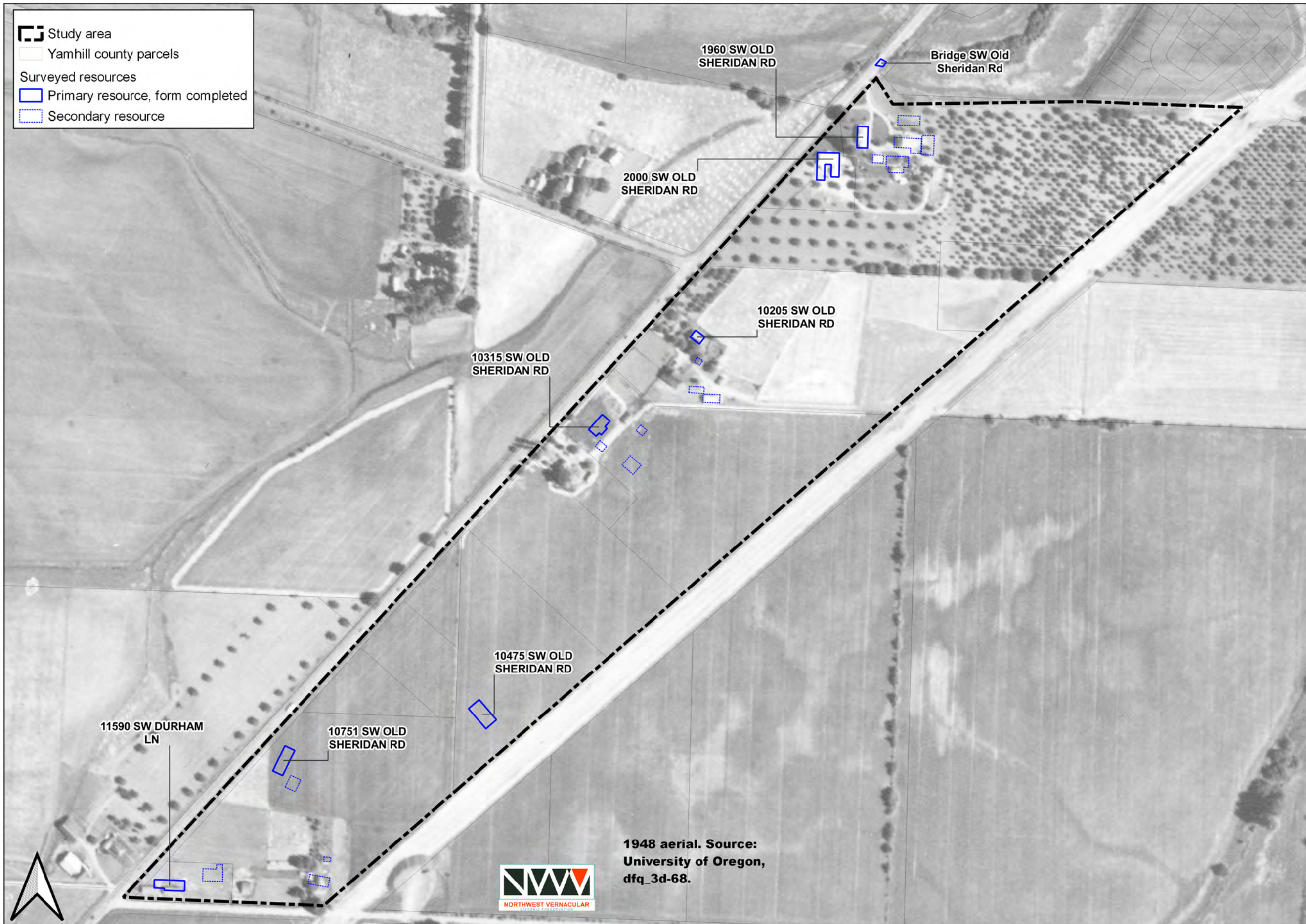


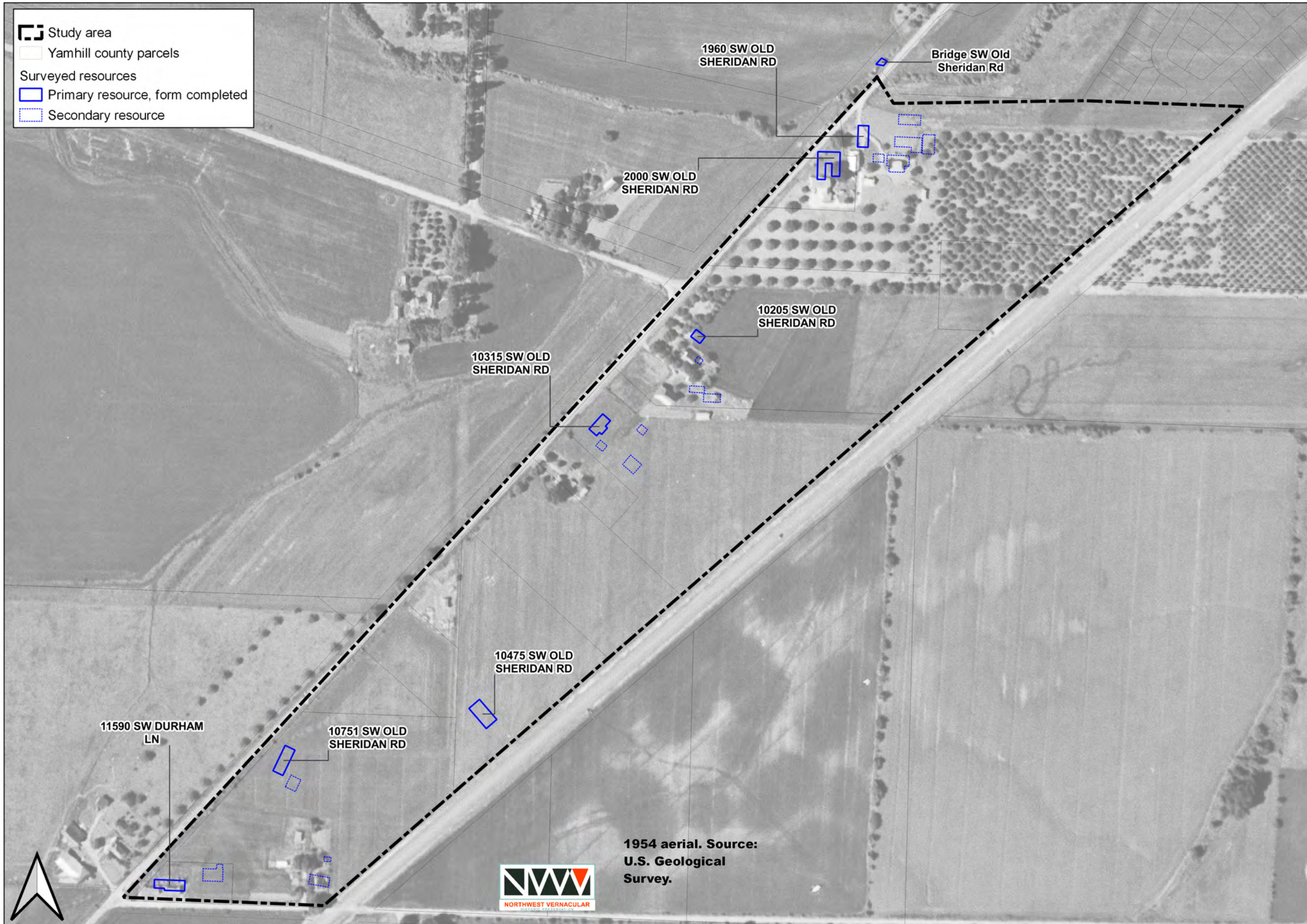


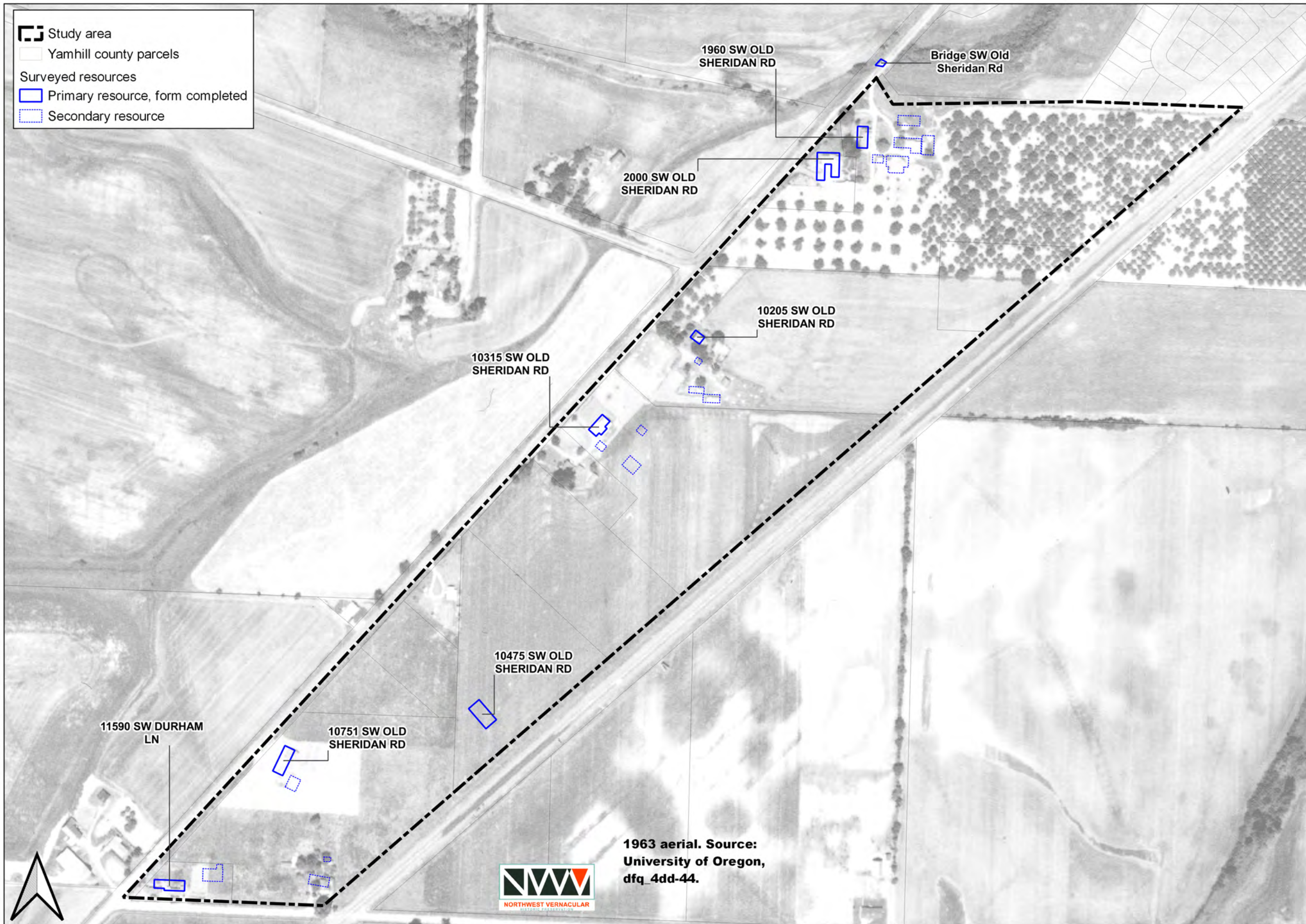


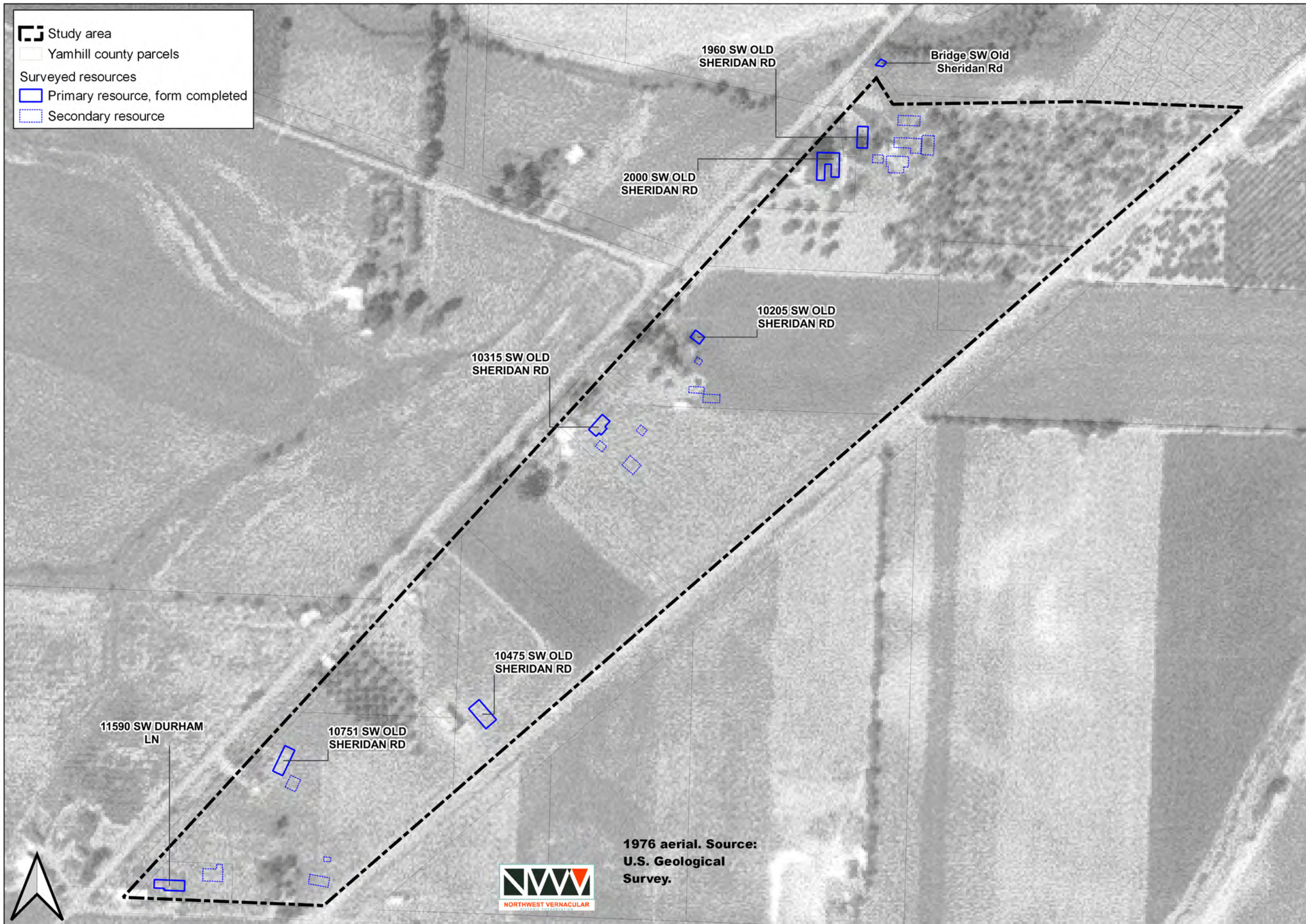


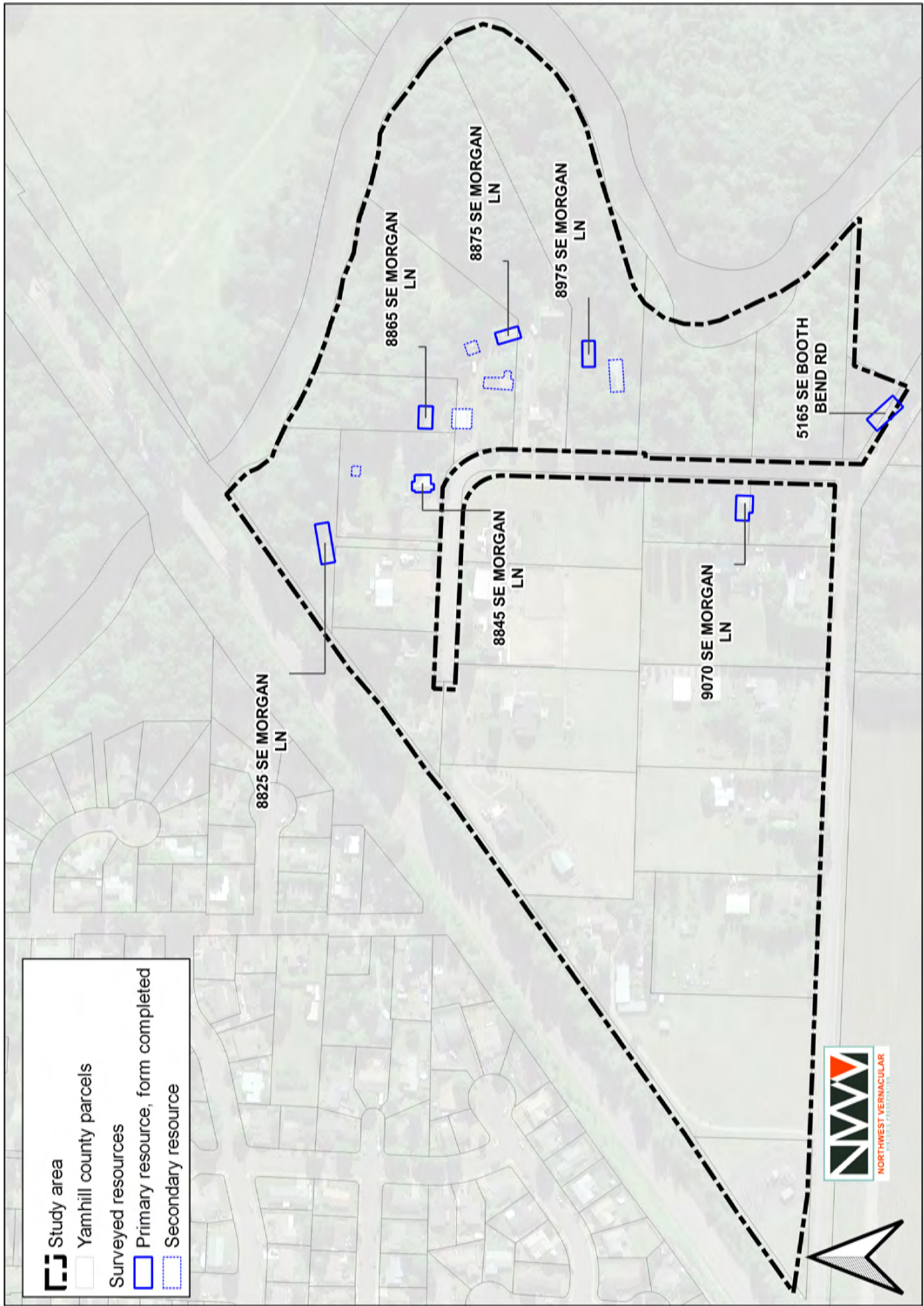




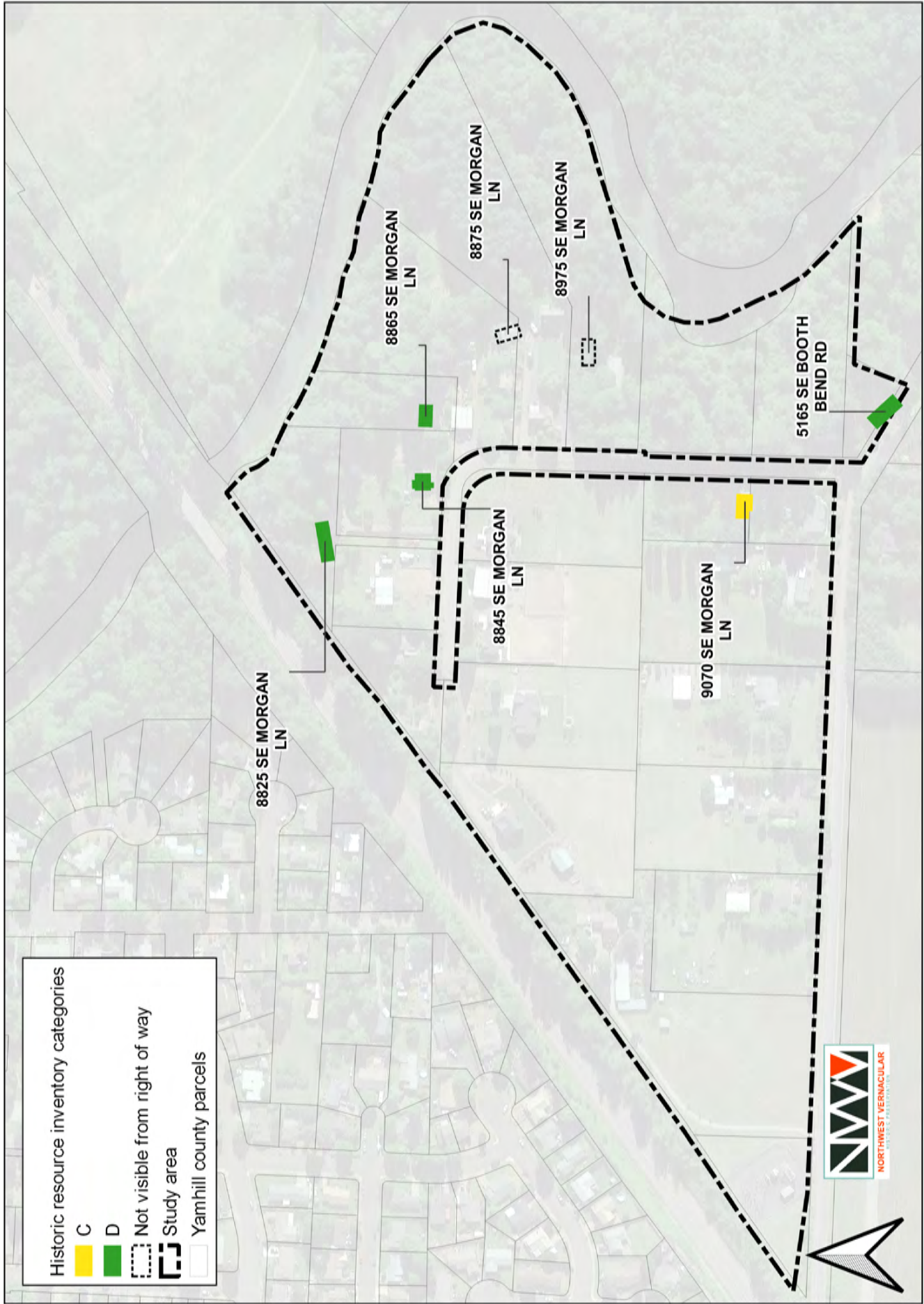




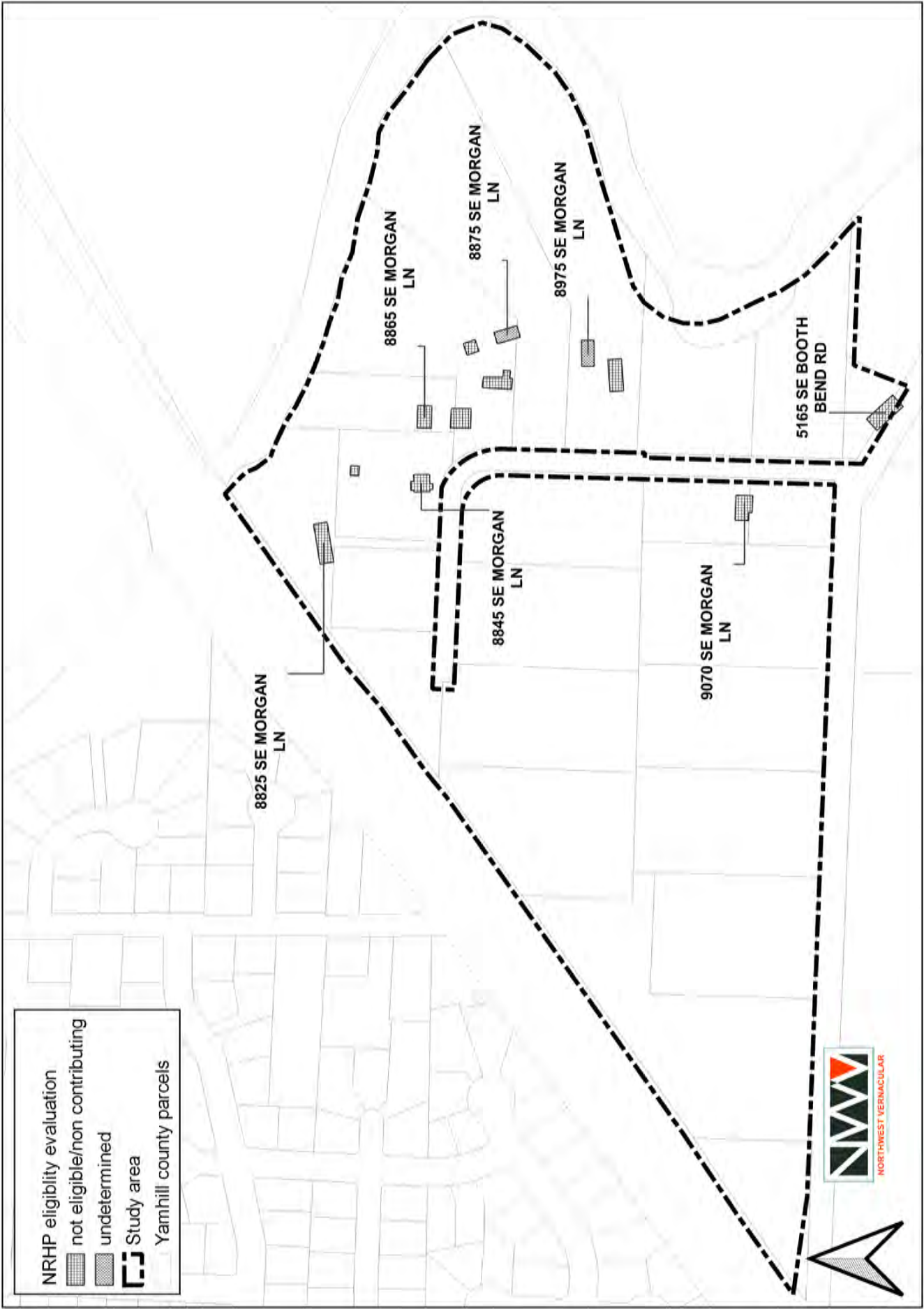




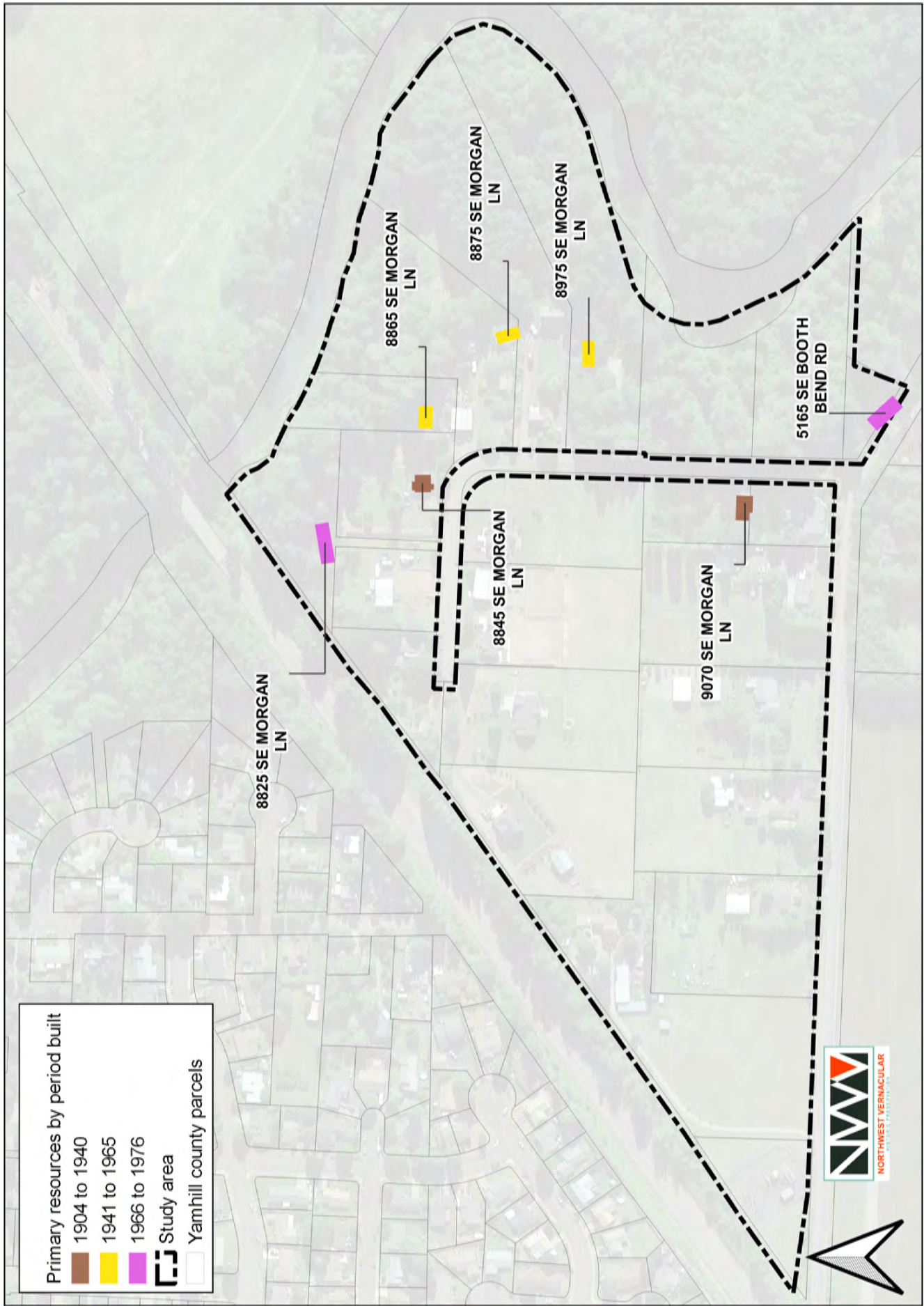
Map 50. Area D | Survey Area.



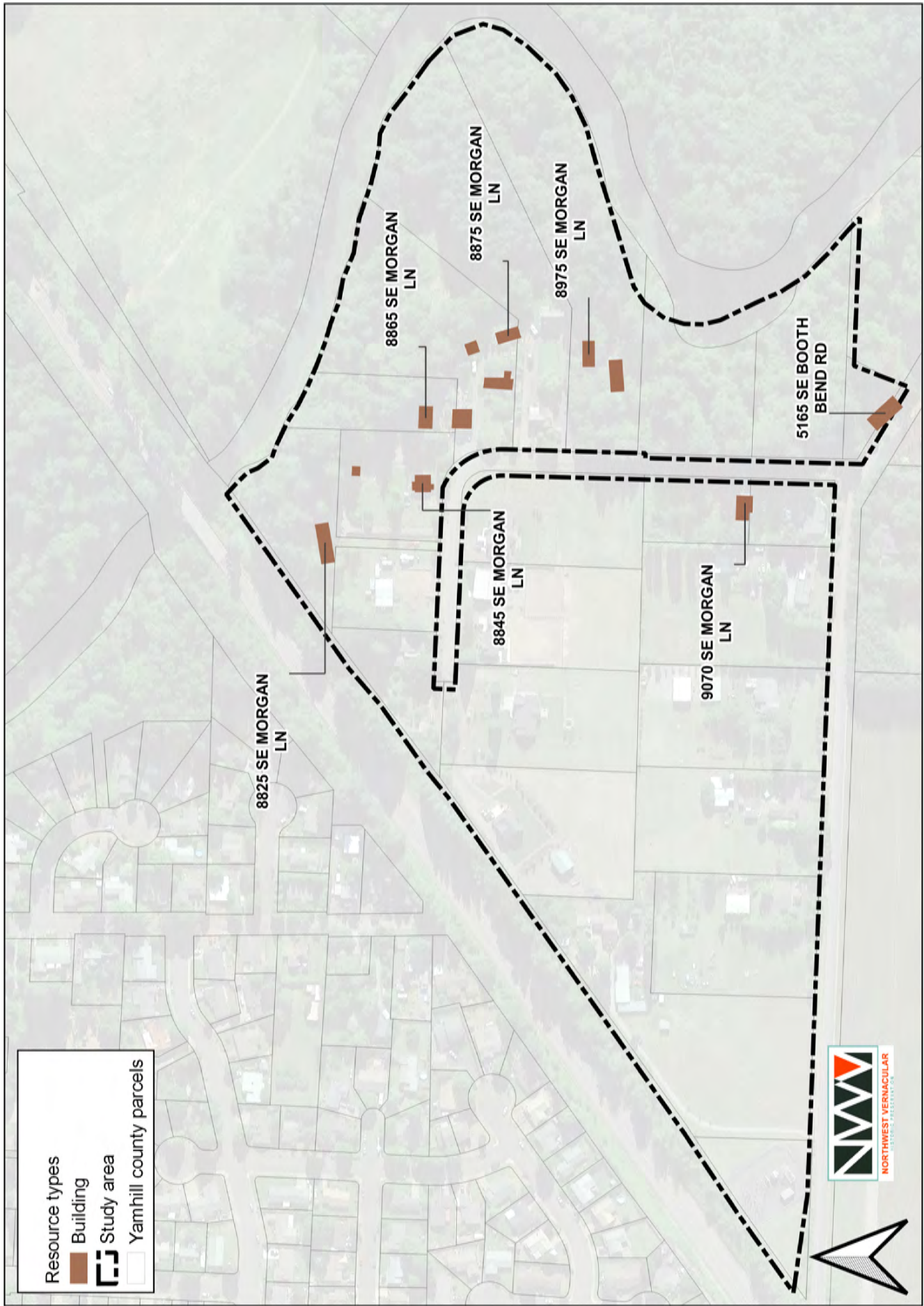
Map 51. Area D | HRI Categories.



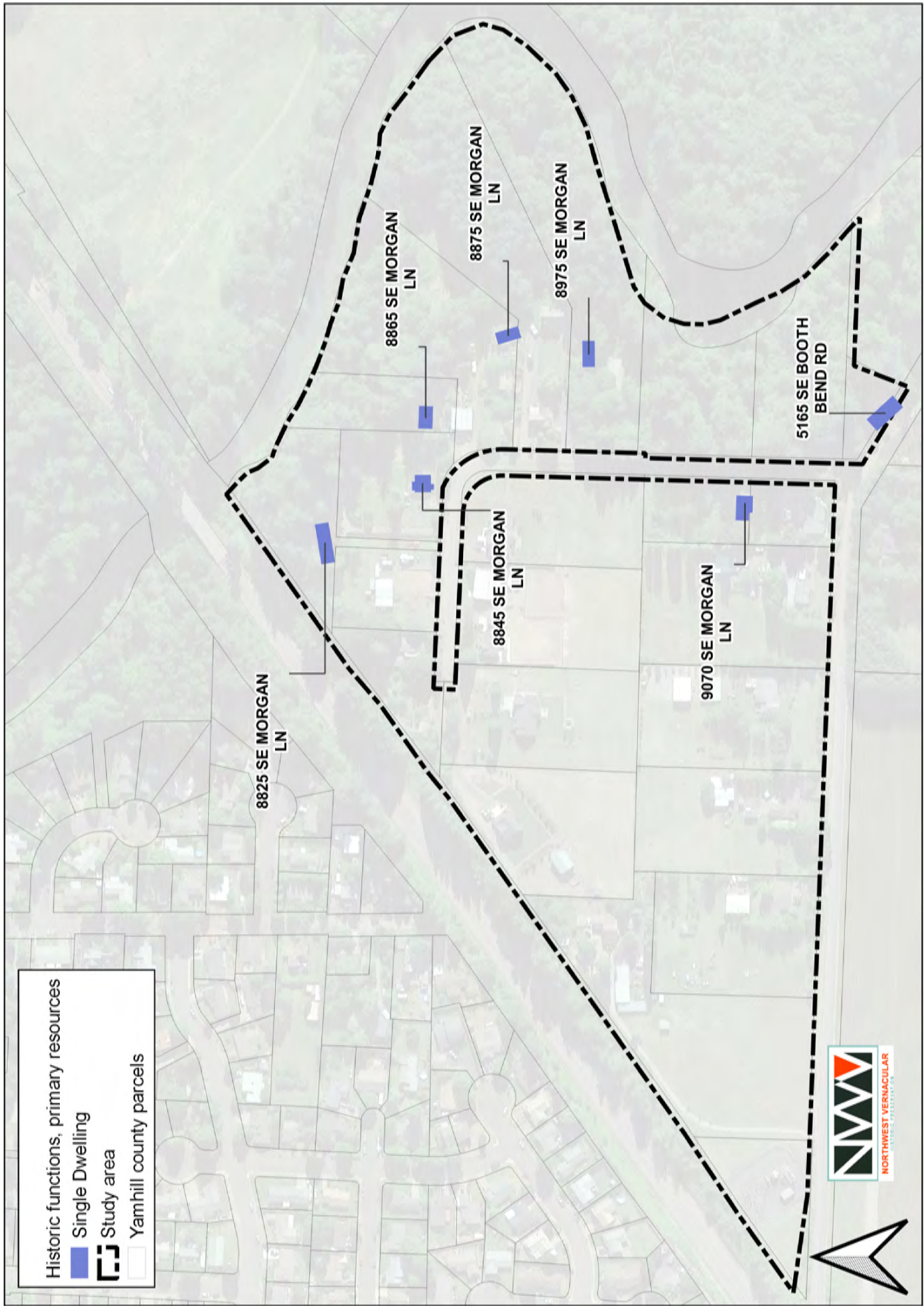
Map 52. Area D | SHPO Evaluation.



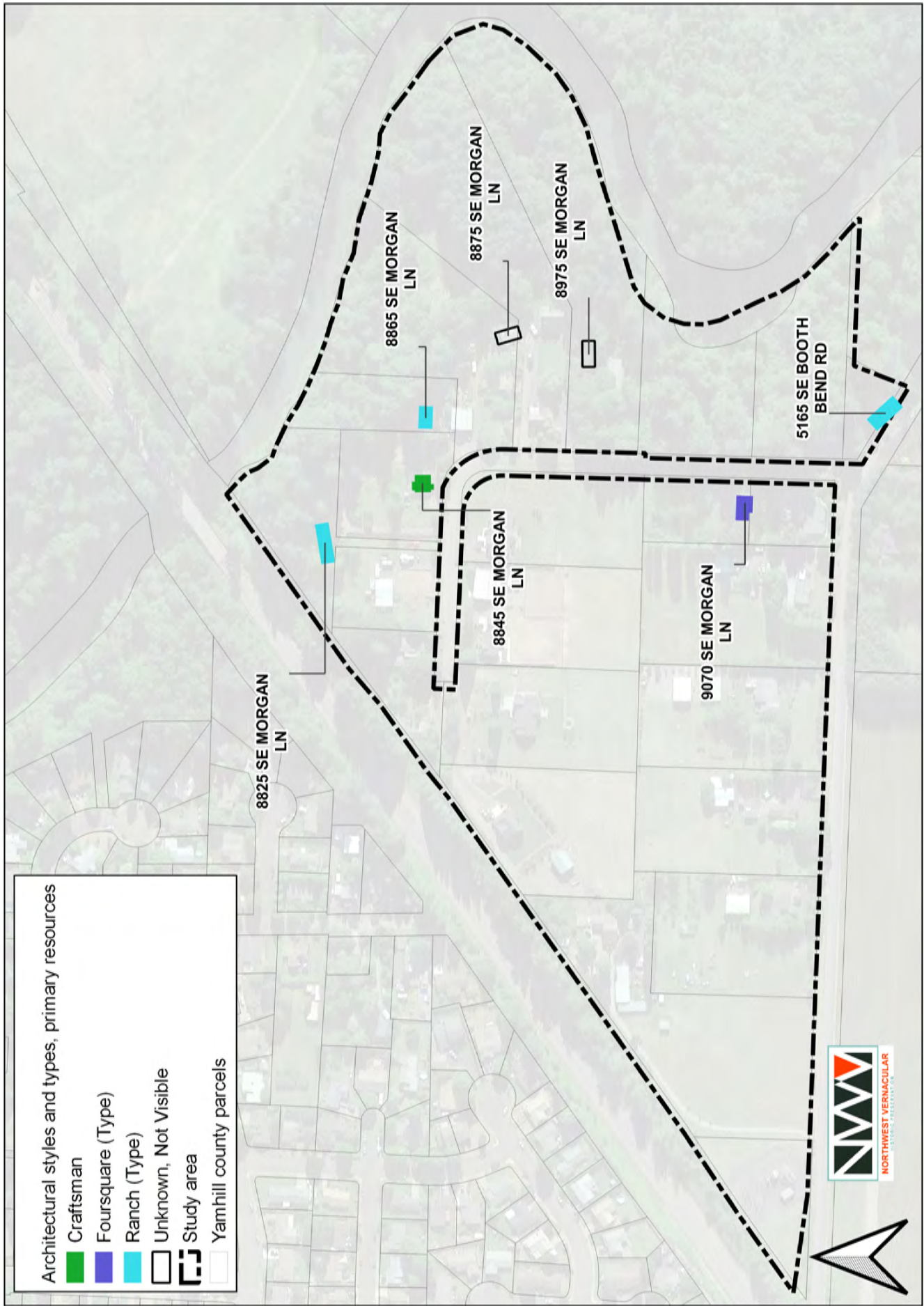
Map 53. Area D | Period Built.



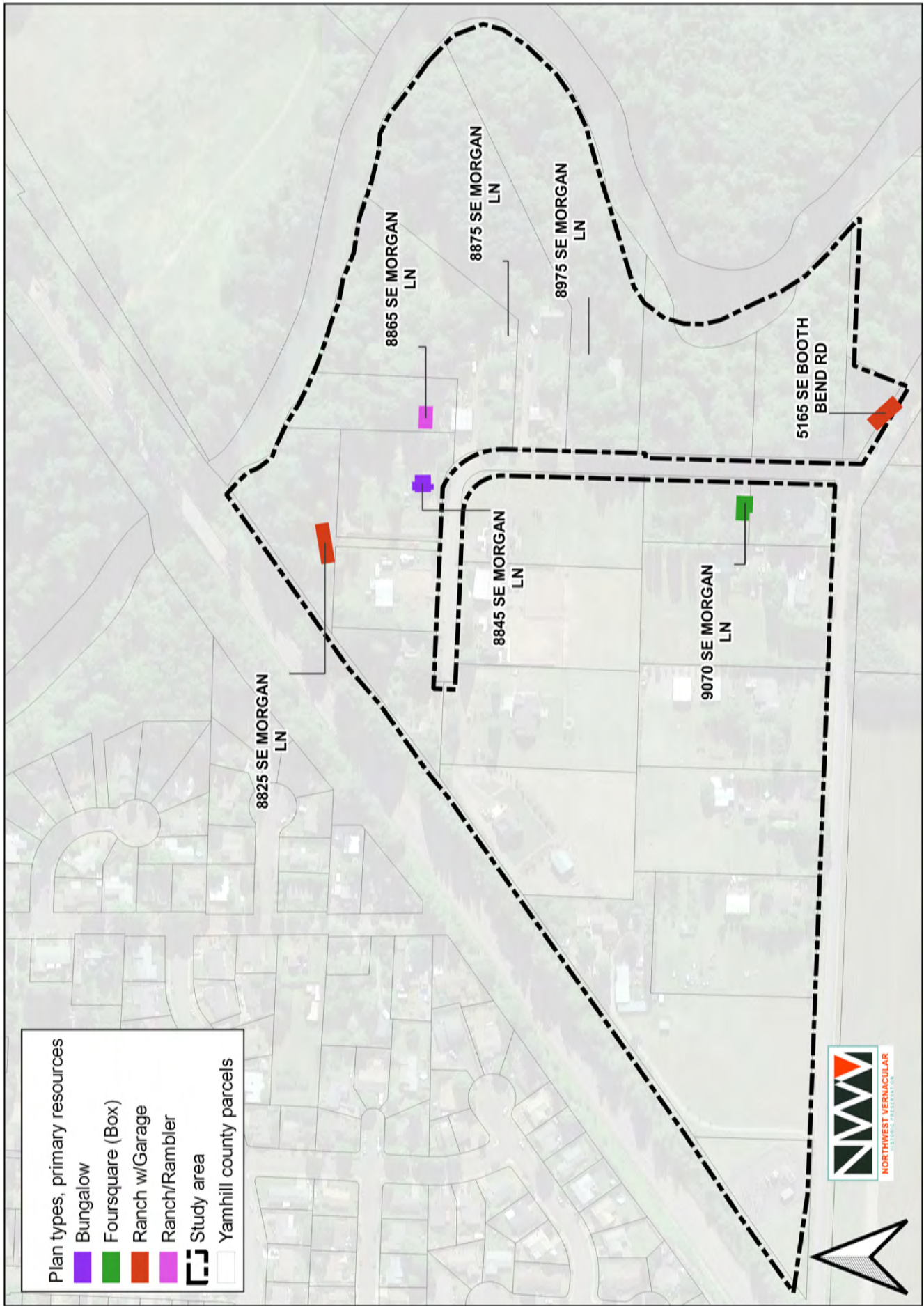
Map 54. Area D | Resource Types.



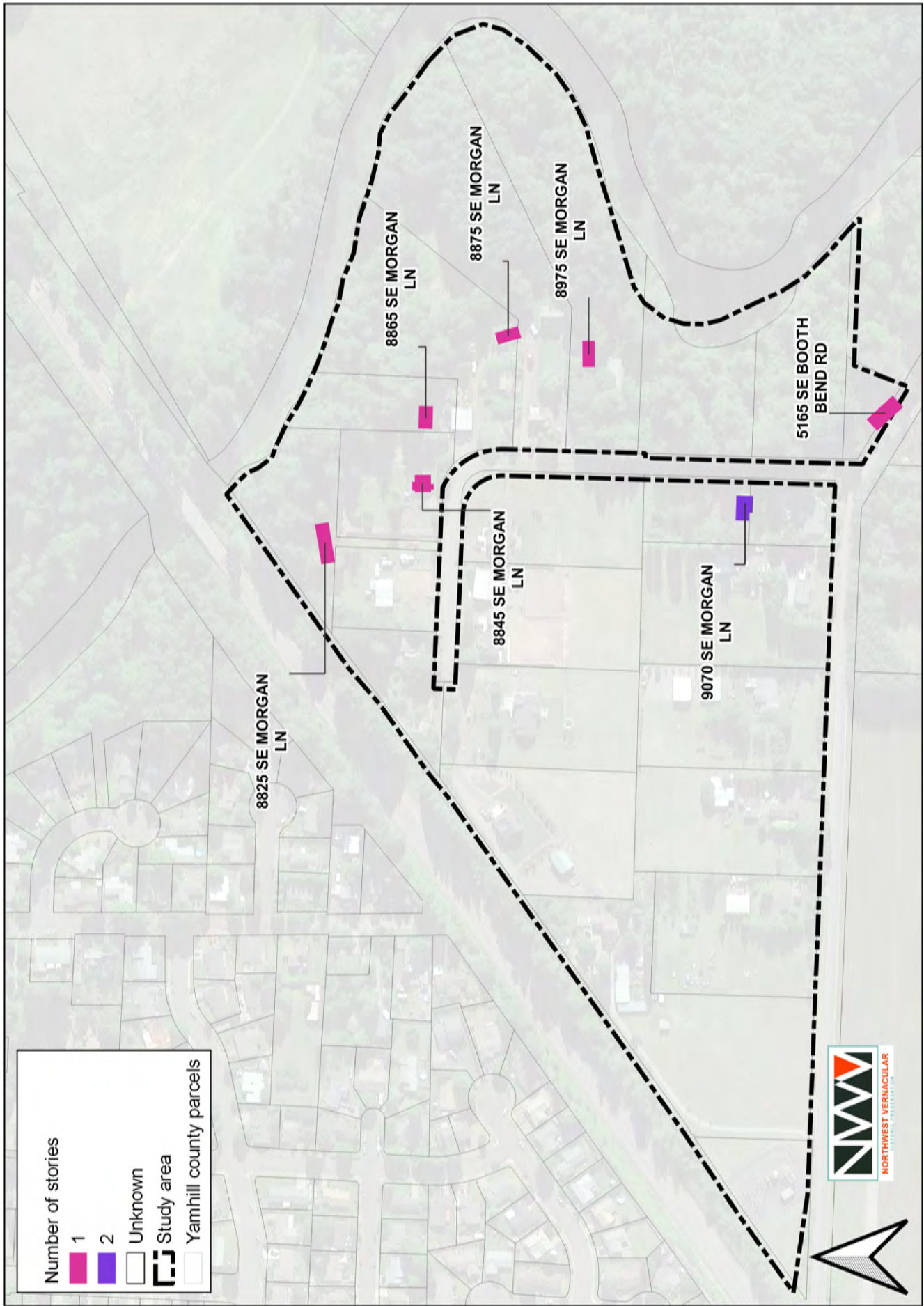
Map 55. Area D | Functions.



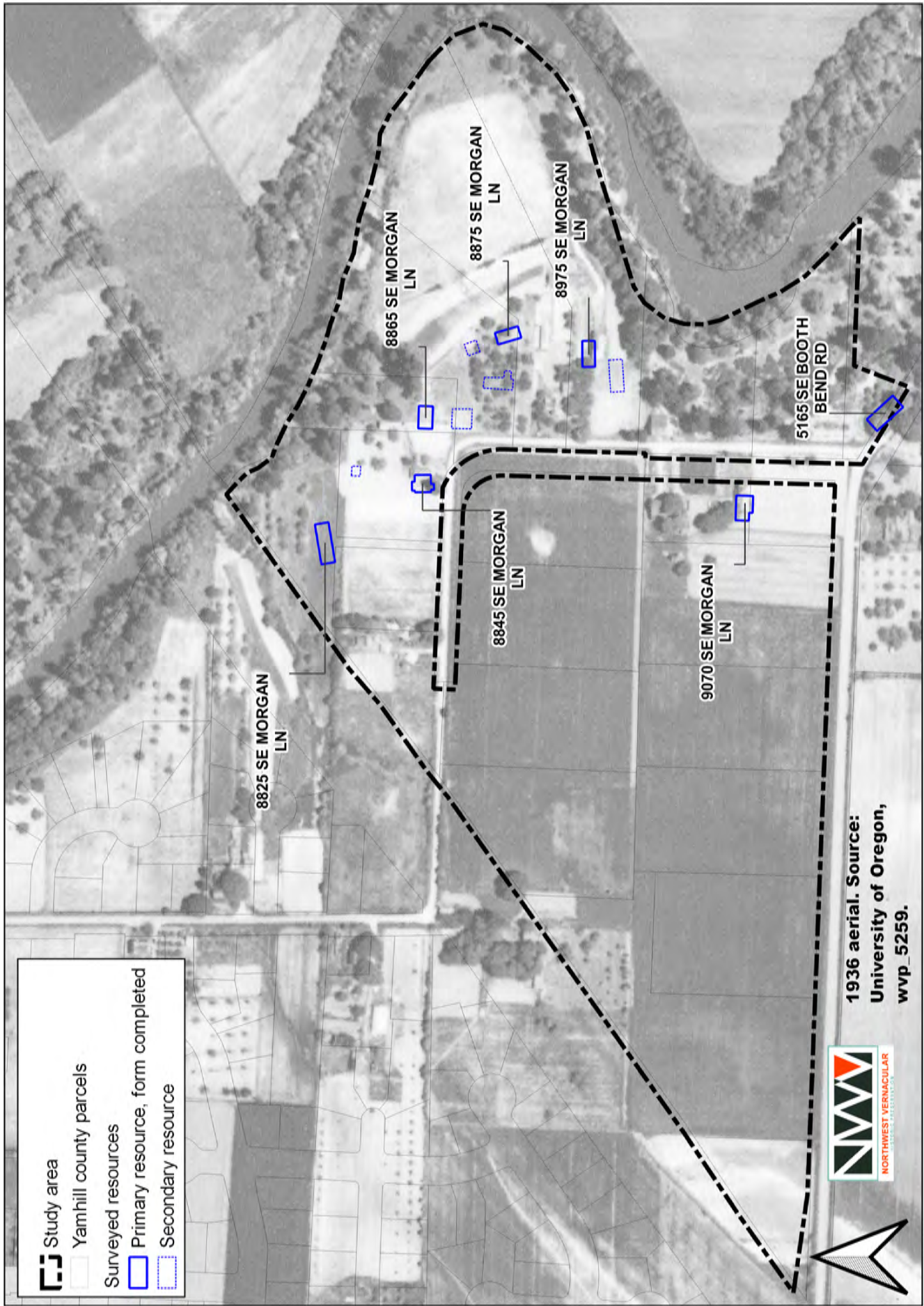
Map 56. Area D | Styles and Types.



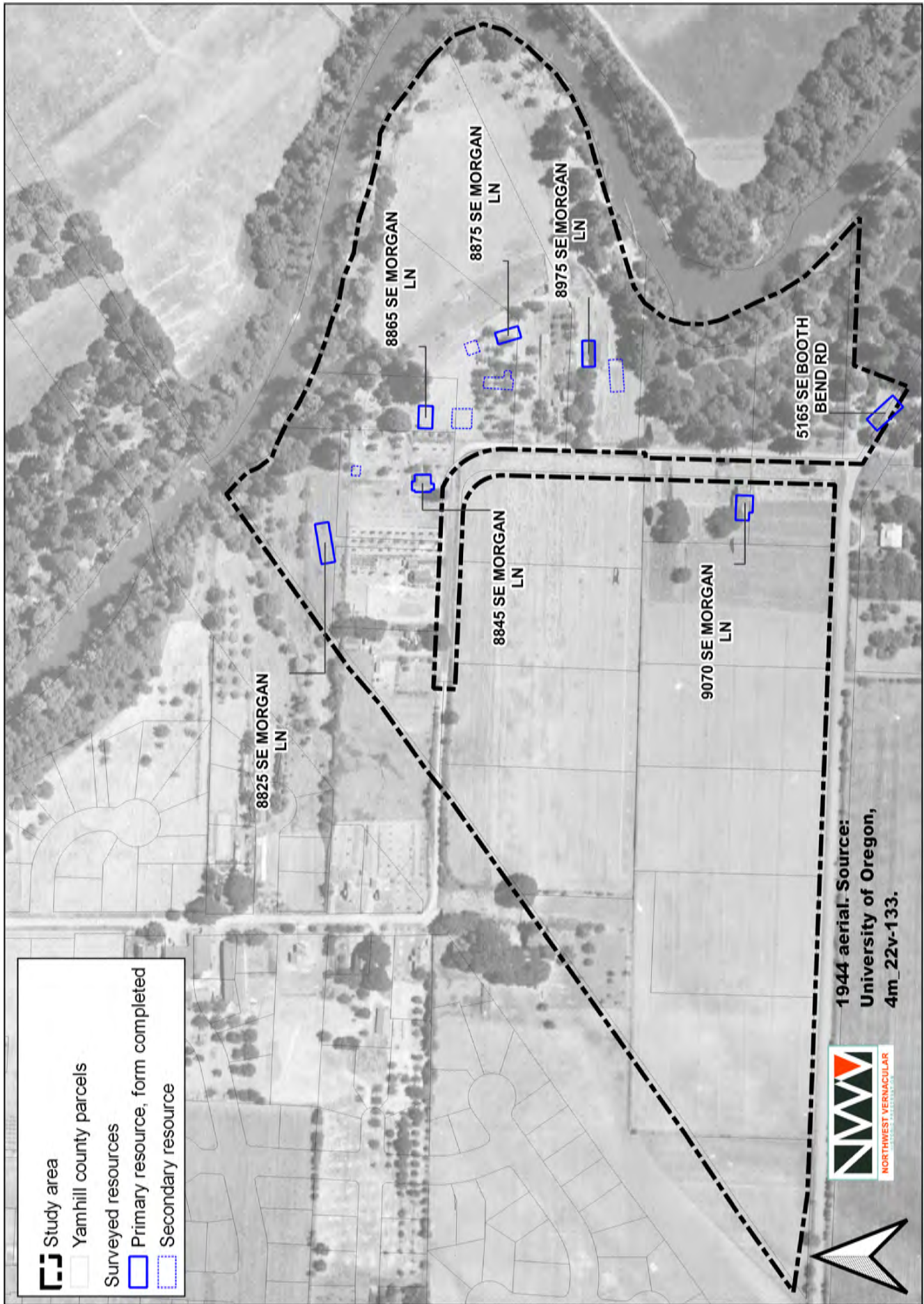
Map 57. Area D | Plan Types.



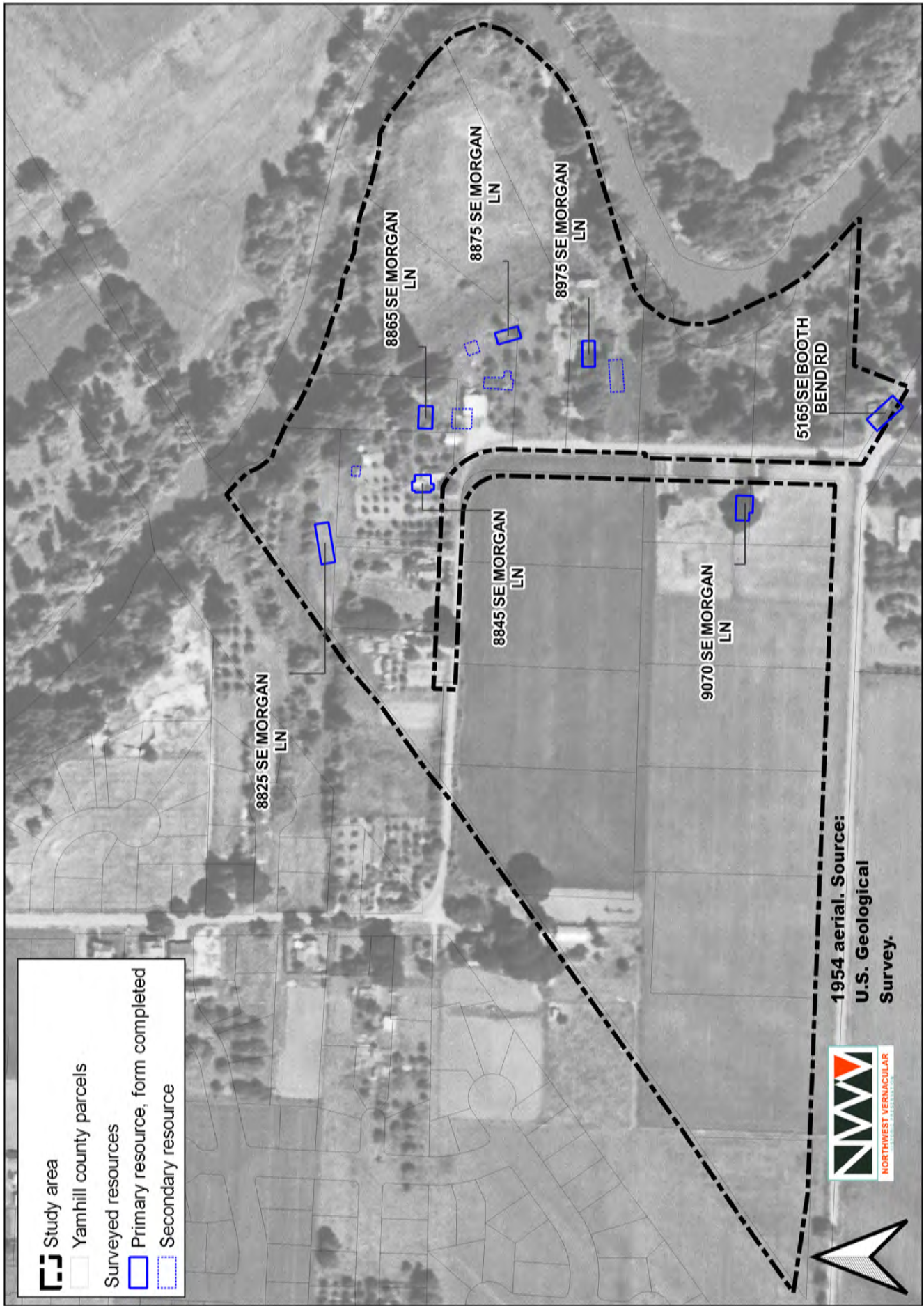
Map 58. Area D | Stories.



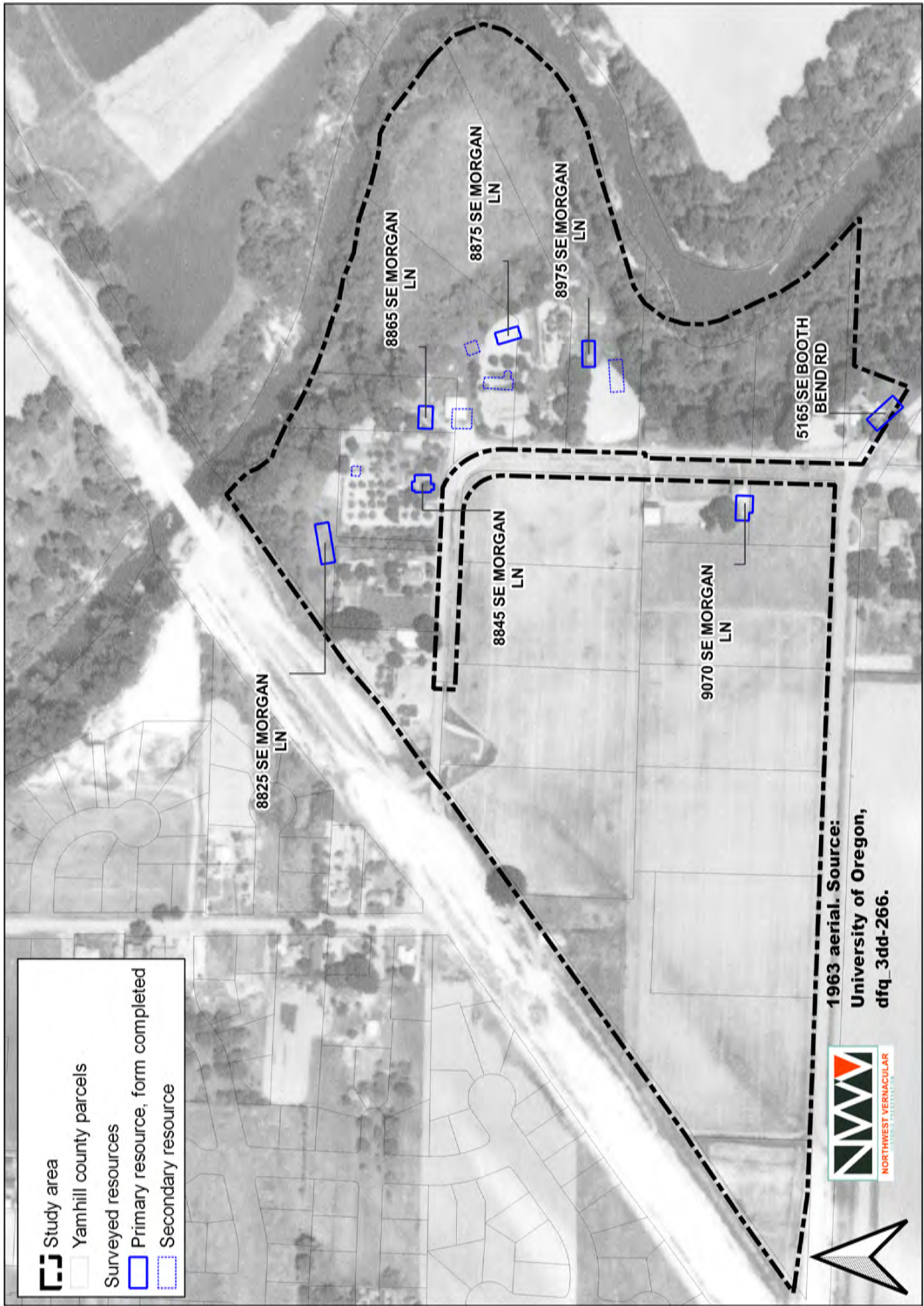
Map 59. Area D | 1936.



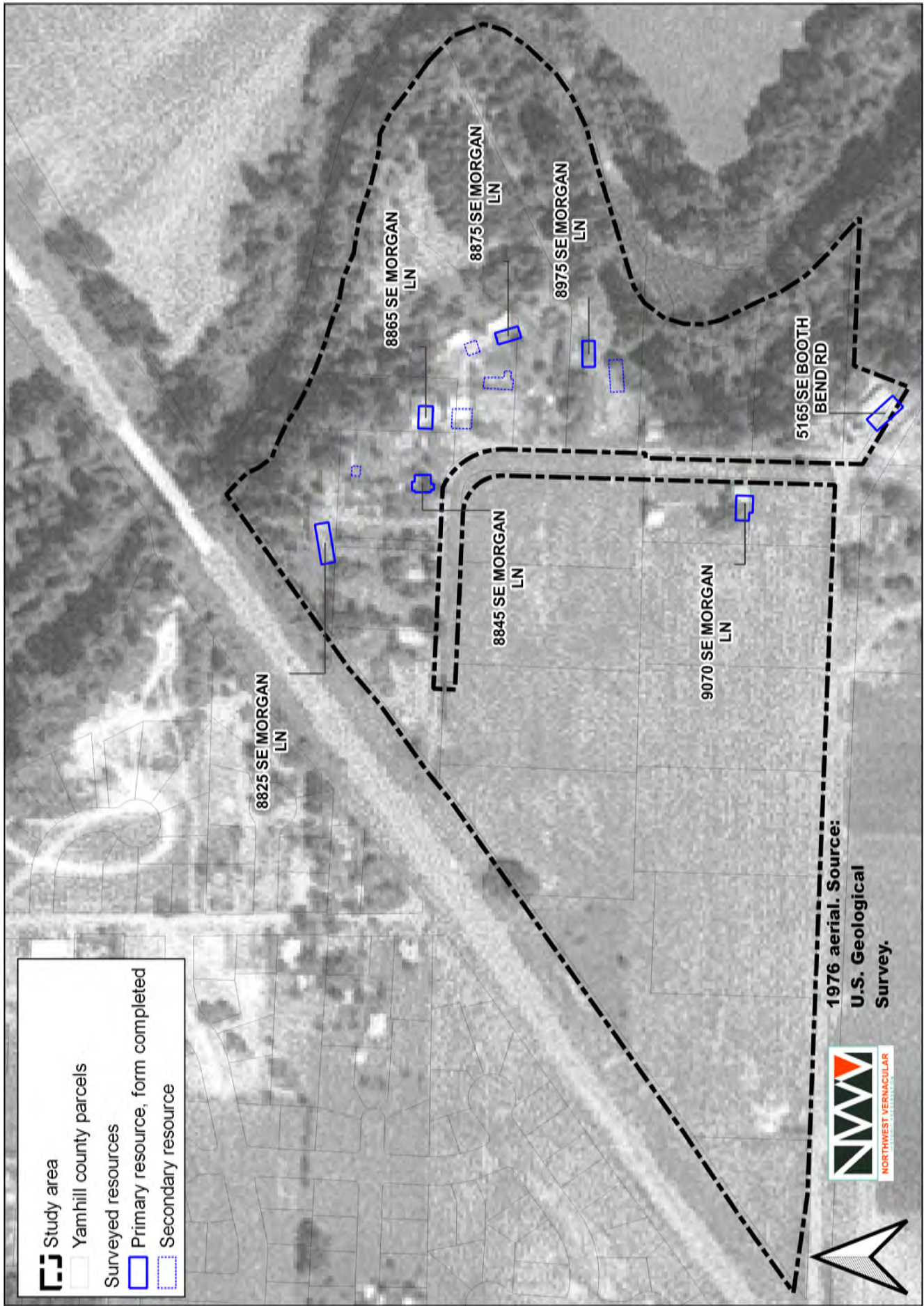
Map 60. Area D | 1944.



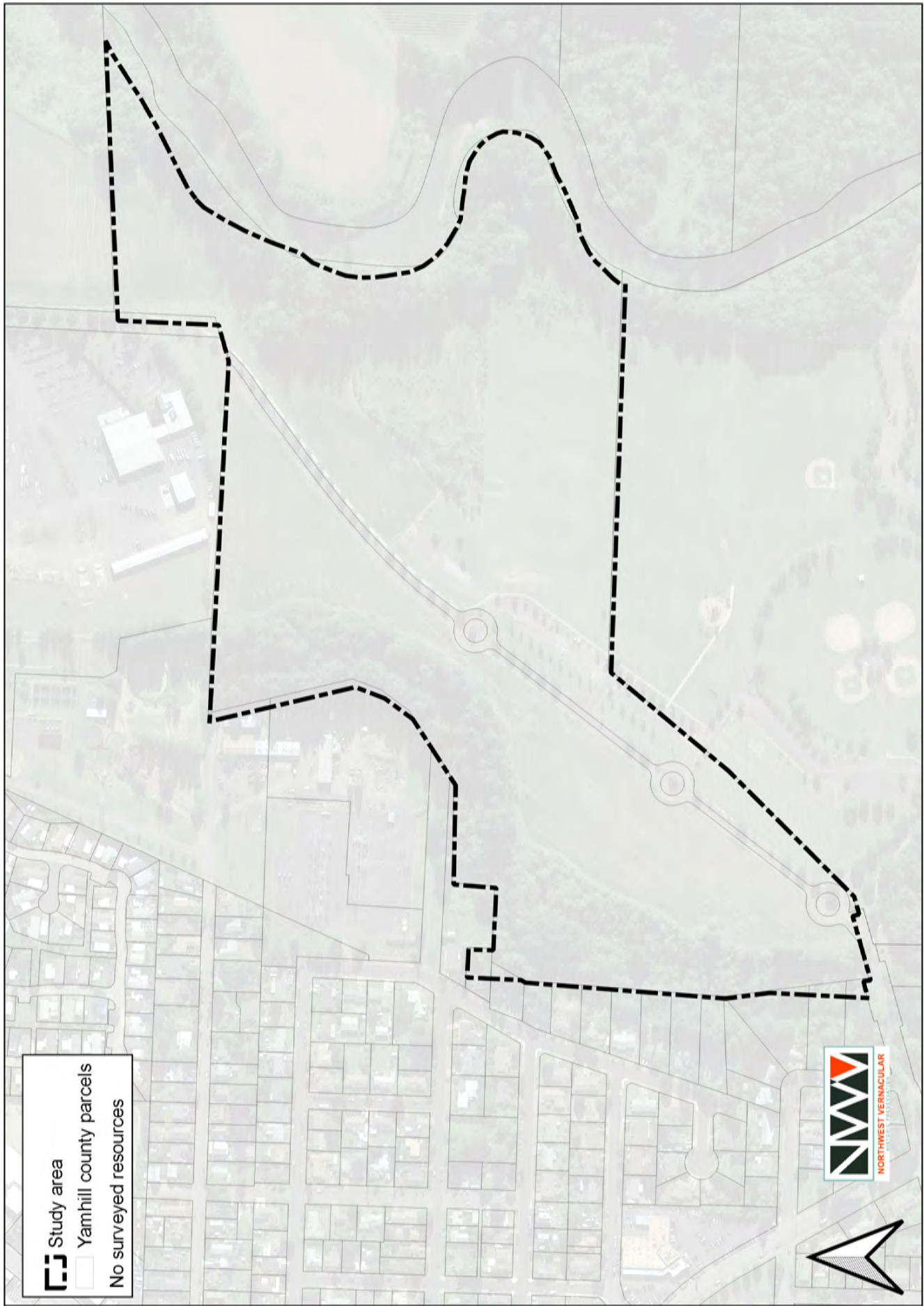
Map 61. Area D | 1954.



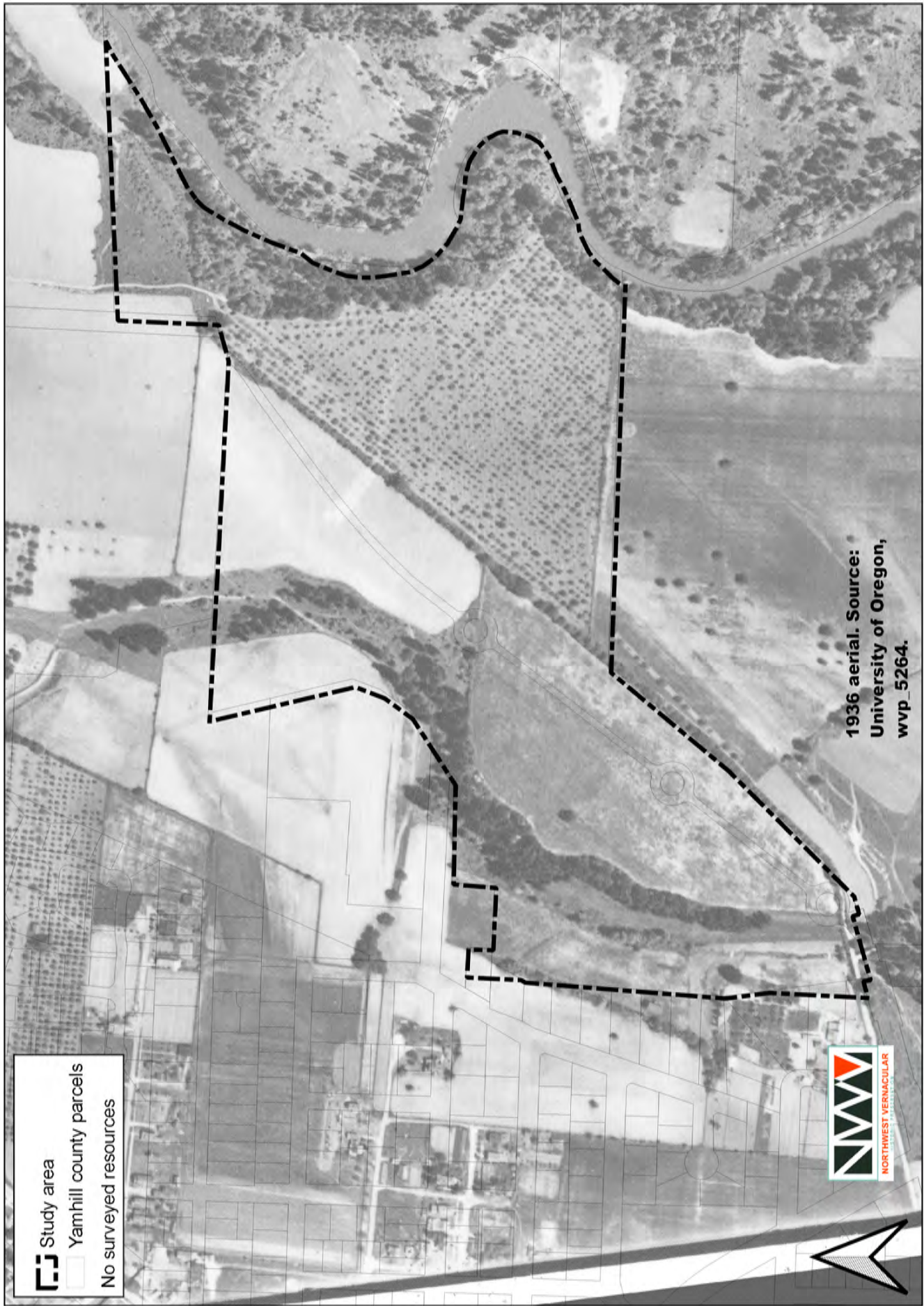
Map 62. Area D | 1963.



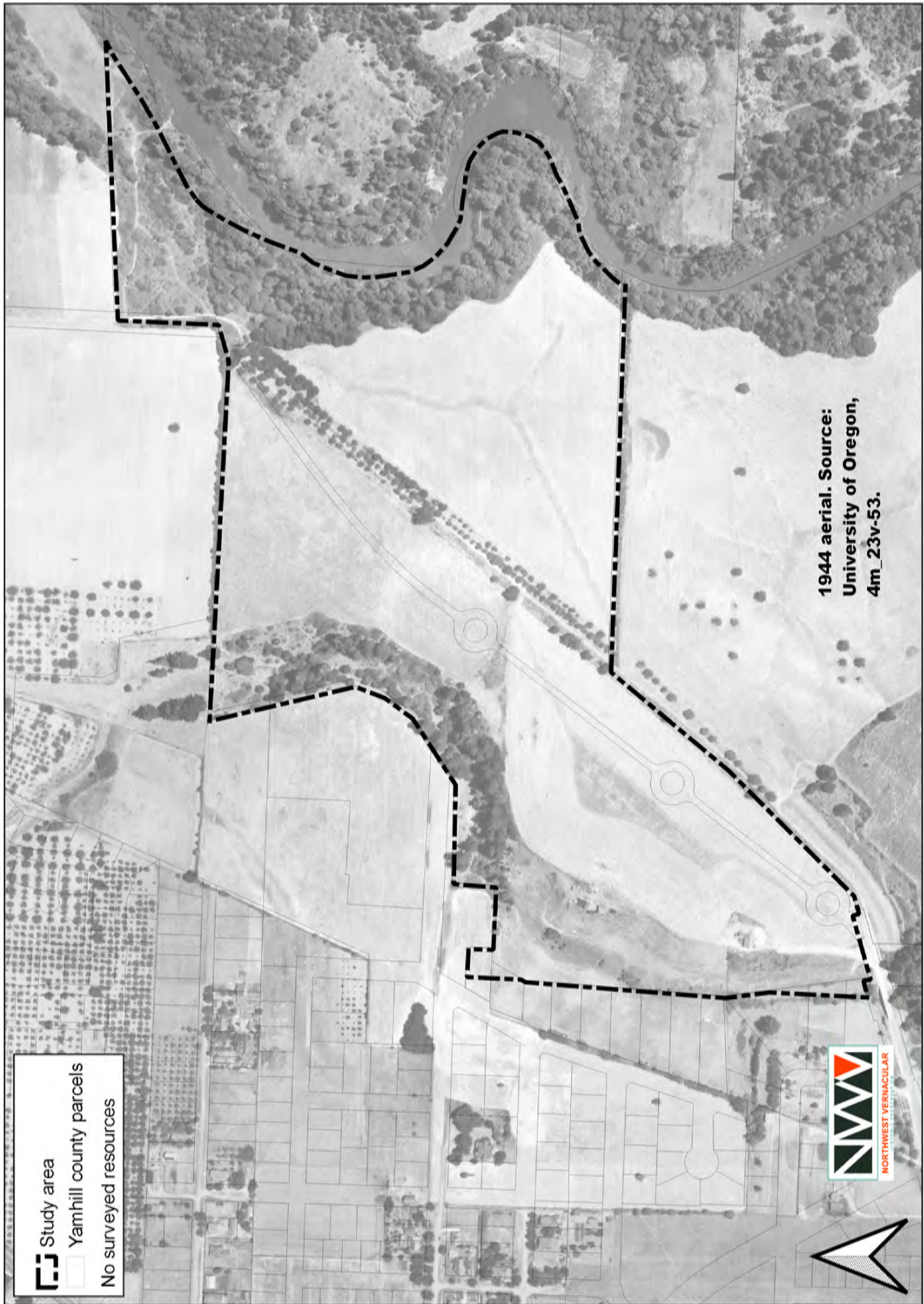
Map 63. Area D | 1976.



Map 64. Area E | Survey Area.



Map 65. Area E | 1936.



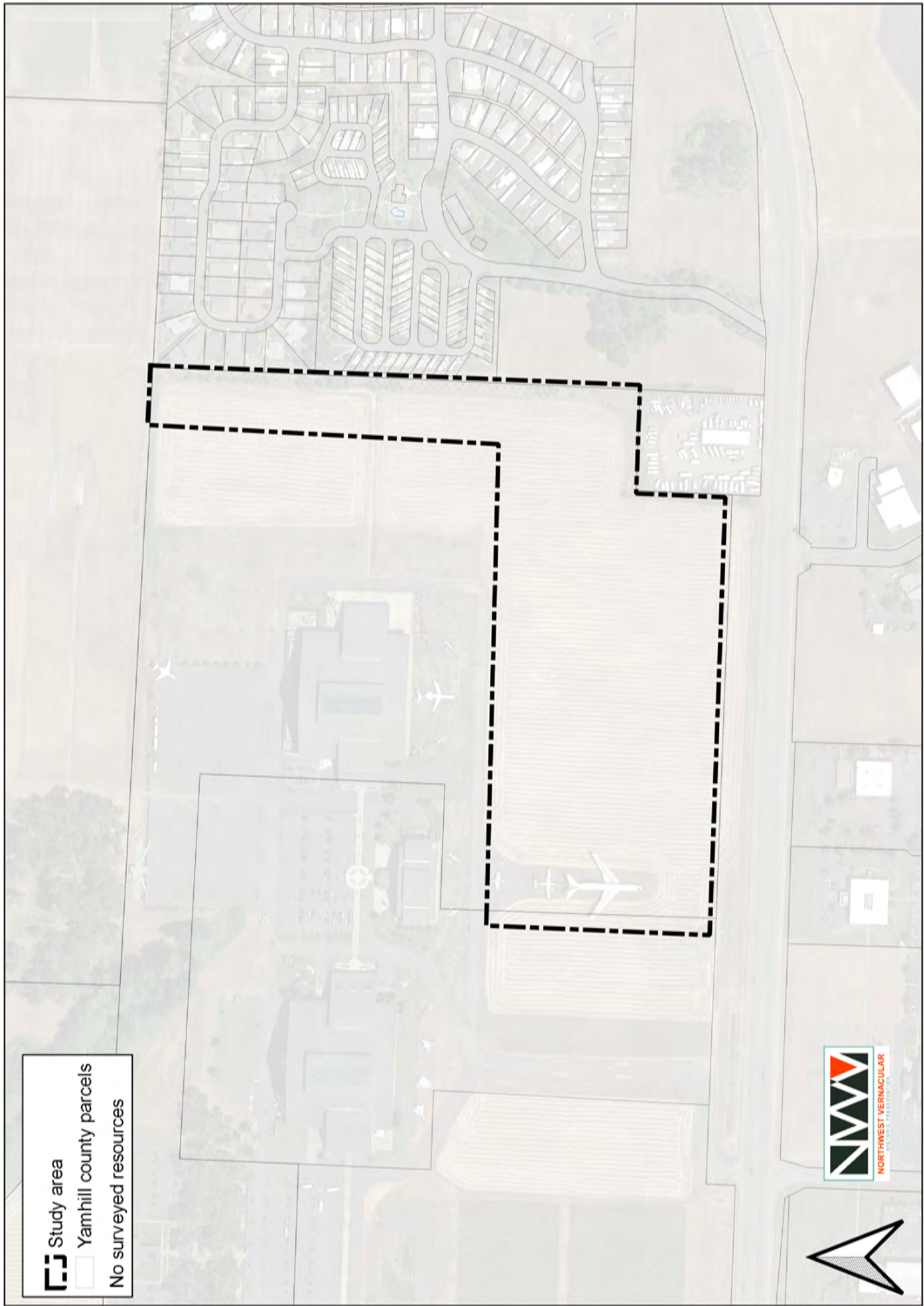
Map 66. Area E | 1944.



Map 67. Area E | 1954.



Map 68. Area E | 1976.



Map 69. Area F | Survey Area.



Map 70. Area F | 1944.



Map 71. Area F | 1963.



1976 aerial. Source:
U.S. Geological
Survey.



Map 72. Area F | 1976.

