



City of McMinnville

PLANNING

**City of McMinnville
Planning Department**
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

**Historic Landmarks Committee
Hybrid In-Person & ZOOM Online Meeting
Wednesday, May 28 - 3:00 PM
Community Development Center, 231 NE 5th Street**

Please note that this meeting will take place at McMinnville Civic Hall and simultaneously be conducted via ZOOM meeting software if you are unable or choose not to attend in person

**Join Zoom Meeting
Meeting ID: 876 3249 3472
Passcode: 456456**

<https://mcminnvilleoregon.zoom.us/j/87632493472?pwd=3JUUqdvkxXwuph2MQaQnmrtjUgwJqB.1>

Or join ZOOM Meeting by phone via the following number: 1-253-215-8782

Committee Members	Agenda Items
Mary Beth Branch, Chair	1) Call to Order
Katherine Huit, Vice Chair	2) Citizen Comments
Mark Cooley	3) Discussion Items
Christoper Knapp	<ul style="list-style-type: none">DDR 2-24: Certificate of Alteration for Approval<ul style="list-style-type: none">645 NE 3rd Street (Exhibit 1)Work Session<ul style="list-style-type: none">Demolition Code Discussion
Daniel Kiser	4) Committee Member Comments
City Council Liaison: Scott Cunningham	5) Staff Comments
	6) Adjournment

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

*Please note that these documents are also on the City's website, www.mcminnvilleoregon.gov. You may also request a copy from the Planning Department.

EXHIBIT 1 – STAFF REPORT

DATE: May 28, 2025
TO: Historic Landmark Committee Members
FROM: Matthew Deppe, Associate Planner
SUBJECT: DDR 2-24 (Downtown Design Review Waiver)
645 NE 3rd Street

STRATEGIC PRIORITY & GOAL:



GROWTH & DEVELOPMENT CHARACTER

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

OBJECTIVE/S: Define the unique character through a community process that articulates our core principles

Report in Brief:

An application for alteration of existing construction design review and a design waiver request to be reviewed and approved by the Historic Landmarks Committee.

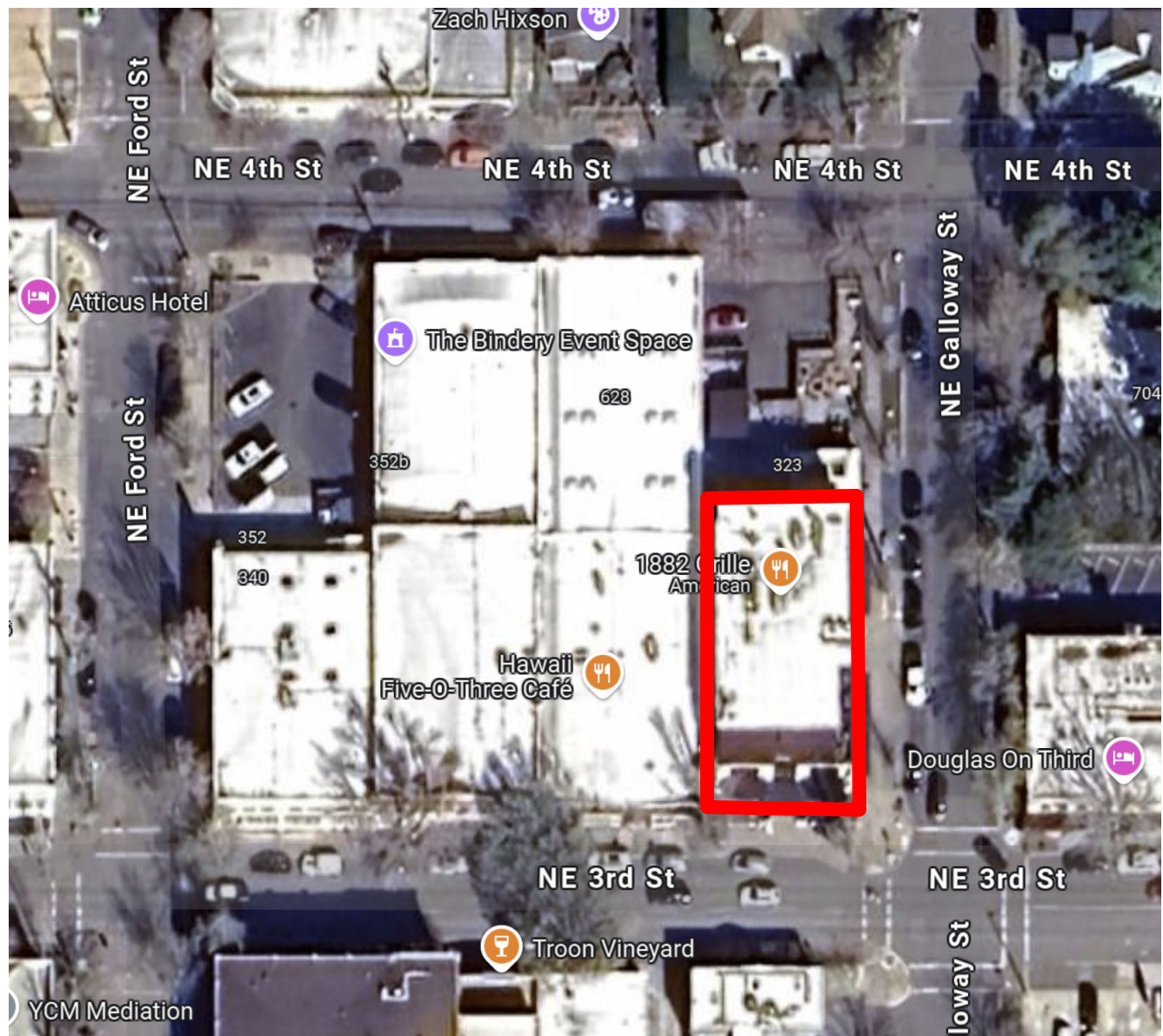
Background:

The applicant, Gregory Carter on behalf of Ginger Emerick, submitted an application for design review and a design waiver associated with the design of a building alteration on the property located on the northwest corner of NE 3rd Street and NE Galloway Street, tax lot R4421-BC-04600. The location of the subject property is identified below:

Attachments:

Attachment A: Decision Document

Attachment B: DDR 2-24 Application Materials

Exhibit 1. Vicinity Map (Property Lines Approximate)

The existing building on the subject property is not listed on the Historic Resources Inventory but is located within the Downtown Design Overlay District.

Discussion:

The applicant is proposing to alter an existing building on the northwest corner of NE 3rd Street and NE Galloway Street. The applicant is requesting to extend the outdoor seating cover on the third floor to the outer building walls. Approximately 4 feet on the east side and approximately 7 feet on the south side. The subject property is located within the downtown area as defined by Section 17.59.020 (A), which is an area bounded to the west by Adams Street, to the north by 4th Street, to the east by Kirby Street, and to the south by 1st Street. All exterior alterations on properties located within this area are subject to the Downtown Design Standards and Guidelines (Chapter 17.59 of the McMinnville Zoning Ordinance), which is the purpose for this application and review process. Of the required design standards and guidelines, the applicant is requesting two design waivers, which is allowed if approved by the Historic Landmarks Committee.

The Historic Landmarks Committee's responsibility regarding this type of application is to hold a public meeting to review the proposed building design for compliance with the design standards and guidelines, and also to render a decision to approve, approve with conditions, or deny the design waiver request.

Design Review

In reviewing the application the design was determined to not meet two standards for the Downtown Design Standards. The applicant is asking for a waiver for these two standards. See Decision Document for full list review.

Waiver Review

The applicant has requested a waiver from the design standard 17.59.050(B)(3)(e), that storefronts should include a decorative cornice or cap at the roofline and 17.59.050(C)(2)(a...) prohibiting wood as a building material.

In reviewing the design waiver request, the Historic Landmarks Committee must make findings for the following criteria:

- 1) There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

Finding: The applicant has argued that "the current structure's roofline design was created to assist in the scale and massing of the building relative to its neighbors while still providing for a 3rd floor space and an attractive rooftop seating area. To add a cornice to the patio cover extension would destroy the intentional scale and the rooftop design. Since this is not a "true" 3rd story it would seem to be a strange design addition. In addition the second floor of the building has a decorative cornice to help achieve the desired design standard."

The applicant has also argued that "the structure was originally granted a waiver for the use of wood siding. While we are not adding any siding we do plan to use stained wood posts. The posts will be stained dark brown to match the rest of the posts on the building. Painting the wood posts would likely make this award winning building less cohesive since there are no other painted wood posts on the building."

Staff recognizes that working with an existing design waiver poses a unique challenge. Staff also notes that it was the "not a true 3rd story" nature of the design that contributed to the approval of the design. Bringing the 3rd story out to the edges of building seems to undermine that basis of approval. This significant change brings into question whether the initial approval would have been granted if the design would have continued to edge of the building. This location is more visible at the street level and extends the use of the prohibited materials. Generally, painted wood is limited to window frames and door frames on the existing historic structures downtown. It is the staff's understanding that that is the sole intended application of that listed material.

- 2) There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;

Finding: The applicant has argued that "any alternative design to accomplish the same end would likely stick out like a sore thumb due to the current structure's design and materials. (They) aim to make this a seamless and beautiful addition to (their) building and 3rd Street. Staff notes that the applicant states a conclusion and does not provide significant evidence supporting that conclusion."

- 3) The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

Finding: The applicant argues “[Their] aim is to simply extend the existing roofline (patio cover) with matching materials. [They] wish to keep with the aesthetics of the current building. [They] believe matching the post with the entrance beams and other wood accents on the building is the best option to achieve cohesiveness. This small cover addition will look like it has been part of the building since day one and without a cornice it will continue to keep the appropriate building scale and massing.”

It is staff’s opinion that extending the third floor to the edges of the building would undermine the basis of the original design approval and that it does not meet the standard for a waiver. Staff also finds that the application does not support the conclusion that this design and material, with a waiver, is the only way to meet the requirements of the Downtown Design Standards.

Fiscal Impact:

None.

Recommendation/Suggested Motion:

Based on the findings described above, staff is recommending that the design of the proposed building be DENIED.

If the Historic Landmark Committee wishes to approve this application the following conditions are recommended:

1. That the applicant shall submit building permit applications prior to completing any work. The construction plans submitted with the building permit applications will be reviewed by the Planning Director for consistency with the written narrative, exhibits, drawings, and renderings submitted for review by the Historic Landmarks Committee, along with any revisions to respond to other conditions of approval.
2. The applicant will receive a design review waiver for Section 17.59.050(B)(3)(e).
3. The applicant will receive a design review waiver for Section 17.59.050(C)(2)(a).

Committee Options:

- 1) Close the public meeting and **DENY** the application, per the decision document provided which includes the findings of fact.
- 2) **CONTINUE** the public meeting to a specific date and time.
- 3) Close the public meeting and **APPROVE** the application, providing findings of fact for the approval in the motion to approve.

MOTION FOR DENIAL OF DDR 2-24:

BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE DENIES DDR 2-24,

MOTION FOR CONTINUATION TO ALLOW APPLICANT TO AMMEND APPLICATION DDR 2-24:

AT THE REQUEST OF THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE CONTINUES DDR 2-24 TO A COMMITTEE MEETING ON [ENTER A DATE FOR FUTURE COMMITTEE MEETING].

DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS OF THE PLANNING DEPARTMENT FOR THE REVIEW OF AN APPLICATION FOR DOWNTOWN DESIGN REVIEW FOR EXTERIOR ALTERATIONS TO AN EXISTING BUILDING AT 645 NE 3RD STREET WITHIN THE DOWNTOWN DESIGN AREA

DOCKET: DDR 2-24 (Downtown Design Review/Waiver)

REQUEST: Approval of a Downtown Design Review application for exterior alterations to an existing building, to allow for an extended roofline and additional exterior wood cladding within the Downtown Design Standards area.

LOCATION: 645 NE 3rd Street. Tax Lot R4421BC04600.

ZONING: C-3 (General Commercial)

APPLICANT: Gregory Carter on behalf of Ginger Emerick

STAFF: Matthew Deppe, Associate Planner

DATE DEEMED COMPLETE: March 28, 2025

DECISION-MAKING BODY & ACTION: Historic Landmarks Committee

DECISION DATE & LOCATION: May 28, 2025, McMinnville Community Development Center, 231 NE 5th Street, McMinnville, Oregon.

PROCEDURE: An application for a Downtown Design Review is processed in accordance with the procedures in Section 17.59.030(A) of the McMinnville Municipal Code. The Planning Director may review applications for minor alterations subject to the review criteria stated in Section 17.59.040. The Historic Landmarks Committee shall review applications for major alterations and new construction, subject to the review criteria stated in Section 17.59.040. It shall be the Planning Director's decision as to whether an alteration is minor or major. The Planning Director has deemed this a major alteration.

CRITERIA: The applicable criteria for a Downtown Design Review are specified in Section 17.59.040 of the McMinnville Municipal Code. In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated but are to be undertaken in relation to all applicable land use requests.

APPEAL:

An appeal of a decision by the Planning Director or Historic Landmarks Committee, including an appeal of conditions placed on the permit by the committee, may be made to the Planning Commission within fifteen (15) days of the date written notice of the decision is mailed as outlined in Section 17.72.170. The City's final decision is subject to a 120-day processing timeline, including resolution of any local appeal.

COMMENTS:

This matter was referred to the following public agencies for comment: McMinnville Fire District, Police Department, Engineering Department, Building Department, Parks Department, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County Public Works; Yamhill County Planning Department; Frontier Communications; Comcast; Northwest Natural Gas; and Oregon Department of Transportation. There were no comments provided from these departments.

RECOMMENDATION

Based on the findings and conclusionary findings, the Historic Landmarks Committee finds the applicable criteria are not able to be satisfied with conditions and **DENIES** the application Downtown Design Review DDR 2-24 for exterior alterations for property at 645 NE 3rd Street.

RECOMMENDATION: DENIAL

Historic Landmarks Committee: _____
Mary Beth Branch, Chair

Date: _____

Planning Department: _____
Heather Richards, Planning Director

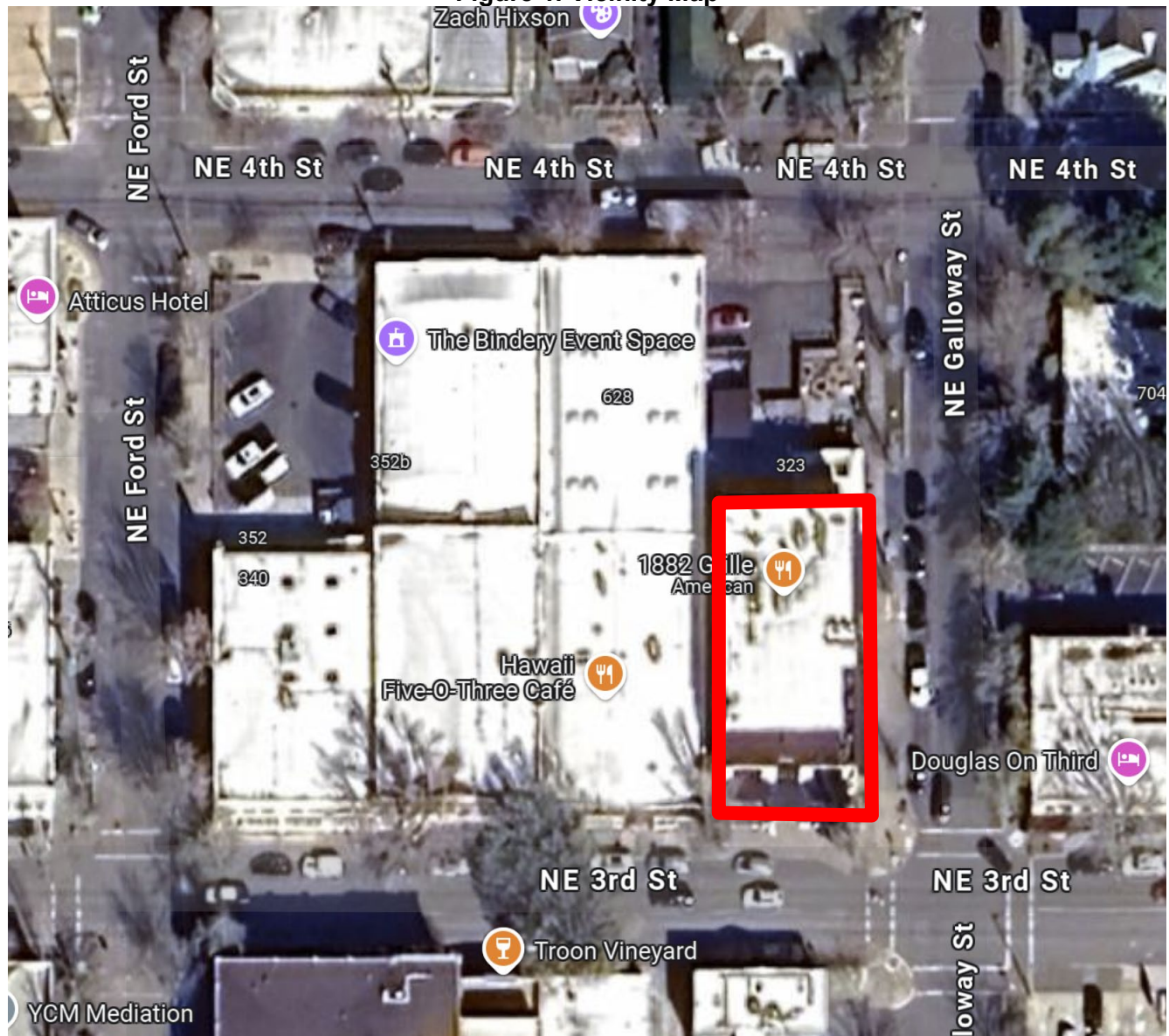
Date: _____

I. APPLICATION SUMMARY:

Subject Property & Request

The proposal is an application for a Downtown Design Review requesting approval to extend the top story roofline to the building edge and add wood cladding to the underside of the roof to the property located in the Downtown Design Review Overlay District. The subject property is located at 645 NE 3rd Street. The property is more specifically identified as Tax Lot R4421BC04600. Please see **Figure 1, Vicinity Map** below.

Figure 1. Vicinity Map



The property is located within the Downtown Design Standards and Guidelines area defined in Section 17.59.020 of the McMinnville Municipal Code. Any exterior alterations to buildings in that area is subject to the Downtown Design Standards and Guidelines. Section 17.59.030(C)(2) allows the Planning Director to review applications for minor alterations within the Downtown Design area. The application has been determined to be a request for major alterations to the building exterior and site, and as such is reviewed by the Historic Landmarks Committee for compliance with the downtown design standards.

Attachments :

Attachment 1 – Application and Attachments

The property is also with the McMinnville Downtown Historic District. However, this building is new construction from 2012. Please see **Figure 2, McMinnville Downtown Historic District Map.**

Figure 2. McMinnville Downtown Historic District Map

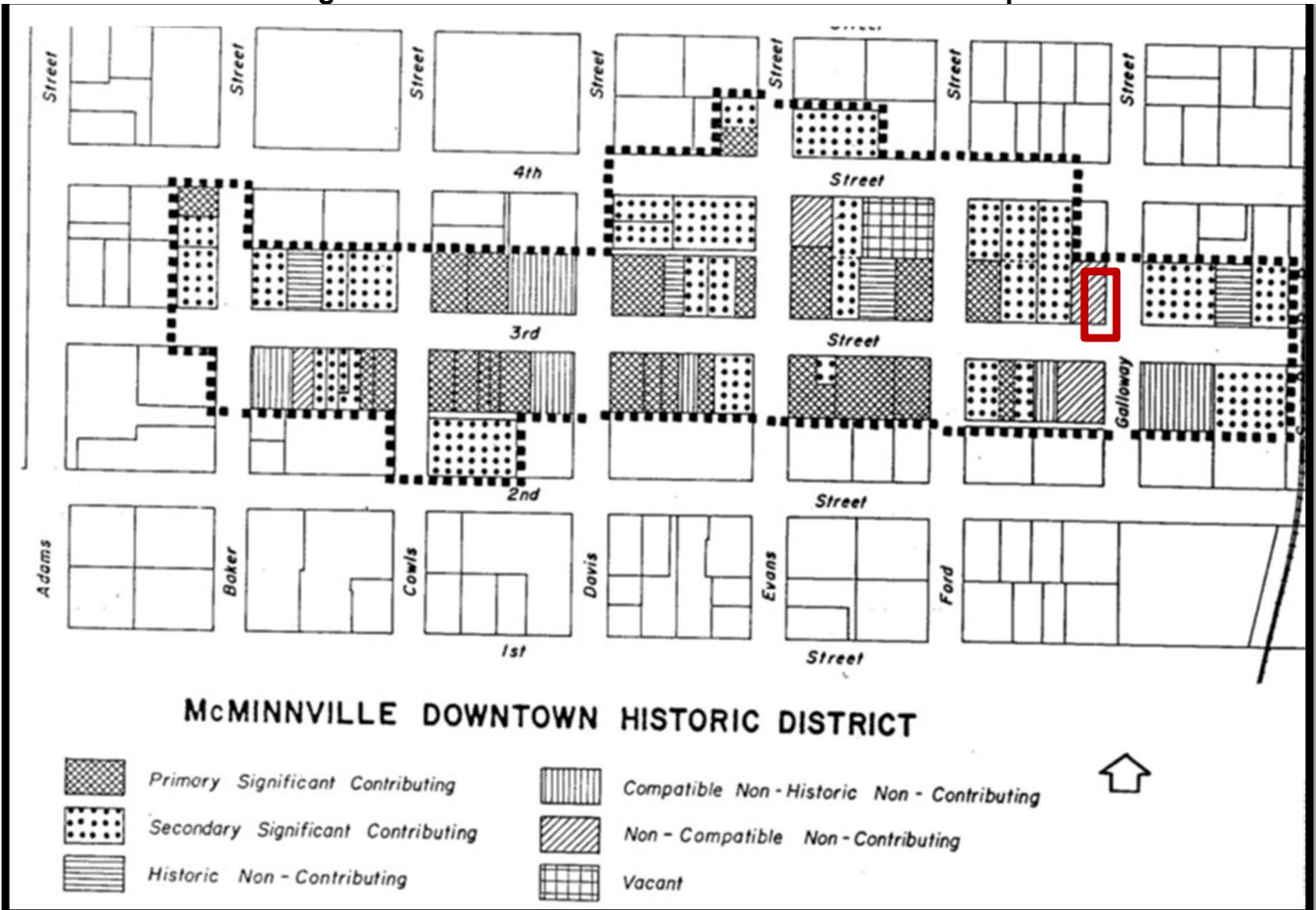


Figure 3. Exterior Photo of Existing Front Facade



Figure 4. Exterior Photo of Existing Side Facade



Attachments :

Attachment 1 – Application and Attachments

Background

The application is for the proposed renovation of the commercial property located at 645 NE 3rd St. The renovation includes minor structural changes. The extensions of the roof will be supported by posts along the edge of the existing building.

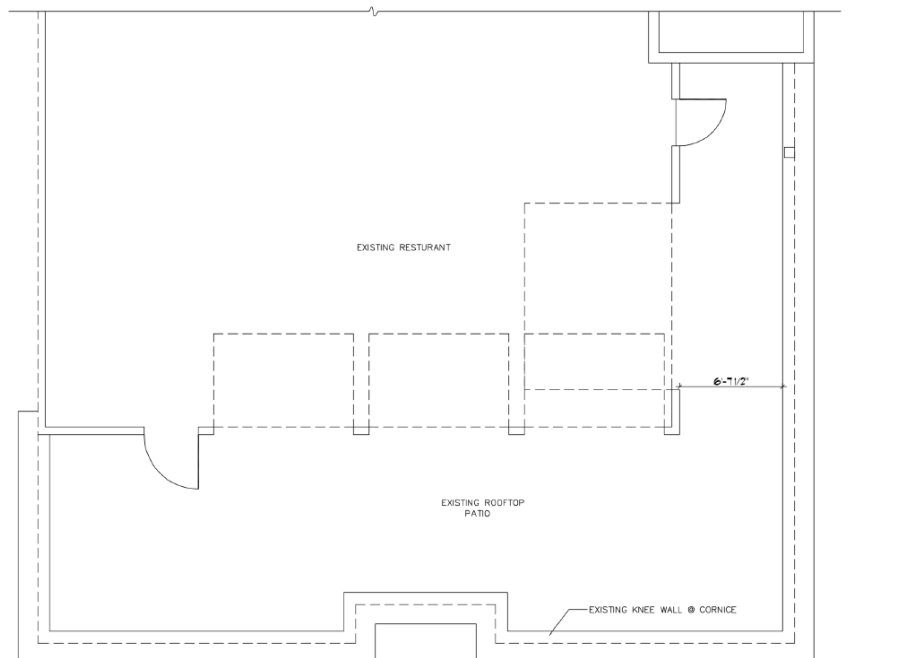
From the application, the applicant states: the proposed changes to the exterior of the building include:

- Extend The Patio Roof: Approx 7' over the south end of the patio and 3.5' to the east end of the patio.
- Roof Support: Posts supporting the extended roof to be reclaimed timber wrapped 6x6
- Underside of Extended Roof: 2x6 tongue and groove ceiling material
- Note: Actual sloping of roof is downward east to west. Extended roofing will match the existing sloping and will not be sloped 2/12 toward the building edges as shown in the preliminary drawings in this application.

The initial building design was granted multiple downtown design standards waivers on July 10th, 2012. These waivers allowed a building setback for outdoor seating, reduced the minimum 70% ground level glazing, and waived the “standard prohibiting the use of wood siding on the building facade”.

Included in the application is a site plan, as well as front and side elevations showing the proposed extended roofing. Some of which can be seen in Figures 5, and 6.

Figure 6. Existing Roof Patio Plan



1
1.0 EXISTING ROOF PATIO PLAN
1/4" = 1'-0"

Attachments :

Attachment 1 – Application and Attachments

Figure 7. New Patio Cover Roof Plan

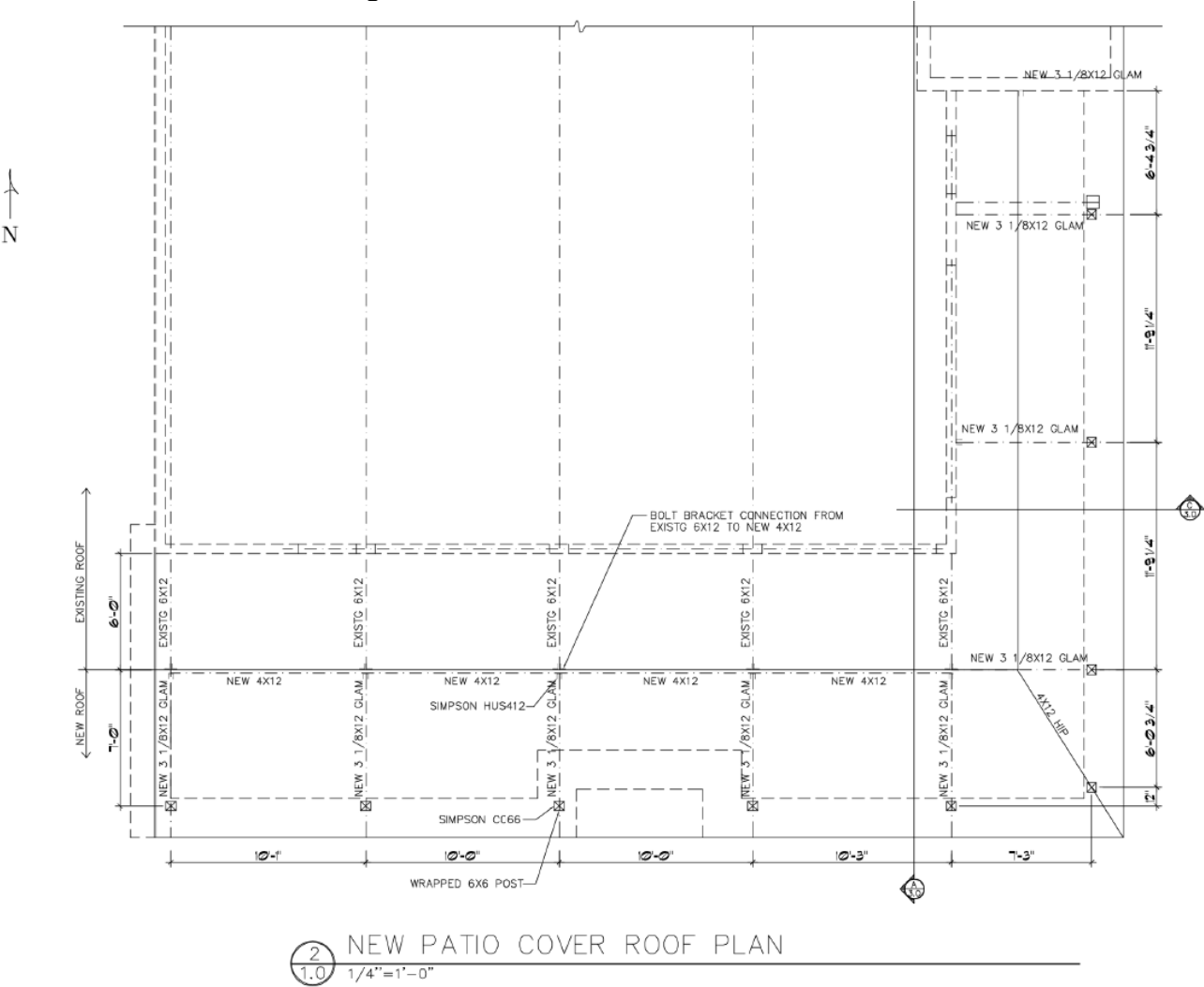
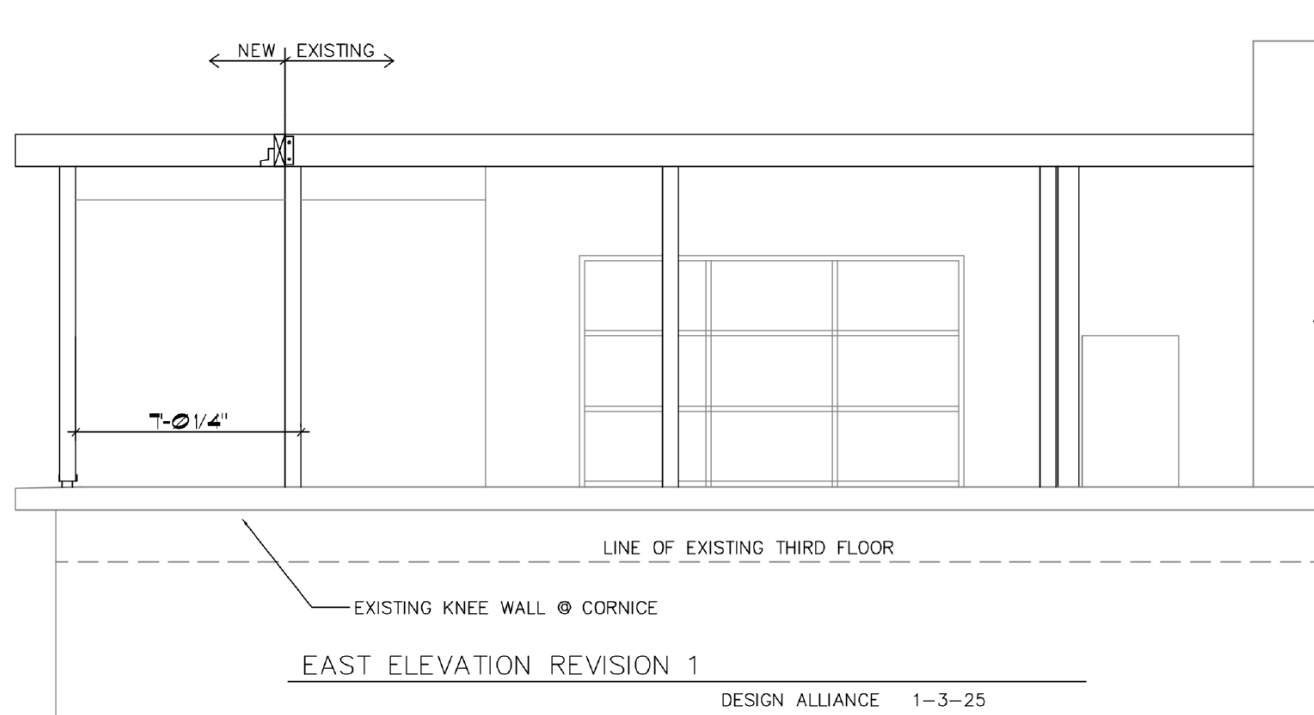
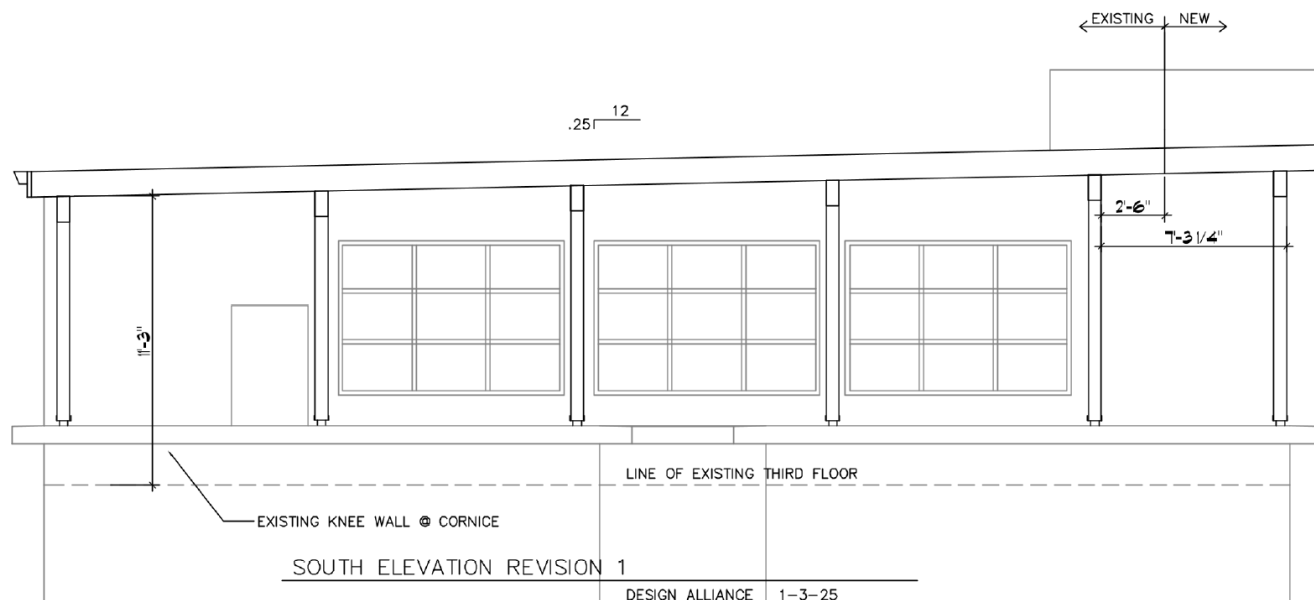


Figure 8. Additional Renderings of Extended Roofing



Summary of Criteria & Issues

Decisions and/or recommendations for approval of the land use application is dependent upon whether or not the application meets state regulations, the McMinnville Comprehensive Plan, and the McMinnville Municipal Code. The application can either meet these criteria as proposed, or a condition

Attachments :

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of approval can be provided that either outlines what needs to occur to meet the criteria, or when something needs to occur to meet the criteria.

The specific review criteria for Downtown Design Review in Section 17.59.040 of the MMC require the proposal to be consistent with the applicable Downtown Design Standards and Guidelines in Chapter 17.59 of the MMC.

In addition, any request for a waiver from a Downtown Design Standard is subject to the specific review criteria in Section 17.59.040(A)(3) of the MMC as follows:

- a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;
- b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and
- c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

The Planning Director has determined that the proposed construction activities are major alterations to the building and site located in the Downtown Design Review Overlay District. Therefore, the alterations are subject to review criteria in Section 17.59.040, "Downtown Design Guidelines", of the McMinnville Municipal Code.

In addition to the sections of the McMinnville Municipal Code referenced above, the goals and policies in Volume II of the Comprehensive Plan are also independent approval criteria for all land use decisions.

The applicant has provided findings to support the request for Downtown Design Review. These will be discussed in detail in Section VII (Conclusionary Findings) below.

II. CONDITIONS:

1. That the applicant shall submit building permit applications prior to completing any work. The construction plans submitted with the building permit applications will be reviewed by the Planning Director for consistency with the written narrative, exhibits, drawings, and renderings submitted for review by the Historic Landmarks Committee, along with any revisions to respond to other conditions of approval.
2. If approved by the HLC, The applicant will receive a design review waiver for Section 17.59.050(B)(3)(e).
3. If approved by the HLC, The applicant will receive a design review waiver for Section 17.59.050(C)(2)(a).

III. ATTACHMENTS:

1. DDR 2-24 Resubmittal Application and Attachments

IV. COMMENTS:

Agency Comments

This matter was referred to the following public agencies for comment: McMinnville Fire District, Police Department, Parks and Recreation Department, Engineering and Building Departments, City Manager, and City Attorney, McMinnville School District No. 40, McMinnville Water and Light, Yamhill County

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Attachment 1 – Application and Attachments

Public Works, Yamhill County Planning Department, Recology Western Oregon, Verizon Communications, Xfinity, Northwest Natural Gas. No comments were received:

Public Comments

Notice of this request was mailed to property owners located within 100 feet of the subject site. As of the date of the Historic Landmarks Committee packet posting on May 21st, 2025, no public testimony had been received by the Planning Department.

V. FINDINGS OF FACT - PROCEDURAL FINDINGS

1. The applicant, Gregory Carter, submitted the Downtown Design Review application (DDR 2-24) on August 26, 2024.
2. The application was first deemed complete on September 25, 2024.
3. The application was found to not be in compliance with the Downtown Design Standards on October 15, 2024. The applicant was advised on how they could proceed.
4. On October 16, 2024 the applicant requested a 60 day extension to the decision-making processes, to allow time to consider amending the application.
5. On November 18, 2024 the applicant requested an additional 120 day extension to the decision-making processes, to allow time to consider amending the application.
6. On February 26, 2025 the applicant submitted a Downtown Design Waiver request.
7. Public Notice and Agency Comment Notices were sent out on March 13th in advance of the March HLC meeting.
8. On March 19th the applicant requested that their application be moved to the April meeting, and on April 7th the applicant requested that their application be moved to the May meeting.
9. Notice of the application was referred to the following public agencies for comment in accordance with Section 17.72.110 of the McMinnville Municipal Code: McMinnville Fire District, Police Department, Parks and Recreation Department, Engineering and Building Departments, City Manager, and City Attorney, McMinnville School District No. 40, McMinnville Water and Light, Yamhill County Public Works, Yamhill County Planning Department, Recology Western Oregon, Frontier Communications, Comcast, Northwest Natural Gas. Comments received from agencies are addressed in the Decision Document.
10. Notice of the application and the, then scheduled, March 27, 2025 Historic Landmarks Committee public meeting was mailed to property owners within 100 feet of the subject property in accordance with Section 17.59.030(C)(3) and Section 17.72.110 of the McMinnville Municipal Code on June 22, 2022.
11. No public testimony was submitted to the Planning Department prior to the Staff Report.
12. On May 28th, 2025, the Historic Landmarks Committee held a duly noticed public meeting to consider the request.

VI. FINDINGS OF FACT – GENERAL FINDINGS

Attachments :

Attachment 1 – Application and Attachments

1. **Location:** 645 NE 3rd Street. Tax Lot R4421BC04600
2. **Size:** Approximately 6000 square feet.
3. **Comprehensive Plan Map Designation:** Commercial
4. **Zoning:** C-3 (General Commercial)
5. **Overlay Zones/Special Districts:** Downtown Design Standards Area (per Section 17.59.020(A) of the McMinnville Municipal Code); Reduced Landscaping Requirements Area (per Section 17.57.080).
6. **Current Use:** Commercial
7. **Inventoried Significant Resources:**
 - a. **Historic Resources:** Building is new construction in the McMinnville Downtown Historic District.
 - b. **Other:** None
8. **Other Features:** There are no significant or distinguishing natural features associated with this property.
9. **Utilities:**
 - a. **Water:** Water service is available to the subject site.
 - b. **Electric:** Power service is available to the subject site.
 - c. **Sewer:** Sanitary sewer service is available to the subject site.
 - d. **Stormwater:** Storm sewer service is available to the subject site.
 - e. **Other Services:** Other utility services are available to the subject site. Northwest Natural Gas and Comcast is available to serve the site.
10. **Transportation:** The site is bounded on the South by Third Street, on the East by Galloway Street, and on the North and West by other buildings. The McMinnville Transportation System Plan identifies Third Street as minor collector and NE Galloway Street as a local street. Section 17.53.101 of the McMinnville Municipal Code identifies the right-of-way width for these classifications of streets.

VII. CONCLUSIONARY FINDINGS:

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable criteria for a Downtown Design Review/Waiver request are specified in Section 17.59.040 of the Zoning Ordinance.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated but are to be undertaken in relation to all applicable land use requests.

Comprehensive Plan Volume II:

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans,

Attachments :

Attachment 1 – Application and Attachments

which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application. Only some will be referenced directly below.

The following additional findings are made relating to specific Goals and Policies:

GOAL IV 4: TO PROMOTE THE DOWNTOWN AS A CULTURAL, ADMINISTRATIVE, SERVICE, AND RETAIL CENTER OF McMINNVILLE

Downtown Development Policies:

Policy 38.00 The City of McMinnville shall encourage the renovation and rehabilitation of buildings in the downtown area, especially those of historical significance or unique design.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The proposed renovation allows for more protected outdoor seating from inclement weather, which further promotes downtown as a cultural and retail center.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

GOAL X 2: TO MAKE EVERY EFFORT TO ENGAGE AND INCLUDE A BROAD CROSS SECTION OF THE COMMUNITY BY MAINTAINING AN ACTIVE AND OPEN CITIZEN INVOLVEMENT PROGRAM THAT IS ACCESSIBLE TO ALL MEMBERS OF THE COMMUNITY AND ENGAGES THE COMMUNITY DURING DEVELOPMENT AND IMPLEMENTATION OF LAND USE POLICIES AND CODES.

Policy 188.00 The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. Throughout the application review process, there are opportunities for the public to review and obtain copies of the application materials prior to the Historic Landmark Committee’s decision. All members of the public have access to provide testimony and ask questions during the public review process.

McMinnville Zoning Ordinance

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) provide criteria applicable to the request:

Chapter 17.03. General Provisions

17.03.020 Purpose. The purpose of this ordinance is to encourage appropriate and orderly physical development in the City through standards designed to protect residential, commercial, industrial, and civic areas from the intrusions of incompatible uses; to provide opportunities for establishments to concentrate for efficient operation in mutually beneficial relationship to each other and to shared services; to provide adequate open space, desired levels of population densities, workable relationships between land uses and the transportation system, and adequate community facilities; to provide

assurance of opportunities for effective utilization of the land resource; and to promote in other ways public health, safety, convenience, and general welfare.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The purpose of the Zoning Ordinance is met by the proposal as described in the Conclusionary Findings contained in this Decision Document.

17.59.020 Applicability.

- A. The provisions of this Chapter shall apply to all lands located within the area bounded to the west by Adams Street, to the north by 4th Street, to the east by Kirby Street, and to the south by 1st Street. Lands immediately adjacent to the west of Adams Street, from 1st Street to 4th Street, are also subject to the provisions of this Chapter.
- B. The provisions of this ordinance shall apply to the following activities conducted within the above described area:
 1. All new building construction;
 2. Any exterior building or site alteration; and,
 3. All new signage.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. The subject site is located in the Downtown Design area. The proposal includes exterior building alterations per the following:

- Extend The Patio Roof: Approx 7’ over the south end of the patio and 3.5’ to the east end of the patio.
- Roof Support: Posts supporting the extended roof to be reclaimed timber wrapped 6x6
- Underside of Extended Roof: 2x6 tongue and groove ceiling material

Thus, the provisions of the Downtown Design Standards and Guidelines chapter are applicable. Findings for the proposed site alteration’s consistency with the applicable requirements of the Downtown Design Standards and Guidelines chapter are provided below.

17.59.030 Review Process.

- A. An application for any activity subject to the provisions of this ordinance shall be submitted to the Planning Department and shall be subject to the procedures listed in (B) through (E) below.
- B. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The application shall include the following information:
 1. The applicant shall submit two (2) copies of the following information:
 - a. A site plan (for new construction or for structural modifications).
 - b. Building and construction drawings.
 - c. Building elevations of all visible sides.
 2. The site plan shall include the following information:
 - a. Existing conditions on the site including topography, streetscape, curbcuts, and building condition.
 - b. Details of proposed construction or modification to the existing structure.
 - c. Exterior building elevations for the proposed structure, and also for the adjacent structures.
 3. A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.

Attachments :

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4. Photographs of the subject site and adjacent property.
 5. Other information deemed necessary by the Planning Director, or his/her designee, to allow review of the applicant's proposal. The Planning Director, or his/her designee, may also waive the submittal of certain information based upon the character and complexity (or simplicity) of the proposal.
- C. Review Process
1. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The Planning Director shall review the application and determine whether the proposed activity is in compliance with the requirements of this ordinance.
 2. The Planning Director may review applications for minor alterations subject to the review criteria stated in Section 17.59.040. The Historic Landmarks Committee shall review applications for major alterations and new construction, subject to the review criteria stated in Section 17.59.040. It shall be the Planning Director's decision as to whether an alteration is minor or major.
 3. Notification shall be provided for the review of applications for major alterations and new construction, subject to the provisions of Section 17.72.110.
 - a. The Historic Landmarks Committee shall meet within 30 (thirty) days of the date the application was deemed complete by the Planning Department. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action on the plans. A failure by the Planning Director or Historic Landmarks Committee, as applicable, to review within 30 (thirty) days shall be considered an approval of the application.
 - b. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity to be in compliance with the provisions of this ordinance, they shall approve the application.
 - c. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity in noncompliance with the provisions of this ordinance, they may deny the application, or approve it with conditions as may be necessary to bring the activity into compliance with this ordinance.

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #1. The applicant submitted an application as required, and the application will be reviewed by the Historic Landmarks Committee because the Planning Director has determined that the proposed construction activity constitutes a major alteration to the site.

A condition of approval is included to ensure that the eventual exterior façade remodel is consistent with what was reviewed and approved by the Historic Landmarks Committee. The condition requires that the applicant submit building permit applications prior to completing any work, and that the construction plans submitted with the building permit applications will be reviewed by the Planning Director for consistency with the written narrative, exhibits, drawings, and renderings submitted for review by the Historic Landmarks Committee, along with any revisions to respond to other conditions of approval.

17.59.040 Review Criteria

- A. In addition to the guidelines and standards contained in this ordinance, the review body shall base their decision to approve, approve with conditions, or deny the application, on the following criteria:
 1. The City's historic preservation policies set forth in the Comprehensive Plan;
 2. If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation

regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2); and

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. The building is not a contributing building in the McMinnville Historic District and per Section 17.65.040(A)(1) this building is excluded from the Certificate of Approval process.

17.65.040 Certificate of Approval Process. A property owner shall obtain a Certificate of Approval from the Historic Landmarks Committee, subject to the procedures listed in Section 17.65.050 and Section 17.65.060 of this chapter, prior to any of the following activities:

A. *The alteration, demolition, or moving of any historic landmark, or any resource that is listed on the National Register for Historic Places;*

1. Accessory structures and non-contributing resources within the National Register for Historic Places nomination are excluded from the Certificate of Approval process.

17.59.050 Building and Site Design.

A. Building Setback.

1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.
2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. The addition to the roof will extend to the existing building line relative to setbacks.

17.59.050 Building and Site Design

B. Building Design.

1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.
2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. This is an expansion to the permanent roof line of the third story of an existing building. This expansion would not significantly increase the building massing and since it is covering existing outdoor seating the overall configuration will not be modified.

17.59.050 Building and Site Design

B. Building Design.

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include:
 - a. A belt course separating the upper stories from the first floor;
 - b. A bulkhead at the street level;

- c. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;
- d. A recessed entry and transom with transparent door; and
- e. Decorative cornice or cap at the roofline.

APPLICANT'S RESPONSE: None.

FINDING: NOT SATISFIED. This design does not include a decorative cornice nor a cap at the roofline of the third floor. Since the third floor is setback this design requirement was not applied to that floor during the initial design approval.

Applicant is requesting a waiver for this design criteria. See 17.59.040 waiver criteria at the end of this section.

17.59.050 Building and Site Design

B. Building Design.

- 4. Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. This design is not a residential roof form.

17.59.050 Building and Site Design

B. Building Design.

- 5. The primary entrance to a building shall open on to the public right-of-way and should be recessed.

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. The primary entrances open on to the public right-of-way and are recessed.

17.59.050 Building and Site Design

B. Building Design.

- 6. Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical.

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. No new windows are proposed as part of this project.

17.59.050 Building and Site Design

B. Building Design.

- 7. The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. The scaling of the roofing and supports are proportional to the third story of this building, and are proportionally compatible with the original architecture of the building.

17.59.050 Building and Site Design

B. Building Design.

8. Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED: This project does not alter anything on the main floor of the building.

17.59.050 Building and Site Design

C. Building Materials.

1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.\
2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):
 - a. Wood, vinyl, or aluminum siding;
 - b. Wood, asphalt, or fiberglass shingles;
 - c. Structural ribbed metal panels;
 - d. Corrugated metal panels;
 - e. Plywood sheathing, to include wood paneling such as T-111;
 - f. Plastic sheathing; and
 - g. Reflective or moderate to high grade tinted glass.

APPLICANT’S RESPONSE: None.

FINDING: NOT SATISFIED: The proposed materials are reclaimed timber siding. Wood is a prohibited material in the downtown design standards. In addition to being a prohibited material it is not an existing building material found on registered historic buildings in the downtown area. The “painted wood” included in C(1) is generally reserved for window and door frames.

Applicant is requesting a waiver for this design criteria. See 17.59.040 waiver criteria at the end of this section.

17.59.050 Building and Site Design

C. Building Materials. [...]

3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #1. The applicant has provided an overall exterior color scheme for the project. A condition of approval has been provided requiring that the applicant match the color scheme provided when they apply for building permits. This will be review by the Planning Director prior to the issuance of building permits.

17.59.060 Surface Parking Lots.

- A. Surface parking lots shall be prohibited from locating on Third Street. In addition, vehicular access to parking lots from Third Street is prohibited.
- B. All parking lots shall be designed consistent with the requirements of Section 17.60.080 of the McMinnville Zoning Ordinance.

- C. A hedge or wall, thirty (30) inches in height, or dense landscaping within a buffer strip a minimum of five feet in width shall be placed along the street-side edge of all surface parking lots. Landscaping within the buffer strip shall include street trees selected as appropriate to the situation and spaced according to its type, shrubs spaced a minimum of three feet on center, and groundcover. A landscaping plan for this buffer shall be subject to review and approval by the McMinnville Landscape Review Committee. (Ord. 4797 §1, 2003).

APPLICANT'S RESPONSE: None.

FINDING: NOT APPLICABLE.

17.59.070 Awnings.

- A. Awnings or similar pedestrian shelters shall be proportionate to the building and shall not obscure the building's architectural details. If transom windows exist, awning placement shall be above or over the transom windows where feasible.
- B. Awnings shall be placed between pilasters.
- C. Where feasible, awnings shall be placed at the same height as those on adjacent buildings in order to maintain a consistent horizontal rhythm along the street front.
- D. Awnings should be constructed of soft canvas, fabric, or matte finished vinyl. The use of wood, metal or plastic awnings is prohibited.
- E. Awnings may be indirectly illuminated; internal illumination of awnings is prohibited.
- F. Awning colors shall be of a low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the awning are prohibited. (Ord. 4797 §1, 2003).

APPLICANT'S RESPONSE: None.

FINDING: NOT APPLICABLE unless third floor seating covering is not considered a roofline and needs to be considered an awning.

17.59.080 Signs.

- A. The use of flush-mounted signs, flag-mounted signs, window signs, and icon signs are encouraged. Sign materials shall be compatible with materials used in the building.
- B. ...
- C. ...
- D. ...
- E. ...

APPLICANT'S RESPONSE: None.

FINDING: NOT APPLICABLE No signs are proposed.

17.59.040 Review Criteria Waiver

- A. In addition to the guidelines and standards contained in this ordinance, the review body shall base their decision to approve, approve with conditions, or deny the application, on the following criteria:...
- 3. If applicable (waiver request), that all of the following circumstances are found to exist:
 - a. There is demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;
 - b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and
 - c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

APPLICANT'S RESPONSE:

a. The current structure's roofline design was created to assist in the scale and massing of the building relative to its neighbors while still providing for a 3rd floor space and an attractive rooftop seating area. To add a cornice to the patio cover extension would destroy the intentional scale and the rooftop design. Since this is not a "true" 3rd story it would seem to be a strange design addition. In addition the second floor of the building has a decorative cornice to help achieve the desired design standard.

The structure was originally granted a waiver for the use of wood siding. While we are not adding any siding we do plan to use stained wood posts. The posts will be stained a dark brown to match the rest of the posts on the building. Painting the wood posts would likely make this award winning building less cohesive since there are no other painted wood posts on the building.

b. Any alternative design to accomplish the same end would likely stick out like a sore thumb due to the current structure's design and materials. We aim to make this a seamless and beautiful addition to our building and 3rd Street.

c. Our aim is to simply extend the existing roofline (patio cover) with matching materials. We wish to keep with the aesthetics of the current building. We believe matching the post with the entrance beams and other wood accents on the building is the best option to achieve cohesiveness. This small cover addition will look like it has been part of the building since day one and without a cornice it will continue to keep the appropriate building scale and massing.

FINDING: UNSATISFIED. While staff agrees that the existing wood siding does create a demonstrable difficulty in meeting specific requirements because of a unique aspect of an existing structure (material), it is not clear that this alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein.

Approval of the waivers in 2012 suggest that part of the reason the simple, cornice and cap-free roof-line was allowed on the third floor was because it was not considered a full floor, it was pushed back from the edge of the building, and it was not in full view from the street below. Extending the third-floor roofline fully to the edge of the building would make this roofline in full view of the street. If this cover were not to be considered a roofline, and instead a permanent awning then it would not be in compliance with 17.59.070(D) requiring awnings to be constructed of soft canvas; Wood or metal awnings are prohibited.

Extending the wood siding ceiling materials out to the edge of the building would also increase the visibility of a prohibited downtown material to the street below. The applicant provides the conclusion that no other designs would work but does not provide any evidence supporting that conclusion.



Planning Department

231 NE Fifth Street • McMinnville, OR 97128
(503) 434-7311 Office • (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:

File No. DDR 2-24
Date Received 8/26/24
Fee \$1,881.00
Receipt No. 210360
Received by ALW

569-24-000188-PLNG

Downtown Design Standards & Guidelines Application

Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☒ Other contractor

Applicant Name Gregory Carter Phone (503) 560-2030

Contact Name _____ Phone _____
(If different than above)

Address 17821 Wallace Rd

City, State, Zip Dayton Oregon 97114

Contact Email gcarter@msn.com

Property Owner Information

Property Owner Name Ginger Enrick Phone _____
(If different than above)

Contact Name Ginger Enrick Phone (503) 435-7790

Address 1665 NW Mt. Washington Dr.

City, State, Zip Bend, OR 97703

Contact Email ginger.enrick@gmail.com

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 645 NE 3rd St.

Assessor Map No. R4 421 BC 04600 Total Site Area _____

Subdivision _____ Block _____ Lot _____

Comprehensive Plan Designation commercial Zoning Designation C-3

This request is for a:

☒ **Design Review**

☐ **Design Waiver**

1. Attach a written narrative that describes:

- A. The proposed project in detail, including descriptions of the architectural features and building materials being used;
- B. How the project meets the applicable downtown design standards and guidelines;
- C. How the project meets the historic preservation standards and guidelines (if applicable); and
- D. How the project will fit into the context of the downtown historic district.

2. As part of this application, is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so, explain in detail how the criteria for waiving a standard or guideline as listed in Section 17.59.040(A) have been met (*attach additional pages if necessary*). _____

In addition to this completed application, the applicant must provide the following:

- ☐ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size). For new construction or for structural modifications show the information listed in page one of the information sheet.
- ☐ Building and construction drawings including building elevations of all visible sides.
- ☐ A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
- ☐ Photographs of the subject site and adjacent property.
- ☐ Other information deemed necessary by the Planning Director.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

Applicant's Signature

Date

Property Owner's Signature

Date

8/20/2024

To Whom this may concern.

This written narrative is to describe the proposed construction of a patio cover on the third floor of the 1882 Building located at 645 NE 3rd St. McMinnville, Oregon.

Gregory Carter Construction has submitted plans to the city to construct a cover over the existing patio located on the 3rd floor of the building. It is our goal is to build the patio cover and have it look as if it was built at the same time as the original structure. We will do this by using the same materials or as close to the same materials as the original structure. These materials include reclaimed barnwood wrapped posts and beams, 2x6 tongue and groove ceiling and standing seam metal roof. This new patio cover will not exceed the current envelope, or protrude out further than the original structure. Our hope is that by using the very same materials as the original structure we will not disrupt the theme or look of the structure but enhance it while allowing clients to enjoy this patio all year long.

Thank you for your time and consideration.

Sincerely,

Greg Carter
Owner/ Operator Gregory Carter Construction.

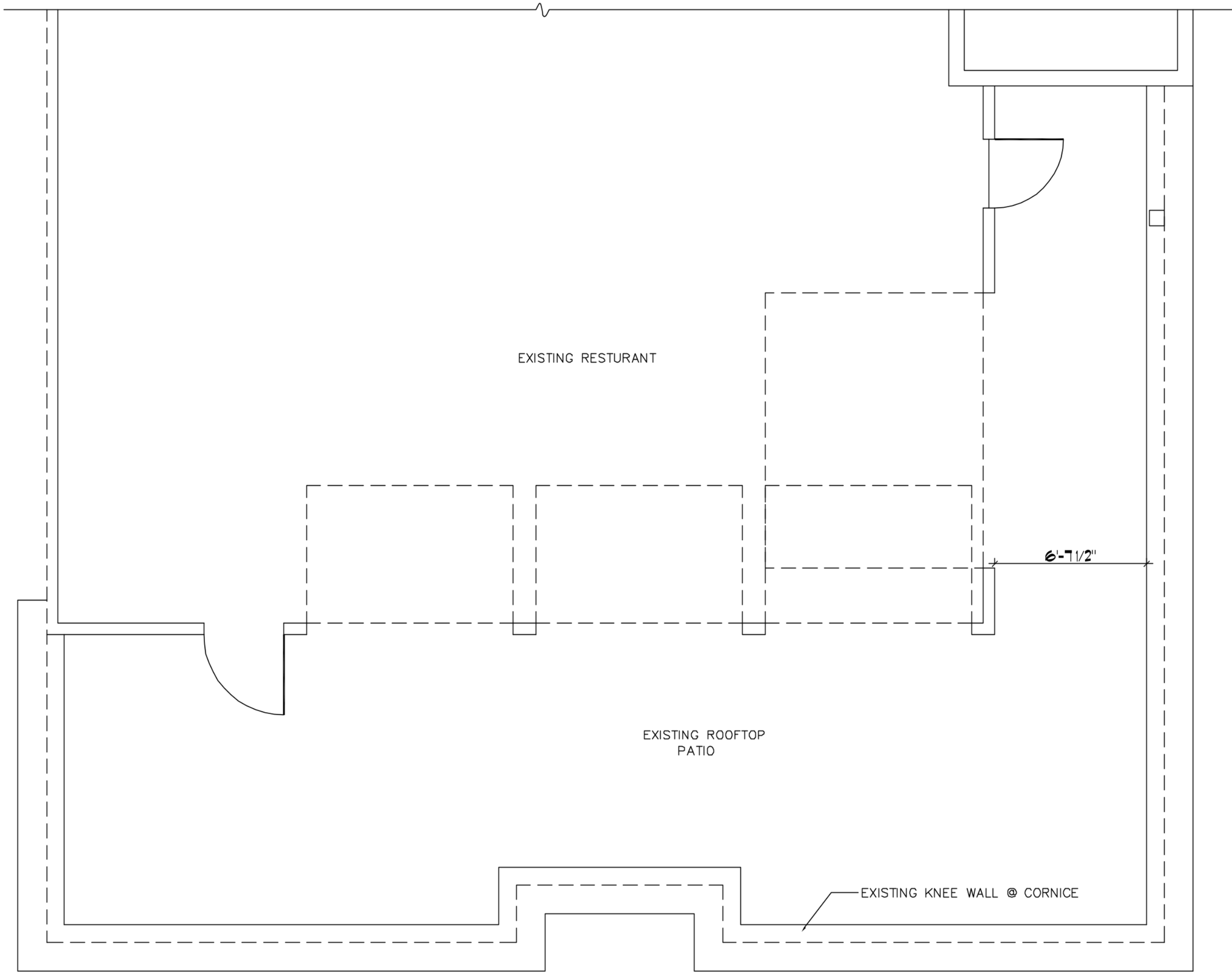




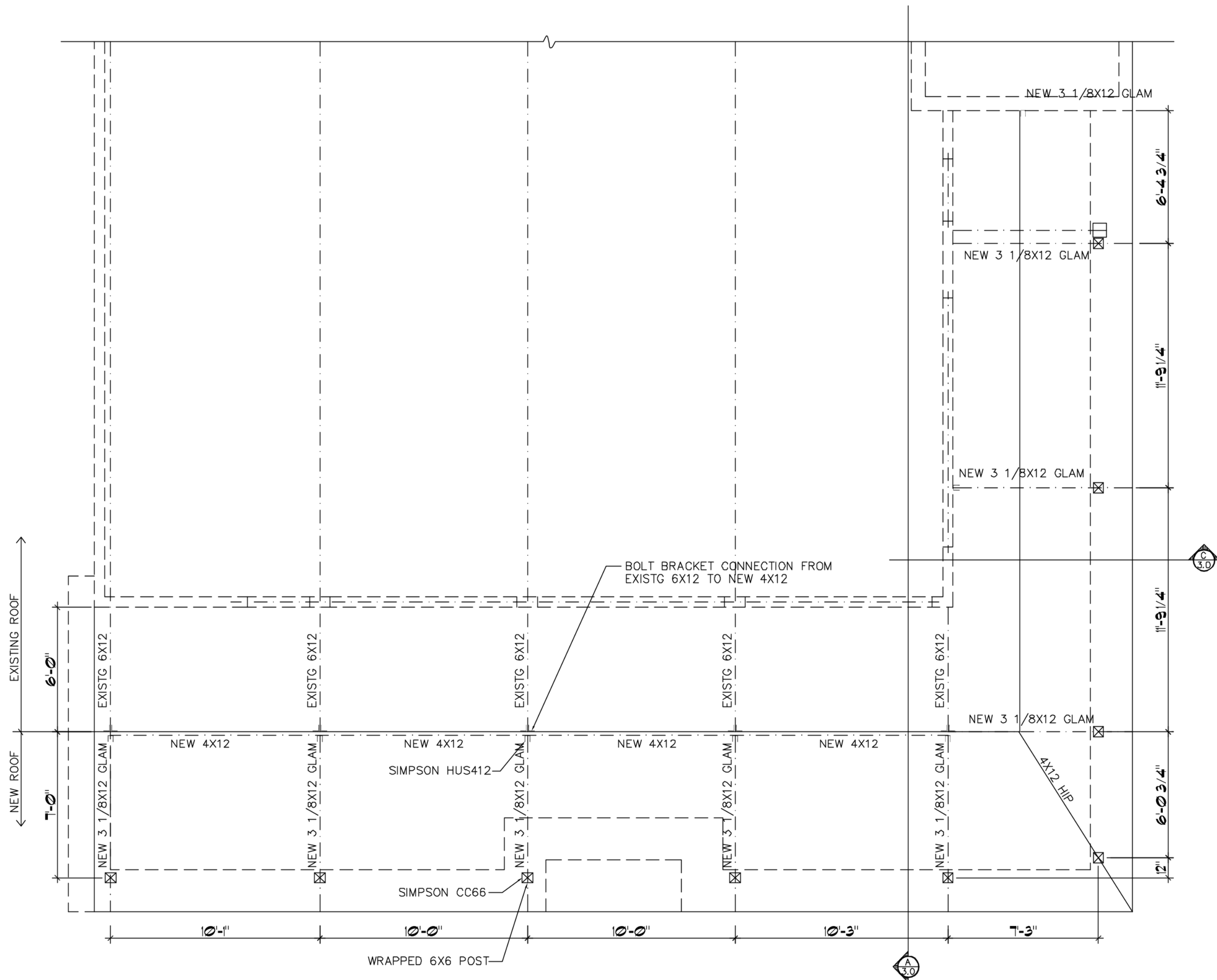








1
1.0 EXISTING ROOF PATIO PLAN
1/4"=1'-0"



2
1.0 NEW PATIO COVER ROOF PLAN
1/4"=1'-0"

GENERAL NOTES

GENERAL

- These notes are general in nature and are intended to set minimum standards for construction. The drawings shall govern over the General Notes to the extent shown.
- The contractor shall verify all dimensions and conditions on different drawings and in the field and notify the design agency of any discrepancies before proceeding.
- Contractor to provide all necessary temporary support for walls and floors prior to completion of vertical and lateral load systems.

CODES AND STANDARDS

- All work shall be in strict compliance with the following codes (latest edition).
 - State and local codes (verify with local building official).
 - Oregon Residential Specialty Code
 - ACI, AISC, and ASTM.

FOUNDATIONS

- Design soil pressure assumed to be 1,500 psf LL plus DL.
- All footings to bear on firm, undisturbed soil minimum 1'-6" below final grade. Notify design agency before proceeding if any unusual conditions are encountered in the footing excavations.
- Do not excavate closer than a 2:1 slope below existing footings.
- Clean all footing excavations of loose material by hand.

CONCRETE

- Average concrete strength shall be 3,000 psi for all uses (all concrete designed with 2,500 psi concrete, special inspection not required).
- Minimum Mix Requirements:
 - Slump: 2 to 4 inches. Deviation from design slump +\'' to -1\".
 - Air Entrainment: Per ACI at all exterior slabs.
 - Admix: Water reducing admix (Pozzolith or equal) for all slabs.
 - Aggregate to be crushed rock.
 - Sand Equivalent to be void of organic materials.
- Place and cure all concrete per ACI codes and standards.
- Provide control joints in all slabs on grade at 20'-0" o/c each way maximum unless otherwise shown on plans. Provide control joints in all exterior walks and slabs per architectural requirements..

REINFORCING

- All reinforcing steel to be A-615, grade 60. All wire fabric shall be supplied and laid in flat sheets and shall be chaired to proper position in slabs.
- Place all reinforcing per ACI codes and standards.
- Lap all continuous bars 30 diameters or 2'-0" minimum.
- Provide 2'-0" x 2'-0" corner bars to match horizontal reinforcing in walls and footings at all corners and intersections.
- Minimum clearances:
 - 3" to bottom of footing
 - 2" to exterior face of wall
 - 1 1/2" to inside face of wall
 - 1 1/4" from top in slabs on gradeCenter of wall

WOOD

- All lumber species and grades to be as follows:
 - Joists, beams and stringers Douglas Fir #2
 - 6" nom. & greater beams and stringers Douglas Fir #1
 - Bucks, blocking, bridging & misc Doug Fir or Hem Fir #2
 - 2 x 4 studs Doug Fir or Hem Fir "studs"
 - 2 x 6 studs and larger Press treated Doug Fir #2
 - Sills, plates, etc. embedded in or in contact with concrete, and exterior ledgers Douglas Fir #1
 - Posts Douglas Fir or Hem Fir #3
 - Decking - not exposed or better
- All joists or beams framing into (not bearing on) beams, headers, or girders shall be supported with "U" type "Simpson" or equal joist or beam hangers. All post beam and post footing connections to be made with "Simpson" post cap and post base connectors.
- Block solid between joist and rafters at bearing lines. Crossbridge joists 2x12 and deeper at 8'-0" maximum on center.
- Sheathing to be APA wood structural panels rated with exterior glue, nominal size as noted on the drawings. Install roof and floor sheathing with face grain perpendicular to supports and stagger end joints. Install wall sheathing either horizontal or vertical and block all edges of sheathing with 2x4 or thicker blocking. Block roof and floor sheathing where noted on drawings. See plans for nailing requirements.
- All laminated beams to be 24F-V4 DF/DF (at simple span beams) and 24F-V8 DF/DF (at cantilever beams) per AITC specification. Appearance grade to be industrial.
- Parallel strand lumber (PSL), Laminated veneer lumber (LVL), and Laminated Strand Lumber (LSL) to be manufactured from Western Species Lumber per manufacturer's specifications with the following stress ratings:

- | | |
|------------------------|--|
| a. Timber Strand (LSL) | $F_b = 2250 \text{ psi}$
$F_v = 285 \text{ psi}$
$E = 1,500,000 \text{ psi}$ |
| b. Microllam (LVL) | $F_b = 2600 \text{ psi}$
$F_v = 285 \text{ psi}$
$E = 1,800,000 \text{ psi}$ |
| c. Parallam (PSL) | $F_b = 2900 \text{ psi}$
$F_v = 290 \text{ psi}$
$E = 2,000,000 \text{ psi}$ |

- All nailing to be per ORSC Table No. 602.3(1) with common nails.
- All bolt heads and nuts bearing on wood to be provided with an oversized washer.
- Cutting and notching of joists not allowed. 1" diameter hole may be drilled in the center 1/3 of the member depth. All other holes to be approved.
- Studs may be notched in the lower 1/5 of the height of stud for electric and plumbing pipes, but no part of notch is to be deeper than 25% of width of stud. Holes of diameters up to 1/3 of width of stud may be drilled in studs but not in center 1/3 of their height.
- All plates, ledgers, and other wood members in contact with concrete or masonry shall be pressure treated. Ledger may be separated from concrete or masonry with 30# asphaltic felt.

DATE

JULY 22, 2024

REVISIONS

DESIGN
ALLIANCE

INSPIRED
ARCHITECTURAL
& INTERIOR DESIGN

LISA K. STONEBRIDGE
DESIGNER
designalliance.vpweb.com

1185 E. MAIN STREET
YAMHILL, OR 97148
PH 503.472.1539
designalliance2@gmail.com

1885 GRILLE PATIO COVER
645 NE 3RD STREET, MCMNNVILLE, OREGON
EXISTING ROOF PATIO & NEW PATIO COVER EXTENSION PLAN

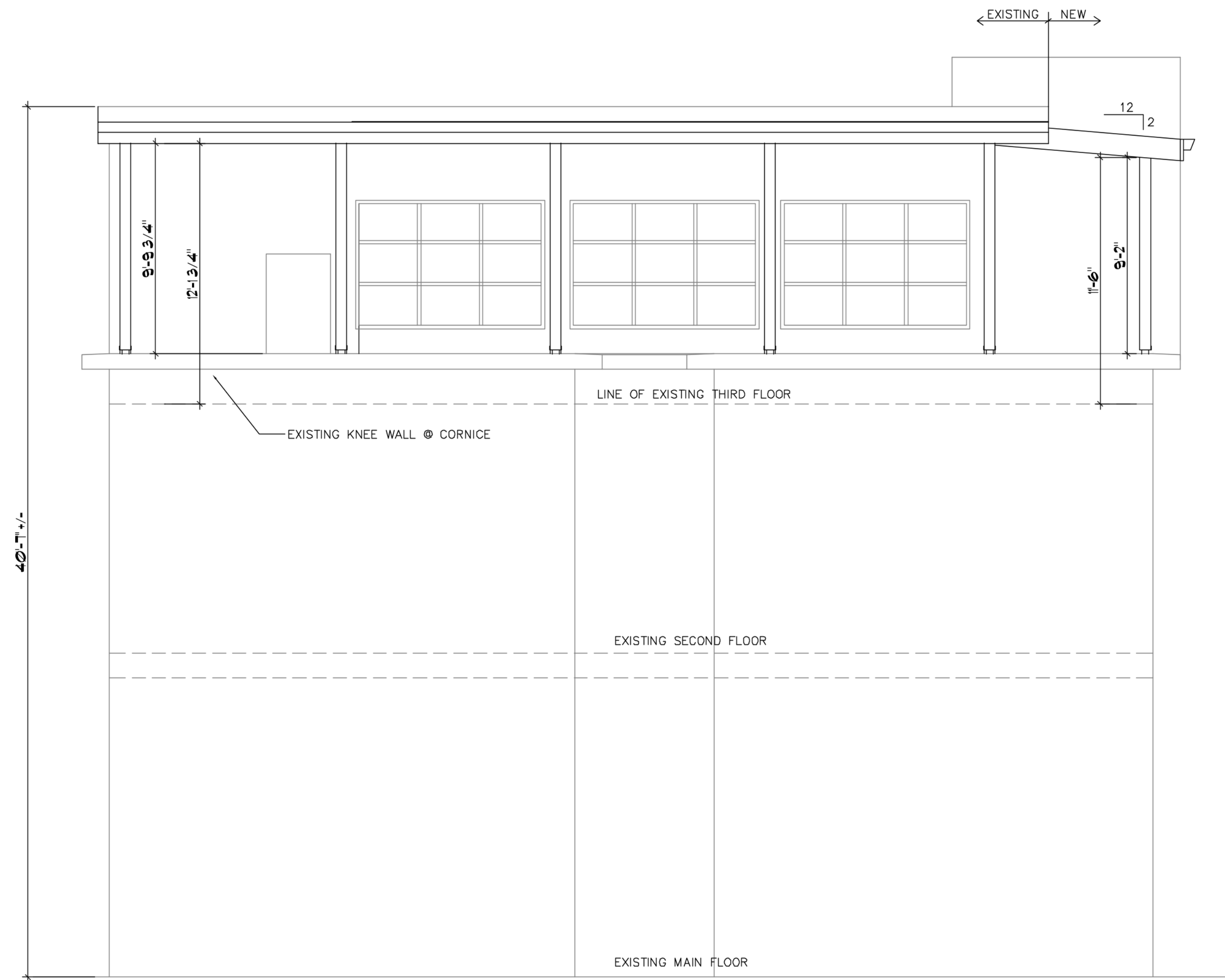
PROJECT NO. 2024

PATIO COVER

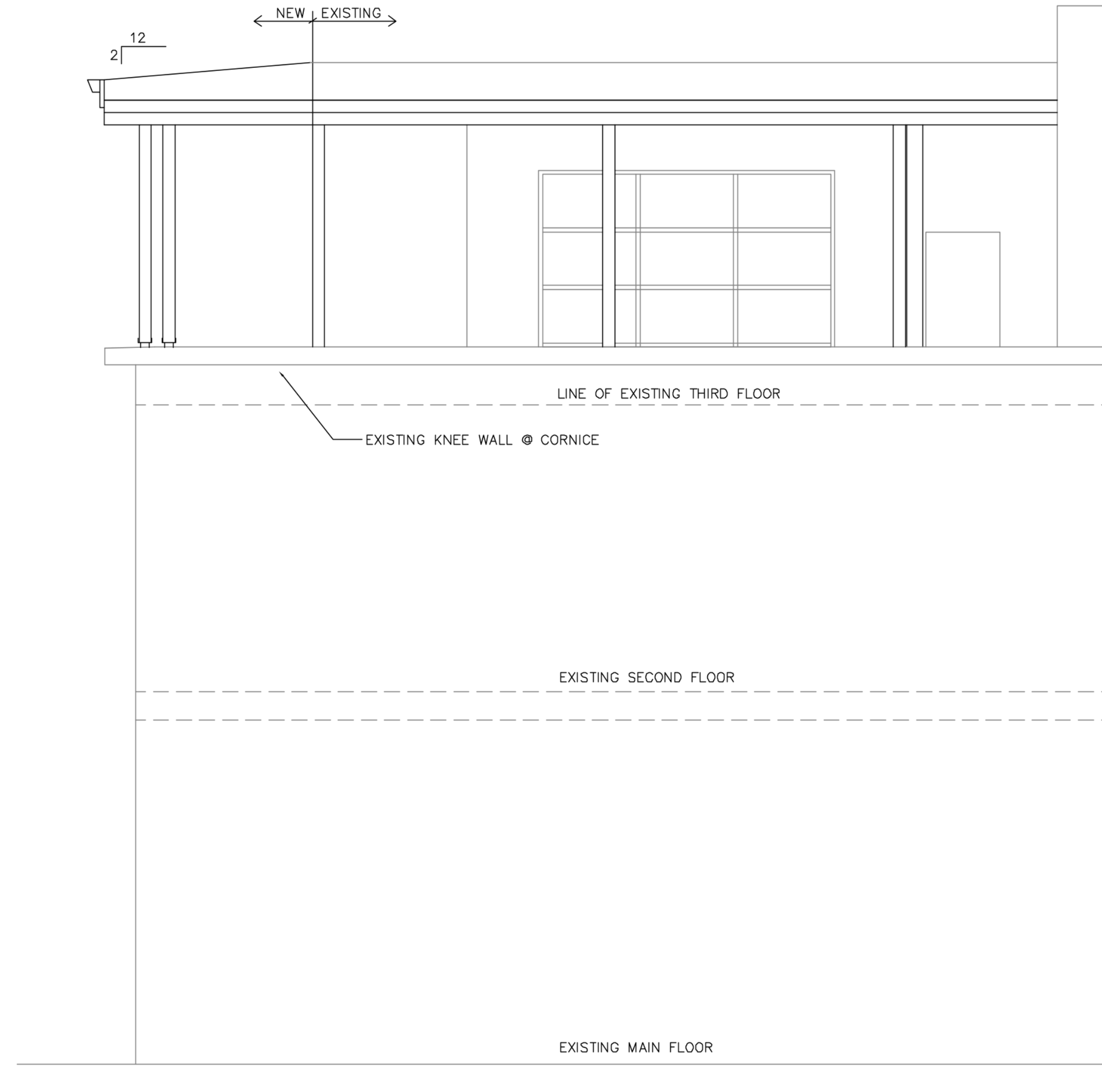
SHEET

1.0

OF 3



1 SOUTH ELEVATION
2.0 1/4"=1'-0"

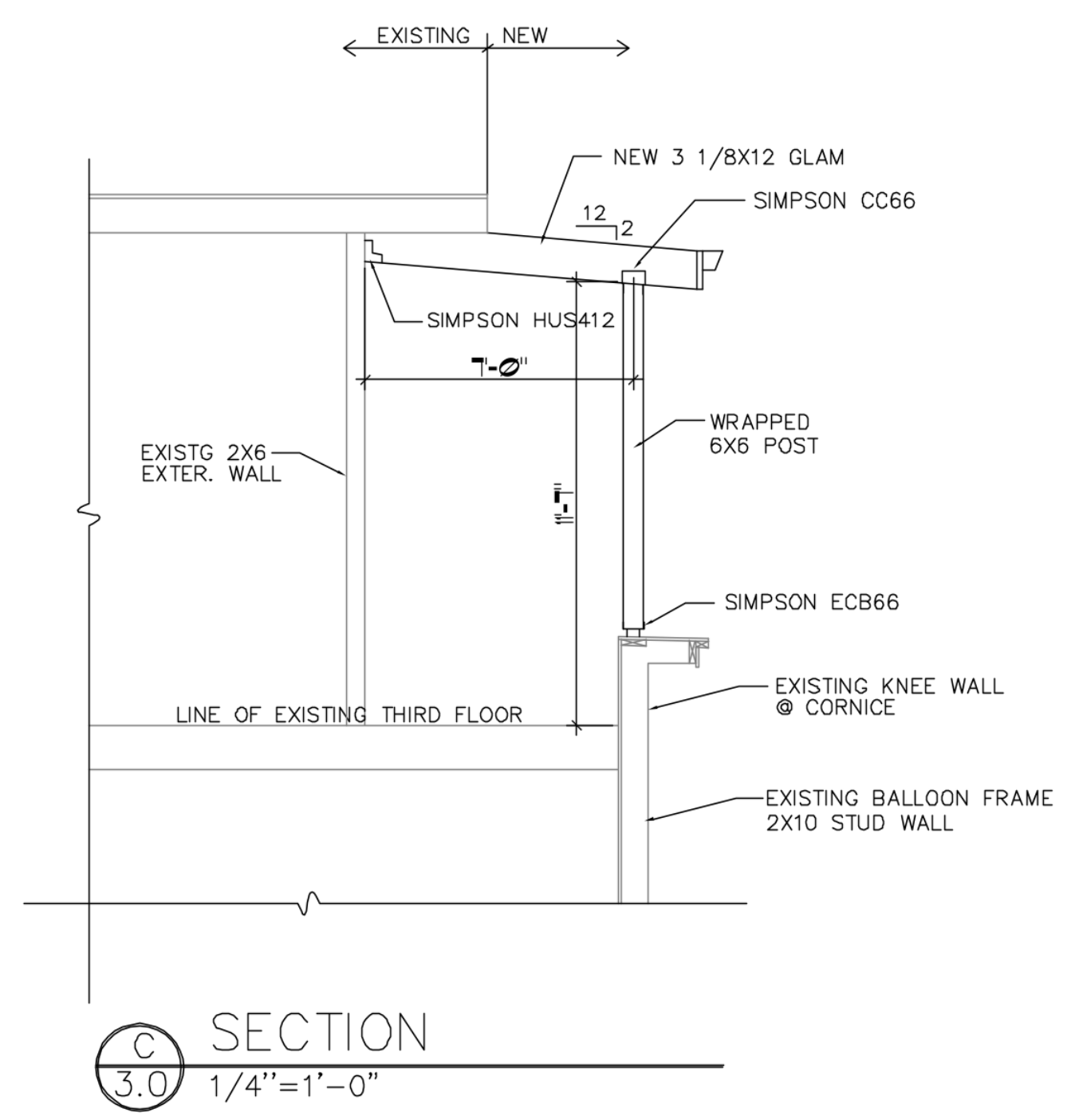
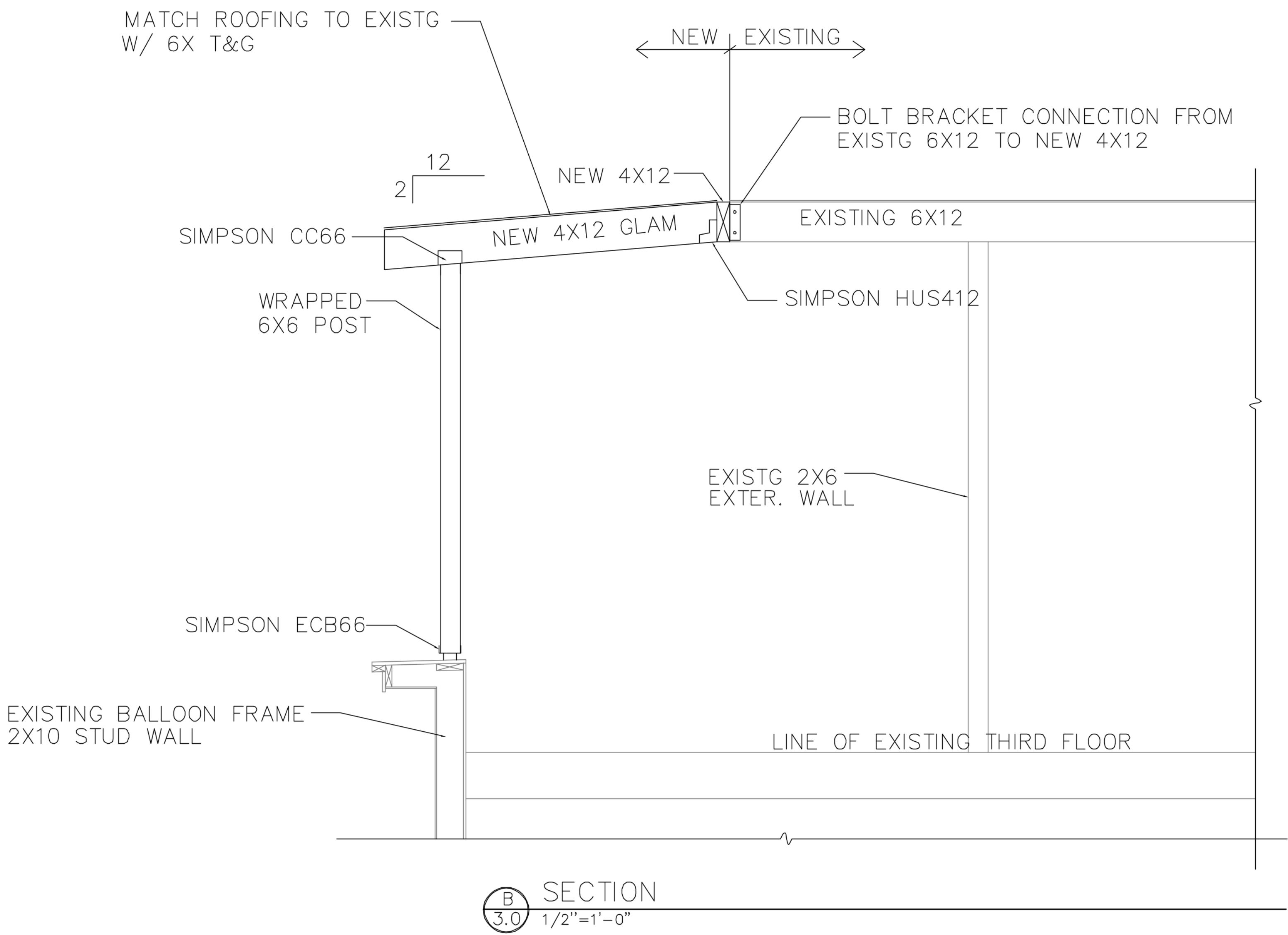
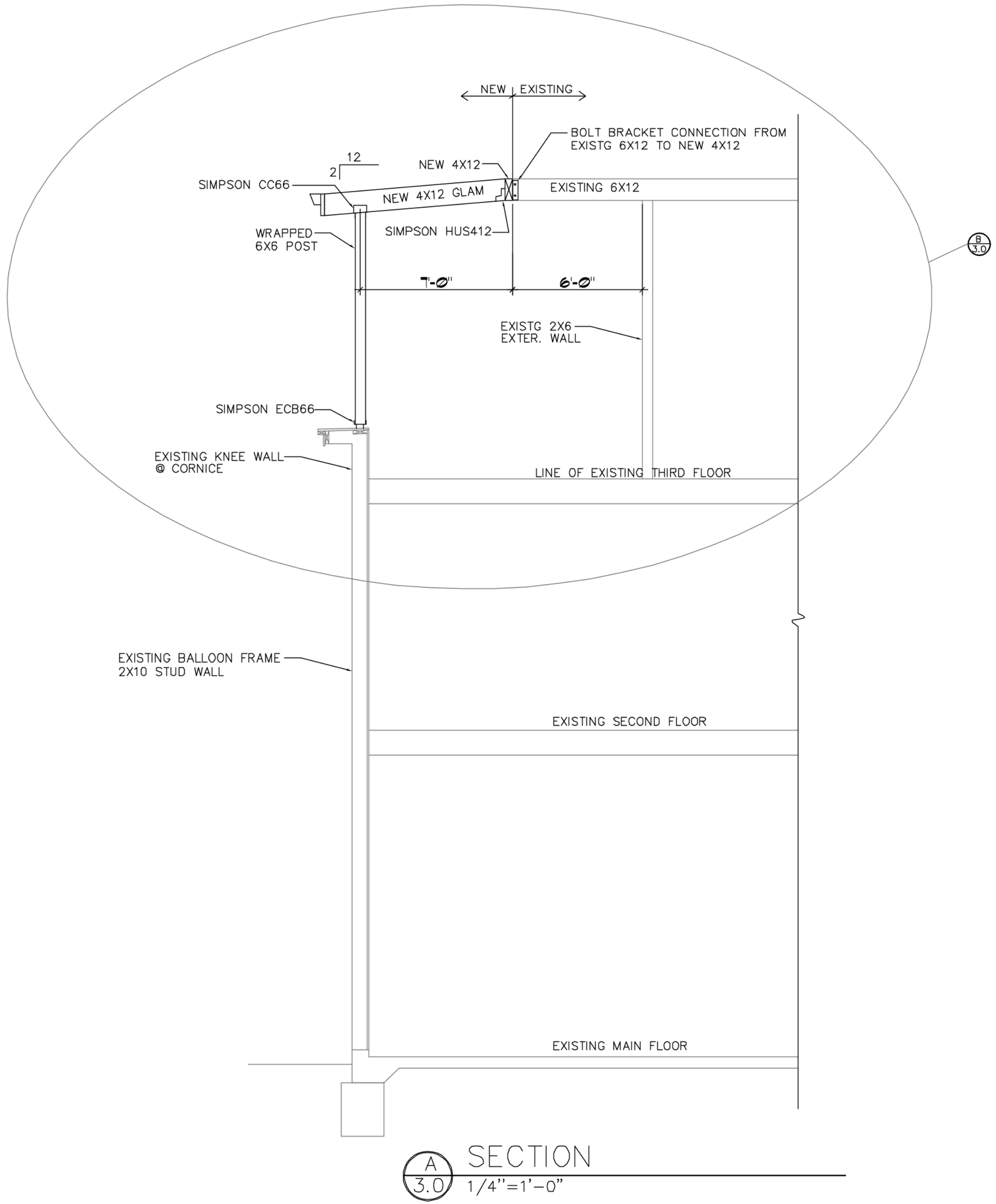


2 EAST ELEVATION
2.0 1/4"=1'-0"

DATE
JULY 22, 2024
REVISIONS

DESIGN ALLIANCE
INSPIRED
ARCHITECTURAL
& INTERIOR DESIGN
—o—o—
LISA K. STONEBRIDGE
DESIGNER
designalliance.vpweb.com
—o—o—
1185 E. MAIN STREET
YAMHILL, OR 97148
PH 503.472.1539
designalliance2@gmail.com

1885 GRILLE PATIO COVER
645 NE 3RD STREET, MCMINNVILLE, OREGON
ELEVATIONS



DATE	JULY 22, 2024
REVISIONS	
DESIGN ALLIANCE INSPIRED ARCHITECTURAL & INTERIOR DESIGN LISA K. STONEBRIDGE DESIGNER designalliancevpweb.com 1185 E. MAIN STREET YAMHILL, OR 97148 PH 503.472.1539 designalliance2@gmail.com	
PROJECT NO. 2024 PATIO COVER SHEET 3.0 OF 3	

1885 GRILLE PATIO COVER
 645 NE 3RD STREET, MCNNVILLE, OREGON
 SECTIONS

Cover Glam Beams

BeamChek v2018 licensed to: Lisa Stonebridge/Design Alliance Reg # 2999-68544

Date: 7/24/24

Selection

3-1/8x 12 GLB 16F-V2 HF/HF

Lu = 7.0 Ft

Conditions

NDS 2015

Min Bearing Area R1= 0.6 in² R2= 0.6 in² (1.5) DL Defl= <0.01 in Recom Camber= <0.01 in.

Data

Beam Span	7.5 ft	Reaction 1 LL	150 #	Reaction 2 LL	150 #
Beam Wt per ft	9.11 #	Reaction 1 TL	278 #	Reaction 2 TL	278 #
Bm Wt Included	68 #	Maximum V	278 #		
Max Moment	521 #	Max V (Reduced)	204 #		
TL Max Defl	L / 240	TL Actual Defl	L / >1000		
LL Max Defl	L / 360	LL Actual Defl	L / >1000		

Attributes

Section (in³) Shear (in²) TL Defl (in) LL Defl

Actual	75.00	37.50	0.01	<0.01
Critical	4.02	1.57	0.38	0.25
Status	OK	OK	OK	OK
Ratio	5%	4%	3%	2%

Values

	Fb (psi)	Fv (psi)	E (psi x mil)	Fc _L (psi)
Reference Values	1600	195	1.4	500
Adjusted Values	1554	195	1.4	500

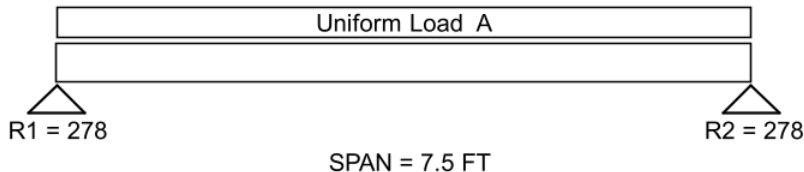
Adjustments

Cv Volume	1.000			
Cd Duration	1.00	1.00		
Cr Repetitive	1.00			
Ch Shear Stress		N/A		
Cm Wet Use	1.00	1.00	1.00	1.00
CI Stability	0.9712	Rb = 14.58	Le = 14.42 Ft	

Loads

Uniform LL: 40

Uniform TL: 65 = A



Uniform and partial uniform loads are lbs per lineal ft.

GENERAL PROPERTY INFO:
ADDRESS: 645 NE 3RD STREET, MCMINNVILLE OREGON 97128

PROPERTY DESCRIPTION:
NW 1/4 Section 21, T. 4 S., R. 4 W., WM.,
Block 7, ROWLAND'S ADDITION to the
City of McMinnville, Yamhill Co., OR
Tax Lot: 44211BC - 4100 & 4600
PROPERTY AREA: +/- 12,004 SQ.FT.

ZONING SUMMARY:
ZONE: C3, GENERAL COMMERCIAL
DISTRICT: 3RD STREET NATIONAL HISTORIC DISTRICT
SETBACKS: 20' SIDE & REAR YARD WHEN ADJACENT
TO RESIDENTIAL ZONE
HEIGHT: 80' MAXIMUM

OCCUPANCY:
FIRST FLOOR: A-2 RESTAURANT, BAR
SECOND FLOOR: B OFFICE
THIRD FLOOR: A-2 RESTAURANT, BAR

CONSTR TYPE: VA (TYPE 5, 1 HOUR RATED)
FIRE SUPPRESSION SYSTEM:
AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.
SPRINKLER SYSTEM TO INCLUDE APPROVED WATER CURTAIN
AT WINDOW OPENINGS WHERE PROTECTION IS REQUIRED.
SPRINKLER CONCEALED SPACES WHERE REQUIRED.
STANDPIPE NOT REQUIRED PER OSSC 905.3.1: NO FLOOR
LEVEL 30" ABOVE FIRE DEPARTMENT VEHICLE ACCESS.
SPRINKLERS TO BE PROVIDED AT ROOFTOP PATIO.

LIFE SAFETY:
CONTRACTOR TO PROVIDE EGRESS ILLUMINATION,
EXIT SIGNS, FIRE EXTINGUISHERS, FIRE ALARMS,
OCCUPANCY POSTING, AND CARBON MONOXIDE
DETECTORS AS REQUIRED BY CODE.

BUILDING AREA SUMMARY:
MAIN FLOOR: 4,733 SQ.FT.
2ND FLOOR: 4,244 SQ.FT.
3RD FLOOR (ENCLOSED): 3,354 SQ.FT.
TOTAL CONDITIONED SPACE: 12,331 SQ.FT.
3RD FLOOR PATIO: 862 SQ.FT.
TOTAL INCLUDING ROOFTOP PATIO: 13,193 SQ.FT.

CHAPTER 5: BUILDING HEIGHT & AREA
MIXED USE, NON-SEPARATED OCCUPANCY (PER OSSC 508.3)

ALLOWABLE HEIGHT AND AREA: BASED ON MOST RESTRICTIVE OF OCCUPANCY GROUPS
TABLE 503:
OCCUPANCY: A2 (MOST RESTRICTIVE)
CONSTRUCTION TYPE: VA (TYPE 5, 1 HOUR RATED)
MAXIMUM HEIGHT (FEET) 50 + 20' = 70' ABOVE GRADE PLANE (ACTUAL HT, +/- 43')
MAXIMUM HEIGHT (STORIES) 2 + 1' = 3 STORIES ABOVE GRADE PLANE
MAXIMUM AREA PER STORY: 11,500 SQ.FT. PER STORY (WITHOUT AREA INCREASES)

*HEIGHT INCREASE ALLOWED PER OSSC 504.2 BY PROVIDING AN APPROVED AUTOMATIC
SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 (NFPA 13 SYSTEM)

CHAPTER 6: CONSTRUCTION TYPE
CONSTRUCTION TYPE: VA (TYPE 5, 1 HOUR RATED)

FIRE RATING, TABLE 601:
PRIMARY STRUCTURAL FRAME 1 HOUR*
INTERIOR BEARING WALLS 1 HOUR
EXTERIOR BEARING WALLS 1 HOUR**
NON-BEARING WALLS & PARTITIONS NOT-RATED***
FLOOR CONSTRUCTION & SECONDARY MEMBERS 1 HOUR
ROOF CONSTRUCTION & SECONDARY MEMBERS 1 HOUR OR TIMBER FRAMED
STAIRWAYS 1 HOUR
SHAFT ENCLOSURES 1 HOUR
EXIT ENCLOSURES 1-HOUR

* EXPOSED GLU-LAM COLUMNS & BEAMS ARE OVERSIZED TO PROVIDE 1 HOUR FIRE RATING
REFER TO STRUCTURAL FOR ADD'L INFO.

EXTERIOR BEARING WALLS:
SOUTH, EAST & NORTH EXTERIOR WALLS: 1HR FIRE RATED FROM THE INSIDE ONLY (OSSC 705.5)
WEST WALL (0 TO 10 FT FROM PROPERTY LINE): 1 HR FIRE RATED FROM BOTH SIDES

ENGINEER OBSERVATION & SPECIAL INSPECTIONS:

GEOTECHNICAL OBSERVATION IS REQUIRED, PER GEOTECH REPORT DATED OCTOBER 9, 2012.
PROVIDE COPY OF REQUIRED REPORTS TO THE CITY OF MCMINNVILLE BUILDING DEPARTMENT.

PERIODIC FIELD OBSERVATION IS REQUIRED BY THE STRUCTURAL ENGINEER OF RECORD.
PROVIDE COPY OF STRUCTURAL FIELD OBSERVATION REPORTS TO THE CITY OF MCMINNVILLE
BUILDING DEPARTMENT.

SPECIAL INSPECTIONS ARE REQUIRED PER SHEET S0.4 AND ACCORDING TO THE CITY'S
SPECIAL INSPECTIONS REQUIREMENTS.

CHAPTER 7: FIRE AND SMOKE PROTECTION

EXTERIOR WALL OPENINGS:

OPENINGS AT NORTH, SOUTH & EAST WALLS (TABLE 705.8):
FIRE SEPARATION DISTANCE GREATER THAN 30' = NO LIMIT, NO PROTECTION REQUIRED

WINDOW OPENINGS AT WEST EXTERIOR WALL (TABLE 705.8):
FIRE SEPARATION DISTANCE OF 5' TO LESS THAN 10': 25% (PROTECTED)
WEST WALL AREA, 3RD STORY: 872 SQ.FT. X 25% = 218 SQ.FT. MAX WINDOW ALLOWED.
PROPOSED WINDOW AREA, THIRD STORY: 150 SQ.FT.

VERTICAL EXPOSURE FOR BUILDINGS ON SEPARATE LOTS (705.8.6.2):
ALL OPENINGS IN EXTERIOR WALL TO BE 3/4 HOUR RATED* WHEN:
-LESS THAN 15' ABOVE THE ROOF OF THE EXISTING BUILDING
-LESS THAN 15' BETWEEN BUILDINGS

*705.8.2 PROTECTED OPENINGS.
EXCEPTION: OPENING PROTECTIVES ARE NOT REQUIRED WHERE THE BUILDING IS
EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE
WITH SECTION 903.3.1.1 AND THE EXTERIOR OPENINGS ARE PROTECTED BY A WATER
CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THAT USE.

PARAPETS:
NO PARAPETS REQUIRED PER OSSC 705.11 EXCEPTION 6.
PARAPETS ARE NOT REQUIRED AT WALLS THAT HAVE
A FIRE SEPARATION DISTANCE OF GREATER THAN 5 FEET.

SHAFT OPENINGS:
ELEVATOR DOORS TO MEET REQUIREMENTS FOR FIRE AND SMOKE
BARRIERS, AND BE SELF OR AUTOMATIC CLOSING BY SMOKE DETECTION.

TABLE 715.4: FIRE & SMOKE RATED DOORS:
EXIT ENCLOSURE (STAIR) DOORS: 1 HOUR PROTECTION RATING

CHAPTER 11: ACCESSIBILITY

DINING SURFACES:
5% OF DINING SURFACES SHALL BE ACCESSIBLE AND DISTRIBUTED THROUGHOUT
THE FACILITY.

CHAPTER 10: MEANS OF EGRESS

OCCUPANT LOAD:
FIRST FLOOR: 148 OCC
SECOND FLOOR: 36 OCC
THIRD FLOOR: 148 OCC
TOTAL OCCUPANTS: 332 OCC

OCCUPANT LOAD FACTORS USED:
FUNCTION OF SPACE FLOOR AREA PER OCCUPANT
DINING AREAS 15 NET
BAR SEATING AREAS 7 NET
LOBBY 30 GROSS
STORAGE, MECHANICAL 300 GROSS
OFFICE, BREAKROOM 100 GROSS
KITCHENS 200 GROSS

EGRESS COMPONENTS:
STAIRS: 3" X NUMBER OF OCCUPANTS = MINIMUM WIDTH
STAIR 1 & 2: 3" X 92 OCC = 27.6" DEFAULT TO: 44" MINIMUM STAIR WIDTH

OTHER EGRESS COMPONENTS: 2" X # OF OCCUPANTS = MINIMUM WIDTH
TYPICAL DOORS, U.N.O: 32" CLEAR, MINIMUM
DOORS @ CLOSETS < 10 SQ.FT: NO MINIMUM
EXIT DOOR #102.1: 0.2" X 164 OCC = 32.8" CLEAR, MINIMUM
HANDRAIL HEIGHTS: 34" TO 38" ABOVE FLOOR OR NOSING
GUARDRAIL HEIGHTS: 42" ABOVE FLOOR OR NOSING, WITH NO
OPENINGS GREATER THAN 4" DIA.
GUARDRAILS REQUIRED WHERE FALL IS
30" OR GREATER.
HANDRAIL DIMENSIONS: 1.5" CLR FROM WALL, 1.25" TO 2" DIA.

EXIT ACCESS DOORWAYS:
OSSC 1015.2.1 EXCEPTION 2: IN A SPRINKLERED BUILDING, EXIT ACCESS
DOORWAYS SHALL BE SEPARATED BY ONE THIRD OF THE LENGTH
OF THE OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
OVERALL BUILDING DIAGONAL: 102'-0" EXITS TO BE SEPARATED BY 34'-0" MIN
3RD FLOOR PATIO DIAGONAL: 63'-0" EXITS TO BE SEPARATED BY 21'-0"

EXIT ACCESS TRAVEL DISTANCE:
TABLE 1016.1: OCCUPANCY A, SPRINKLERED: 250'
OCCUPANCY B, SPRINKLERED: 300'

COMMON PATH OF EGRESS TRAVEL (BEFORE OPTION OF TWO EXITS):
A OCC, AREA UNDER 50 OCC: 75' MAXIMUM (PER OSSC 1028.8, EXCEPTION 1)
A OCC, AREA WITH 50 OR MORE OCC: 30' MAXIMUM (PER OSSC 1028.8)
OTHER OCCUPANCIES: 75' (PER OSSC 1014.3)

STAIR #1:
OSSC 1016.1 EXCEPTION 3: ALLOW ONE UNENCLOSED EXIT ACCESS STAIRWAY
TO CONNECT THE 2ND AND 3RD FLOORS ONLY.

OSSC 1027.1 EXCEPTION 1: 50% OF THE EXIT ENCLOSURES IS PERMITTED TO
EGRESS THROUGH AREAS ON THE LEVEL OF EXIT DISCHARGE PROVIDED THE
EXIT DOOR IS VISIBLE, THE PATH IS UNOBSTRUCTED AND THE BUILDING IS
SPRINKLERED.

CHAPTER 29: PLUMBING SYSTEMS

TABLE 29-A MINIMUM PLUMBING FIXTURES:

FIRST FLOOR:

EMPLOYEE RESTROOMS:
(BASED ON NUMBER OF EMPLOYEES ON LARGEST SHIFT = 15)

EMPLOYEE WATER CLOSET REQUIRED: 1 UNISEX*
EMPLOYEE WATER CLOSET PROVIDED: 1 UNISEX.

*PER 2902.3 EXCEPTION #1, SEPARATE FACILITIES NOT REQUIRED
WHEN SERVING 15 OR FEWER OCCUPANTS.

PUBLIC RESTROOMS:
2765 GROSS SQ.FT. (OPEN TO PUBLIC) / 30 = 93 OCCUPANTS
47 MALE & 47 FEMALE

WATER CLOSETS REQUIRED: 2 MALE 2 FEMALE
WATER CLOSETS PROVIDED: 2 MALE 3 FEMALE
(+1 ADD'L URINAL)
LAVATORIES REQUIRED: 2 MALE 2 FEMALE
LAVATORIES PROVIDED: 2 MALE 2 FEMALE

SECOND FLOOR:

4244 GROSS SQ.FT. / 200 = 22 OCCUPANTS
11 MALE & 11 FEMALE

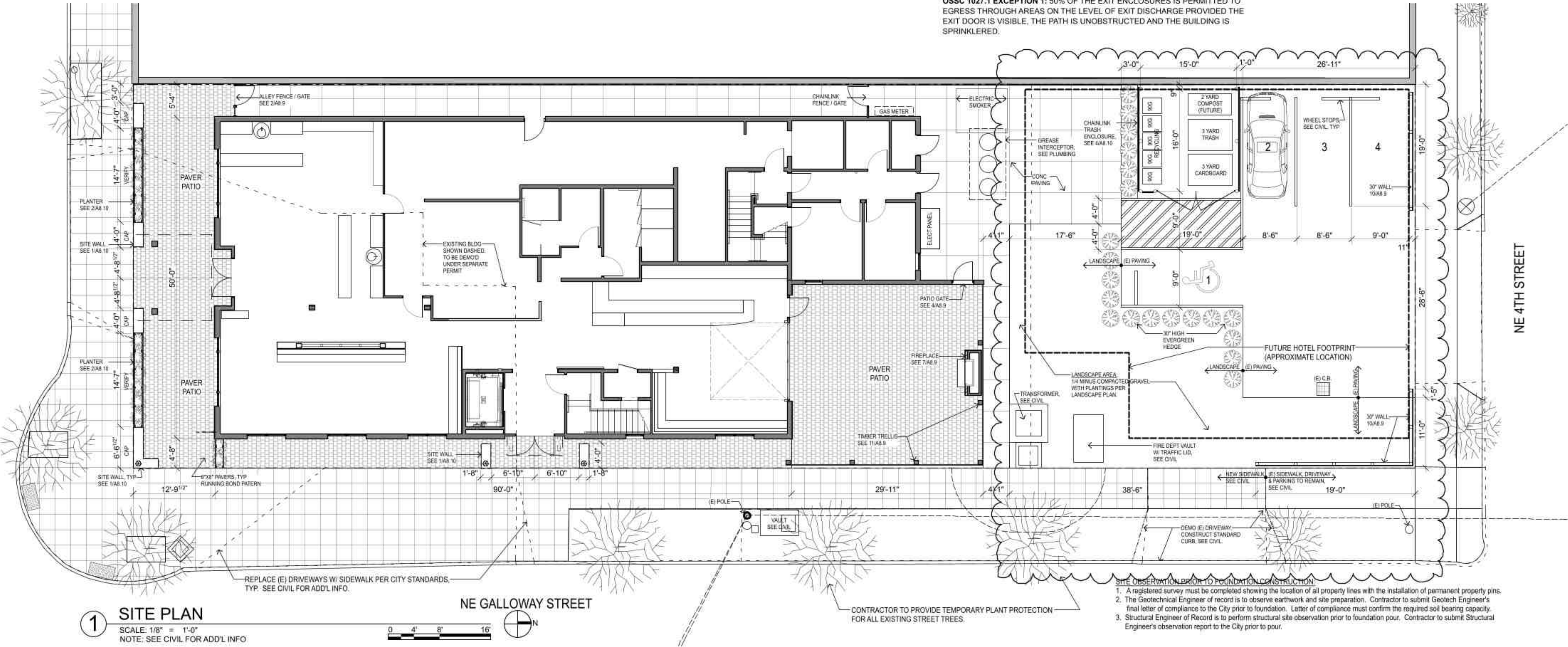
WATER CLOSETS REQUIRED: 1 MALE 1 FEMALE
WATER CLOSETS PROVIDED: 1 MALE 1 FEMALE

LAVATORIES REQUIRED: 1 MALE 1 FEMALE
LAVATORIES PROVIDED: 1 MALE 1 FEMALE

THIRD FLOOR:

4216 GROSS SQ.FT. / 30 = 141 OCCUPANTS
71 MALE & 71 FEMALE

WATER CLOSETS REQUIRED: 2 MALE 2 FEMALE
WATER CLOSETS PROVIDED: 2 MALE 2 FEMALE
(+1 ADD'L URINAL)
LAVATORIES REQUIRED: 2 MALE 2 FEMALE
LAVATORIES PROVIDED: 2 MALE 2 FEMALE



1

SITE PLAN

SCALE: 1/8" = 1'-0"
NOTE: SEE CIVIL FOR ADD'L INFO

0 4' 8' 16'



NE GALLOWAY STREET

CONTRACTOR TO PROVIDE TEMPORARY PLANT PROTECTION
FOR ALL EXISTING STREET TREES.

- SITE OBSERVATION PRIOR TO FOUNDATION CONSTRUCTION**
1. A registered survey must be completed showing the location of all property lines with the installation of permanent property pins.
 2. The Geotechnical Engineer of record is to observe earthwork and site preparation. Contractor to submit Geotech Engineer's final letter of compliance to the City prior to foundation. Letter of compliance must confirm the required soil bearing capacity.
 3. Structural Engineer of Record is to perform structural site observation prior to foundation pour. Contractor to submit Structural Engineer's observation report to the City prior to pour.

KAOS BUILDING

KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

PERMIT SET 3/31/14

DATE REVISION
8/21/14 FOR CONSTRUCTION SET

REGISTERED ARCHITECT
NATHAN T. COOPERIDER
PORTLAND, OREGON
STATE OF OREGON

A1.0
SITE PLAN

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GENERAL NOTES

1. EXTERIOR DIMENSIONS TO F.O. CONC OR F.O. PLYWOOD, U.N.O.
INTERIOR DIMENSIONS TO F.O. FRAMING UNLESS OTHERWISE NOTED.
CLEAR DIMENSION TO F.O. FINISH.
2. VERIFY WINDOW & DOOR ROUGH OPENINGS PRIOR TO FRAMING.
3. SEE INTERIOR DRAWINGS FOR FINISHES, CASEWORK & FURNITURE.
4. SEE A0 FOR LIFE SAFETY NOTES & FIRE RATING REQUIREMENTS.
5. SEE STRUCT, MECH, ELECT, PLUMBING, & KITCHEN DRAWINGS FOR ADDITIONAL INFORMATION.
6. ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
7. PROVIDE DEFLECTION TRACK AT NON-LOAD BEARING PARTITIONS. SEE STRUCTURAL FOR DETAIL. PARTITIONS EXTEND TO STRUCTURE ABOVE U.N.O.

1ST FLOOR: 8. EXTERIOR WALLS ARE TYPE W-01 UNLESS NOTED OTHERWISE.

LEGEND

- ROOM NAME

OCC
- DIRECTION OF EMERGENCY EGRESS TRAVEL
COMBINED NUMBER OF OCCUPANTS
- EXIT SIGN, CEILING OR HIGH-WALL MOUNTED
READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL
SEE ELECTRICAL FOR ADDITIONAL INFO.
- RECESSED FIRE EXTINGUISHER CABINET
- WALL HUNG FIRE EXTINGUISHER
- W-01
WALL / FLOOR / ROOF TYPE, SEE A8.0 & A8.1

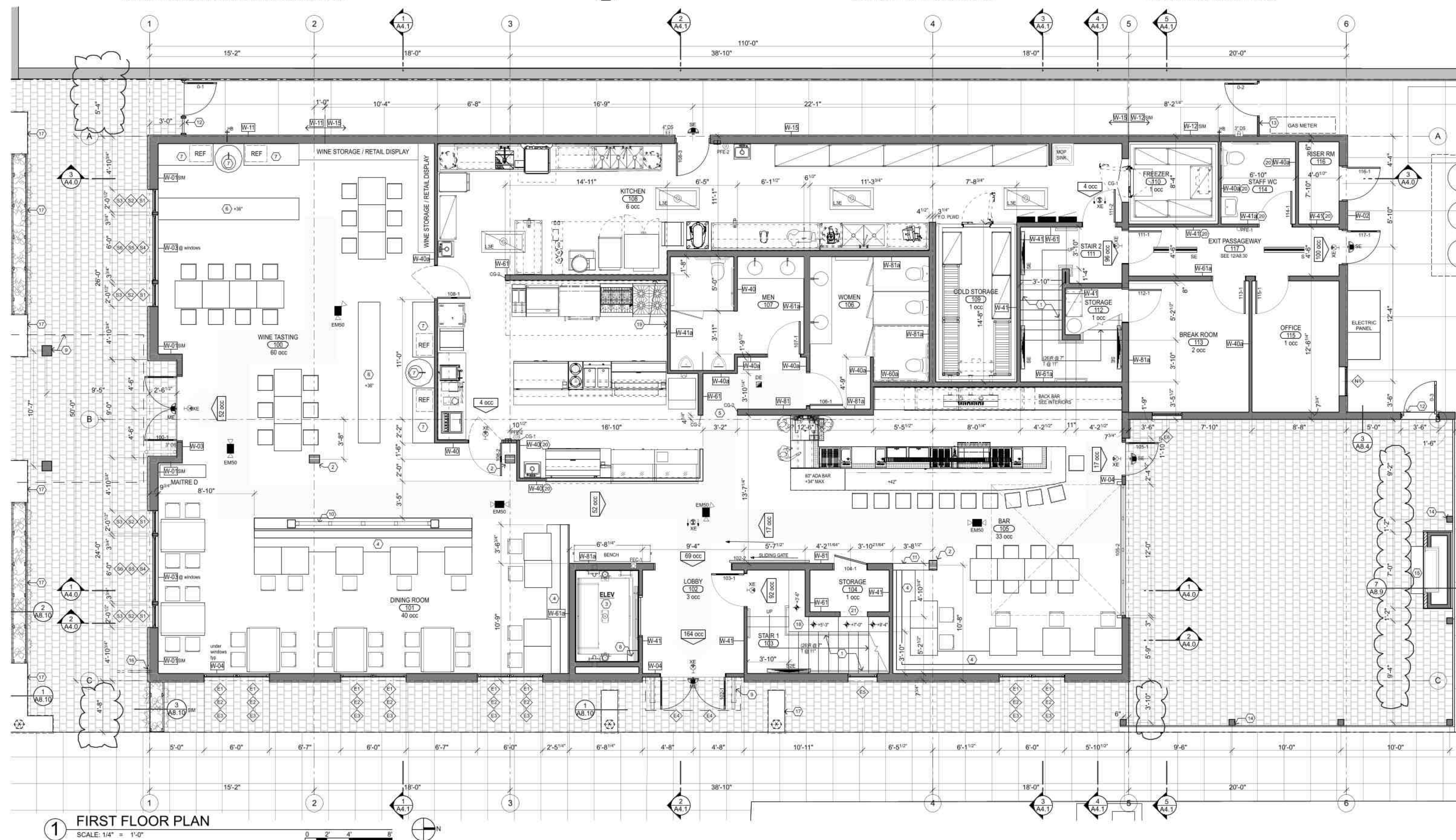
EGRESS LIGHTING LEGEND

- ME
WALL SCONCE LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- DE
CAN LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- L3E
2' X 4' LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- LE
LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- SE
LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- SE / SE
WALL MOUNTED LINEAR FIXTURE WITH INTEGRAL BATTERY BACKUP
- XE / XWE
EXIT LIGHT WITH INTEGRAL BATTERY BACKUP
- XCE
EXIT LIGHT WITH EMERGENCY FLOOD LIGHTS & INTEGRAL BATTERY BACKUP
- EMTS / EMSO
EMERGENCY LIGHT - TURNS ON UPON POWER LOSS

KEY NOTES

1. STAIR & HANDRAIL, SEE 3/A8.30 FOR STAIR 1 & 4/A8.30 FOR STAIR 2.
2. WOOD COLUMN, SEE STRUCTURAL. CLEAR FINISH.
3. PROVIDE 5'-9" X 8'-4" CLEAR (F.O. CONC / F.O. GYP BD), TO BE VERIFIED BY ELEVATOR MANUF.
4. BUILT-IN BANQUET SEATING BENCH, SEE INTERIORS.
5. 3'-0" WIDE X 7'-0" HIGH CASED OPENING, ADD S.STL. HEAD TRIM TO MATCH CGs.
6. MOVEABLE SERVICE COUNTER, +36 A.F.F. MAXIMUM, SEE INTERIORS.
7. WINE BACK-BAR (SEE INTERIORS) WITH O.F.C.I. WINE BARREL SINK.
8. SUMP PUMP & SUMP PIT WITH METAL GRATE BELOW. VERIFY REQUIREMENTS W/ ELEV MANUF.
9. SOUTH CANOPY, SEE DETAIL 3/A8.8. EAST CANOPY, SEE DETAIL 5/A8.8.
10. PARTIAL HEIGHT PARTITION WALL, SEE INTERIORS.
11. 36" HIGH PARTITION W/ WOOD CAP, SEE 6/A8.31.

12. ALLEY GATE & FENCE WALL, SEE 2/A8.9. PATIO GATE, SEE 4/A8.9.
13. 11'-0" HIGH CHAIN LINK FENCE WITH GATE PER SCHEDULE.
14. TIMBER PATIO SCREEN, SEE 11/A8.9.
15. OUTDOOR GAS FIREPLACE, SEE 7/A8.9.
16. BUILDING SIGN ABOVE, SEE 6/A8.10.
17. SITE WALL 1/A8.10 & PLANTER 2/A8.10.
18. OVERFRAME 2X4 W/ GYP BD FINISH TO ELEV SHOWN. WOOD CAP.
19. PROTECT WOOD FRAMING W/ 2 LAYERS OF 5/8 TYPE 'X' GYP BD ON SIDE OF WALL FACING HOOD. EXTEND PROTECTION 18" FROM ALL FACES OF HOOD. COVER WALL W/ 20 GA S.STL. PANELS, U.N.O.
20. PARTITION TERMINATES 6" ABOVE CEILING. BRACE PER STRUCTURAL.
21. 30" WIDE X 42" HIGH UNDER STAIR ACCESS.



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KAOS BUILDING
KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

PERMIT SET
DATE: 8/21/14
REVISION: FOR CONSTRUCTION SET

REGISTERED ARCHITECT
NATHAN T. COOPER
STATE OF OREGON

A2.1
FIRST FLOOR PLAN

GENERAL NOTES

1. EXTERIOR DIMENSIONS TO F.O. CONC OR F.O. PLYWOOD, U.N.O.
INTERIOR DIMENSIONS TO F.O. FRAMING UNLESS OTHERWISE NOTED.
CLEAR DIMENSION TO F.O. FINISH.
2. VERIFY WINDOW & DOOR ROUGH OPENINGS PRIOR TO FRAMING.
3. SEE INTERIOR DRAWINGS FOR FINISHES, CASEWORK & FURNITURE.
4. SEE A0 FOR LIFE SAFETY NOTES & FIRE RATING REQUIREMENTS.
5. SEE STRUCT, MECH, ELECT, PLUMBING, & KITCHEN DRAWINGS FOR ADDITIONAL INFORMATION.
6. ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
7. PROVIDE DEFLECTION TRACK AT NON-LOAD BEARING PARTITIONS.
SEE STRUCTURAL FOR DETAIL. PARTITIONS EXTEND TO STRUCTURE ABOVE U.N.O.

2ND FLOOR: 8. EXTERIOR WALLS ARE TYPE W-01 UNLESS NOTED OTHERWISE.

LEGEND

- ROOM NAME

OCC
- DIRECTION OF EMERGENCY EGRESS TRAVEL
COMBINED NUMBER OF OCCUPANTS
- EXIT SIGN, CEILING OR HIGH-WALL MOUNTED
READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL
SEE ELECTRICAL FOR ADDITIONAL INFO.
- RECESSED FIRE EXTINGUISHER CABINET
- WALL HUNG FIRE EXTINGUISHER
- W-01 WALL / FLOOR / ROOF TYPE, SEE A8.0 & A8.1

*SEE SHEET A2.4 FOR ADD'L ROOF NOTES & LEGEND ITEMS.

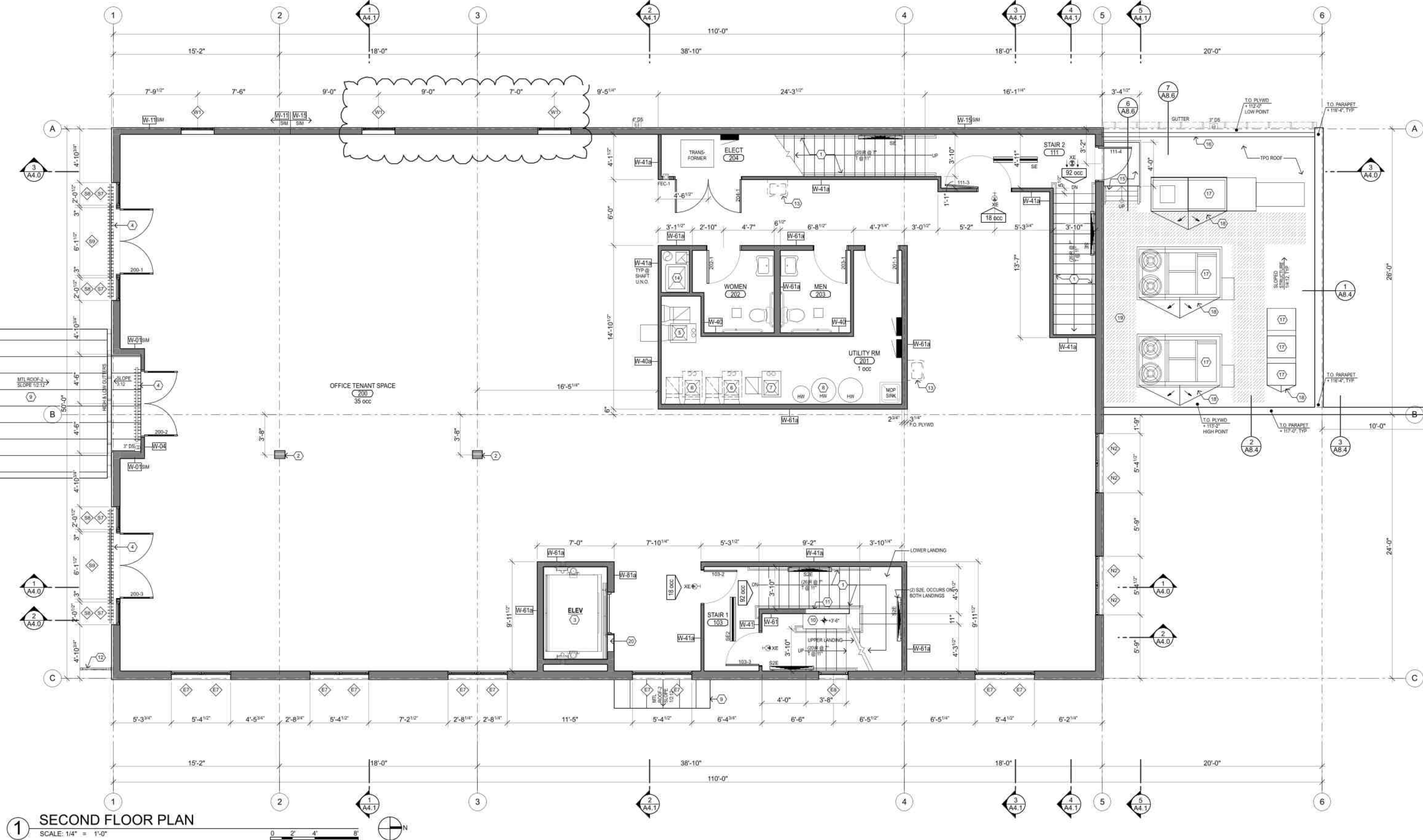
EGRESS LIGHTING LEGEND

- ME WALL SCONCE LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- DE CAN LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- L3E 2' X 4' LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- LE LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- SE LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- SE / SE WALL MOUNTED LINEAR FIXTURE WITH INTEGRAL BATTERY BACKUP
- XE / XWE EXIT LIGHT WITH INTEGRAL BATTERY BACKUP
- XCE EXIT LIGHT WITH EMERGENCY FLOOD LIGHTS & INTEGRAL BATTERY BACKUP
- EMTS / EMSO EMERGENCY LIGHT - TURNS ON UPON POWER LOSS

KEY NOTES

- 1) STAIR & HANDRAIL, SEE 3/A8.30 FOR STAIR 1 & 4/A8.30 FOR STAIR 2.
- 2) WOOD COLUMN, SEE STRUCTURAL. CLEAR FINISH.
- 3) PROVIDE 5'-9" X 8'-4" CLEAR (F.O. CONC / F.O. GYP BD), TO BE VERIFIED BY ELEVATOR MANUF.
- 4) IRON RAILING 42" A.F.F. SEE 1/A8.7.
- 5) MECH UNIT, INSTALL FOR FREEZE PROTECTION OF 2ND FLOOR TENANT SPACE.
- 6) FUTURE MECH UNIT LOCATION, N.I.C.
- 7) MECH UNIT SERVING FIRST FLOOR BAR, SEE MECHANICAL.
- 8) HOT WATER TANKS, SEE PLUMBING.
- 9) SOUTH CANOPY, SEE DETAIL 3/A8.8. EAST CANOPY, SEE DETAIL 5/A8.8.
- 10) OVERFRAME 2X4 W/ GYP BD FINISH TO ELEV SHOWN. WOOD CAP.
- 11) AT STAIR UP, SLOPING WALL W/ WOOD CAP 6" ABOVE ADJACENT STAIR WALKLINE.
PROVIDE POSTS TO SUPPORT HANDRAIL AT OPEN EDGE OF STAIR.

- 12) BUILDING SIGN, SEE 6/A8.10.
- 13) ROUGH-IN PLUMBING FOR FUTURE SINK.
- 14) MECH SHAFT, SEE DETAIL 11/A8.30.
- 15) SHIPS LADDER FOR ROOF-TOP ACCESS, SEE 6/A8.6.
- 16) STEEL PIPE GUARDRAIL, SEE 7/A8.6.
- 17) ROOF TOP EQUIPMENT, SEE MECHANICAL.
- 18) TAPERED INSUL CRICKET, 1/2-12 MIN SLOPE.
- 19) 3' WIDE ROOF WALKWAY SHOW HATCHED.
- 20) ELEVATOR CONTROL BOX MOUNTED INSIDE DOOR JAMB. COVER BACK OF BOX W/ (2) LAYERS OF GYP BD, PER MANUFACTURER'S DETAIL. PROVIDE 7 1/4" CLR WALL CAVITY (CONFIRM W/ ELEV MANUF).



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

NATHAN COOPER ARCHITECT, LLC
902 728 2889
nathan@nathancooperarchitect.com 6911 SW 32nd Ave. Portland OR 97219

KAOS BUILDING
KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

PERMIT SET 3/31/14
DATE REVISION
8/21/14 FOR CONSTRUCTION SET

REGISTERED ARCHITECT
NATHAN T. COOPER
PORTLAND, OREGON
STATE OF OREGON

A2.2
SECOND FLOOR PLAN

GENERAL NOTES

1. EXTERIOR DIMENSIONS TO F.O. CONC OR F.O. PLYWOOD, U.N.O.
INTERIOR DIMENSIONS TO F.O. FRAMING UNLESS OTHERWISE NOTED.
CLEAR DIMENSION TO F.O. FINISH.
2. VERIFY WINDOW & DOOR ROUGH OPENINGS PRIOR TO FRAMING.
3. SEE INTERIOR DRAWINGS FOR FINISHES, CASEWORK & FURNITURE.
4. SEE A0 FOR LIFE SAFETY NOTES & FIRE RATING REQUIREMENTS.
5. SEE STRUCT, MECH, ELECT, PLUMBING, & KITCHEN DRAWINGS FOR ADDITIONAL INFORMATION.
6. ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
7. PROVIDE DEFLECTION TRACK AT NON-LOAD BEARING PARTITIONS.
SEE STRUCTURAL FOR DETAIL. PARTITIONS EXTEND TO STRUCTURE ABOVE U.N.O.

3RD FLOOR: 8. EXTERIOR WALLS ARE TYPE W-03 UNLESS NOTED OTHERWISE.

LEGEND

- ROOM NAME

OCC
- ROOM NAME
ROOM NUMBER
OCCUPANT LOAD
- DIRECTION OF EMERGENCY EGRESS TRAVEL
COMBINED NUMBER OF OCCUPANTS
- EXIT SIGN, CEILING OR HIGH-WALL MOUNTED
READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL
SEE ELECTRICAL FOR ADDITIONAL INFO.
- RECESSED FIRE EXTINGUISHER CABINET
- WALL HUNG FIRE EXTINGUISHER
- WALL / FLOOR / ROOF TYPE, SEE A8.0 & A8.1

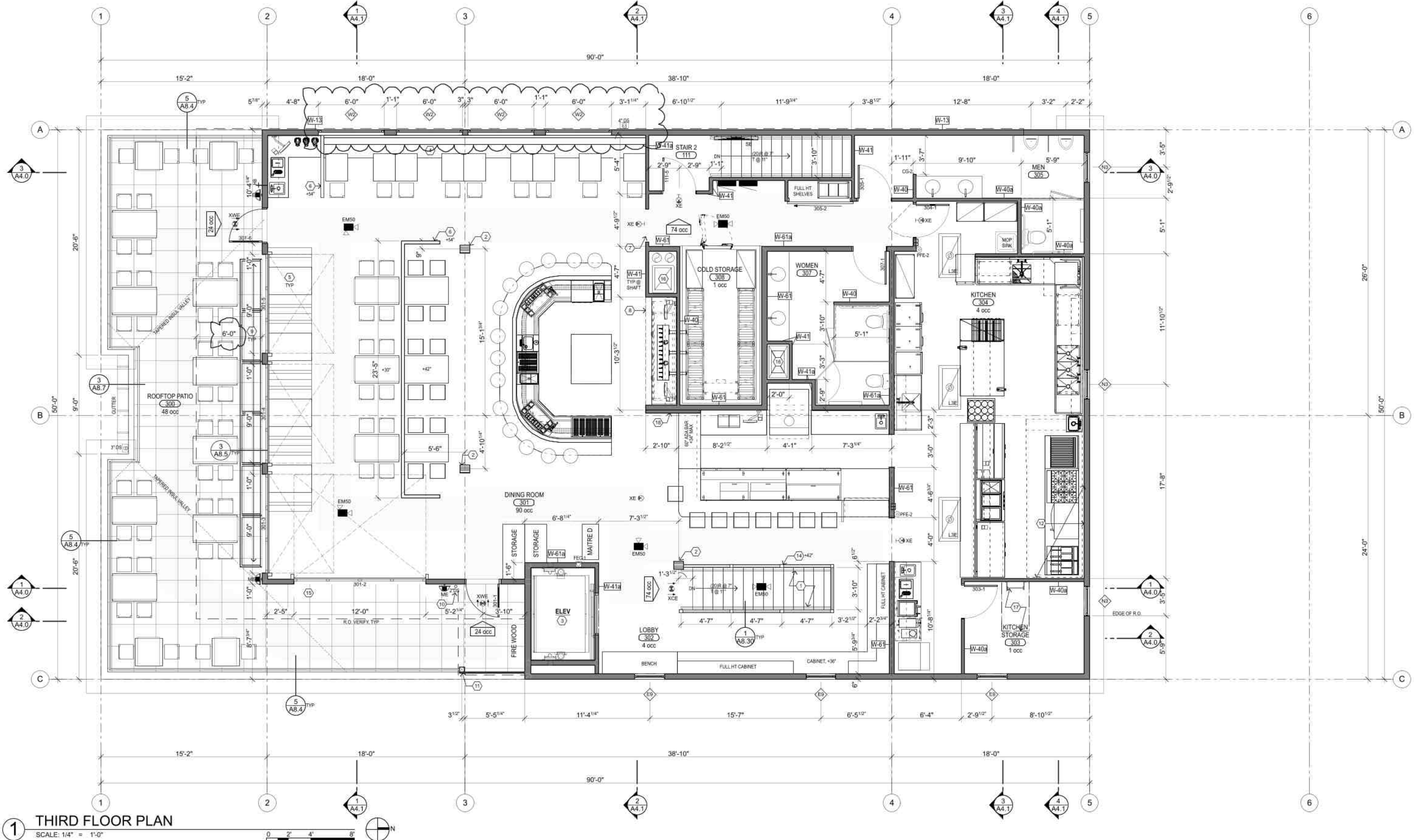
EGRESS LIGHTING LEGEND

- ME WALL SCONCE LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- DE CAN LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- L3E 2' X 4' LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- LE LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- SE LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
- SIZE / SE WALL MOUNTED LINEAR FIXTURE WITH INTEGRAL BATTERY BACKUP
- XE / XWE EXIT LIGHT WITH INTEGRAL BATTERY BACKUP
- XCE EXIT LIGHT WITH EMERGENCY FLOOD LIGHTS & INTEGRAL BATTERY BACKUP
- EM75 / EM50 EMERGENCY LIGHT - TURNS ON UPON POWER LOSS

KEY NOTES

1. STAIR & HANDRAIL, SEE 3/A8.30 FOR STAIR 1 & 4/A8.30 FOR STAIR 2.
2. WOOD COLUMN, SEE STRUCTURAL. CLEAR FINISH.
3. PROVIDE 5'-9" X 8'-4" CLEAR (F.O. CONC / F.O. GYP BD), TO BE VERIFIED BY ELEVATOR MANUF.
4. BUILT-IN BANQUET SEATING BENCH, SEE INTERIORS.
5. BOOTH SEATING, OWNER FURNISHED, CONTRACTOR INSTALLED.
6. 54" HIGH CUSTOM WOOD PARTITION WALL, SEE INTERIORS.
7. 3'-0" WIDE X 7'-0" HIGH CASED OPENING, SEE INTERIORS.
8. CASED OPENING AT BACK BAR, SEE INTERIORS. BOTTOM OF HEADER AT 9' A.F.F. (VERIFY)
9. MOVEABLE PLANTER BOX, SEE DETAIL 3/A8.10
10. DOWNSPOUT TO SPLASH BLOCK UNDER CONC PAVER, SEE 6/A8.5
11. PATIO COVER, SEE DETAILS 5/A8.5 & 7/A8.5

12. PROTECT WOOD FRAMING W/ 2 LAYERS OF 5/8 TYPE 'X' GYP BD ON SIDE OF WALL FACING HOOD. EXTEND PROTECTION 18" FROM ALL FACES OF HOOD. COVER WALL W/ 20 GA S.STL. PANELS, U.N.O.
13. (NOT USED)
14. GUARDRAIL AT 42" A.F.F. SUPPORTED BY CANTILEVERED 4X4 WOOD POSTS (SEE STRUCTURAL). CLAD POSTS W/ 1X WOOD. FILL BETWEEN POSTS WITH STEEL FABRICATED GRILLE. PER DETAIL 4/A8.7. CAP WITH 3" X 6" SALVAGED WOOD CAP (FLAT) W/ MITERED CORNERS.
15. P.T. PLYWOOD BAR W/ WATERPROOF COPPER CAP. SLOPE TO EXTERIOR. BOLT TO WALL FOR EASY REMOVAL. SUPPORT TO CONC PAVERS W/ STEEL LEGS FABRICATED FROM PLUMBING FITTINGS.
16. MECH SHAFT, SEE DETAIL 11/A8.30.
17. ROOF ACCESS HATCH AND LADDER, SEE DETAIL 5/A8.10
18. PROVIDE 3 1/2" FURRING BEHIND WALL FINISH.



KAOS BUILDING

KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

PERMIT SET 3/31/14

DATE REVISION
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A2.3
THIRD FLOOR PLAN

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GENERAL NOTES

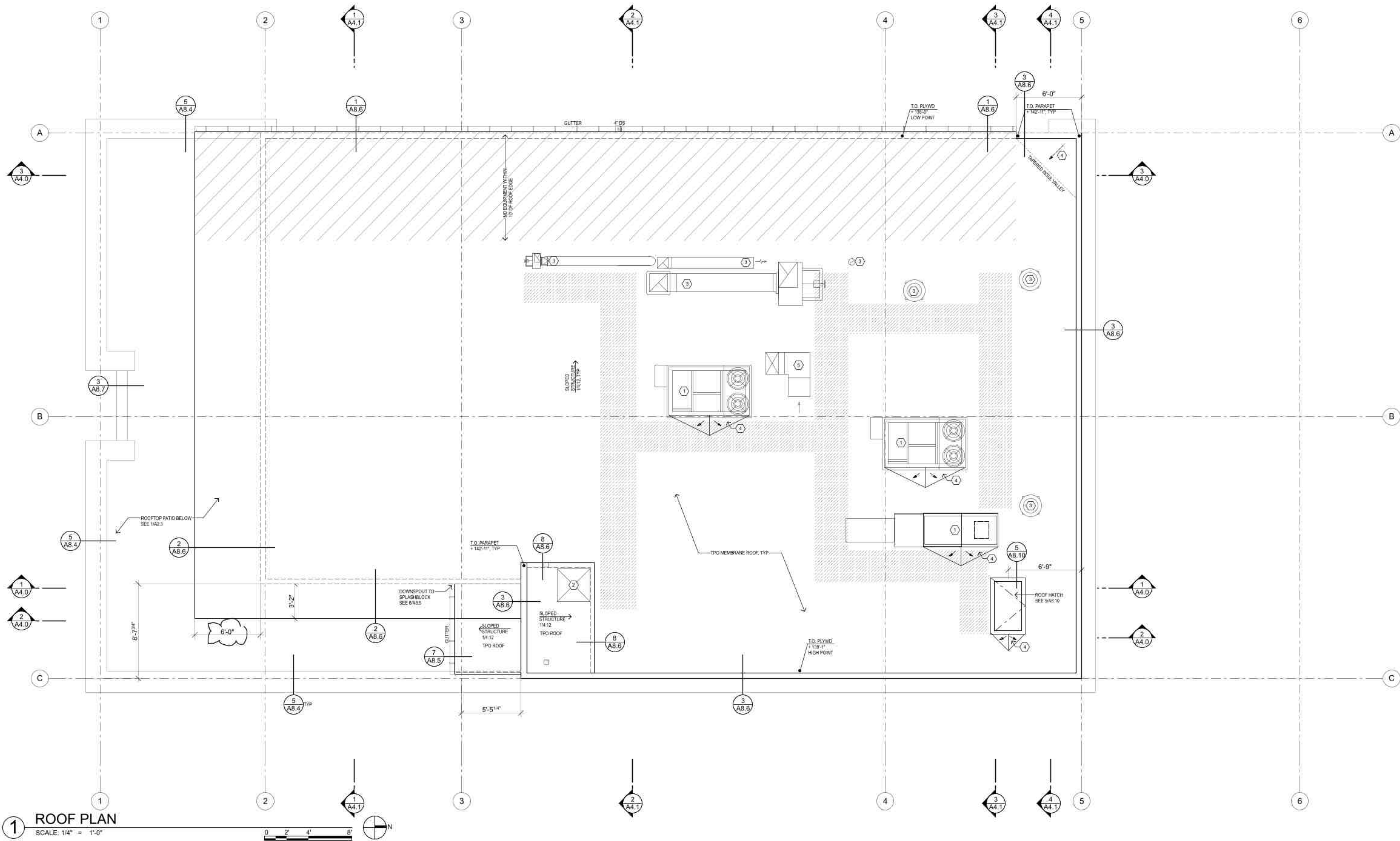
1. EXTERIOR DIMENSIONS TO F.O. CONC OR F.O. PLYWOOD, U.N.O.
2. VERIFY ROOF PENETRATION ROUGH OPENINGS PRIOR TO FRAMING.
3. SEE STRUCT. MECH. ELECT. PLUMBING, & KITCHEN DRAWINGS FOR ADDITIONAL INFORMATION.
4. ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
5. ALL ROOF PENETRATIONS TO BE FLASHED AND SEALED PER REQUIREMENTS OF CODE AND ROOFING MANUFACTURER. CONSOLIDATE PENETRATIONS, AND LOCATE ALL PIPES OUT OF SIGHT FROM OCCUPIED SPACES BELOW.
6. PROVIDE MOUNTING CURBS AT ALL ROOF TOP EQUIPMENT AS REQUIRED TO MEET MOUNTING & ATTACHMENT REQUIREMENTS FOR EQUIPMENT, AND WARRANTY REQUIREMENTS FOR ROOF. SEE MECH & ARCH DETAILS FOR ADD'L INFO.

LEGEND

3' WIDE ROOF WALKWAY

KEY NOTES

1. ROOF TOP EQUIPMENT, SEE MECHANICAL.
2. ELEVATOR SMOKE VENT, SEE MECHANICAL.
3. EXHAUST VENT, SEE MECHANICAL.
4. TAPERED INSUL CRICKET, 1/2:12 MIN SLOPE.
5. 2ND FLOOR AIR INTAKE, SEE MECHANICAL.



KAOS BUILDING

KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

PERMIT SET 3/31/14

DATE	REVISION
8/21/14	FOR CONSTRUCTION SET

REGISTERED ARCHITECT
NATHAN T. COOPERIDER
PORTLAND, OREGON
STATE OF OREGON

A2.4
ROOF PLAN

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NATHAN COOPERIDER ARCHITECT, LLC
302-729-2899
nathan@nathancooperider.com 6911 SW 32nd Ave. Portland, OR 97219

WINDOW SCHEDULE									
MARK	WIDTH	HEIGHT	TYPE*	QUANTITY	TOP OF R.O.**	HEAD***	JAMB***	SILL***	NOTES
E1	3'-0"	2'-0"		8	4'-10"	10/A8.20	4&10/A8.20	12/A8.20	
E2	3'-0"	5'-3"		8	10'-1"	6/A8.21	4&10/A8.20	10/A8.20	
E3	3'-0"	2'-0"		8	12'-6"	8/A8.20	4&10/A8.20	6/A8.21	
E4	3'-0 ^{10"}	2'-0"		2	12'-6"	5/A8.6	3&10/A8.20	1/A8.8	
E5	2'-8 ^{10"}	2'-4"		1	12'-6"	7/A8.20	4/A8.20	11/A8.20	
E6	2'-8 ^{10"}	5'-1"	SINGLE HUNG	1	8'-6"	7/A8.20	4/A8.20	11/A8.20	
E7	2'-8 ^{10"}	6'-5"	SINGLE HUNG	10	8'-5"	7/A8.20	4&10/A8.20	11/A8.20	
E8	2'-8 ^{10"}	2'-4"		1	8'-5"	7/A8.20	4/A8.20	11/A8.20	
E9	2'-8 ^{10"}	5'-9"	SINGLE HUNG	3	10'-0"	2/A8.20	3/A8.21 SIM	12/A8.20	
N1	2'-8 ^{10"}	5'-1"	SINGLE HUNG	1	8'-6"	7/A8.21	7/A8.21	11/A8.21	
N2	2'-8 ^{10"}	6'-5"	SINGLE HUNG	4	8'-5"	7/A8.20	4/A8.20	11/A8.20	
N3	2'-8 ^{10"}	5'-9"	SINGLE HUNG	3	10'-0"	2/A8.20	3/A8.21 SIM	12/A8.20	
S1	2'-0 ^{10"}	2'-0"		4	4'-10"	10/A8.20	3&4/A8.20 SIM	12/A8.20 SIM	
S2	2'-0 ^{10"}	5'-3"		4	10'-1"	6/A8.21 SIM	3&4/A8.20 SIM	10/A8.20	
S3	2'-0 ^{10"}	2'-0"		4	12'-6"	7/A8.21	3&4/A8.20 SIM	6/A8.21 SIM	
S4	6'-0"	2'-0"		2	4'-10"	10/A8.20	3/A8.20 SIM	12/A8.20 SIM	
S5	6'-0"	5'-3"		2	10'-1"	6/A8.21 SIM	3/A8.20 SIM	10/A8.20	
S6	6'-0"	2'-0"		2	12'-6"	7/A8.21	3/A8.20 SIM	6/A8.21 SIM	
S7	2'-0 ^{10"}	6'-9"		4	6'-9"	10/A8.20	4/A8.20&4/A8.21	8/A8.21	
S8	2'-0 ^{10"}	1'-8 ^{10"}		4	8'-5 ^{10"}	2/A8.20	3&4/A8.20	10/A8.20	
S9	6'-1 ^{10"}	1'-8 ^{10"}		2	8'-5 ^{10"}	2/A8.20	3/A8.20	5/A8.20	1.
S10	6'-1"	1'-8"		1	8'-5"				1.
W1	3'-0"	6'-0"		3	8'-3"	7/A8.21	7/A8.21SIM	11/A8.21	2. 3.
W2	6'-0"	6'-0"		4	9'-6"	7/A8.21	7/A8.21&3/A8.20	11/A8.21	2.

* WINDOW TYPE IS RECTANGULAR FIXED UNLESS NOTED OTHERWISE
** HEIGHT OF ROUGH OPENING ABOVE FINISH FLOOR. SEE ELEVATION & DETAIL DRAWINGS TO VERIFY DESIGN INTENT. AT WINDOWS ADJACENT TO DOORS, INSTALL SO THAT HEAD TRIMS ALIGN. AT RADIUSD OPENINGS, STRUCTURAL HEADER TO BE PLACED HIGHER THAN TOP OF ARCH. RADIUS TO BE FRAMED DOWN WITH BLOCKING AS REQUIRED.
*** REFER TO EXTERIOR ELEVATIONS FOR HEAD, JAMB AND SILL DETAILS NOT CALLED OUT IN SCHEDULE.

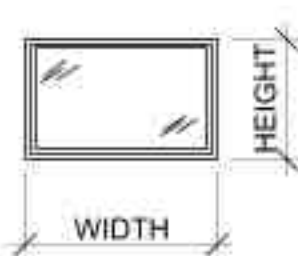
GENERAL WINDOW NOTES:

- WIDTH AND HEIGHT SHOWN ARE TO FACE OF ROUGH OPENING.
- VERIFY ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURER PRIOR TO FRAMING.
- PROVIDE SAFETY/TEMPERED GLASS WHERE REQUIRED BY CODE.
- WINDOWS TO BE FACTORY MULLED TO ADJACENT UNITS UNLESS NOTED OTHERWISE.
- VERIFY MAXIMUM ALLOWABLE SIZE OF FACTORY MULLED UNITS WITH MANUFACTURER.
- WINDOWS TO BE LOEWEN, ALUMINUM CLAD DOUGLAS FIR INTERIOR, UNLESS NOTED OTHERWISE.
- EXTERIOR COLOR: MIDNIGHT BRONZE
- INTERIOR FINISH TO BE CLEAR WOOD SEALER, UNLESS NOTED OTHERWISE.
- WINDOW OPERATORS TO MEET ADA REQUIREMENTS WHERE REQUIRED BY CODE.
- WINDOW OPERATOR COLOR: BLACK

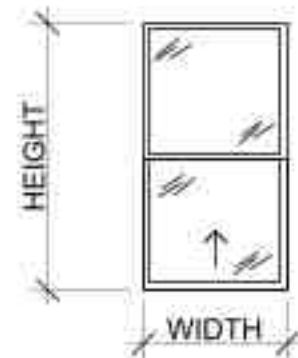
WINDOW & DOOR GLAZING / PERFORMANCE:
- GLAZING ON SOUTH AND WEST TO BE CARDINAL 366 (VLT 66%) WITH LOW-E COATING & ARGON GAS OR APPROVED EQUAL.
- GLAZING ON EAST AND NORTH TO BE CARDINAL 272 (VLT 72%) WITH LOW-E COATING & ARGON GAS OR APPROVED EQUAL.
- SINGLE HUNG WINDOWS: U-VALUE 0.30 MAX, SHGC .30 MAX
- PICTURE WINDOW: U-VALUE 0.27 MAX, SHGC .35 MAX
- EXTERIOR DOORS WITH GLAZING: U-VALUE 0.29 MAX, SHGC .24 MAX
- OVERHEAD DOORS WITH GLAZING (1/2" INSULATED LOW-E GLASS): U-VALUE 0.33 MAX, SHGC .38 MAX
- INSULATED METAL EXTERIOR DOORS: U-VALUE 0.50 MAX.

KEY NOTES:

1. RELITE, FACTORY MULLED TO DOOR BELOW.
2. 3/4 HOUR FIRE PROTECTION PROVIDED BY FIRE SPRINKLER WATER CURTAIN.
3. NO WOOD WINDOW TRIM AT STUCCO FINISH.



FIXED WINDOW



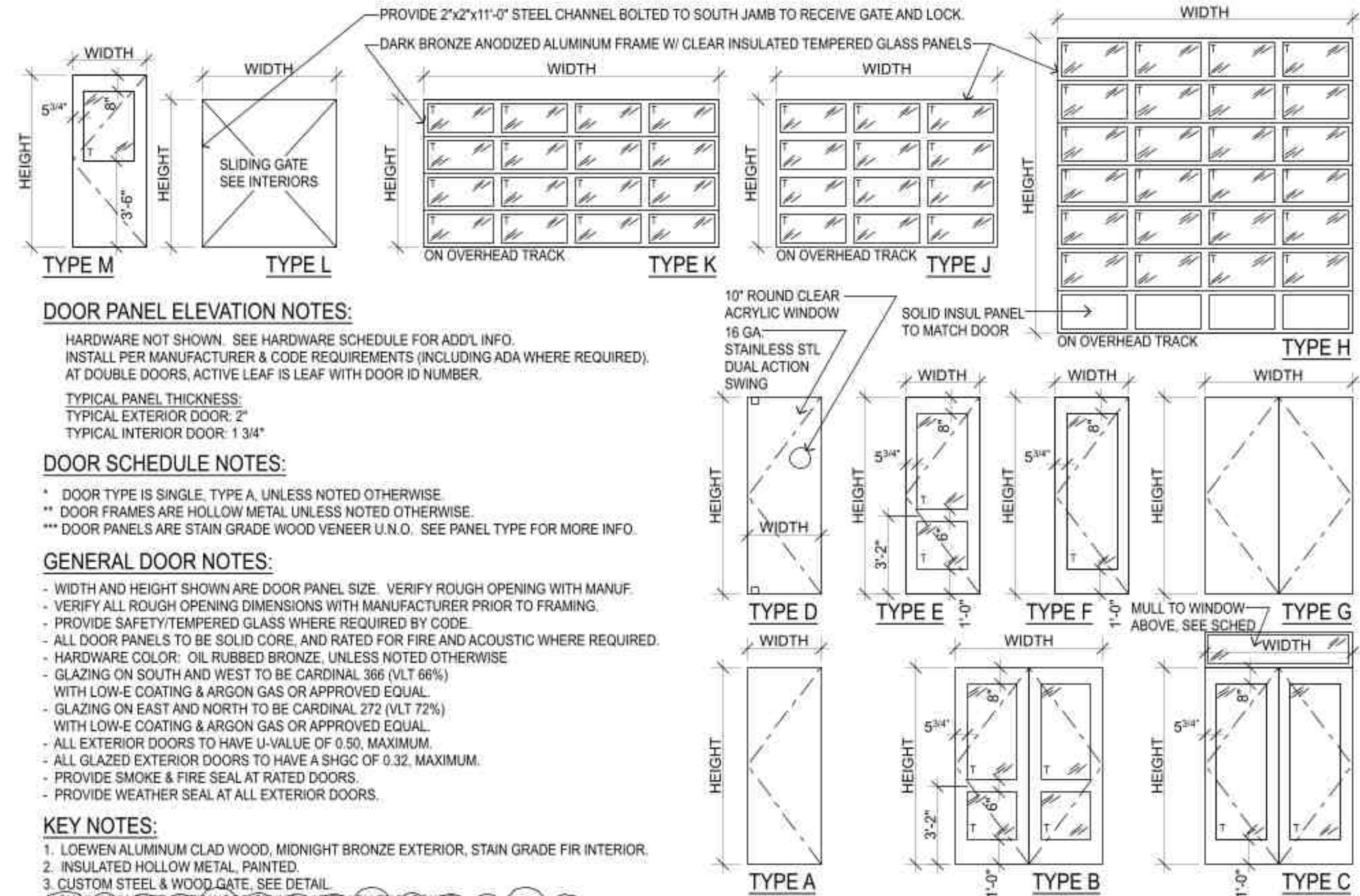
SINGLE-HUNG WINDOW

- PROVIDE REMOVABLE INSECT SCREEN.
- SASH TO TILT-OUT FOR CLEANING.
- PROVIDE (2) SASH-LIFTS PER OPERABLE SASH.

WINDOW & ELEVATIONS - NOT TO SCALE

SEE ELEVATIONS & SCHEDULE FOR ADD'L INFO

DOOR SCHEDULE												
ID	TYPE*	W	HT	FIRE RATING	FRAME**	PANEL***	HW GROUP	HEAD	JAMB	SILL	NOTES	
0-1		3'-0"	7'-0"		SEE DETAIL	SEE DETAIL	9	--	3/A8.9	--	3	
0-2		3'-0"	7'-0"		CHAIN LINK	CHAIN LINK	9	--	--	--	4	
0-3		3'-0"	7'-0"		SEE DETAIL	SEE DETAIL	10	--	1/A8.9	--	3	
0-4	G	12'-0"	6'-8"		CHAIN LINK	CHAIN LINK	11	--	4/A8.10	--	4	
100-1	B	5'-11"	7'-0"		BY MANUF	1	1	1/A8.20	3/A8.21	9/A8.20		
102-1	B	5'-11"	7'-0"		BY MANUF	1	1	1/A8.20	3/A8.21 SIM	9/A8.20		
102-2	L	7'-0"	11'-0"			BARN DOOR	100	9/A8.30	9/A8.30	--	SEE INTERIORS, 5	
103-1	M	3'-0"	7'-0"	1 HR			101	5/A8.30	5/A8.30	--	FIRE RATED GLASS	
103-2		3'-0"	7'-0"	1 HR			101	5/A8.30	5/A8.30	--		
103-3		3'-0"	7'-0"	1 HR			101	5/A8.30	5/A8.30	--		
104-1		3'-0"	7'-0"				104	5/A8.30	5/A8.30	--		
105-1	F	3'-0"	7'-0"		BY MANUF	1	2	1/A8.20	3/A8.21 SIM	9/A8.20		
105-2	H	12'-0"	12'-0"		BY MANUF	ALUMINUM	113	4/A8.22	5/A8.22	6/A8.22		
106-1		3'-0"	7'-0"				112	5/A8.30	5/A8.30	--		
107-1		3'-0"	7'-0"				112	5/A8.30	5/A8.30	--		
108-1	D	3'-0"	7'-0"			S.STL.	113	6/A8.30	6/A8.30	--		
108-2	D	3'-0"	7'-0"			S.STL.	113	6/A8.30	6/A8.30	--		
108-3		3'-0"	7'-0"	3/4 HR			5	5/A8.21	1/A8.21	9/A8.20		
111-1		3'-0"	7'-0"	1 HR			102	5/A8.30	5/A8.30	--		
111-2		3'-0"	7'-0"	1 HR			103	5/A8.30	5/A8.30	--		
111-3		3'-0"	7'-0"	1 HR			101	5/A8.30	5/A8.30	--		
111-4		3'-0"	7'-0"	1 HR		2	6	9/A8.21	10/A8.21	9/A8.20 SIM		
111-5		3'-0"	7'-0"	1 HR			101	5/A8.30	5/A8.30	--		
112-1		3'-0"	6'-6"				105	5/A8.30	5/A8.30	--		
113-1		3'-0"	7'-0"	1 HR			107	5/A8.30	5/A8.30	--		
114-1		3'-0"	7'-0"	1 HR			111	5/A8.30	5/A8.30	--		
115-1		3'-0"	7'-0"	1 HR			108	5/A8.30	5/A8.30	--		
116-1		3'-0"	7'-0"			2	4	5/A8.21	1/A8.21	9/A8.20		
117-1	M	3'-0"	7'-0"			2	3	5/A8.21	1/A8.21	9/A8.20		
200-1	C	5'-11 ^{10"}	6'-8"		BY MANUF	1	8	5/A8.20	4/A8.21	12/A8.21		
200-2	C	5'-11"	6'-8"		BY MANUF	1	8	5/A8.20	3/A8.21 SIM	12/A8.21		
200-3	C	5'-11 ^{10"}	6'-8"		BY MANUF	1	8	5/A8.20	4/A8.21	12/A8.21		
201-1		3'-0"	7'-0"				104	5/A8.30	5/A8.30	--		
202-1		3'-0"	7'-0"				111	5/A8.30	5/A8.30	--		
203-1		3'-0"	7'-0"				111	5/A8.30	5/A8.30	--		
204-1	G	6'-0"	7'-0"				106	5/A8.30	5/A8.30	--	18"W X 12"H MECH GRILLE IN DOOR	
301-1	F	3'-0"	7'-0"		BY MANUF	1	7	1/A8.20	3/A8.21	1/A8.5		
301-2	H	12'-0"	9'-6"		BY MANUF	ALUMINUM	113	4/A8.22	1/A8.22	6/A8.22		
301-3	J	9'-0"	6'-0"		BY MANUF	ALUMINUM	113	4/A8.22	1/A8.22	3/A8.22		
301-4	J	9'-0"	6'-0"		BY MANUF	ALUMINUM	113	4/A8.22	1/A8.22	3/A8.22		
301-5	J	9'-0"	6'-0"		BY MANUF	ALUMINUM	113	4/A8.22	1/A8.22	3/A8.22		
301-6	F	3'-0"	7'-0"		BY MANUF	1	7	1/A8.20	3/A8.21	1/A8.5		
303-1		3'-0"	7'-0"				110	5/A8.30	5/A8.30	--		
304-1	D	3'-0"	7'-0"			S.STL.	113	6/A8.30	6/A8.30	--		
305-1		3'-0"	7'-0"				112	5/A8.30	5/A8.30	--		
305-2	L	5'-7"	6'-8"			BARN DOOR	100	9/A8.30	9/A8.30	--	SEE INTERIORS	
307-1		3'-0"	7'-0"				112	5/A8.30	5/A8.30	--		



DOOR PANEL ELEVATIONS - NOT TO SCALE

SEE ELEVATIONS & SCHEDULE FOR ADD'L INFO

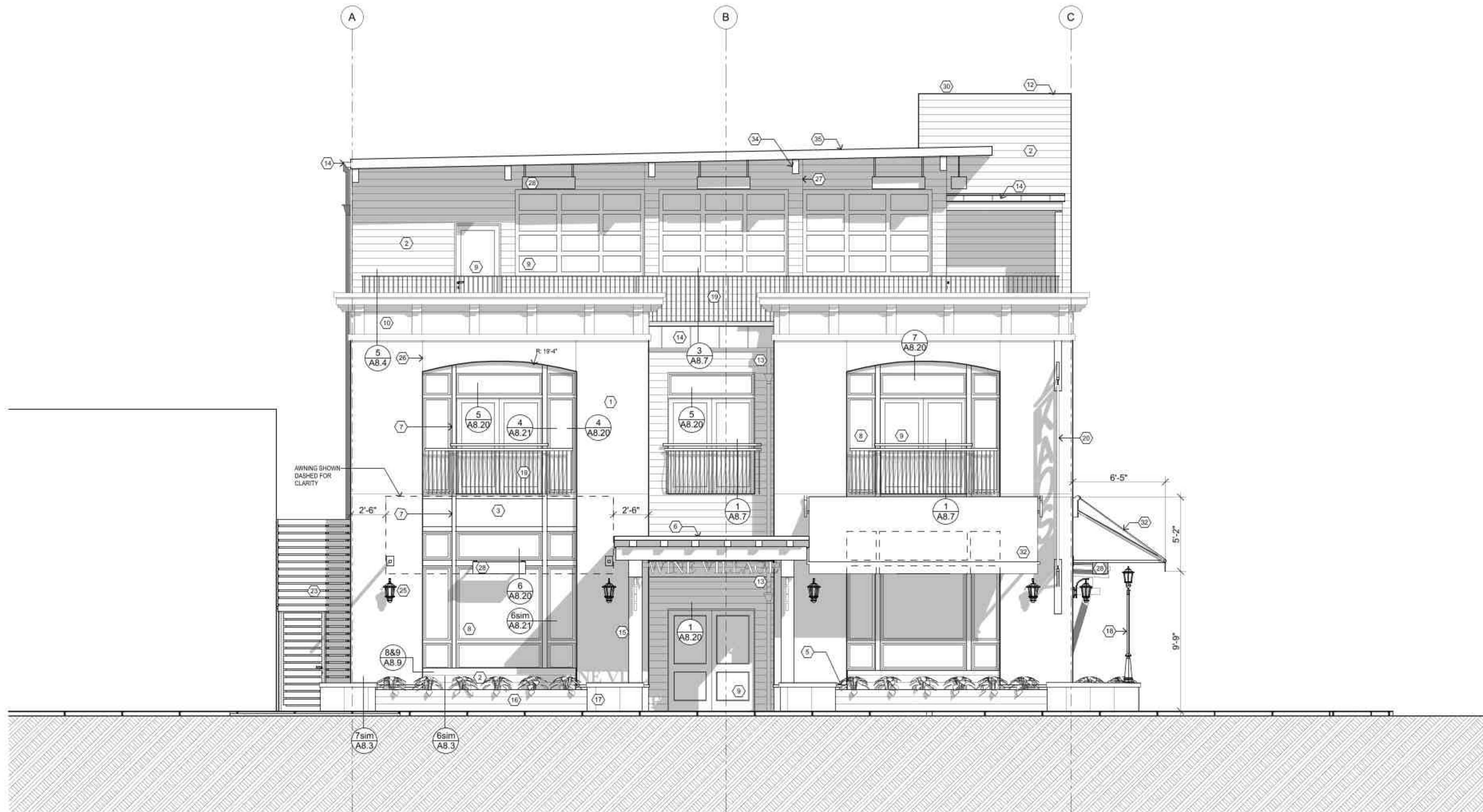
GENERAL NOTES

1. ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
2. SEE MECH. ELECT. PLUMBING DRAWINGS FOR ADDITIONAL BUILDING MOUNTED FIXTURES, VENTS & EQUIPMENT NOT SHOWN.
3. SEE PLANS & SCHEDULES FOR ADDITIONAL INFORMATION ON DOORS & WINDOWS.
4. TOP OF WINDOW ROUGH OPENING SHOWN ON SCHEDULE. VERIFY WITH DESIGN INTENT SHOWN IN ELEVATION & NOTIFY ARCHITECT OF ANY DISCREPANCY.
5. PROVIDE MOCK-UPS OF ALL COLORS & FINISHES FOR OWNER & ARCHITECT APPROVAL PRIOR TO INSTALLATION.
6. ALL PENETRATIONS IN EXTERIOR BUILDING ENVELOPE TO BE FLASHED AND SEALED TO KEEP BUILDING AIR AND WATER TIGHT.

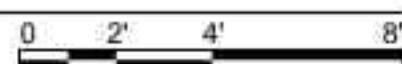
KEY NOTES

- 1 STUCCO FINISH SYSTEM, SMOOTH.
- 2 5/4 X 6 SQUARE EDGE WOOD SIDING, STAINED. WEAVE BOARDS AT CORNERS (NO TRIM).
- 3 FIBER CEMENT PANEL SIDING, PAINTED
- 4 FIBER CEMENT HORIZONTAL SIDING, PAINTED.
- 5 PORCELAIN TILE & STONE CAP, WITH SEALER.
- 6 STANDING SEAM METAL ROOF-2.
- 7 CEDAR WOOD TRIM / BATTEN, PAINTED.
- 8 WINDOWS PER SCHEDULE, TYP.
- 9 DOORS PER SCHEDULE, TYP.
- 10 CORNICE, SEE 5 / A8.4
- 11 PARTIAL CORNICE, SEE 4 / A8.5
- 12 PARAPET CAP, SEE DETAIL 3/A8.6
- 13 DOWNSPOUT WITH LEADER BOX & OVERFLOW
- 14 GUTTER
- 15 WOOD TIMBER CANOPY, SEE SHEET A8.8
- 16 WOOD PLANTER BOX, SEE 2 & 3 / A8.10
- 17 SITE WALL, SEE 1/A8.10
- 18 POLE MOUNTED LIGHT FIXTURE, SEE ELECT.
- 19 STEEL GUARDRAIL, SEE SHEET A8.7
- 20 BUILDING MOUNTED EXTERIOR SIGN, 6 / A8.10
- 21 OUTDOOR FIREPLACE, SEE 7 / A8.9
- 22 ELECTRICAL PANEL
- 23 ALLEY GATE & FENCE, SEE 2 / A8.9
- 24 TIMBER PATIO SCREEN, SEE 11 / A8.9

- 25 EXTERIOR LIGHT FIXTURE.
- 26 STUCCO CONTROL JOINT, TYP. INSTALLER TO VERIFY JOINT LAYOUT W/ ARCHITECT.
- 27 WOOD SIDING BUTT JOINT, ALIGN, TYP. PAINTED FURRING STRIP BEHIND JOINT.
- 28 SUSPENDED PATIO HEATER, SEE PLUMBING.
- 29 CHAIN LINK FENCE & GATE.
- 30 MECHANICAL EQUIPMENT BEYOND.
- 31 ROOF GUARDRAIL, SEE 7 / A8.6
- 32 FABRIC AWNING W/ STEEL SUPPORT FRAME.
- 33 PATIO GATE, SEE 4 / A8.9
- 34 GLU LAM BEAM, SEE STRUCT.
- 35 PAINTED CEDAR FASCIA, SEE 2 / A8.6



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



KAOS BUILDING

KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

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A3.0
SOUTH ELEVATION

GENERAL NOTES

1. ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
2. SEE MECH. ELECT. PLUMBING DRAWINGS FOR ADDITIONAL BUILDING MOUNTED FIXTURES, VENTS & EQUIPMENT NOT SHOWN.
3. SEE PLANS & SCHEDULES FOR ADDITIONAL INFORMATION ON DOORS & WINDOWS.
4. TOP OF WINDOW ROUGH OPENING SHOWN ON SCHEDULE. VERIFY WITH DESIGN INTENT SHOWN IN ELEVATION & NOTIFY ARCHITECT OF ANY DISCREPANCY.
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6. ALL PENETRATIONS IN EXTERIOR BUILDING ENVELOPE TO BE FLASHED AND SEALED TO KEEP BUILDING AIR AND WATER TIGHT.

KEY NOTES

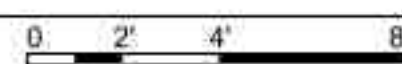
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- 9 DOORS PER SCHEDULE, TYP.
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- 16 WOOD PLANTER BOX, SEE 2 & 3 / A8.10
- 17 SITE WALL, SEE 1/A8.10
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- 33 PATIO GATE, SEE 4 / A8.9
- 34 GLU LAM BEAM, SEE STRUCT.
- 35 PAINTED CEDAR FASCIA, SEE 2 / A8.6



1 EAST ELEVATION

SCALE: 1/4" = 1'-0"



KAOS BUILDING

KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

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A3.1
EAST ELEVATION

GENERAL NOTES

1. ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
2. SEE MECH. ELECT. PLUMBING DRAWINGS FOR ADDITIONAL BUILDING MOUNTED FIXTURES, VENTS & EQUIPMENT NOT SHOWN.
3. SEE PLANS & SCHEDULES FOR ADDITIONAL INFORMATION ON DOORS & WINDOWS.
4. TOP OF WINDOW ROUGH OPENING SHOWN ON SCHEDULE. VERIFY WITH DESIGN INTENT SHOWN IN ELEVATION & NOTIFY ARCHITECT OF ANY DISCREPANCY.
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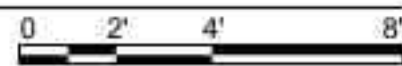
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- 4 FIBER CEMENT HORIZONTAL SIDING, PAINTED.
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- 27 WOOD SIDING BUTT JOINT, ALIGN, TYP. PAINTED FURRING STRIP BEHIND JOINT.
- 28 SUSPENDED PATIO HEATER, SEE PLUMBING.
- 29 CHAIN LINK FENCE & GATE.
- 30 MECHANICAL EQUIPMENT BEYOND.
- 31 ROOF GUARDRAIL, SEE 7 / A8.6
- 32 FABRIC AWNING W/ STEEL SUPPORT FRAME
- 33 PATIO GATE, SEE 4 / A8.9
- 34 GLU LAM BEAM, SEE STRUCT.
- 35 PAINTED CEDAR FASCIA, SEE 2 / A8.6



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



KAOS BUILDING

KAOS Development, LLC
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8/21/14 FOR CONSTRUCTION SET



A3.2
NORTH ELEVATION

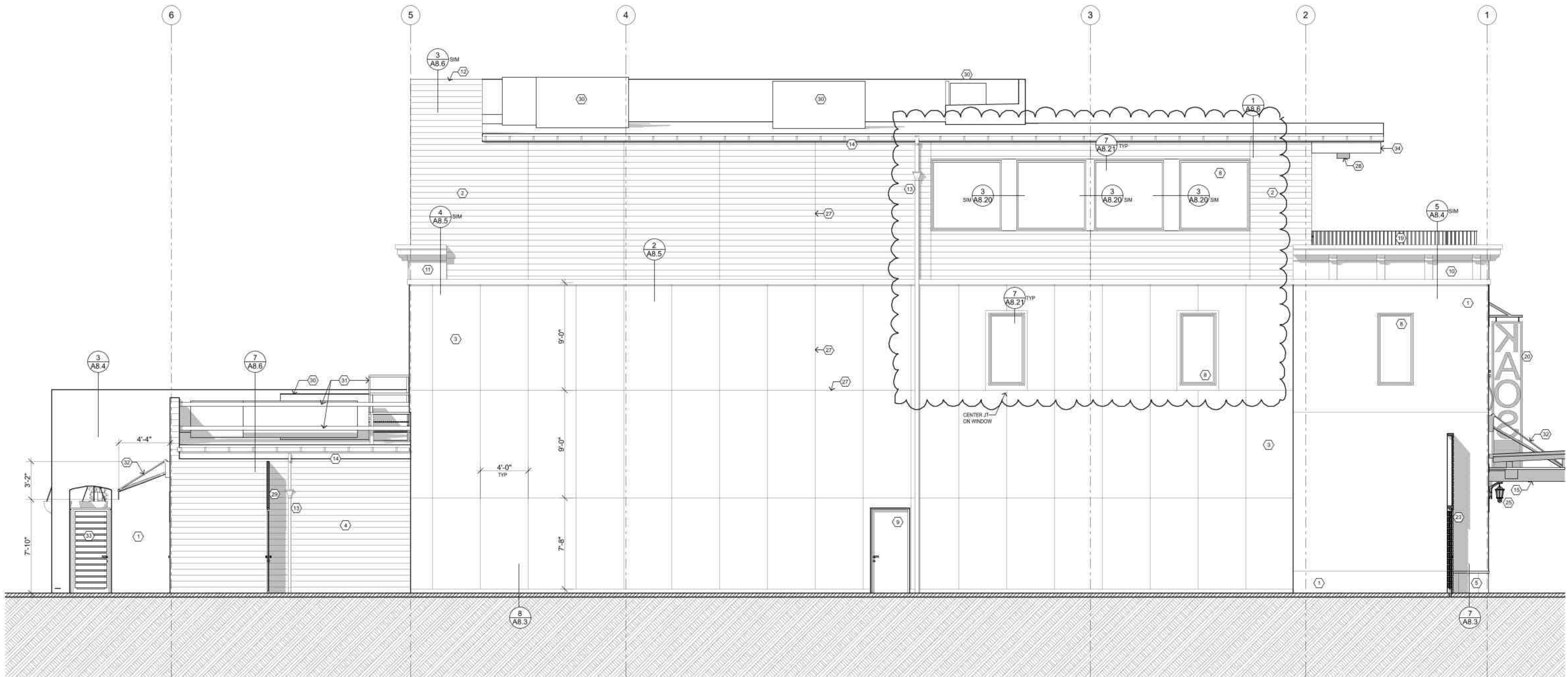
GENERAL NOTES

1. ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
2. SEE MECH. ELECT. PLUMBING DRAWINGS FOR ADDITIONAL BUILDING MOUNTED FIXTURES, VENTS & EQUIPMENT NOT SHOWN.
3. SEE PLANS & SCHEDULES FOR ADDITIONAL INFORMATION ON DOORS & WINDOWS.
4. TOP OF WINDOW ROUGH OPENING SHOWN ON SCHEDULE. VERIFY WITH DESIGN INTENT SHOWN IN ELEVATION & NOTIFY ARCHITECT OF ANY DISCREPANCY.
5. PROVIDE MOCK-UPS OF ALL COLORS & FINISHES FOR OWNER & ARCHITECT APPROVAL PRIOR TO INSTALLATION.
6. ALL PENETRATIONS IN EXTERIOR BUILDING ENVELOPE TO BE FLASHED AND SEALED TO KEEP BUILDING AIR AND WATER TIGHT.

KEY NOTES

- 1 STUCCO FINISH SYSTEM, SMOOTH.
- 2 5/4 X 6 SQUARE EDGE WOOD SIDING, STAINED. WEAVE BOARDS AT CORNERS (NO TRIM).
- 3 FIBER CEMENT PANEL SIDING, PAINTED
- 4 FIBER CEMENT HORIZONTAL SIDING, PAINTED.
- 5 PORCELAIN TILE & STONE CAP, WITH SEALER.
- 6 STANDING SEAM METAL ROOF-2.
- 7 CEDAR WOOD TRIM / BATTEN, PAINTED.
- 8 WINDOWS PER SCHEDULE, TYP.
- 9 DOORS PER SCHEDULE, TYP.
- 10 CORNICE, SEE 5 / A8.4
- 11 PARTIAL CORNICE, SEE 4 / A8.5
- 12 PARAPET CAP, SEE DETAIL 3/A8.6
- 13 DOWNSPOUT WITH LEADER BOX & OVERFLOW
- 14 GUTTER
- 15 WOOD TIMBER CANOPY, SEE SHEET A8.8
- 16 WOOD PLANTER BOX, SEE 2 & 3 / A8.10
- 17 SITE WALL, SEE 1/A8.10
- 18 POLE MOUNTED LIGHT FIXTURE, SEE ELECT.
- 19 STEEL GUARDRAIL, SEE SHEET A8.7
- 20 BUILDING MOUNTED EXTERIOR SIGN, 6 / A8.10
- 21 OUTDOOR FIREPLACE, SEE 7 / A8.9
- 22 ELECTRICAL PANEL
- 23 ALLEY GATE & FENCE, SEE 2 / A8.9
- 24 TIMBER PATIO SCREEN, SEE 11 / A8.9

- 25 EXTERIOR LIGHT FIXTURE.
- 26 STUCCO CONTROL JOINT, TYP. INSTALLER TO VERIFY JOINT LAYOUT W/ ARCHITECT.
- 27 WOOD SIDING BUTT JOINT, ALIGN, TYP. PAINTED FURRING STRIP BEHIND JOINT.
- 28 SUSPENDED PATIO HEATER, SEE PLUMBING.
- 29 CHAIN LINK FENCE & GATE.
- 30 MECHANICAL EQUIPMENT BEYOND.
- 31 ROOF GUARDRAIL, SEE 7 / A8.6
- 32 FABRIC AWNING W/ STEEL SUPPORT FRAME
- 33 PATIO GATE, SEE 4 / A8.9
- 34 GLU LAM BEAM, SEE STRUCT.
- 35 PAINTED CEDAR FASCIA, SEE 2 / A8.6



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

KAOS BUILDING

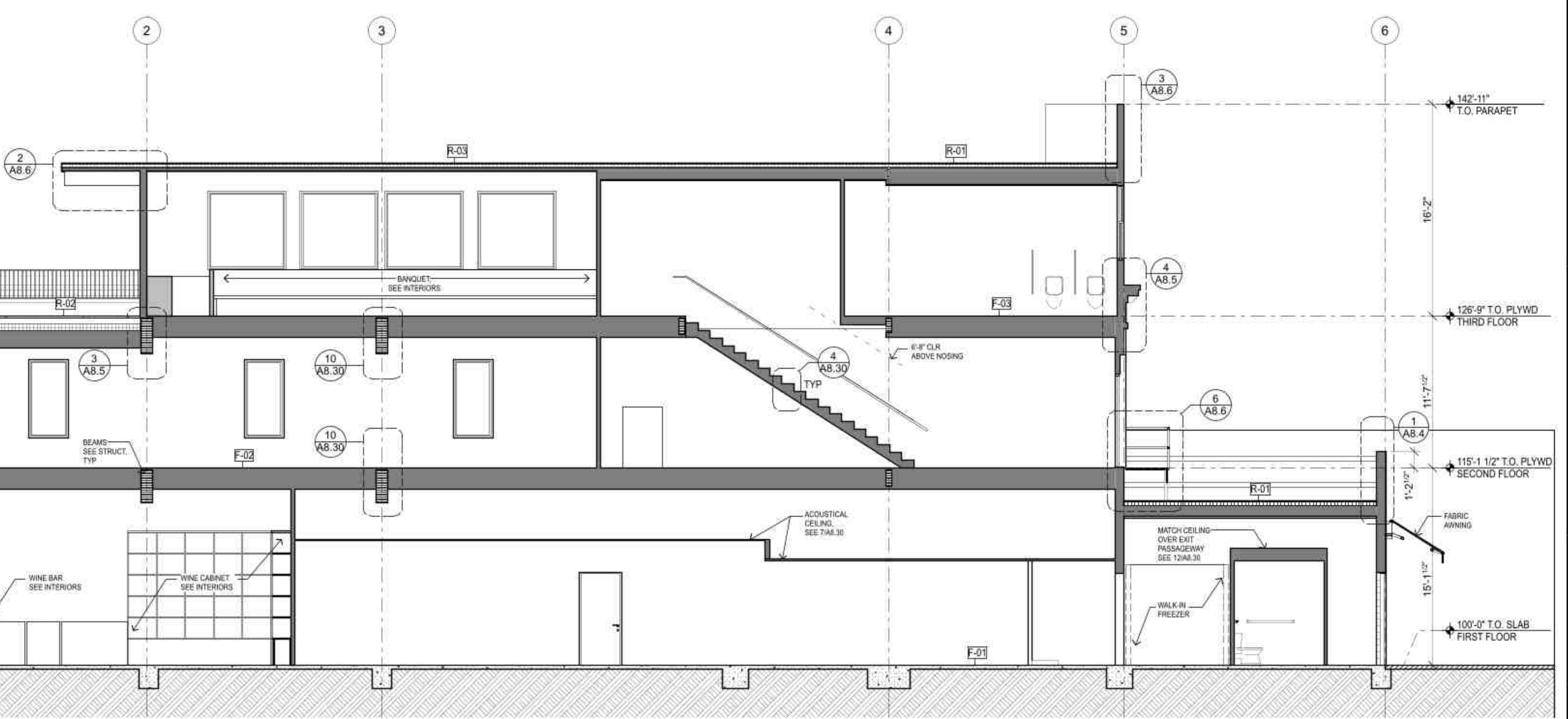
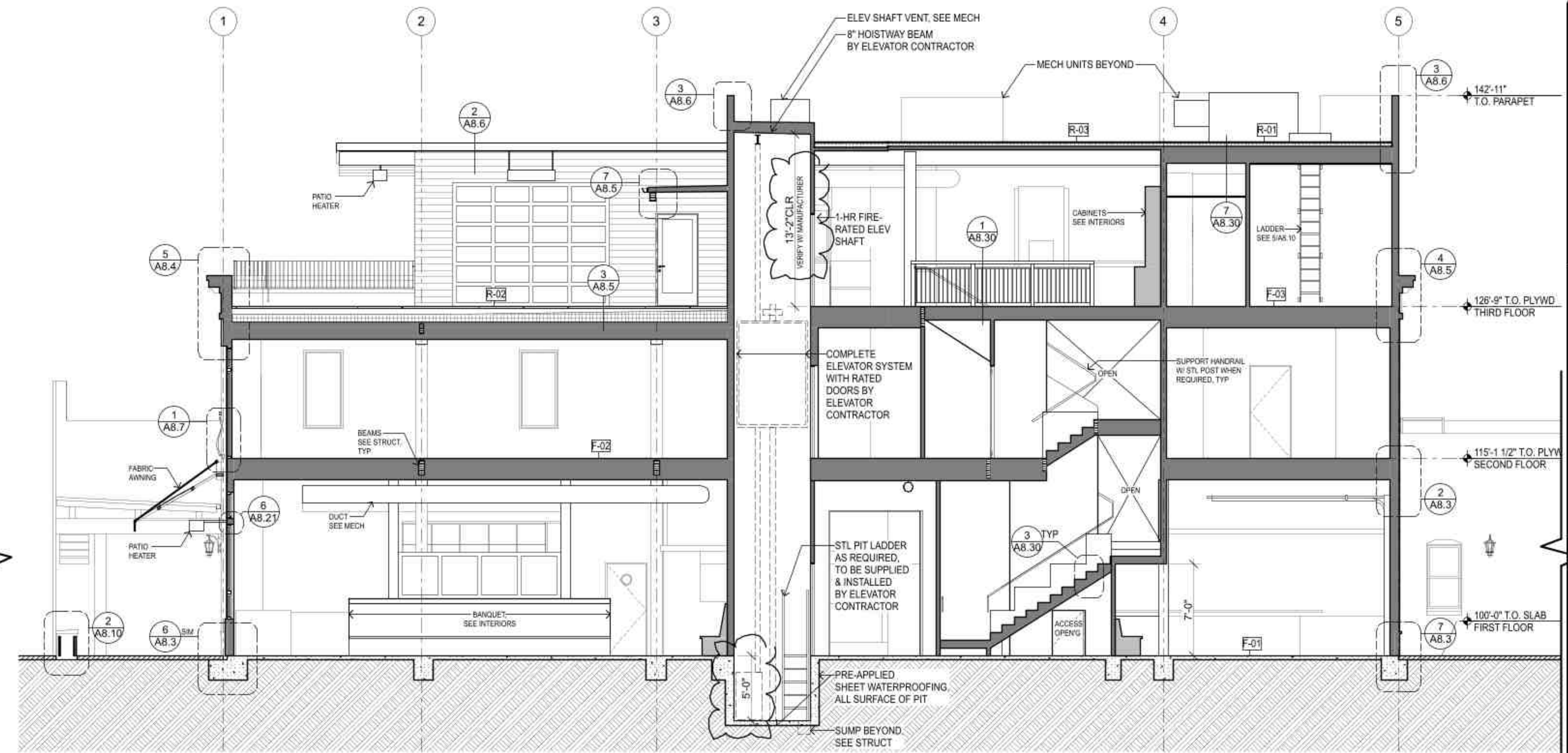
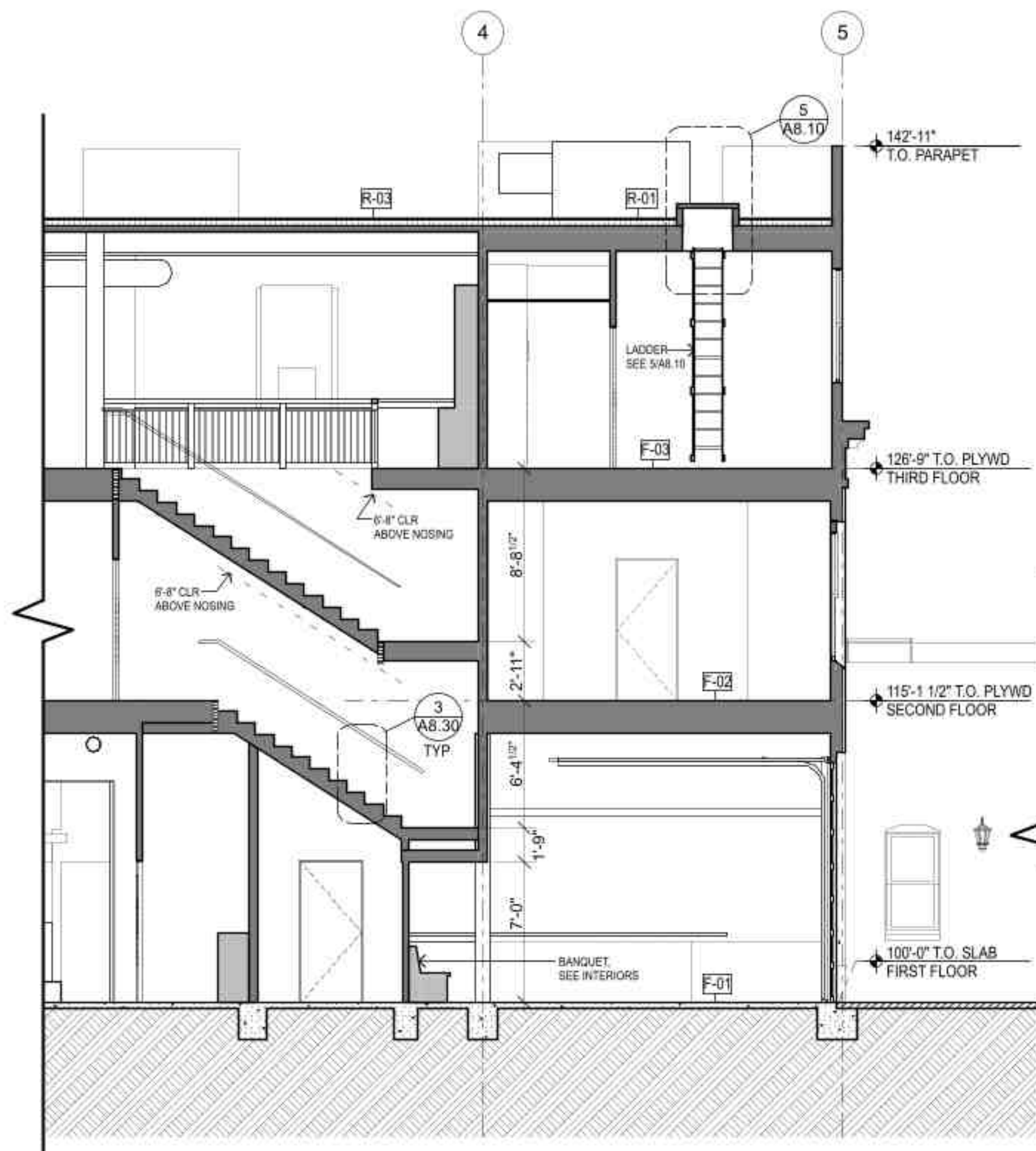
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645 NE 3rd Street
McMinnville, Oregon 97128

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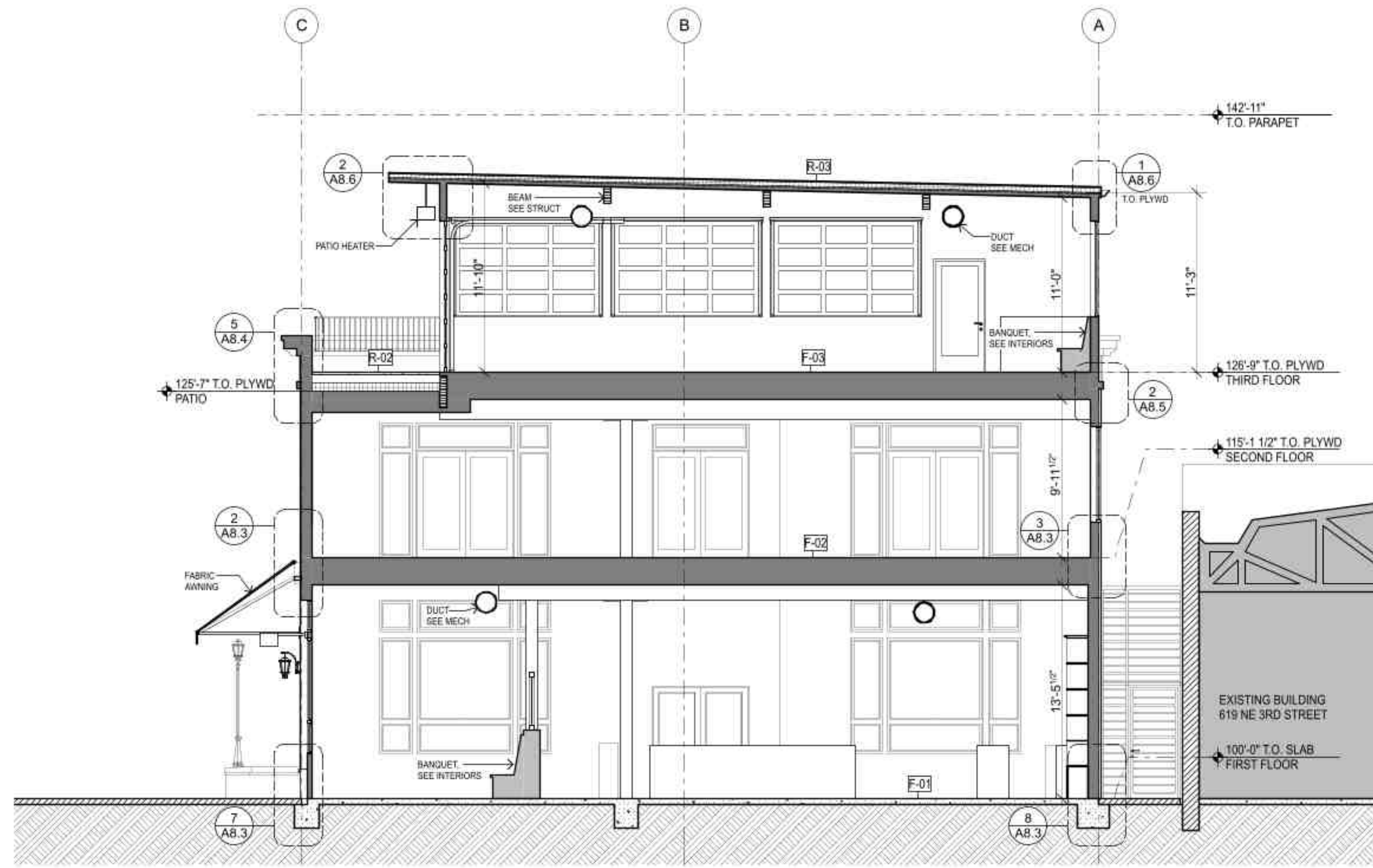
A3.3
WEST ELEVATION



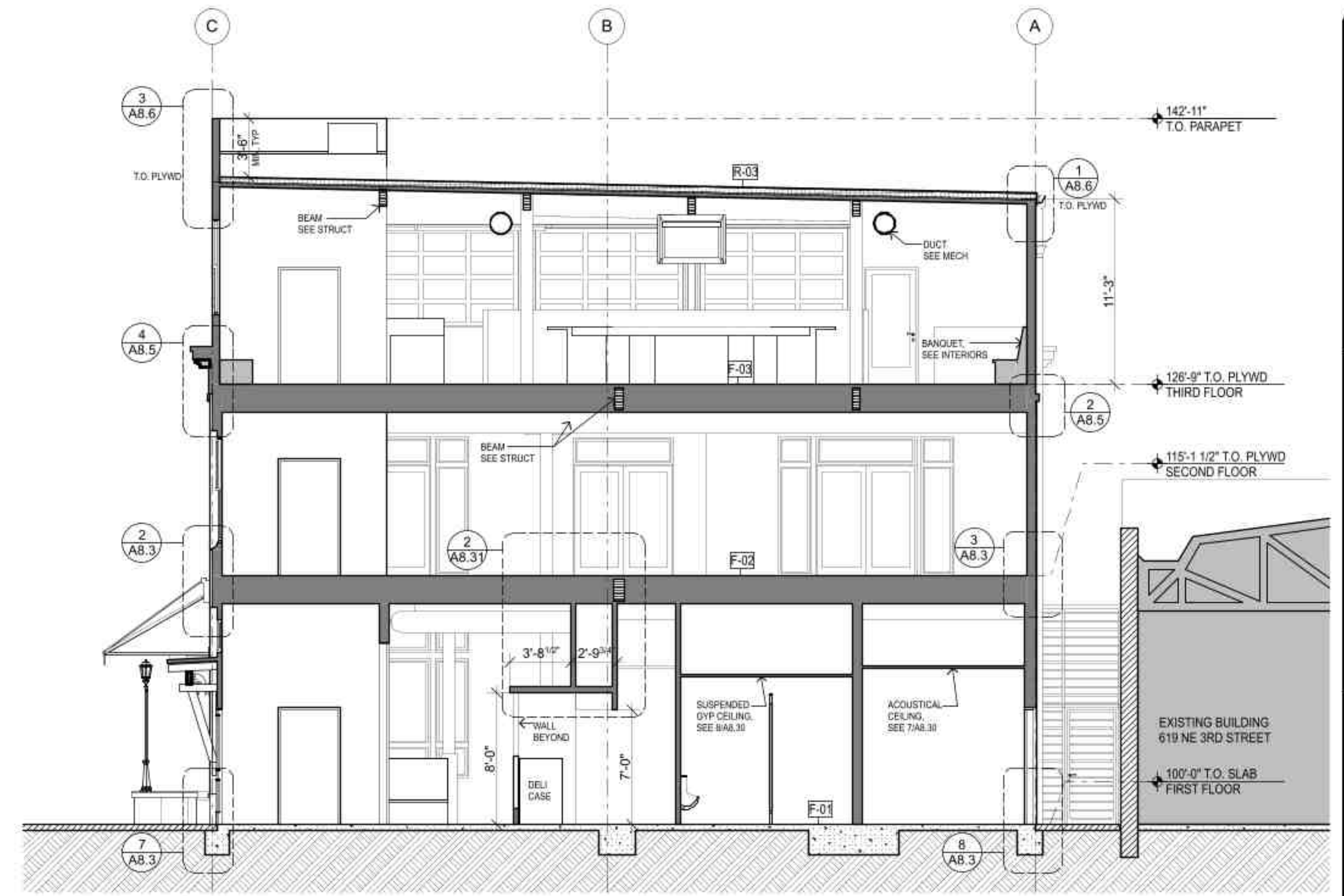
1 SECTION
SCALE: 3/16" = 1'-0"

2 SECTION
SCALE: 3/16" = 1'-0"

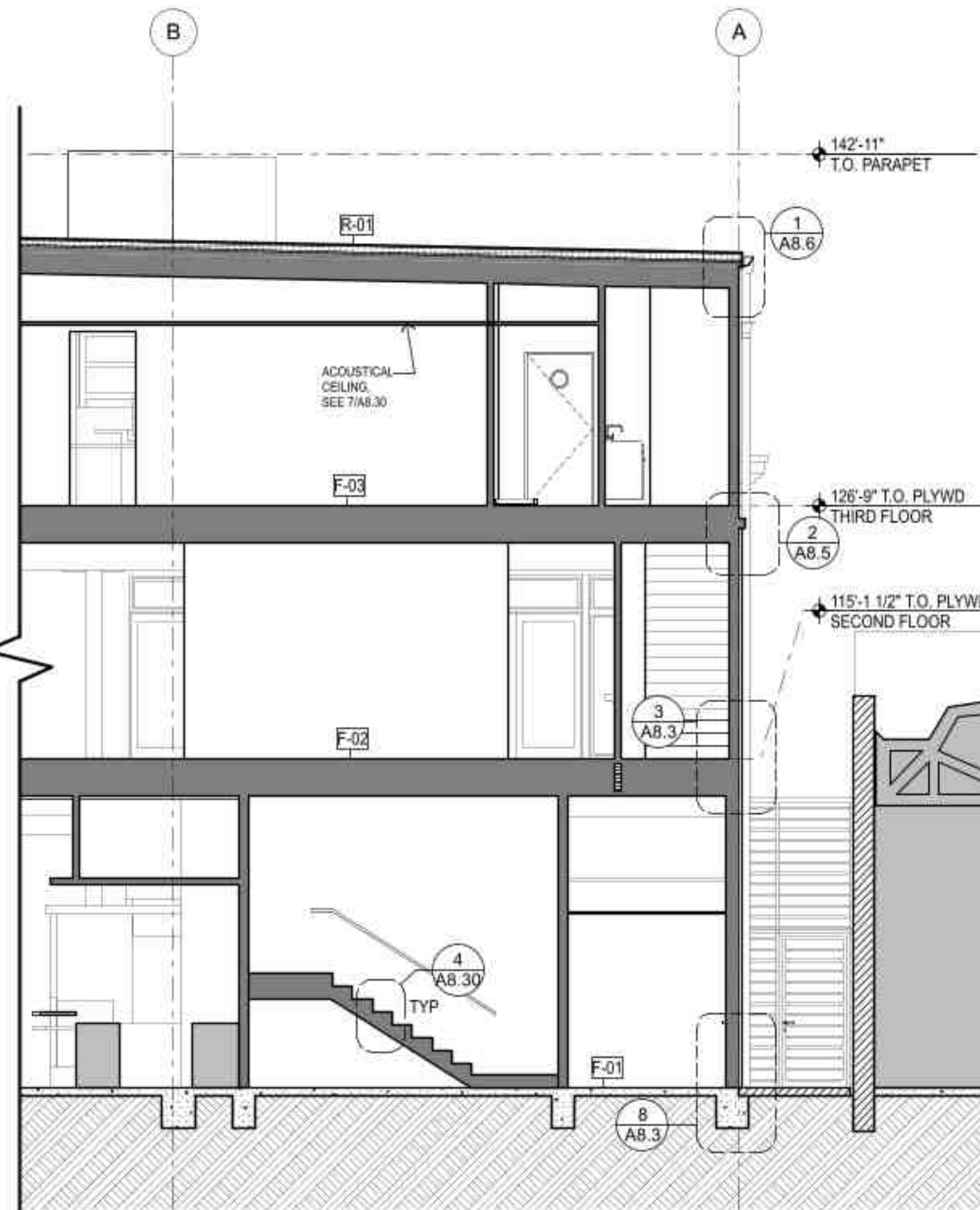
3 SECTION
SCALE: 3/16" = 1'-0"



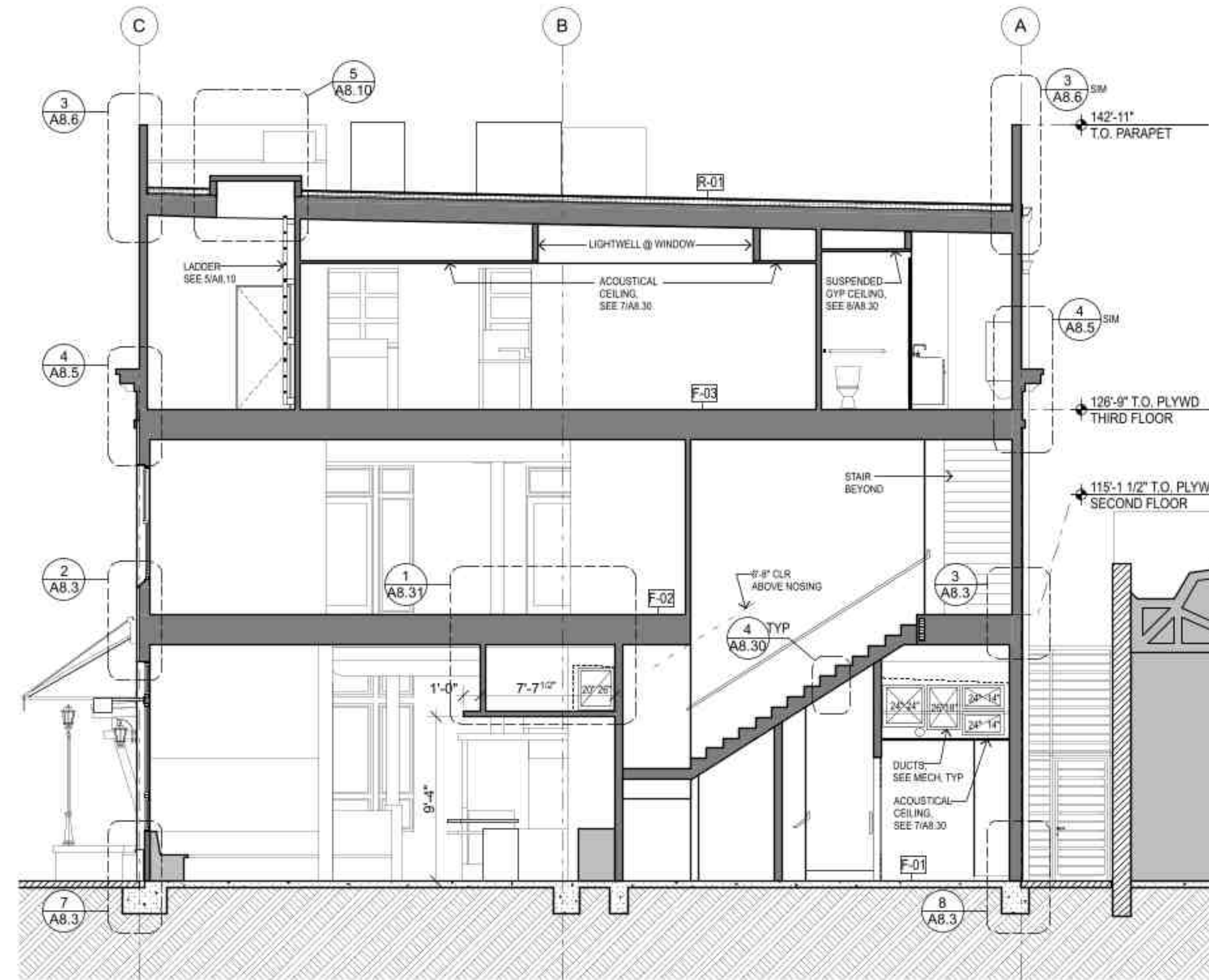
1 SECTION
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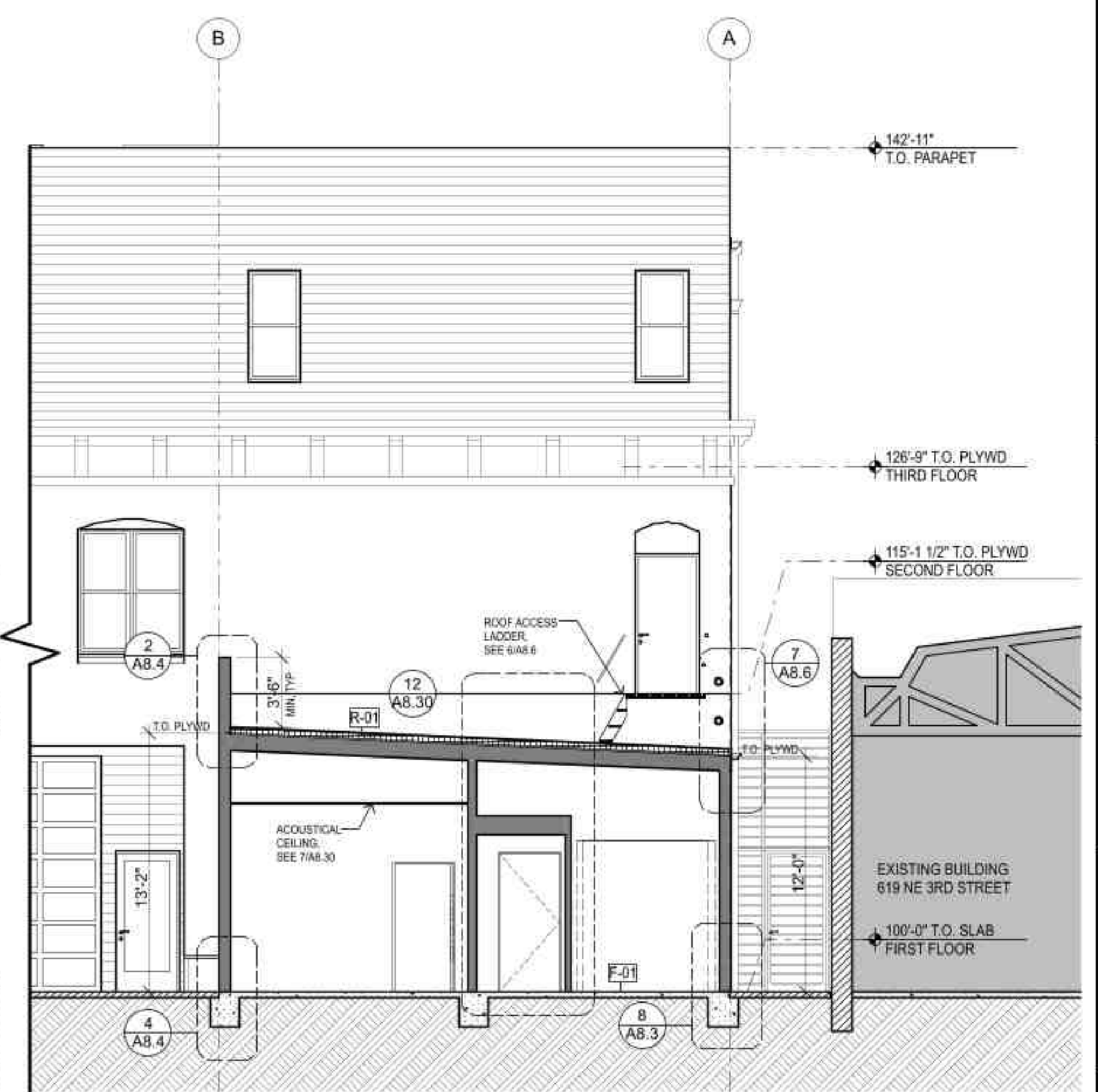
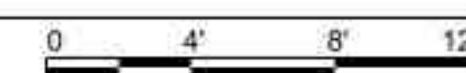
2 SECTION
SCALE: 3/16" = 1'-0"



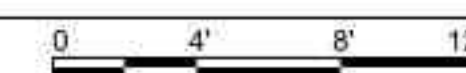
3 SECTION
SCALE: 3/16" = 1'-0"



4 SECTION
SCALE: 3/16" = 1'-0"



5 SECTION
SCALE: 3/16" = 1'-0"



KAOS BUILDING

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PERMIT SET
DATE: 8/21/14
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A4.1
SECTIONS

GENERAL NOTES

- DIMENSIONS TO F.O. FRAMING OR CENTER LINE OF ELEMENT, U.N.O.
- CEILINGS TO BE PAINTED GYP BD UNLESS NOTED OTHERWISE. VERIFY SUSPENDED CEILING HEIGHT W/ REQUIRED MECHANICAL DUCTWORK.
- BASIC MECHANICAL AND LIGHTING INFORMATION SHOWN FOR COORDINATION PURPOSES. SEE MECH & ELECT DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE STRUCT, MECH, ELECT, PLUMBING, KITCHEN & INTERIORS DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
- PROVIDE RATED ACCESS PANELS TO CONCEALED SPACES AS REQ'D BY CODE (NOT SHOWN).
- PAINT EXPOSED DUCTS, GRILLES, CONDUIT & STRUCT HARDWARE U.N.O. SEE INTERIORS FOR ADD'L INFO.

LEGEND

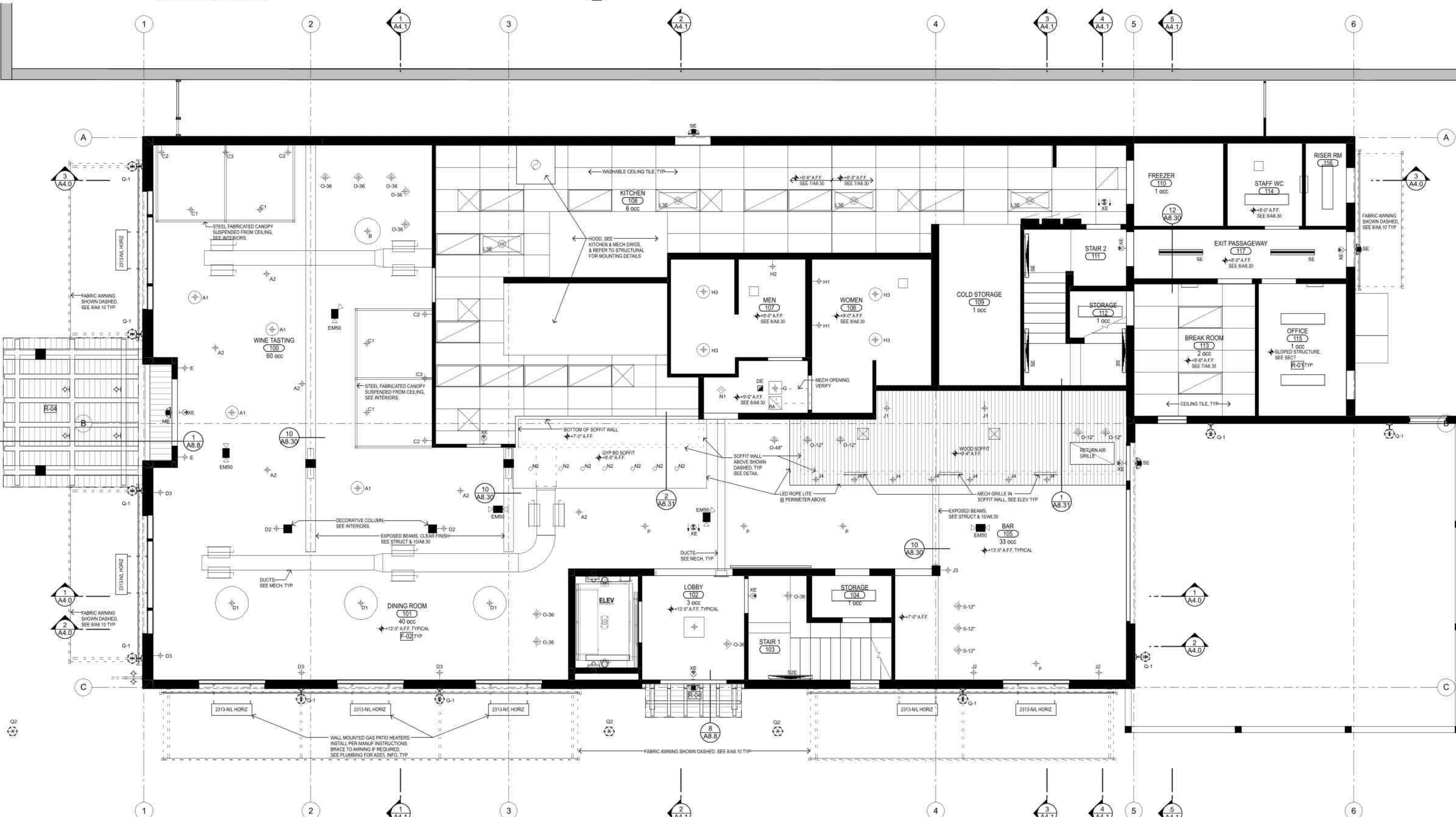
ROOM NAME ### ## OCC	ROOM NAME ROOM NUMBER OCCUPANT LOAD
	EXIT SIGN, CEILING OR HIGH-WALL MOUNTED READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL SEE ELECTRICAL FOR ADDITIONAL INFO.
	WALL / FLOOR / ROOF TYPE, SEE A8.0 & A8.1
	CEILING ELEVATION (APPROX. TO BE VERIFIED) ABOVE FINISH FLOOR, SEE SECTIONS
	WOOD CEILING

EGRESS LIGHTING LEGEND

	WALL SCONCE LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	CAN LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	2' X 4' LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	WALL MOUNTED LINEAR FIXTURE WITH INTEGRAL BATTERY BACKUP
	EXIT LIGHT WITH INTEGRAL BATTERY BACKUP
	EXIT LIGHT WITH EMERGENCY FLOOD LIGHTS & INTEGRAL BATTERY BACKUP
	EMERGENCY LIGHT - TURNS ON UPON POWER LOSS

GENERAL LIGHTING / MECH / ELECT LEGEND

	WALL SCONCE LIGHT FIXTURE
	BAR LAMP
	PENDANT LIGHT FIXTURE
	WALL-WASH FIXTURE
	RECESSED CAN LIGHT FIXTURE
	LIGHTING TRACK
	LINEAR FLUORESCENT LIGHT FIXTURE
	2' X 4' LIGHT FIXTURE
	CEILING RETURN & SUPPLY GRILLE, SEE MECHANICAL
	CEILING FAN
	SURFACE MOUNTED FIXTURE
	PANEL, SEE ELECTRICAL
	CEILING EXHAUST GRILLE, SEE MECHANICAL



1 FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

NATHAN COOPER ARCHITECT, LLC
902-729-2889
nathan@nathancooperarchitect.com 6911 SW 32nd Ave. Portland, OR 97219

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KAOS BUILDING

KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

PERMIT SET
DATE: 8/21/14
REVISION: FOR CONSTRUCTION SET

REGISTERED ARCHITECT
NATHAN T. COOPER
PORTLAND, OREGON
STATE OF OREGON

A5.1

FIRST FLOOR RCP

GENERAL NOTES

- DIMENSIONS TO F.O. FRAMING OR CENTER LINE OF ELEMENT, U.N.O.
- CEILINGS TO BE PAINTED GYP BD UNLESS NOTED OTHERWISE. VERIFY SUSPENDED CEILING HEIGHT W/ REQUIRED MECHANICAL DUCTWORK.
- BASIC MECHANICAL AND LIGHTING INFORMATION SHOWN FOR COORDINATION PURPOSES. SEE MECH & ELECT DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE STRUCT, MECH, ELECT, PLUMBING, KITCHEN & INTERIORS DRAWINGS FOR ADDITIONAL INFORMATION.
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- PROVIDE RATED ACCESS PANELS TO CONCEALED SPACES AS REQ'D BY CODE (NOT SHOWN).
- PAINT EXPOSED DUCTS, GRILLES, CONDUIT & STRUCT HARDWARE U.N.O. SEE INTERIORS FOR ADD'L INFO.

LEGEND

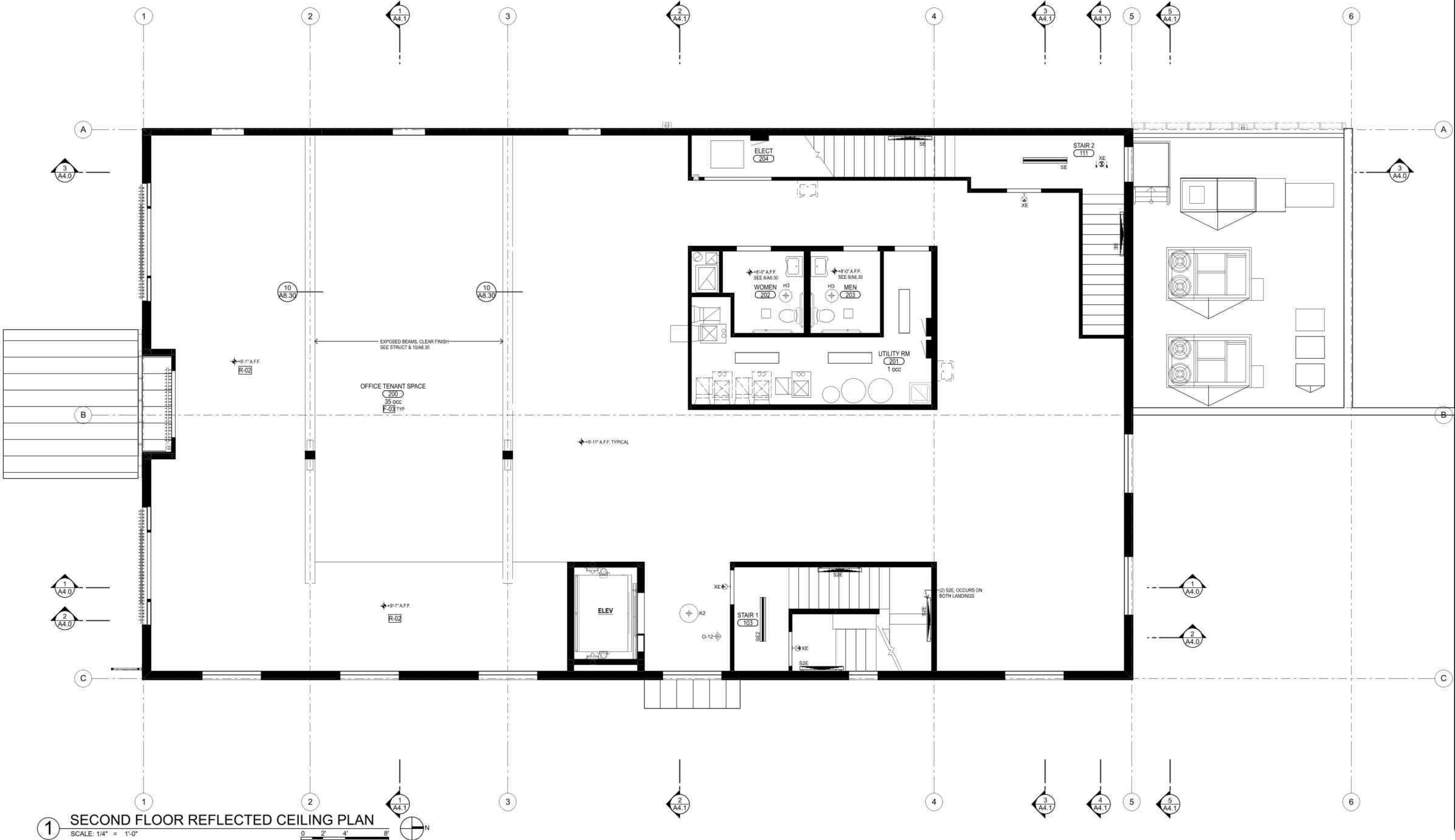
ROOM NAME ## ## OCC	ROOM NAME ROOM NUMBER OCCUPANT LOAD
	EXIT SIGN, CEILING OR HIGH-WALL MOUNTED READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL SEE ELECTRICAL FOR ADDITIONAL INFO.
	WALL / FLOOR / ROOF TYPE, SEE A8.0 & A8.1
	CEILING ELEVATION (APPROX. TO BE VERIFIED) ABOVE FINISH FLOOR, SEE SECTIONS
	WOOD CEILING

EGRESS LIGHTING LEGEND

	WALL SCONCE LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	CAN LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	2' X 4' LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
	WALL MOUNTED LINEAR FIXTURE WITH INTEGRAL BATTERY BACKUP
	EXIT LIGHT WITH INTEGRAL BATTERY BACKUP
	EXIT LIGHT WITH EMERGENCY FLOOD LIGHTS & INTEGRAL BATTERY BACKUP
	EMERGENCY LIGHT - TURNS ON UPON POWER LOSS

GENERAL LIGHTING / MECH / ELECT LEGEND

	WALL SCONCE LIGHT FIXTURE
	BAR LAMP
	PENDANT LIGHT FIXTURE
	WALL-WASH FIXTURE
	RECESSED CAN LIGHT FIXTURE
	LIGHTING TRACK
	LINEAR FLUORESCENT LIGHT FIXTURE
	2' X 4' LIGHT FIXTURE
	CEILING RETURN & SUPPLY GRILLE, SEE MECHANICAL
	CEILING FAN
	SURFACE MOUNTED FIXTURE
	PANEL, SEE ELECTRICAL
	CEILING EXHAUST GRILLE, SEE MECHANICAL



GENERAL NOTES

- DIMENSIONS TO F.O. FRAMING OR CENTER LINE OF ELEMENT, U.N.O.
- CEILINGS TO BE PAINTED GYP BD UNLESS NOTED OTHERWISE. VERIFY SUSPENDED CEILING HEIGHT W/ REQUIRED MECHANICAL DUCTWORK.
- BASIC MECHANICAL AND LIGHTING INFORMATION SHOWN FOR COORDINATION PURPOSES. SEE MECH & ELECT DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE STRUCT, MECH, ELECT, PLUMBING, KITCHEN & INTERIORS DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL CALLOUTS ALSO REFER TO ALL SIMILAR ITEMS THAT OCCUR ON SAME SHEET.
- PROVIDE RATED ACCESS PANELS TO CONCEALED SPACES AS REQ'D BY CODE (NOT SHOWN).
- PAINT EXPOSED DUCTS, GRILLES, CONDUIT & STRUCT HARDWARE U.N.O. SEE INTERIORS FOR ADD'L INFO.

LEGEND

ROOM NAME ##	ROOM NAME ROOM NUMBER OCCUPANT LOAD
EXIT SIGN, CEILING OR HIGH-WALL MOUNTED READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL SEE ELECTRICAL FOR ADDITIONAL INFO.	
F-01	WALL / FLOOR / ROOF TYPE, SEE A8.0 & A8.1
10'-0" A.F.F.	CEILING ELEVATION (APPROX. TO BE VERIFIED) ABOVE FINISH FLOOR, SEE SECTIONS
	WOOD CEILING

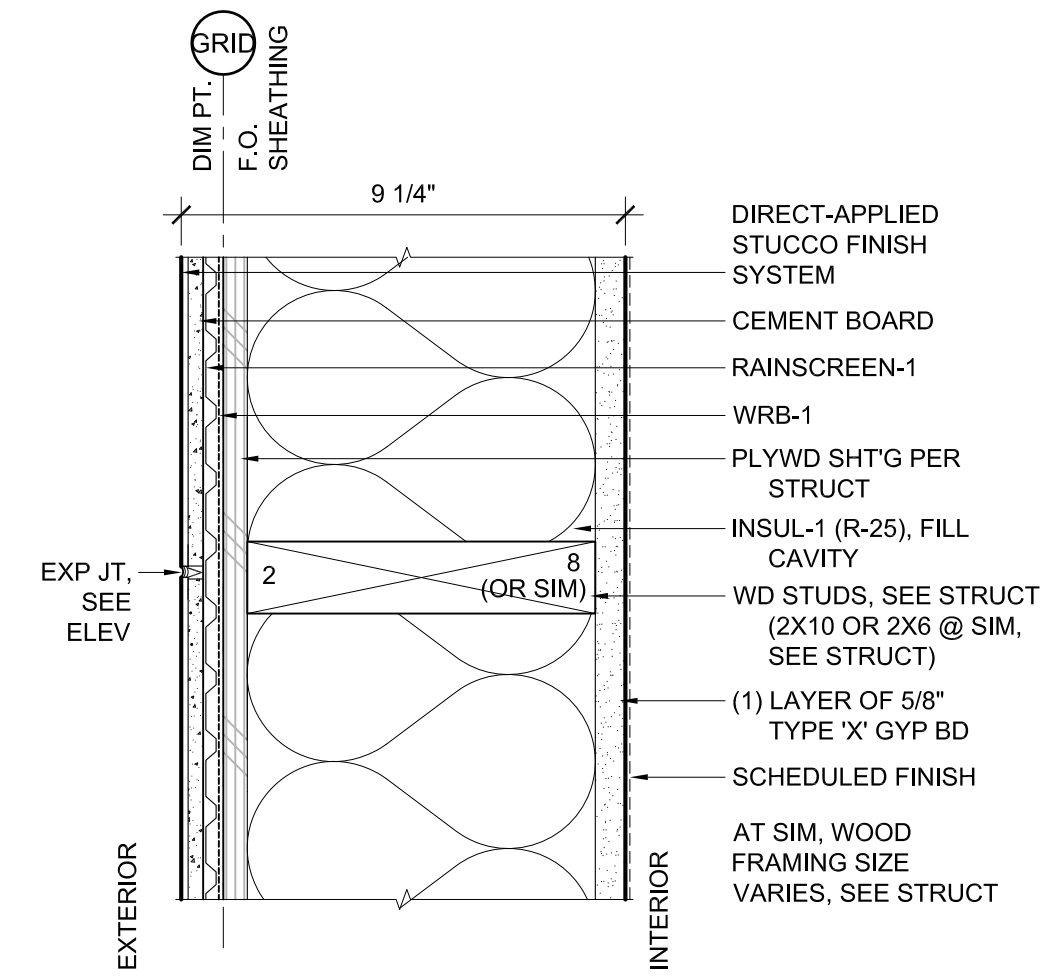
EGRESS LIGHTING LEGEND

ME	WALL SCONCE LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
DE	CAN LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
L3E	2' X 4' LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
LE	LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
SE	LINEAR LIGHT FIXTURE WITH INTEGRAL BATTERY BACKUP
SE / SE	WALL MOUNTED LINEAR FIXTURE WITH INTEGRAL BATTERY BACKUP
XE / XWE	EXIT LIGHT WITH INTEGRAL BATTERY BACKUP
XCE	EXIT LIGHT WITH EMERGENCY FLOOD LIGHTS & INTEGRAL BATTERY BACKUP
EM75 / EM50	EMERGENCY LIGHT - TURNS ON UPON POWER LOSS

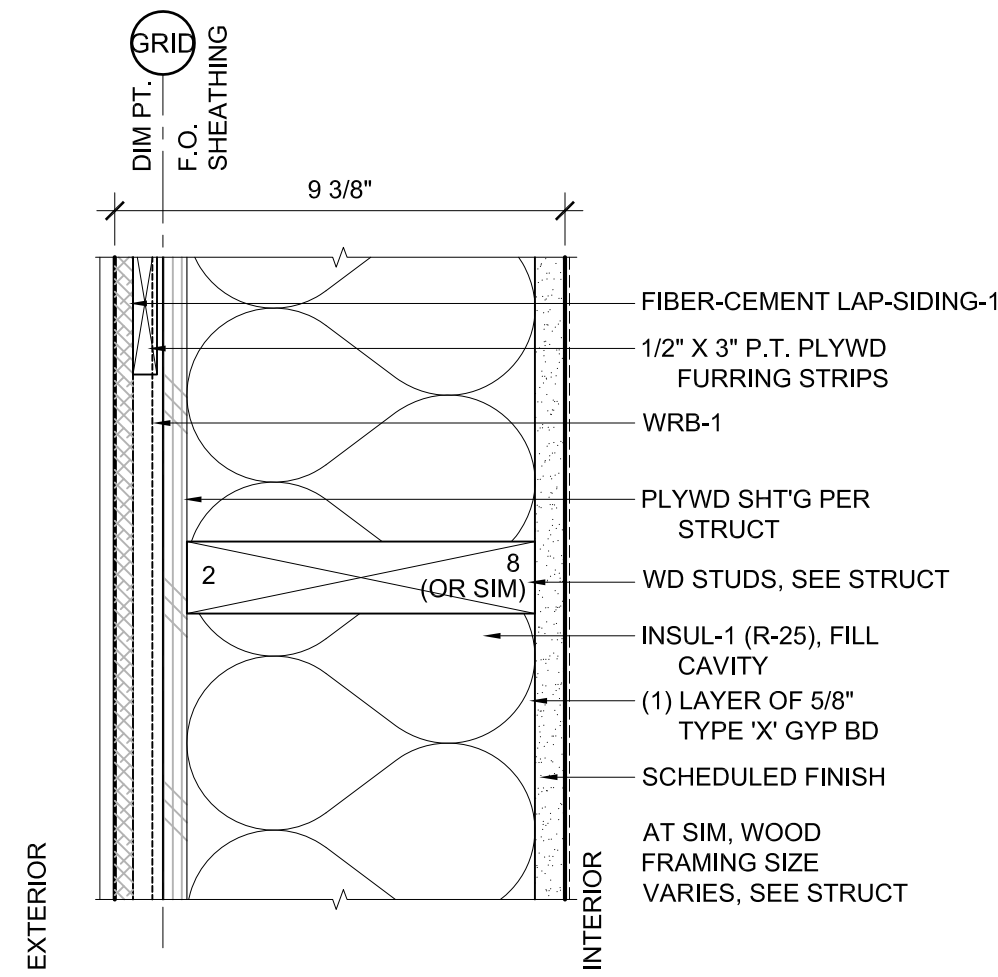
GENERAL LIGHTING / MECH / ELECT LEGEND

WALL SCONCE LIGHT FIXTURE	CEILING RETURN & SUPPLY GRILLE, SEE MECHANICAL
BAR LAMP	CEILING FAN
PENDANT LIGHT FIXTURE	SURFACE MOUNTED FIXTURE
WALL-WASH FIXTURE	PANEL, SEE ELECTRICAL
RECESSED CAN LIGHT FIXTURE	CEILING EXHAUST GRILLE, SEE MECHANICAL
LIGHTING TRACK	
LINEAR FLUORESCENT LIGHT FIXTURE	
2' X 4' LIGHT FIXTURE	

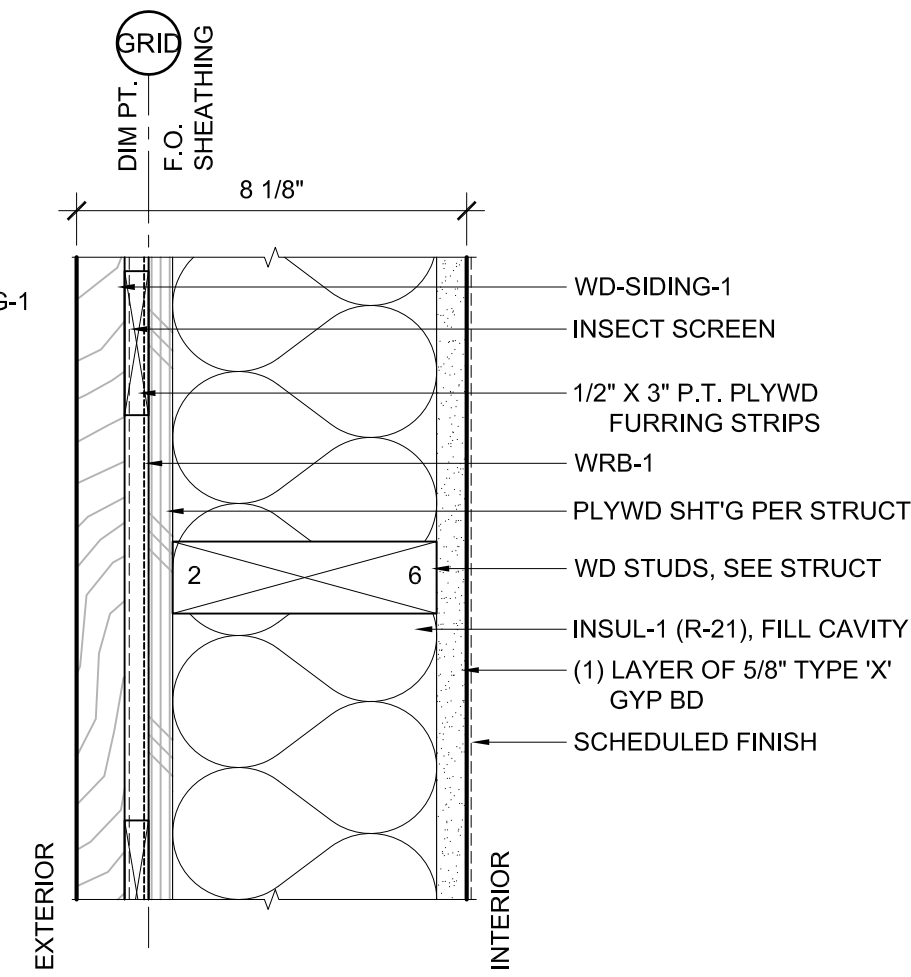




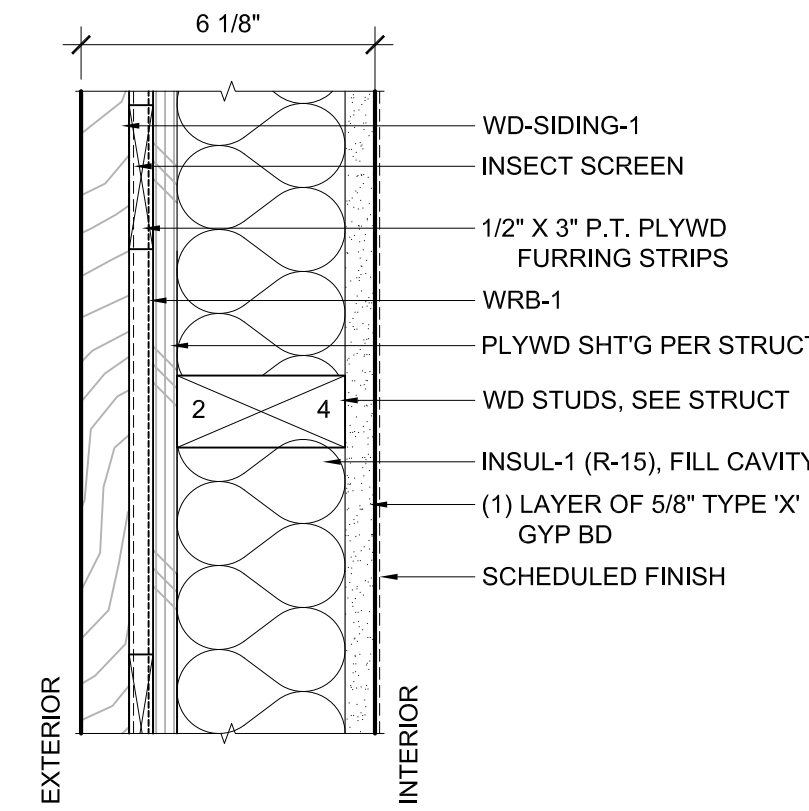
W-01 **EXTERIOR WALL** 1-HR, R-25+
3" = 1'-0" **RATED FROM INSIDE ONLY**



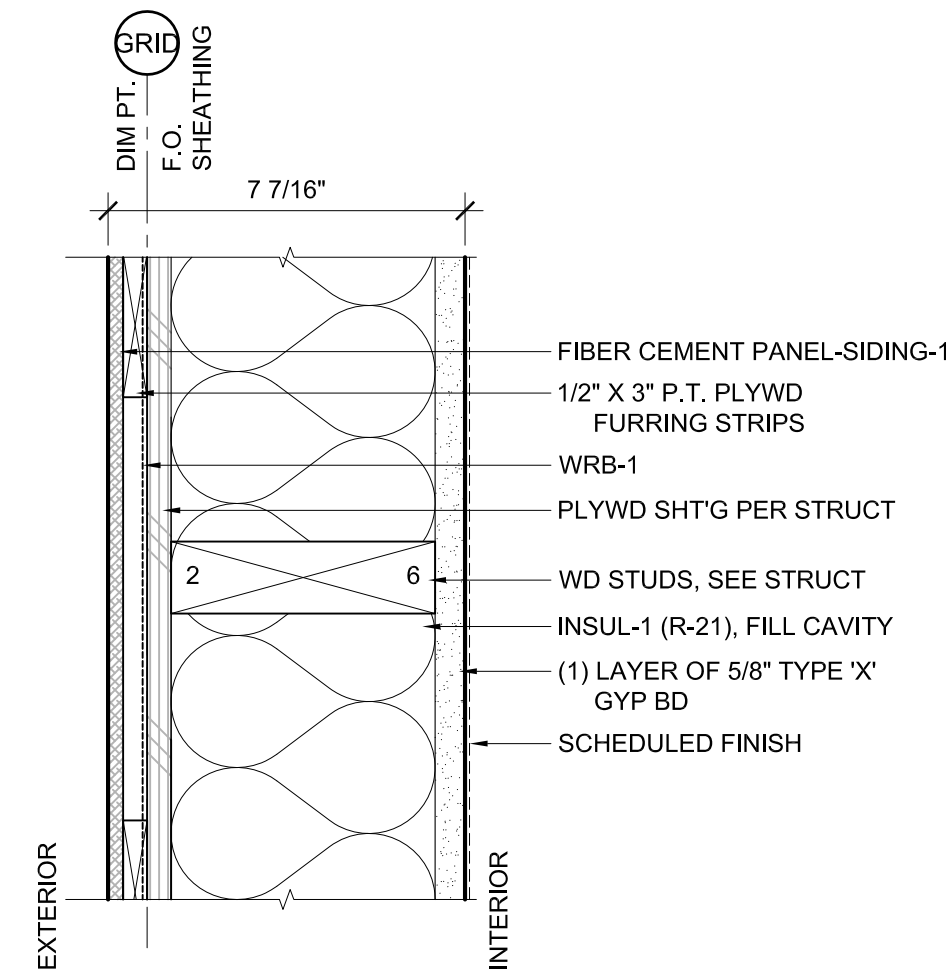
W-02 **EXTERIOR WALL** 1-HR, R-25+
3" = 1'-0" **RATED FROM INSIDE ONLY**



W-03 **EXTERIOR WALL** 1-HR, R-21+
3" = 1'-0" **RATED FROM INSIDE ONLY**



W-04 **EXTERIOR WALL** 1-HR, R-15+
3" = 1'-0" **RATED FROM INSIDE ONLY**

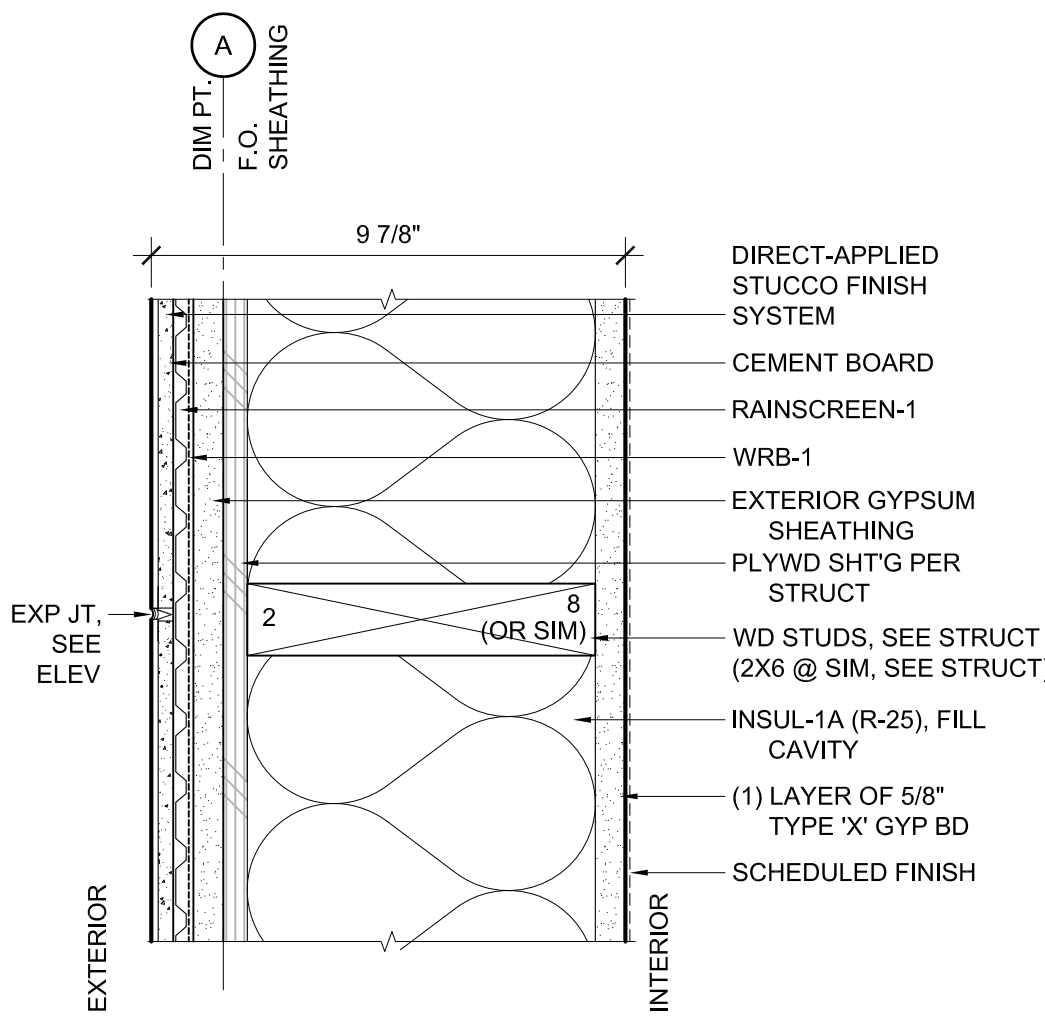


W-05 **EXTERIOR WALL** 1-HR, R-21+
3" = 1'-0" **RATED FROM INSIDE ONLY**

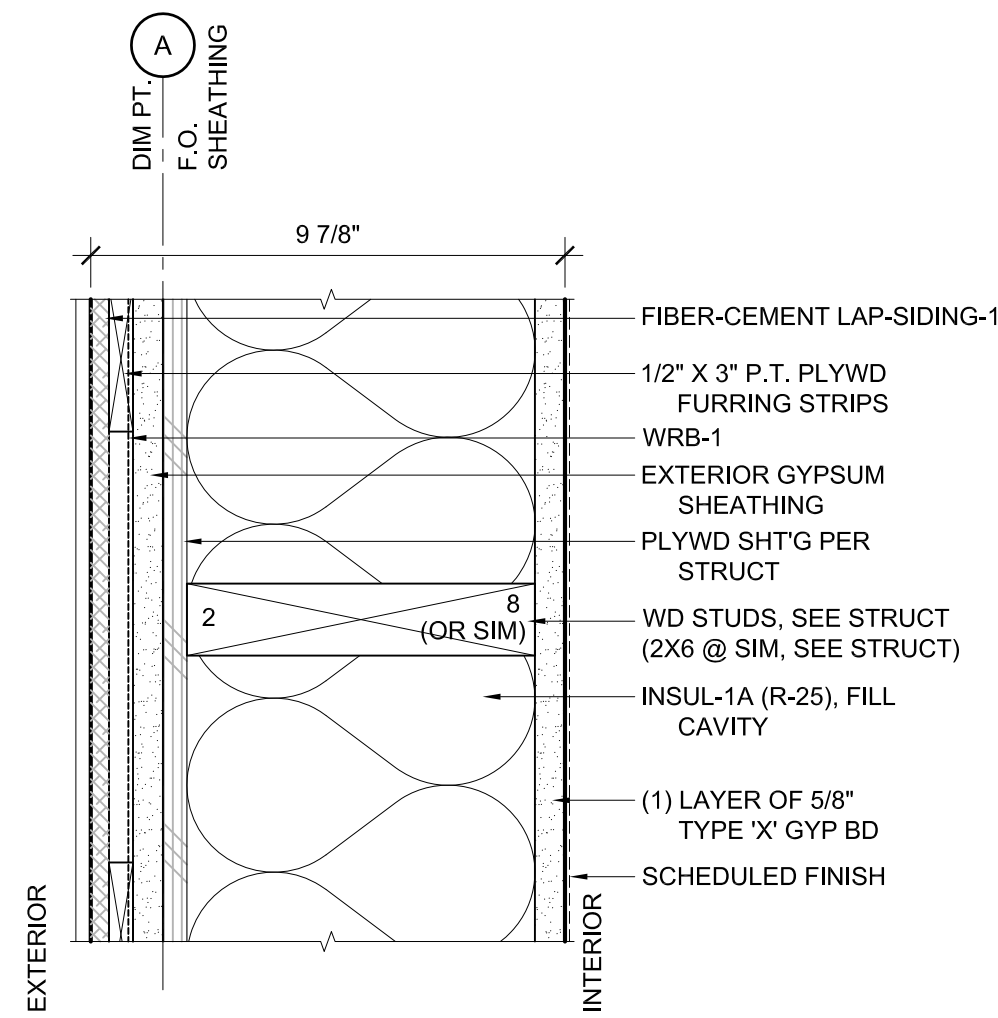
GENERAL NOTES:

ALL TYPICAL BUILDING ASSEMBLIES THIS PAGE

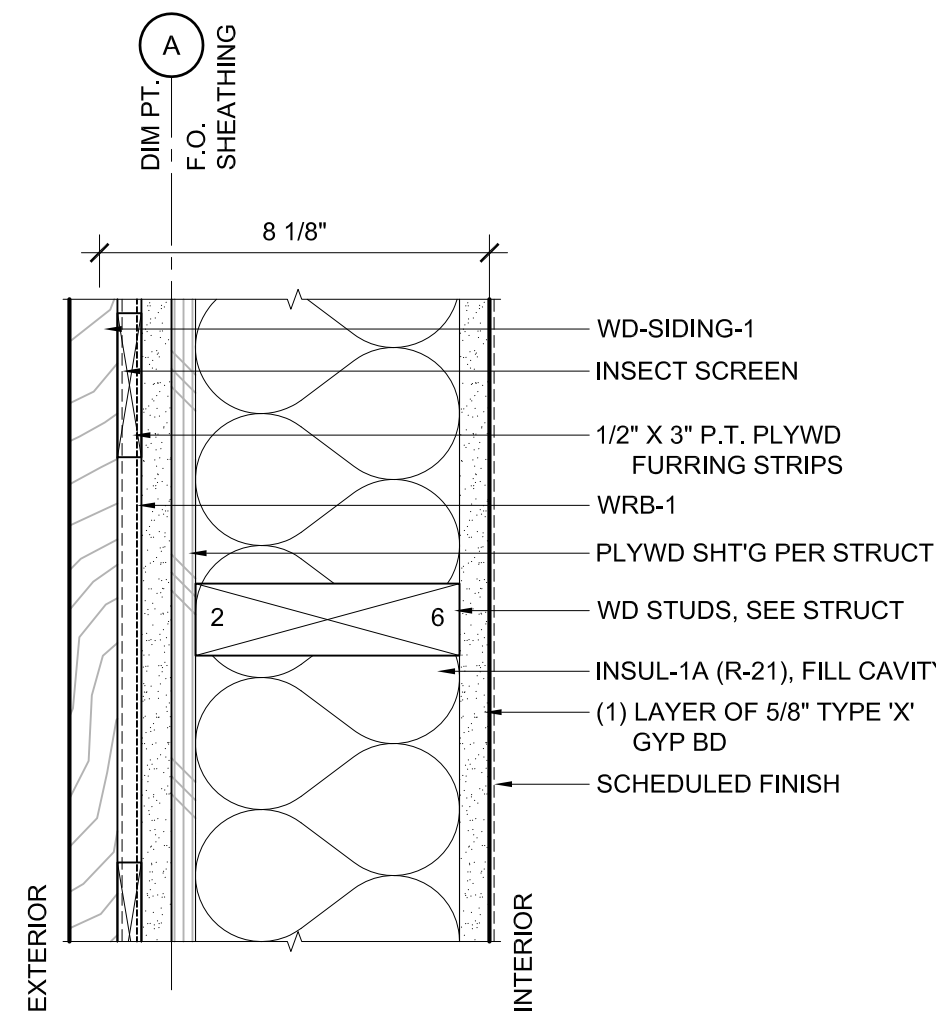
- SEE STRUCTURAL FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- BUILDING ASSEMBLIES SHOWN INDICATE TYPICAL INSTALLATIONS; SEE REMAINING CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION, DETAILS, AND ATYPICAL INSTALLATIONS.
- STRUCTURAL SHEATHING REQUIRED ON INSIDE OF WOOD FRAMING IN SOME LOCATIONS (NOT SHOWN IN STANDARD WALL TYPES), SEE STRUCTURAL. IF INTERIOR SHEATHING IS REQUIRED BUT DOES NOT COVER THE ENTIRE INTERIOR WALL SURFACE, ADD FURRING OR CONTINUE SHEATHING AS REQUIRED TO RESULT IN A CONSISTENT FINISH SURFACE.
- WRB-1 = FLUID APPLIED MEMBRANE AIR/WATER BARRIER SYSTEM
- AT WALL TYPES WITH AN "a" DESIGNATION, SEE ACOUSTICAL DETAILS ON A8.30 FOR WALL HEAD & BASE CONDITIONS AND INFO ON WALL INTERSECTIONS AND OUTLETS.



W-11 **EXTERIOR WALL** 1-HR, R-25+
3" = 1'-0" 3" = 1'-0" **RATED FROM BOTH SIDES, UL U344**

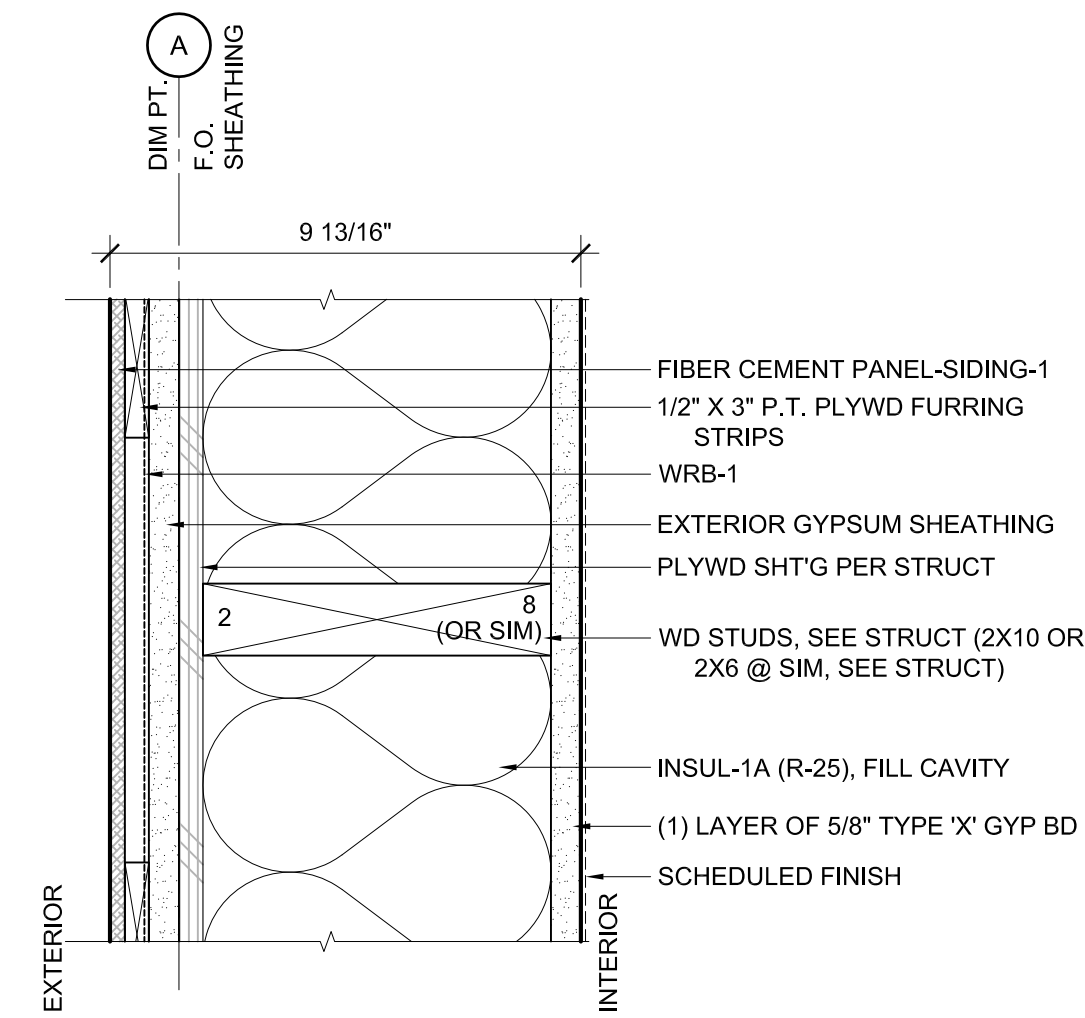


W-12 **EXTERIOR WALL** 1-HR, R-25+
3" = 1'-0" 3" = 1'-0" **RATED FROM BOTH SIDES, UL U344**

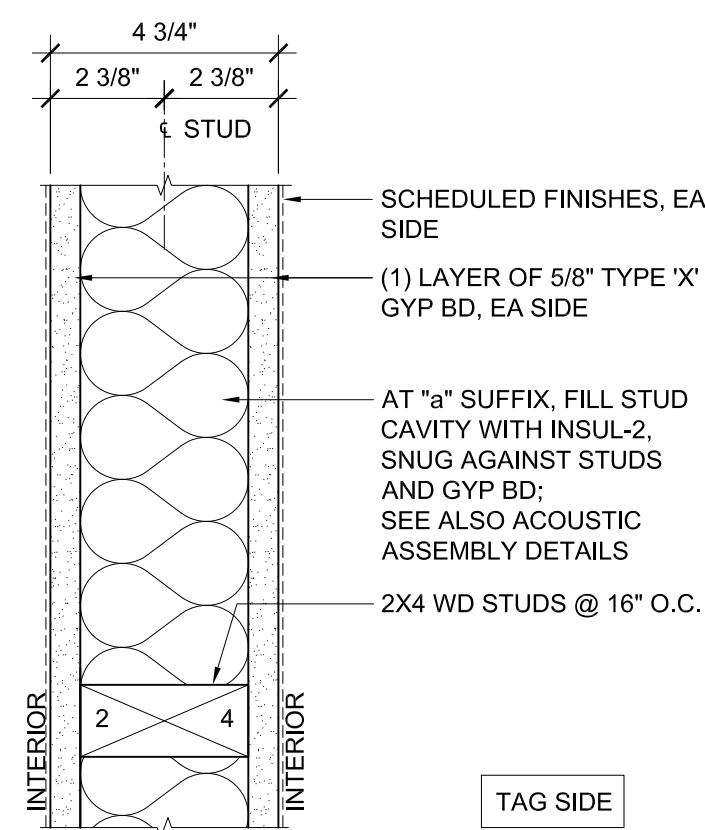


W-13 **EXTERIOR WALL** 1-HR, R-25+
3" = 1'-0" 3" = 1'-0" **RATED FROM BOTH SIDES, UL U344**

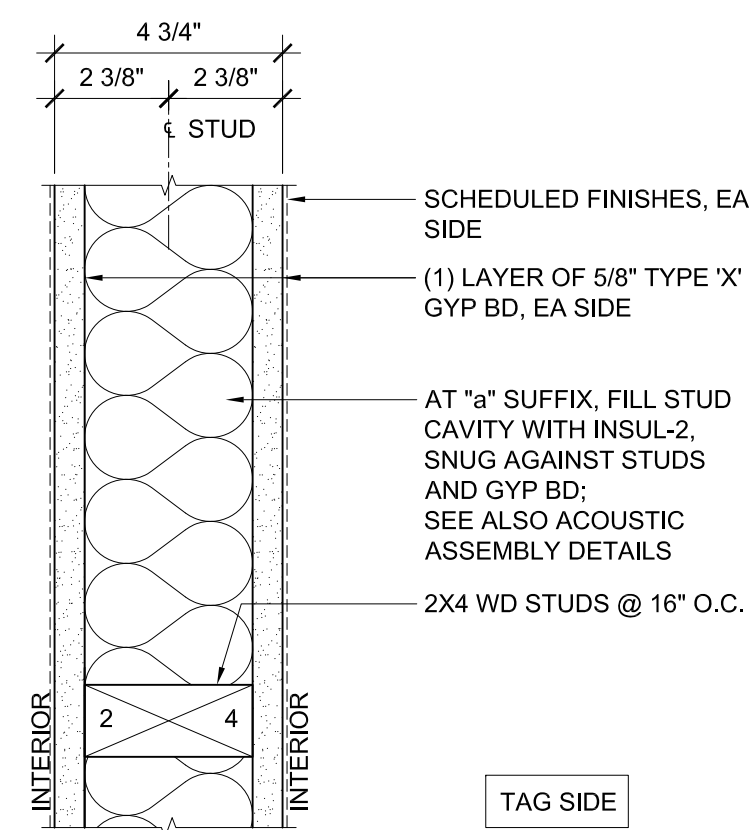
W-14 **NOT USED**



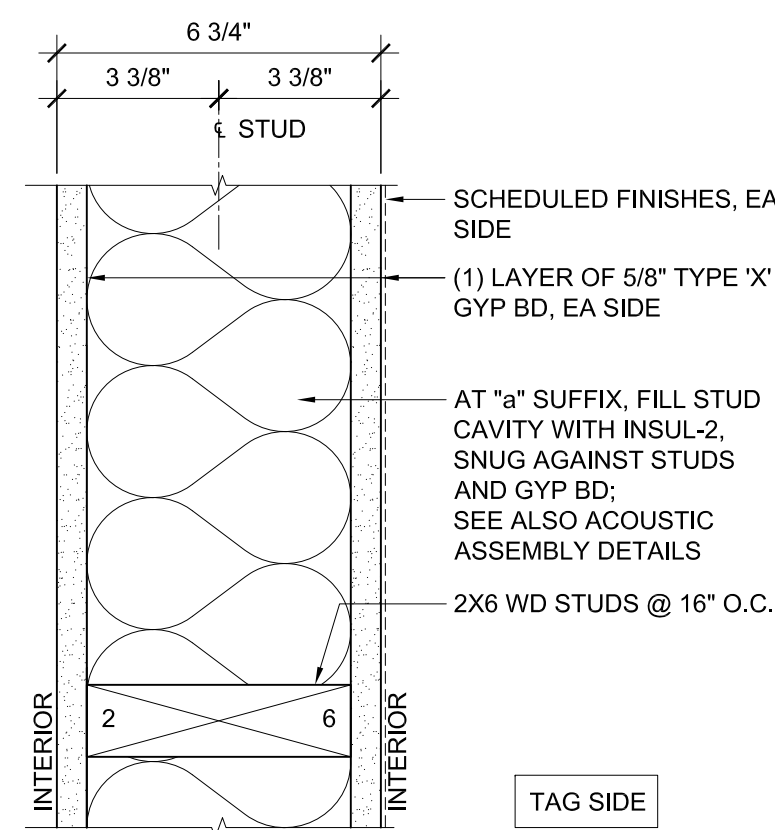
W-15 **EXTERIOR WALL** 1-HR, R-25+
3" = 1'-0" 3" = 1'-0" **RATED FROM BOTH SIDES, UL U344**



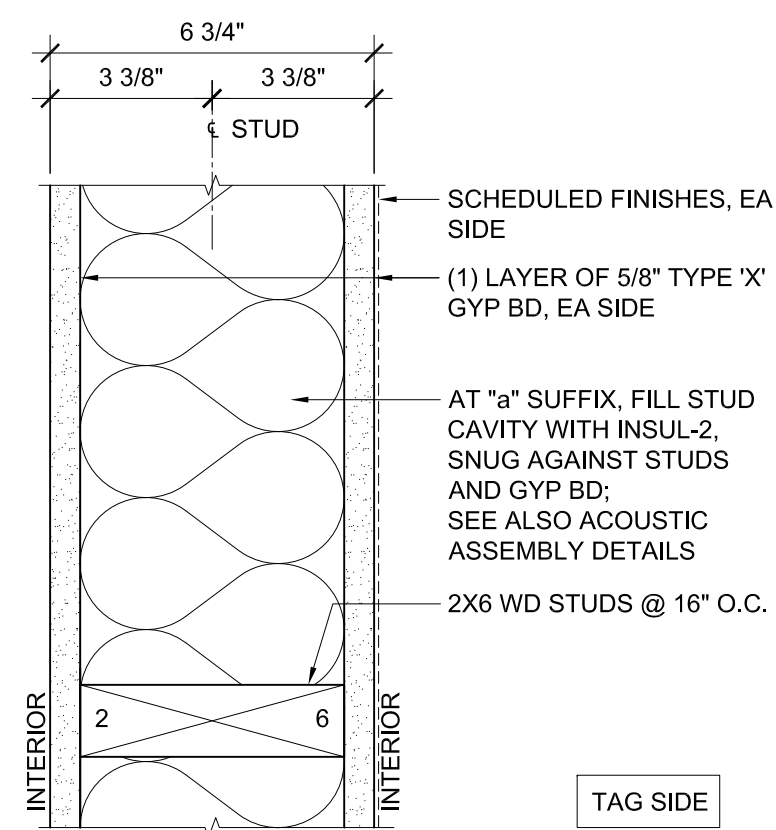
W-40 **INTERIOR WALL** UNRATED
3" = 1'-0"



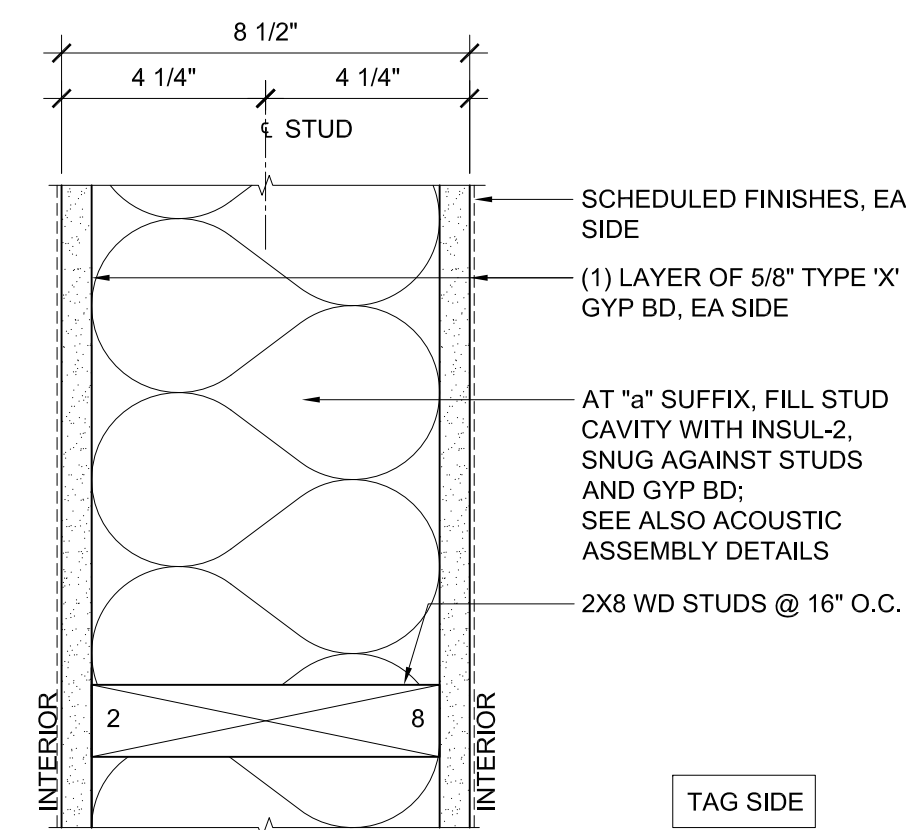
W-41 **INTERIOR WALL** 1 HR, 35 STC
3" = 1'-0" GA WP 3514



W-60 **INTERIOR WALL** UNRATED
3" = 1'-0"



W-61 **INTERIOR WALL** 1 HR
3" = 1'-0" GA WP 3660



W-81 **INTERIOR WALL** 1 HR
3" = 1'-0" GA WP 3660

KAOS BUILDING

KAOS Development, LLC
645 NE 3rd Street
McMinnville, Oregon 97128

3/31/14

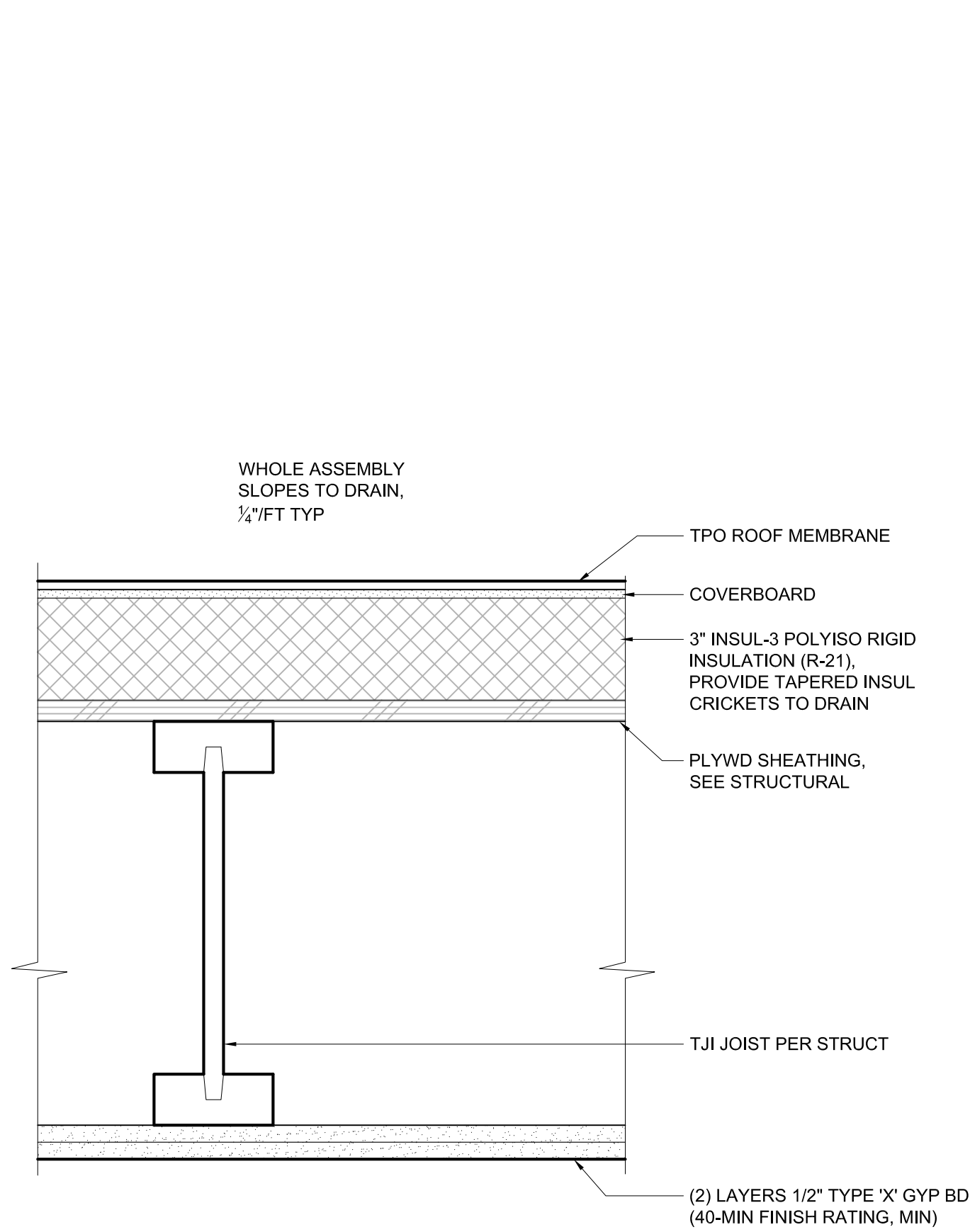
PERMIT SET
DATE REVISION



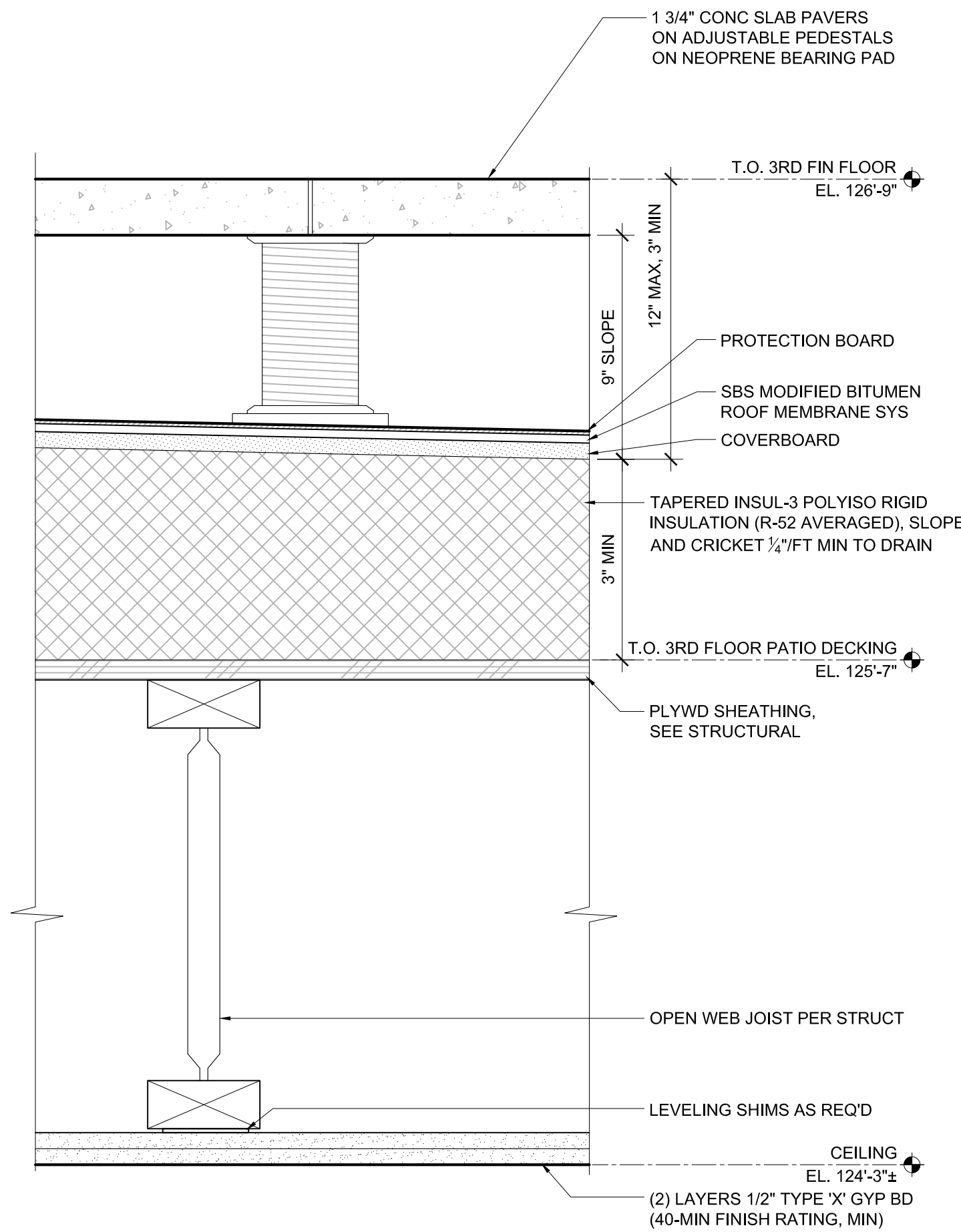
A8.0
TYPICAL BUILDING
ASSEMBLY DETAILS

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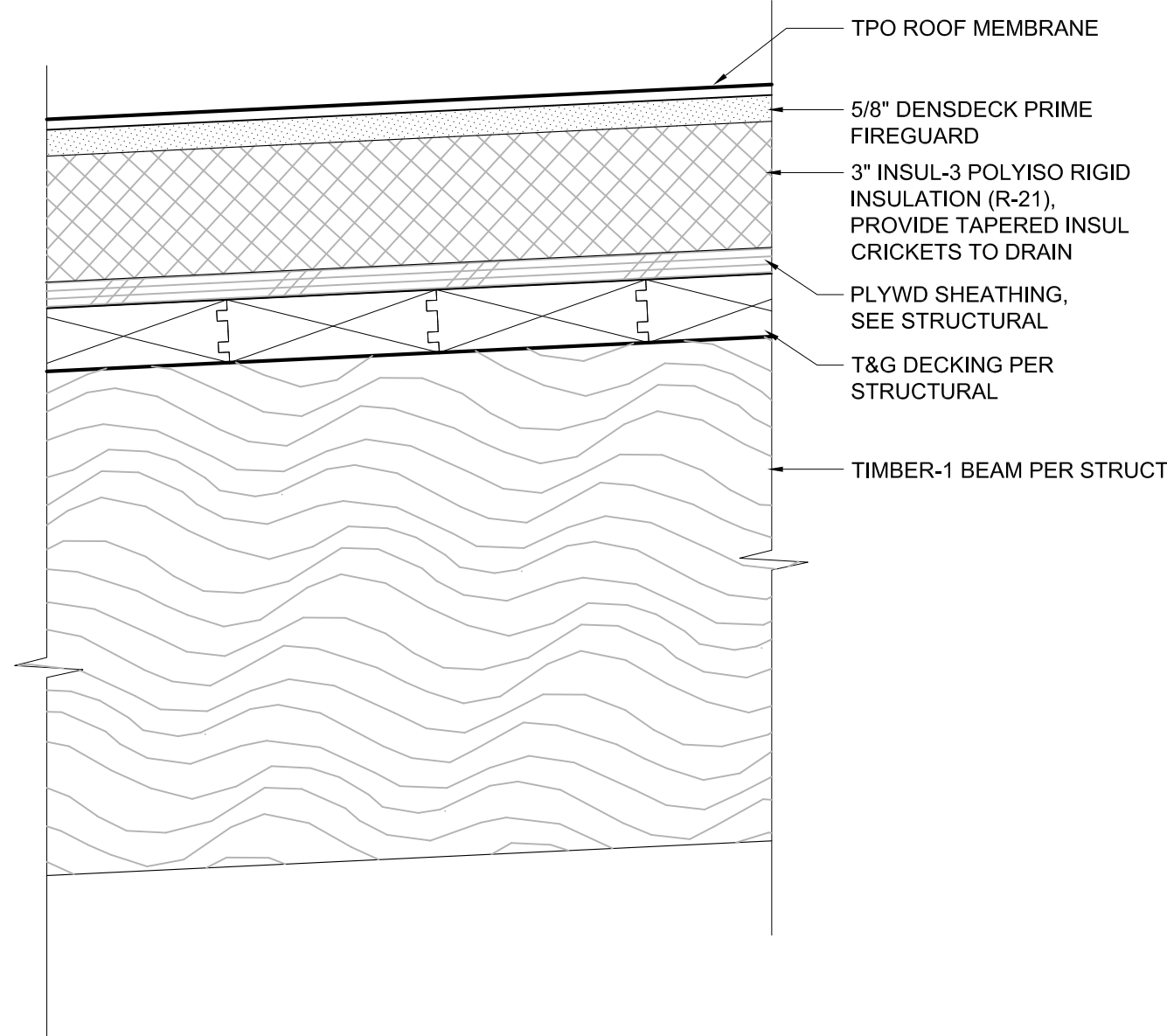
NATHAN COOPRIDGE
ARCHITECT, LLC
903-725-9399
nathan@nathancoopridge.com 6811 SW 53rd Ave, Portland OR 97219



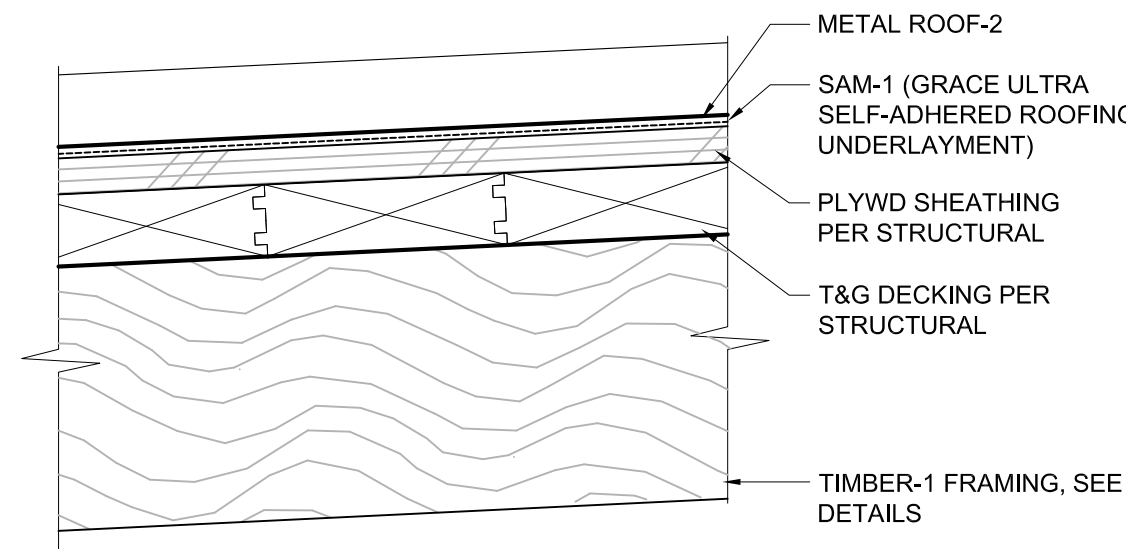
R-01 UPPER ROOF / LOWER ROOF 1-HR, R-21+
3" = 1'-0" FOR ADDITIONAL INFO SEE:
TRUSSJOIST ASSEMBLY B
WNR FCA 60-01
WNR FCA 60-03
PFS FA-1
ICC-ES ESR-1153



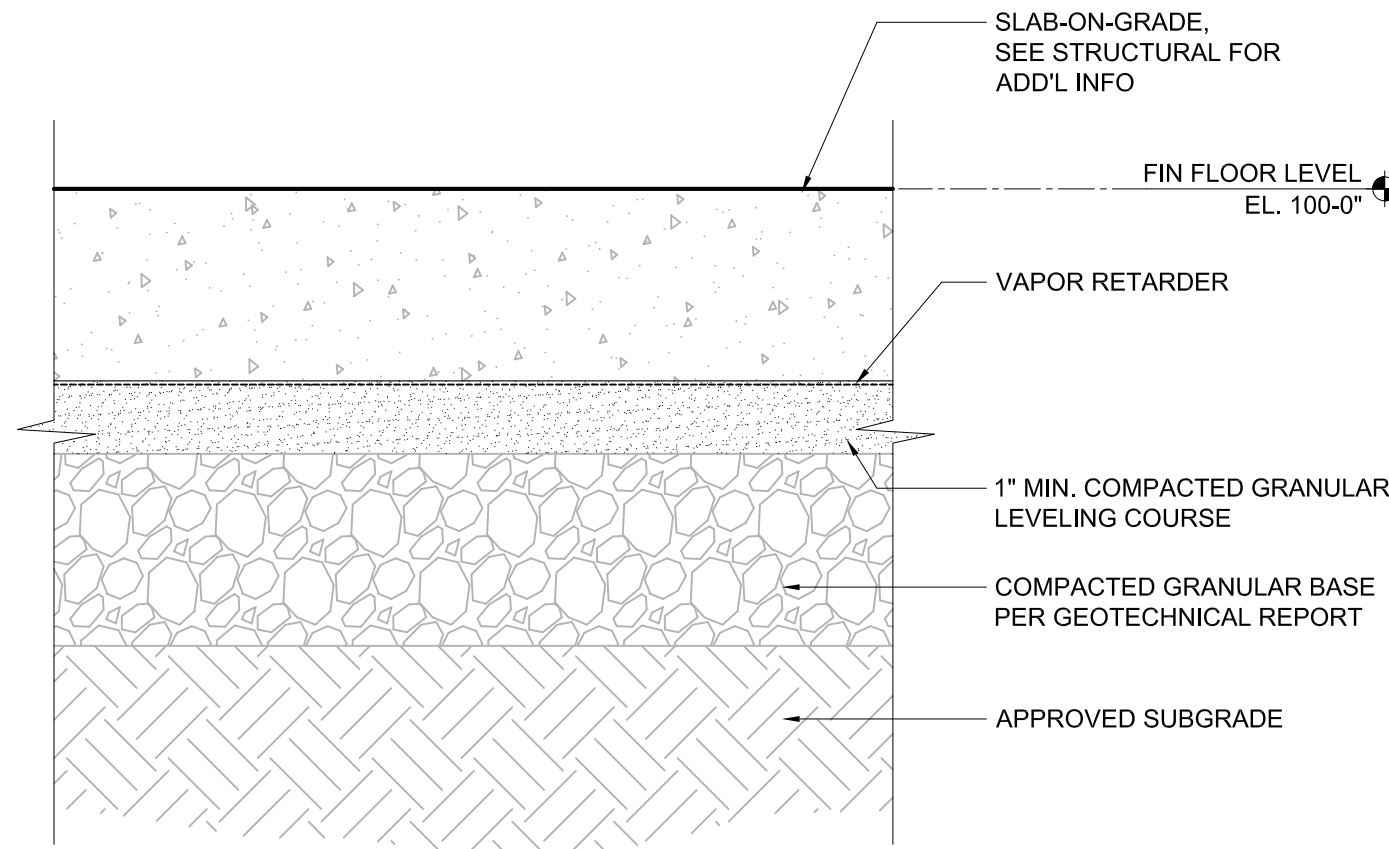
R-02 3RD FLOOR PATIO ROOF 1-HR, R-52
3" = 1'-0" FOR ADDITIONAL INFO SEE:
REDBUILT ASSEMBLY B,
CAN/ULC-S101; ICC ES report
ESR-1774; PFS Corp. listing;
GA Assemblies FC 5406 & RC 2601



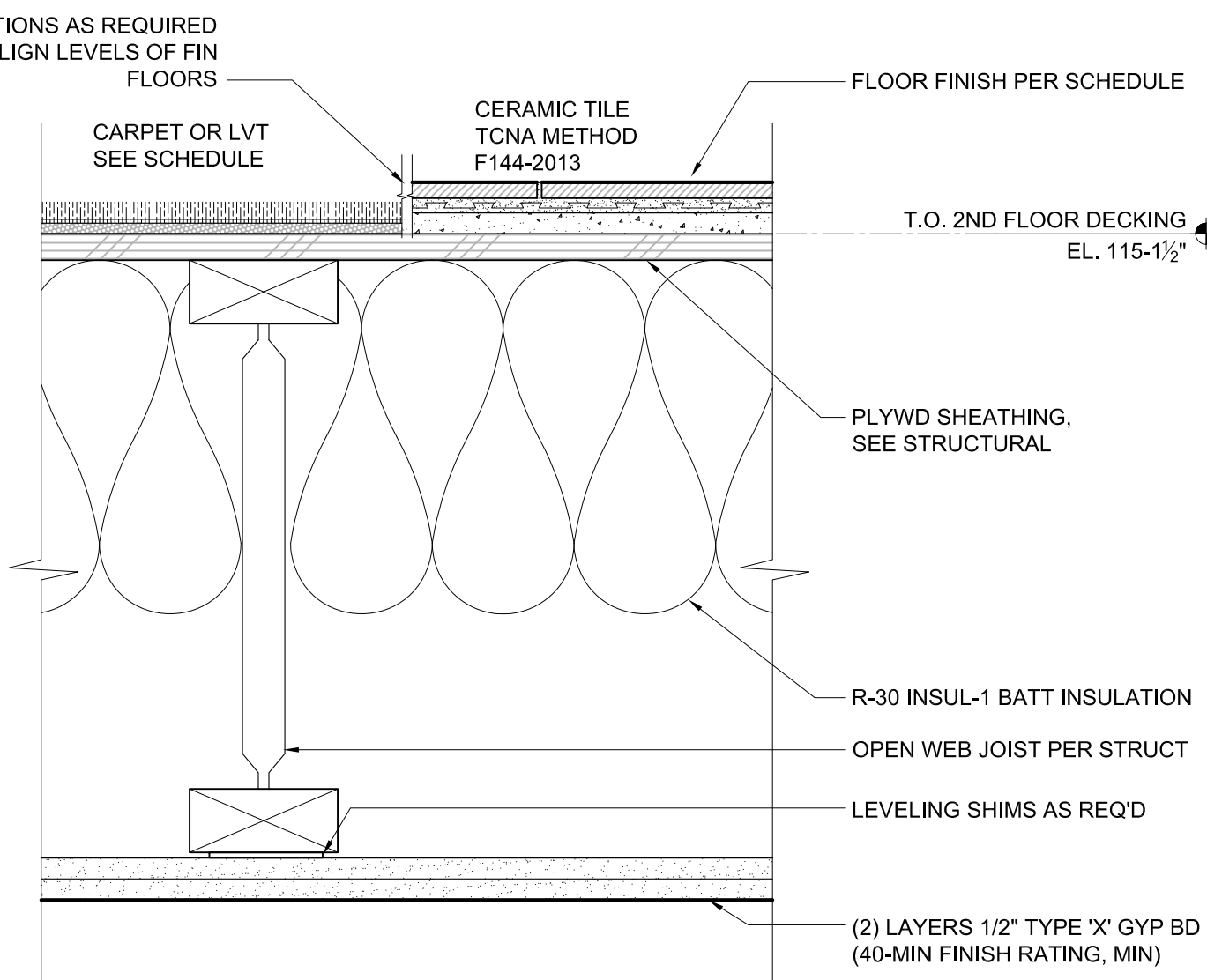
R-03 UPPER HEAVY TIMBER ROOF R-21
3" = 1'-0" TYPE IV HEAVY TIMBER
CONSTRUCTION



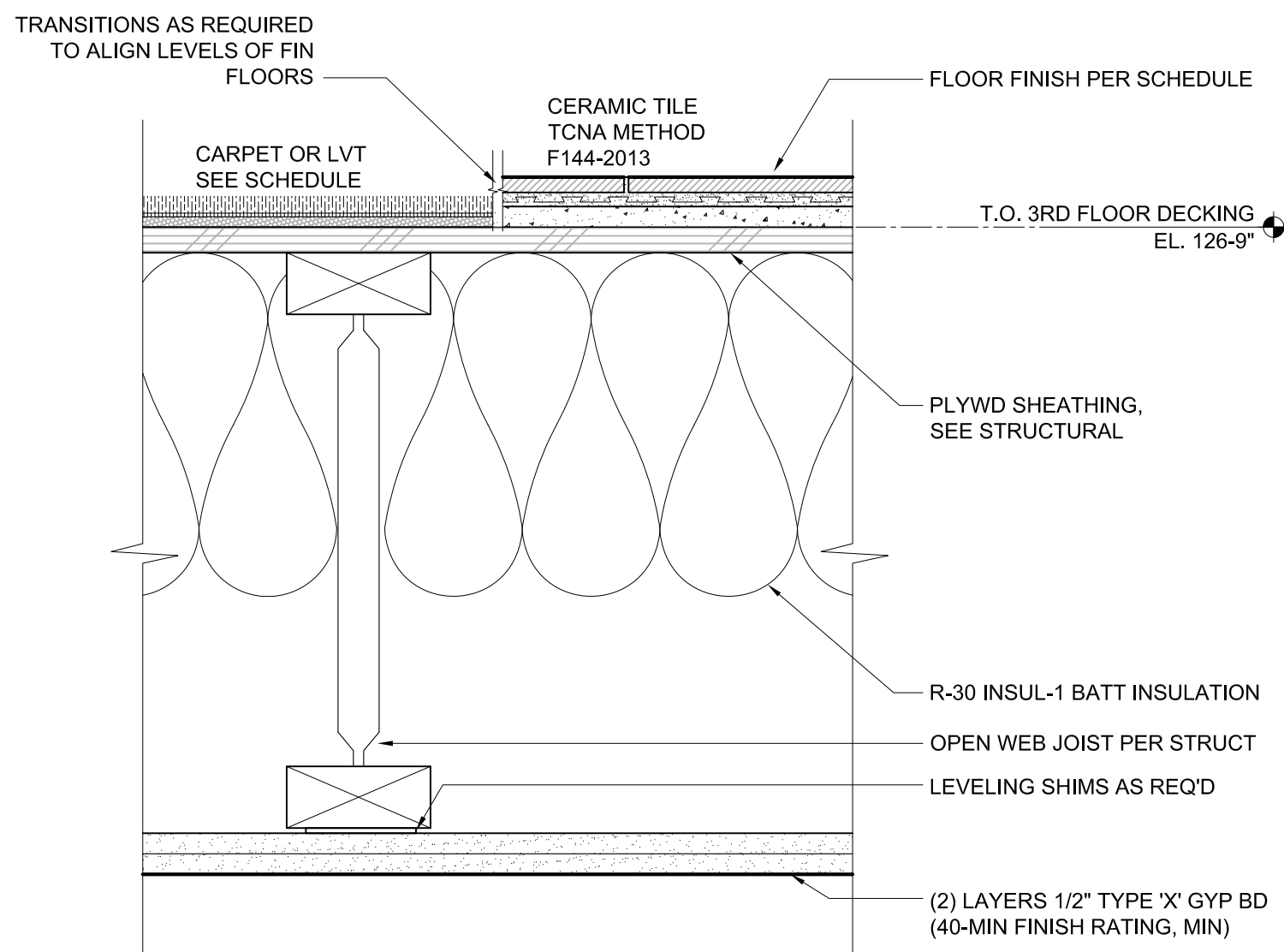
R-04 LOW SLOPE CANOPY ROOF
3" = 1'-0" TYPE IV HEAVY TIMBER
CONSTRUCTION



F-01 CONCRETE FLOOR NON-RATED
3" = 1'-0"



F-02 TYPICAL 2ND FLOOR/CEILING 1-HR
3" = 1'-0" FOR ADDITIONAL INFO SEE:
REDBUILT ASSEMBLY B,
CAN/ULC-S101; ICC ES report
ESR-1774; PFS Corp. listing;
GA Assemblies FC 5406 & RC 2601



F-03 TYPICAL 3RD FLOOR/CEILING 1-HR
3" = 1'-0" FOR ADDITIONAL INFO SEE:
REDBUILT ASSEMBLY B,
CAN/ULC-S101; ICC ES report
ESR-1774; PFS Corp. listing;
GA Assemblies FC 5406 & RC 2601

GENERAL NOTES:

ALL TYPICAL BUILDING ASSEMBLIES THIS PAGE

- SEE STRUCTURAL FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- BUILDING ASSEMBLIES SHOWN INDICATE TYPICAL INSTALLATIONS; SEE REMAINING CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION, DETAILS, AND ATYPICAL INSTALLATIONS.
- STRUCTURAL SHEATHING REQUIRED ON INSIDE OF WOOD FRAMING IN SOME LOCATIONS (NOT SHOWN IN STANDARD WALL TYPES), SEE STRUCTURAL.
IF INTERIOR SHEATHING IS REQUIRED BUT DOES NOT COVER THE ENTIRE INTERIOR WALL SURFACE, ADD FURRING OR CONTINUE SHEATHING AS REQUIRED TO RESULT IN A CONSISTENT FINISH SURFACE.
- WRB-1 = FLUID APPLIED MEMBRANE AIR/WATER BARRIER SYSTEM
- AT WALL TYPES WITH AN "3" DESIGNATION, SEE ACoustICAL DETAILS ON A8.30 FOR WALL HEAD & BASE CONDITIONS AND INFO ON WALL INTERSECTIONS AND OUTLETS.

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KAOS BUILDING

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3/31/14

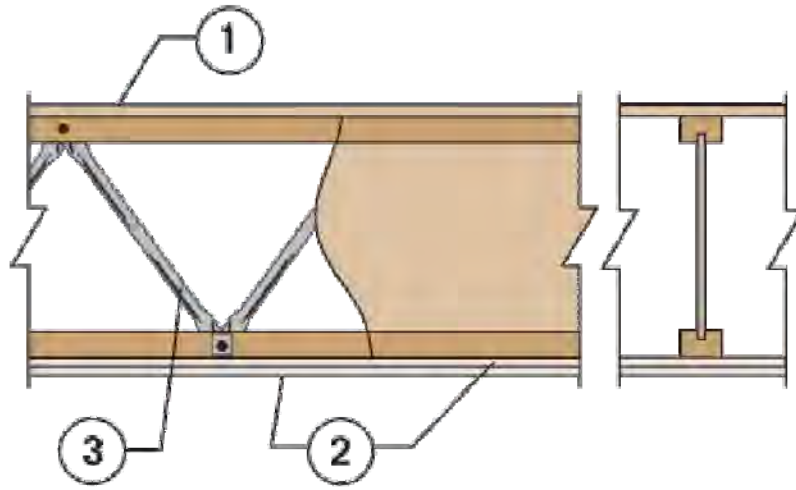
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DATE REVISION



A8.1

TYPICAL BUILDING
ASSEMBLY DETAILS

RedBuilt Assembly B (1 Hour Fire Rated Assembly)
The following fire resistant designs are listed in accordance with ASTM-E119 and CANULC-S101



- Finished Flooring:** The flooring must consist of a single layer of 48/24 span-rated, tongue-and-groove, wood-based, structural-use (Exposure 1). When used as a roof-ceiling assembly, the decking is permitted to be any wood deck recognized in the code. All butt joints of the sheathing must be located over framing members.
- Ceiling:** The ceiling membrane must consist of two layers of 1/2-inch-thick (12.7 mm) Type X gypsum board complying with ASTM C 36, attached to the Red-I joist or OpenWeb bottom flange / chord. The first layer of gypsum board must be installed perpendicular to the Red-I joists or OpenWeb trusses and attached using 1-5/8-inch-long (41 mm), Type S screws spaced 12 inches (305 mm) on center. The second layer must be installed with the joints staggered from the first layer. The second layer must be fastened to the Red-I joists or OpenWeb trusses with 2-inch-long (51 mm), Type S screws spaced 12 inches (305 mm) on center in the field and 8 inches (203 mm) on center at the butt joints.

Type G screws, 1-1/2 inches (38 mm) long, must be spaced 8 inches (203 mm) on center and 6 inches (152 mm) from each side of the transverse joints of the second layer. The second layer must be finished with joint tape and compound.

In roof-ceiling assemblies in which the Red-I joists or OpenWeb trusses are spaced more than 24 inches (610 mm) on center, the ceiling, including the resilient channels, must be applied to stripping spaced 24 inches (610 mm) on center. The attachment of the ceiling membrane to the stripping members must be similar to the attachment of the ceiling membrane to the Red-I joists or OpenWeb trusses. The stripping must be a minimum of nominally 2-by-4 construction-grade Douglas fir lumber for spans up to 5 feet (15524 mm) , and must be attached to the joist or truss bottom flange / chord using a minimum of two 10d box nails. Stripping materials of equivalent strength and attachment are permitted with approved by the code official.
- Structural Members:** Red-I joists or OpenWeb trusses must be installed in accordance with ICC ESR-2994/1774, with a maximum spacing of 24 inches (610 mm) on center for floor-ceiling assemblies. When used in roof-ceiling assemblies, the joists or trusses are permitted to be spaced a maximum of 48 inches (1219 mm) on center.

Optional:

Resilient Channels (RC-1): Are permitted to be used as part of the ceiling attachment system, provided they are spaced 16 inches (406 mm) on center [24 inches (610 mm) on center if the joists or trusses are spaced 16 inches (406 mm) on center] and fastened perpendicular to the Red-I joists or OpenWeb trusses using 1-inch-long (25.4 mm), Type S screws. When resilient channels are used, the first layer of the ceiling membrane must be installed perpendicular to the channels and attached to the resilient channels using 1-inch-long (25.4 mm), Type S screws spaced 12 inches (305 mm) on center. The second layer must be installed with the joints staggered from the first layer and attached using 1-5/8-inch-long (41 mm), Type S screws. The screw spacing for the second layer of gypsum board must be a maximum of 12 inches (305 mm) on center in the field and 8 inches (203 mm) on center at the butt joints.

Type G screws, 1-1/2 inches (38 mm) long, must be spaced 8 inches (203 mm) on center and 6 inches (152 mm) from each side of the transverse joints of the second layer. The second layer must be finished with joint tape and compound.

Insulation: Minimum 3-1/2-inch-thick (89 mm) glass fiber insulation rated R-30 or less may be installed in the joist or truss plenum when resilient channels are used. The insulation must be placed above the resilient channels between the joist or truss bottom flanges / chords.

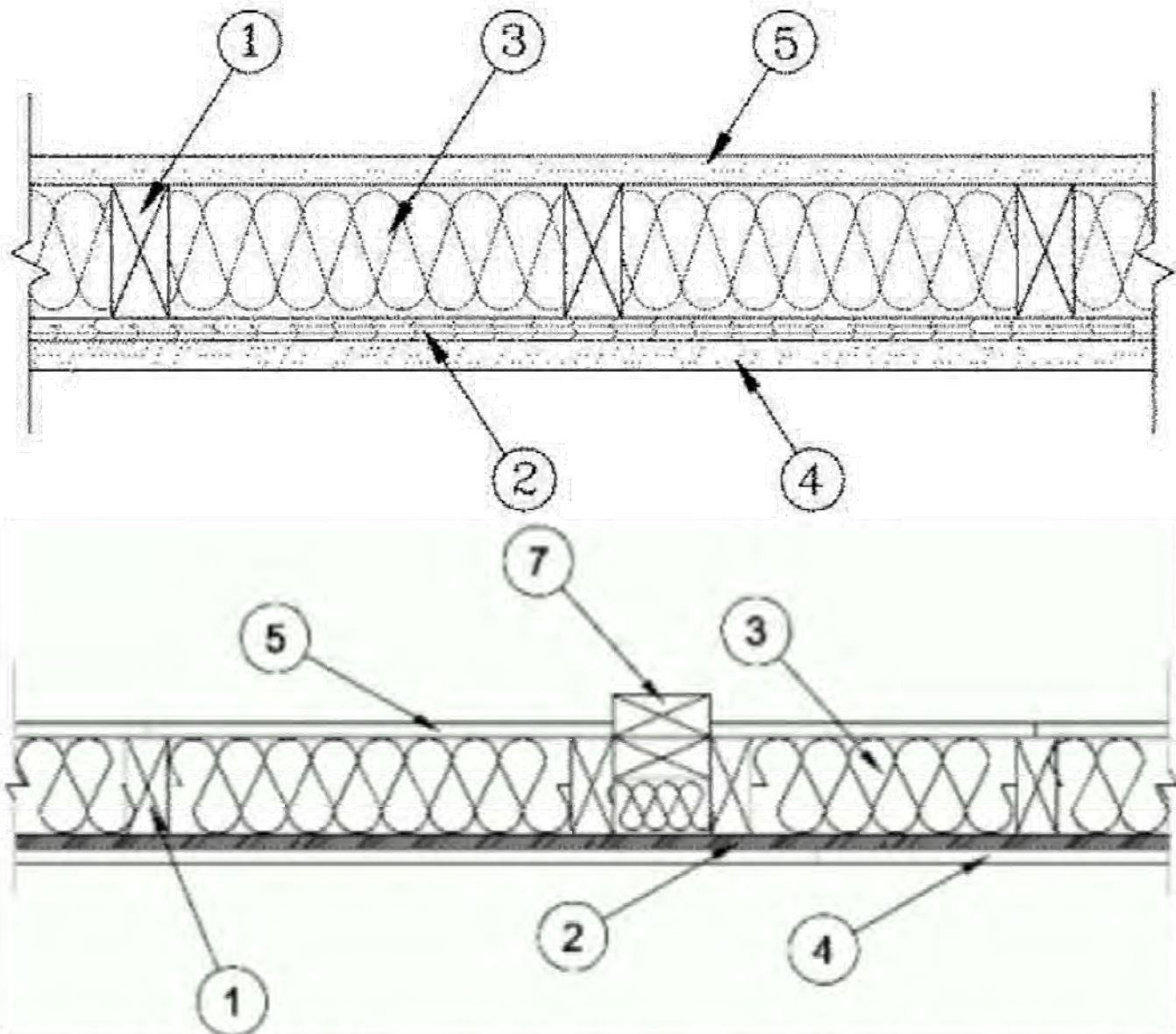
Design No. U344

March 06, 2014

Bearing Wall Rating – 1 Hr.

Finish Rating – 26 Min.

Load Restricted for Canadian Applications – See Guide BXIV7



- Wood Studs** – Nom 2 by 4 in. spaced 24 in. OC, laterally braced, and effectively fire stopped at top and bottom.
- Wood Structural Panel Sheathing** – Nom 15/32 in. thick, 4 ft wide APA Rated Sheathing 32/16. Exposure 1, plywood or oriented strand board (OSB) per PS1, PS2 or APA Standard PRP-108. Installed with long dimension of sheet (strength axis) or face grain of plywood, parallel with studs. Vertical joints centered on studs, and staggered one stud space from wallboard joints. Horizontal joints backed with nom 2 by 4 in. wood backing. Attached to studs on exterior side of wall with 6d cement coated steel box nails spaced 12 in. OC along interior studs and 6 in. OC at perimeter of panels.
- Batts and Blankets*** – 3-1/2 in. thick foil-faced glass fiber batts. Supplied in rolls 23 in. wide. Density to be nom 0.70 pcf. Friction-fitted to completely fill the stud cavity.
- Gypsum Board*** – 5/8 in. thick, 4 ft wide, applied horizontally or vertically. Attached to studs through plywood sheathing with 8d cement coated nails 2-3/8 in. long, 0.113 in. shank diam, 9/32 in. diam head nails spaced 7 in. OC along studs and at perimeter of panels. When used in widths other than 48 in., wallboard is to be installed horizontally. Joints exposed or covered with tape and compound.
- Gypsum Board*** – 5/8 in. thick, 4 ft wide applied horizontally or vertically. Attached to studs or blocking at 7 in. OC with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam heads. When used in widths other than 48 in., wallboard to be installed horizontally. Joints exposed or covered with tape and compound.
- Non-Bearing Wall Partition Intersection** – (Optional) Two nominal 2 by 4 in. stud or nominal 2 by 6 in. stud nailed together with two 2-1/2 in. long 10d nails spaced a max. 16 in. OC, vertically and fastened to one side of the minimum 2 by 4 in. stud with 3 in. long 10d nails spaced a max 16 in. OC, vertically. Intersection between partition wood studs to be flush with the 2 by 4 in. studs. The wall partition wood studs are to be framed by with a second 2 by 4 in. wood stud fastened with 3 in. long 10d nails spaced a max. 16 in. OC, vertically. Maximum one non-bearing wall partition intersection per stud cavity. Non-bearing wall partition stud depth shall be at a minimum equal to the depth of the bearing wall.

UL ASSEMBLIES REFERENCED

WALLS AND INTERIOR PARTITIONS

GA FILE NO. WP 3242	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS Resilient channels 16" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1 1/4" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space. OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 1 7/8" long, 0.0915" shank, 9/48" heads, 7" o.c. Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)			
		Thickness: 5 1/4" Approx. Weight: 7 psf Fire Test: Based on UL R14196, 05NKO5371, 2-15-05, UL Design U309 Sound Test: NRCC TL-93-098, IRC-IR-761, 3/98	
GA FILE NO. WP 3514	GENERIC	1 HOUR FIRE	35 to 39 STC SOUND
GYPSUM WALLBOARD, WOOD STUDS One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 2 x 4 wood studs 16" o.c. with 1 1/4" Type W drywall screws 12" o.c. Joints staggered 16" on opposite sides. (LOAD-BEARING)			
		Thickness: 4 1/4" Approx. Weight: 7 psf Fire Test: SWRI 01-4511-619(1), 3-94 Sound Test: See WP 3520 (G&H NG-246FT, 7-2-65)	
GA FILE NO. WP 3660	GENERIC	1 HOUR FIRE	
GYPSUM WALLBOARD, WOOD STUDS One layer 5/8" type X gypsum wallboard applied at right angles to each side of 2 x 6 wood studs 16" o.c. with 2 1/4" Type S or W drywall screws 7" o.c. Vertical joints staggered 16" o.c., horizontal joints staggered 24" o.c., on opposite sides. Tested at 5,156 lbs per stud or 100 percent of design load. (LOAD-BEARING)			
		Thickness: 5 1/4" Approx. Weight: 8 psf Fire Test: ITS J99-22441.2, 10-99	

GA ASSEMBLIES REFERENCED

ICC-ES Evaluation Report

ESR-1153*

Reissued April 1, 2013

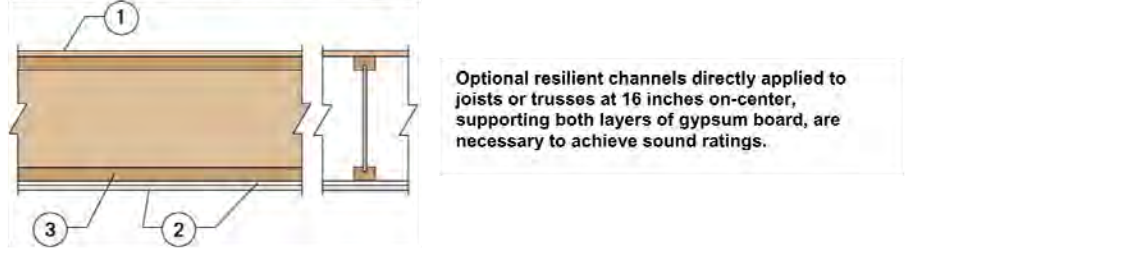
This report is subject to renewal May 1, 2015.

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FIGURE 4B—ASSEMBLY B (One-hour fire-resistance-rated Roof-ceiling or Floor-ceiling Assembly):



Optional resilient channels directly applied to joists or trusses at 16 inches on-center, supporting both layers of gypsum board, are necessary to achieve sound ratings.

Assembly Component		Component Specifications	Installation
①	Sheathing	<ul style="list-style-type: none">Single layer of 48/24 span-rated, tongue-and-groove, sheathing (Exposure 1).When used as a roof-ceiling assembly, the decking is permitted to be any wood deck recognized in the code.	<ul style="list-style-type: none">Nailed and glued to the top of the TJI® joist.Construction adhesive conforming to ASTM D3498 must be applied to the top of the joists prior to placing sheathing.All butt joints of the sheathing must be located over framing members.
②	Gypsum Board	<ul style="list-style-type: none">Two layers of 1/2-inch-thick NOC Gold Board® Fire-Shield C gypsum board, orTwo layers of 1/2-inch-thick USG SHEETROCK® Brand FIRECODE® C gypsum panels, orTwo layers of 5/8-inch-thick, Type X gypsum board complying with ASTM C84.	<ul style="list-style-type: none">For TJI® joists spaced 24 inches on-center or less, attach ceiling to joist bottom flanges.The first layer of gypsum board must be installed perpendicular to the TJI joists and attached using 1 1/2-inch-long, Type S screws spaced 12 inches on-center. The second layer must be installed with the joints staggered from the first layer.The second layer must be fastened to the TJI joists with 2-inch-long, Type S screws spaced 12 inches on-center in the field and 8 inches on-center at the butt joints.Type G screws, 1 1/2 inches long, must be spaced 8 inches on-center and 6 inches from each side of the transverse joints of the second layer. The second layer must be finished with joint tape and compound.
③	TJI® Joist	TJI® joist	<ul style="list-style-type: none">Installed in accordance with this report, with a maximum spacing of 24 inches on-center for floor-ceiling assemblies.When used in roof-ceiling assemblies, the joists are permitted to be spaced a maximum of 48 inches on-center.
(not shown)	Optional Glass Fiber Insulation	Minimum 3 1/2-inch-thick glass fiber insulation or glass fiber insulation rated R-30 or less.	<ul style="list-style-type: none">May be installed in the joist plenum when resilient channels are used.The insulation must be placed above the resilient channels between the joist bottom flanges.
(not shown)	Optional Resilient Channels	RC-1 resilient channels spaced 16 inches on-center (may be increased to 36 inches on-center if the joists are spaced 10 inches on-center).	<ul style="list-style-type: none">Fasten perpendicular to the TJI joists using 1-inch-long, Type S screws. When resilient channels are used, the first layer of the ceiling membrane must be installed perpendicular to the channels and attached to the resilient channels using 1-inch-long, Type S screws spaced 12 inches on-center.The second layer must be installed with the joints staggered from the first layer and attached using 1 1/2-inch-long, Type S screws. The screw spacing for the second layer of gypsum board must be a maximum of 12 inches on-center in the field and 8 inches on-center at the butt joints.Type G screws, 1 1/2 inches long, must be spaced 8 inches on-center and 6 inches from each side of the transverse joints of the second layer. The second layer must be finished with joint tape and compound.
(not shown)	Stripping	Minimum of nominal 2-by-4 construction-grade Douglas fir lumber for spans up to 5 feet.	<ul style="list-style-type: none">In roof-ceiling assemblies in which the TJI® joists are spaced more than 24 inches on-center, the ceiling, including the resilient channels, must be applied to stripping spaced 24 inches on-center. The attachment of the ceiling membrane to the stripping members must be similar to the attachment of the ceiling membrane to the TJI® joists.Attached to the joist bottom flange using a minimum of two 10d box nails into each bottom flange. Stripping materials of equivalent strength and attachment are permitted when approved by the code official.

ICC REPORT REFERENCED

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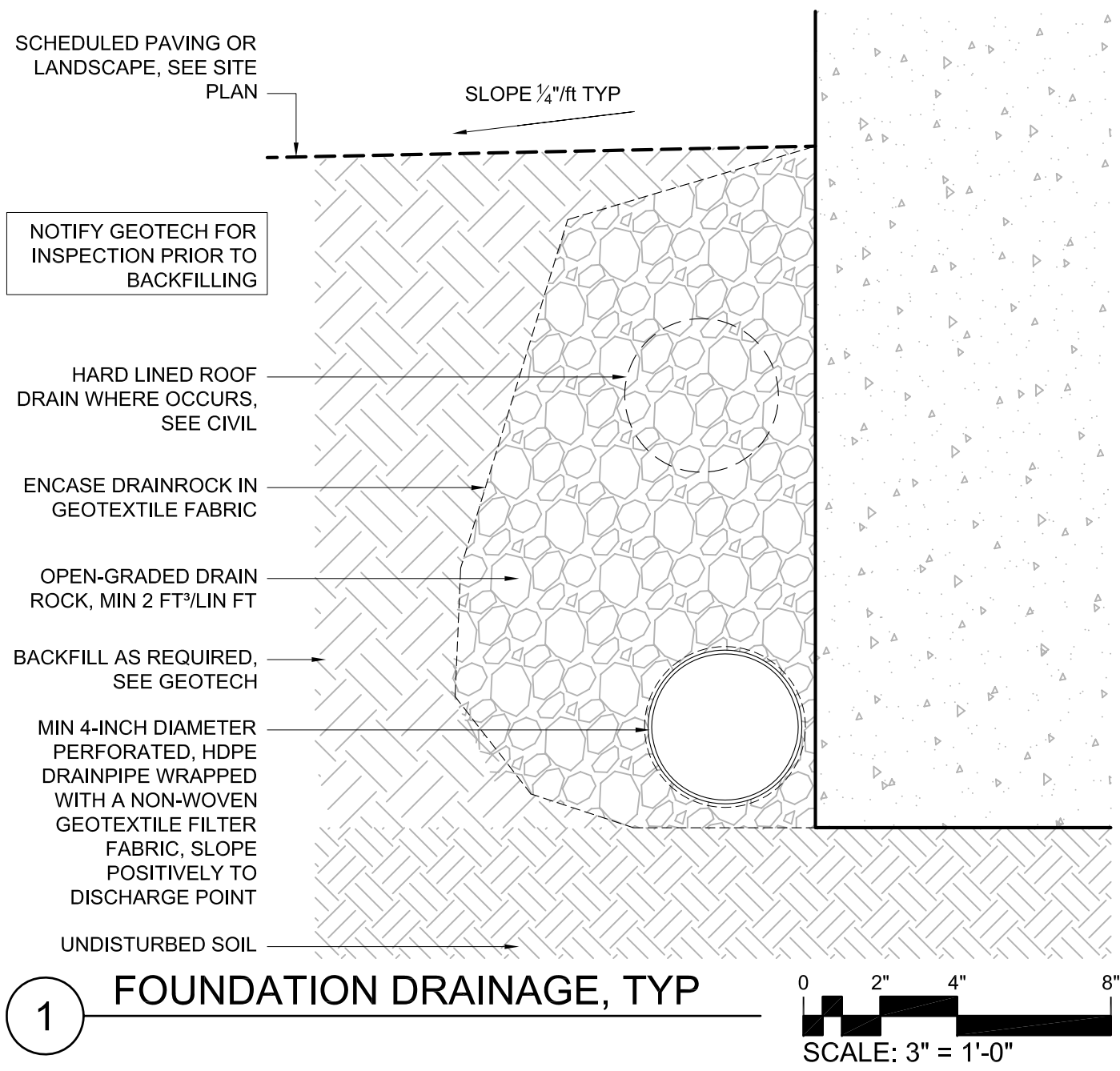
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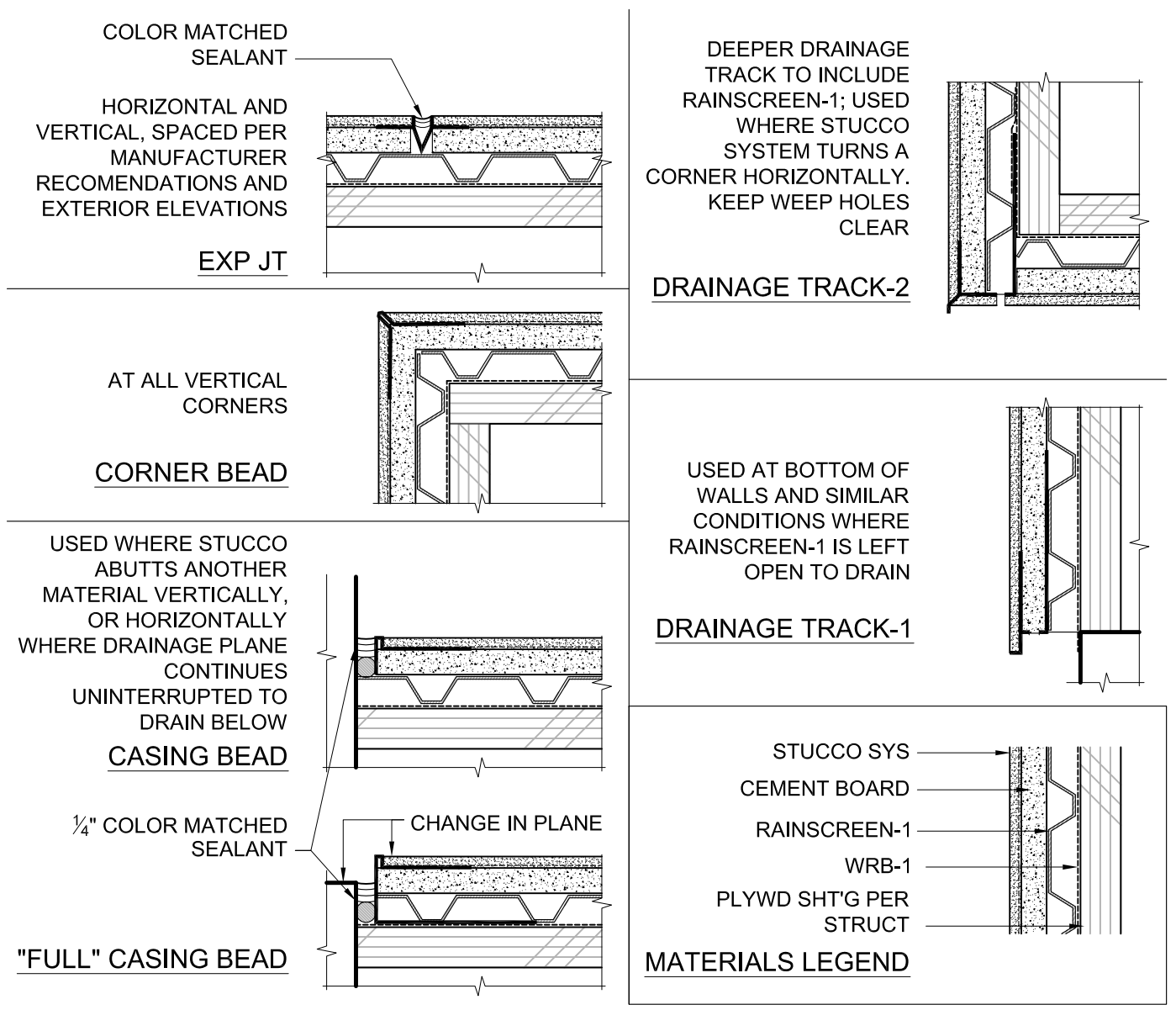
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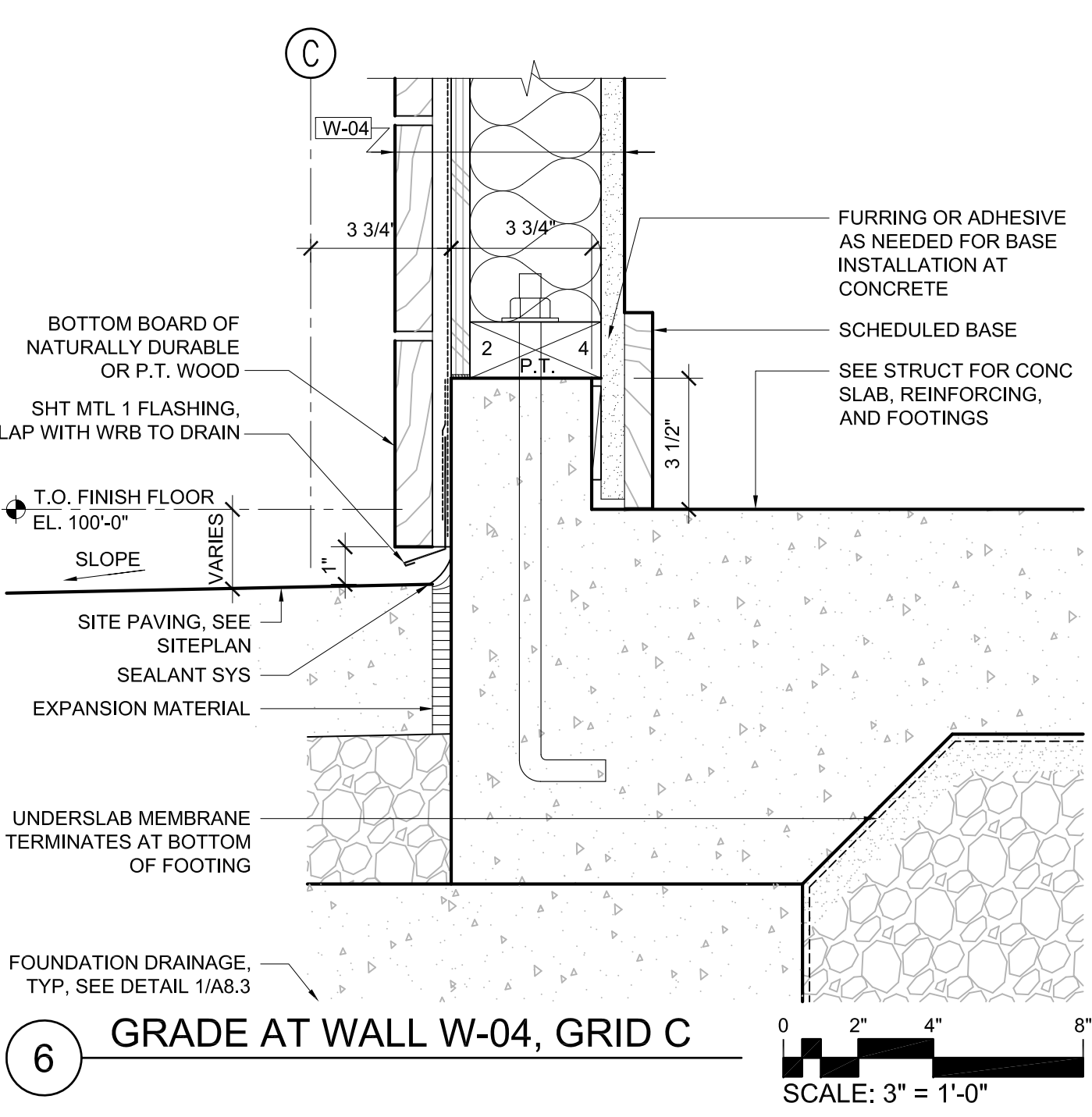
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REFERENCED
UL & GA ASSEMBLIES



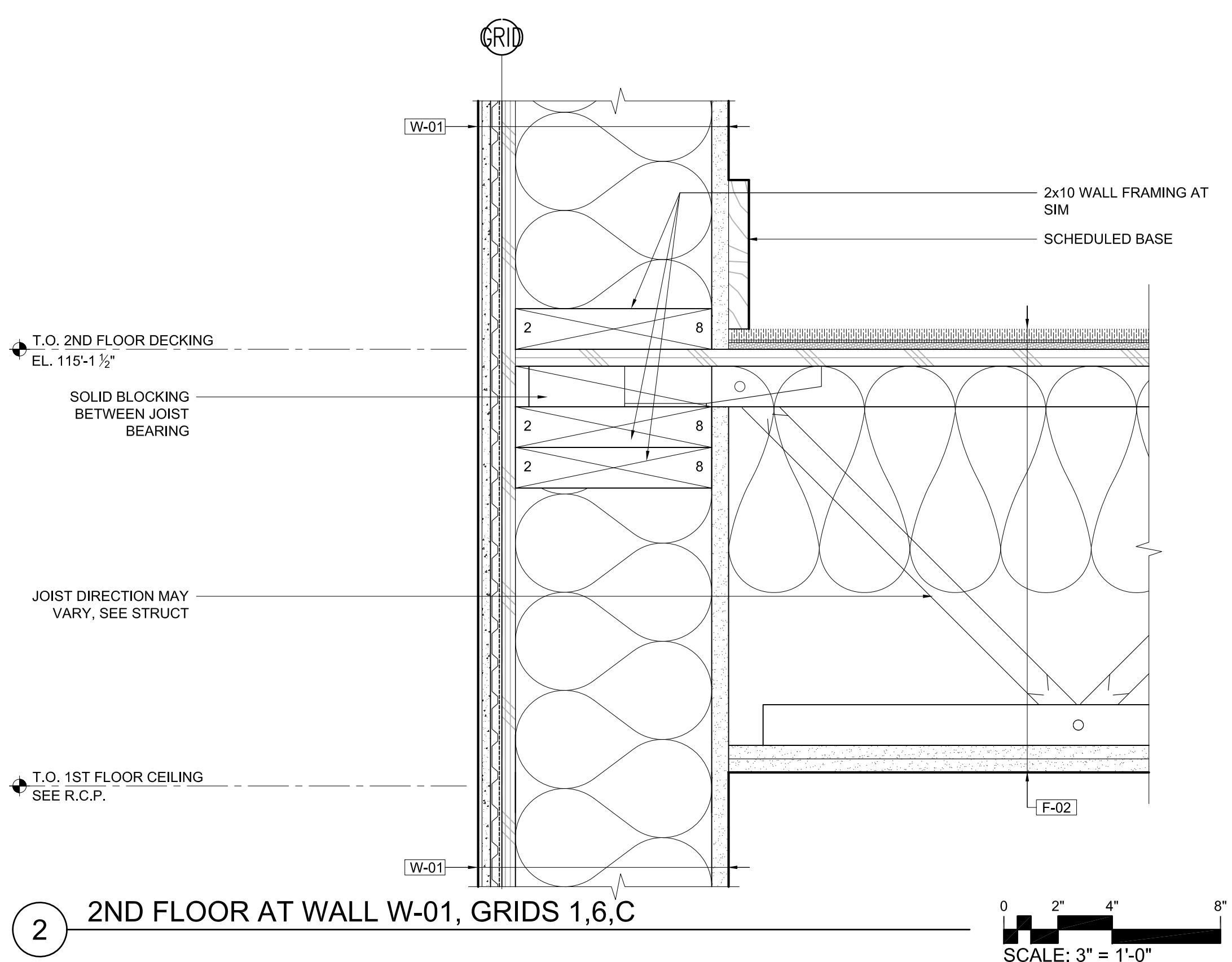
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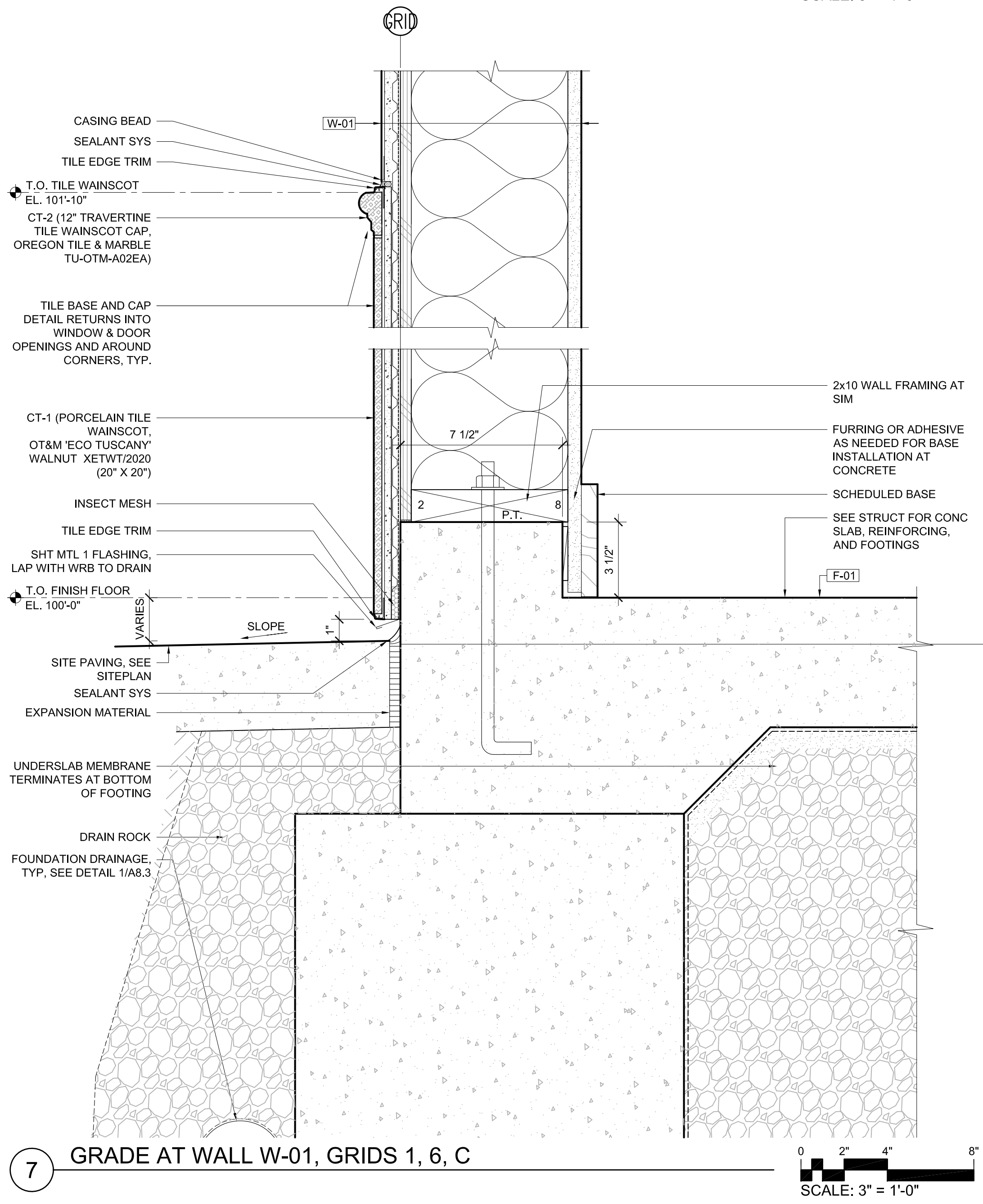
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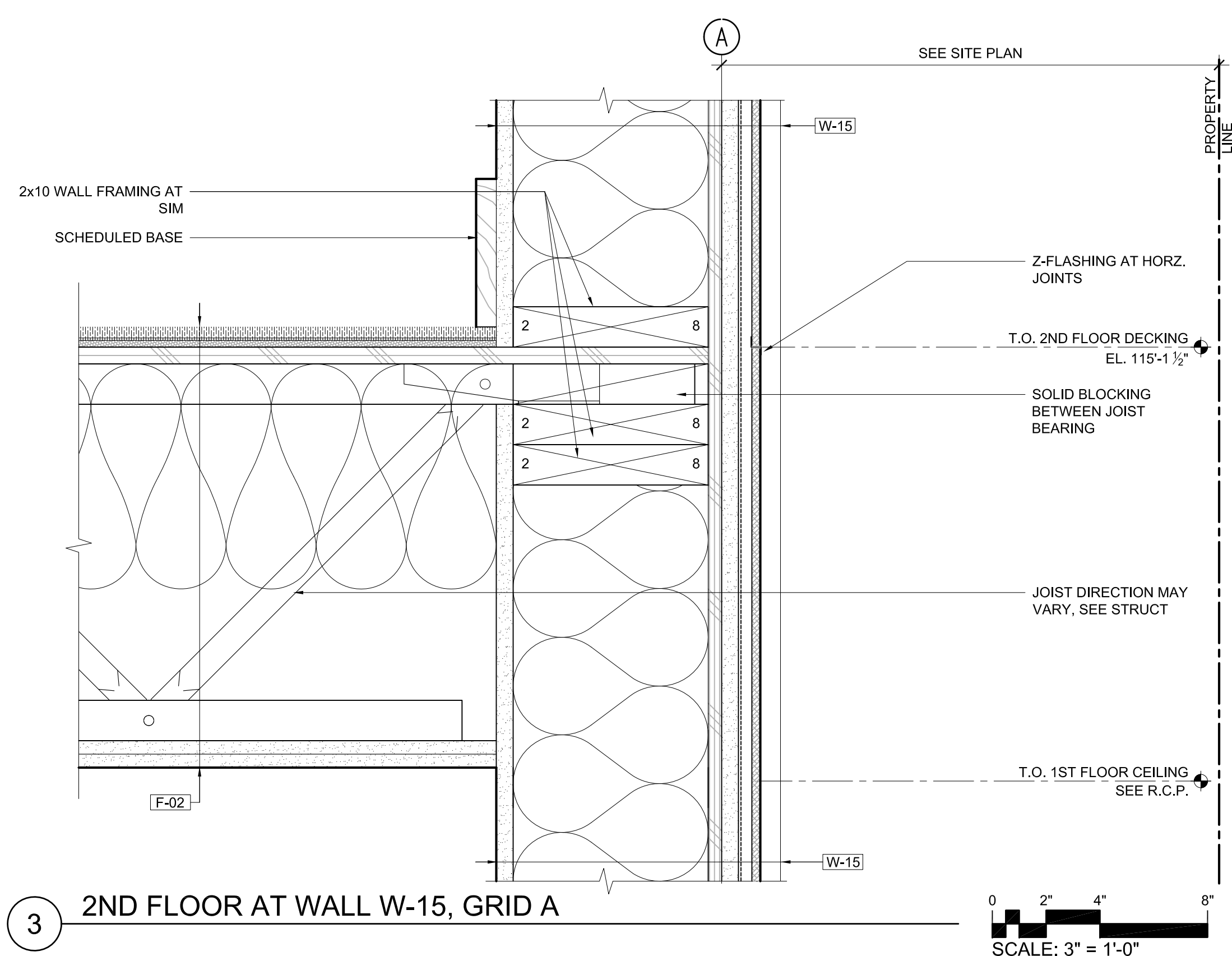
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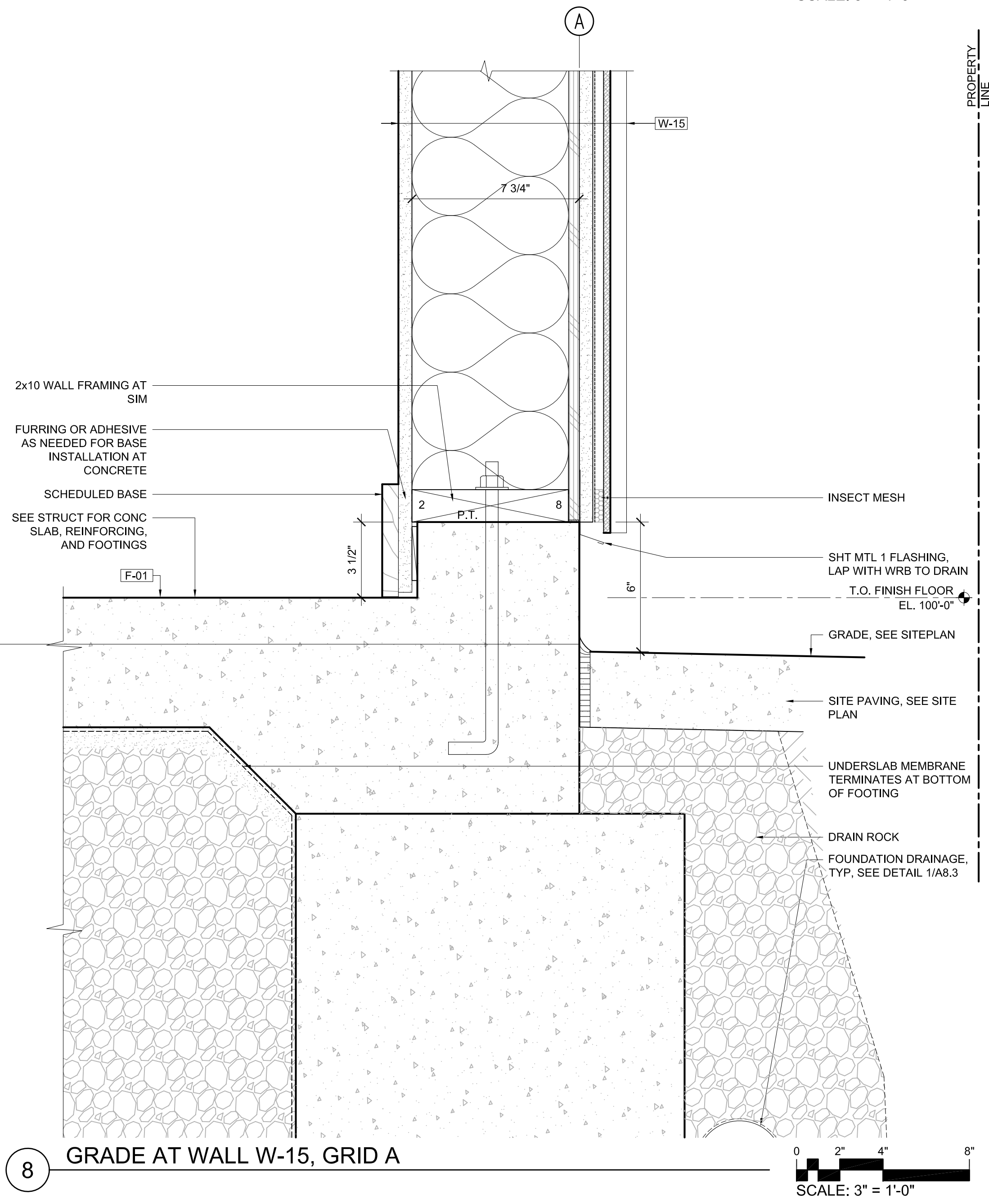
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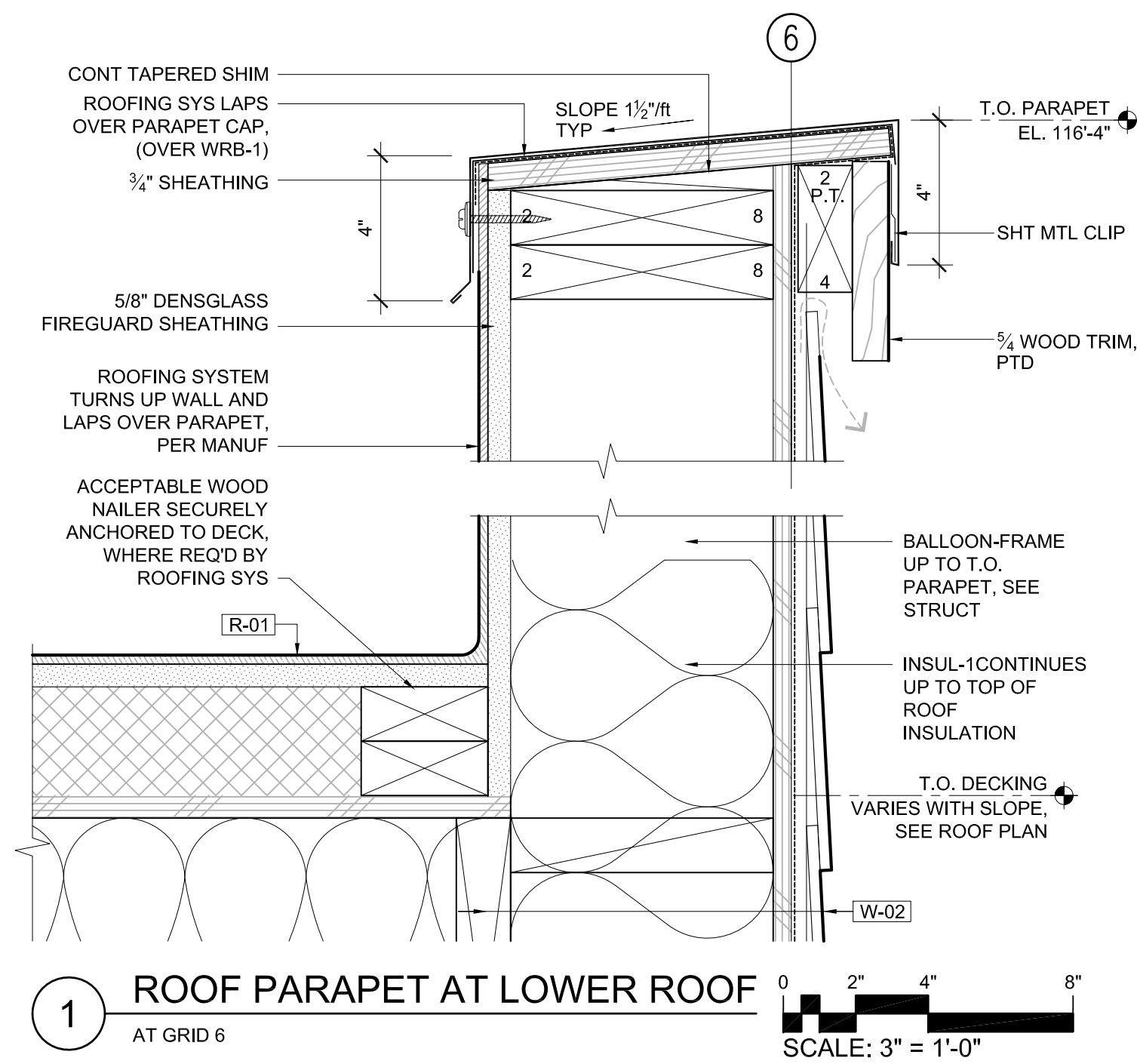
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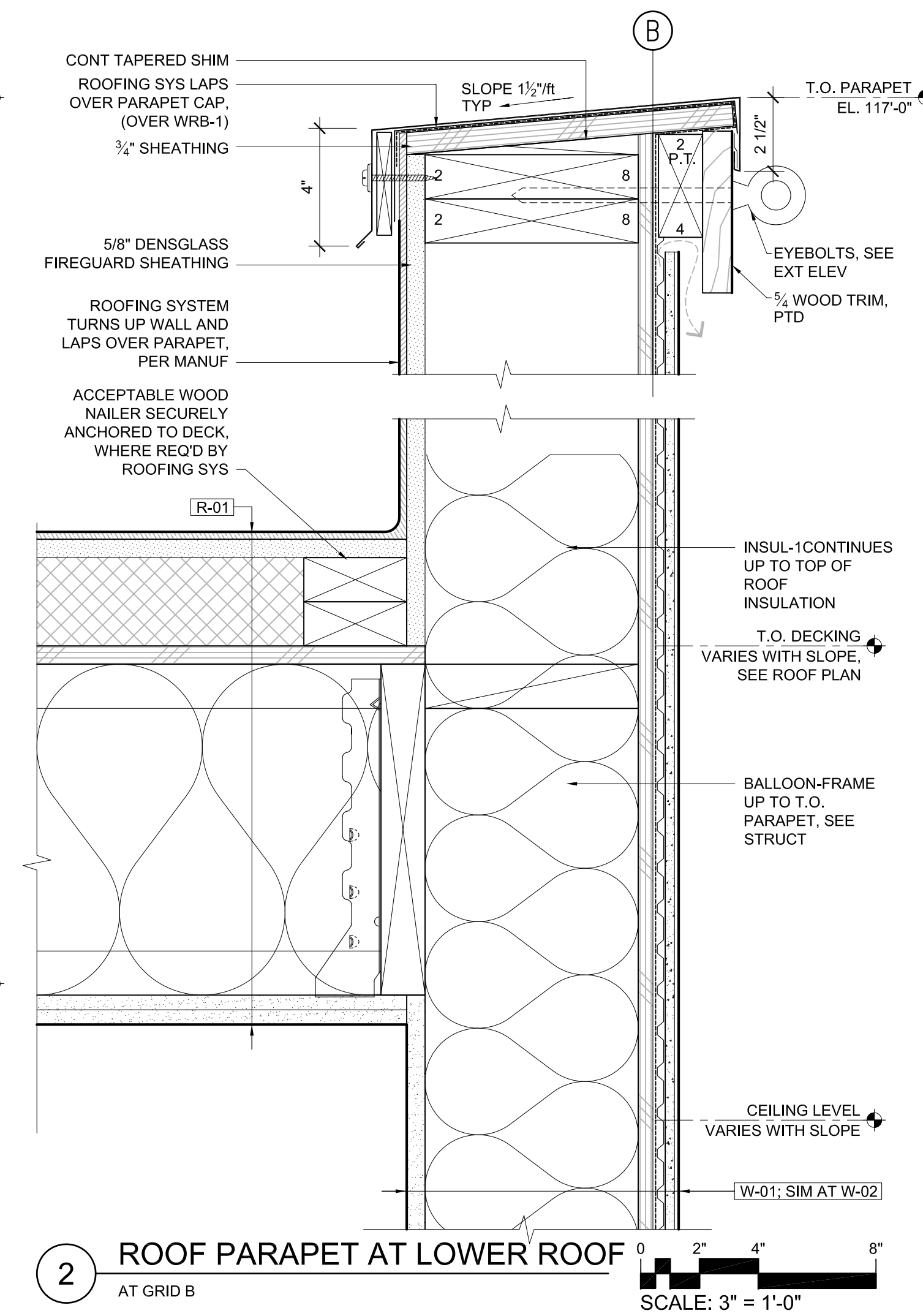
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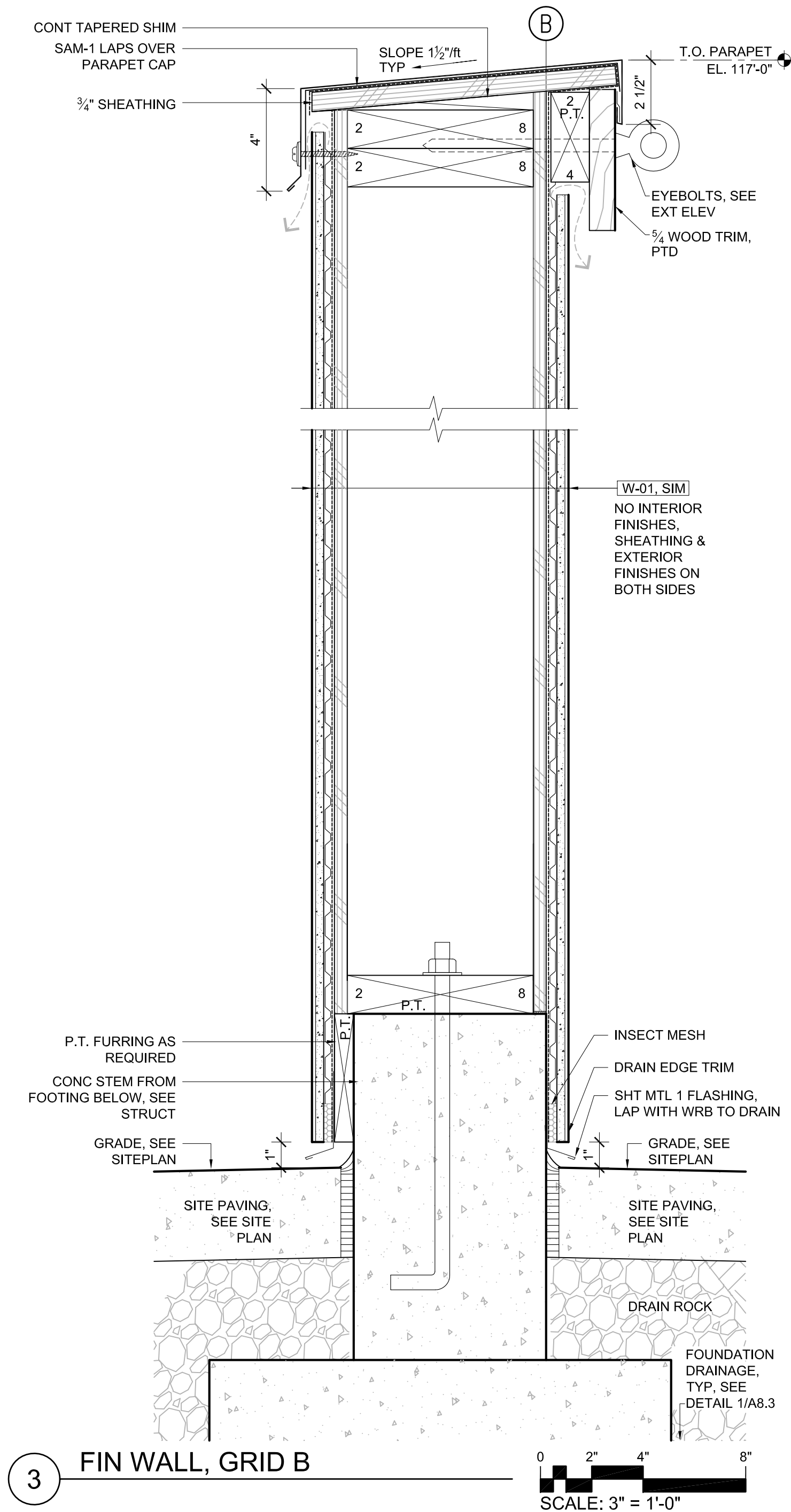
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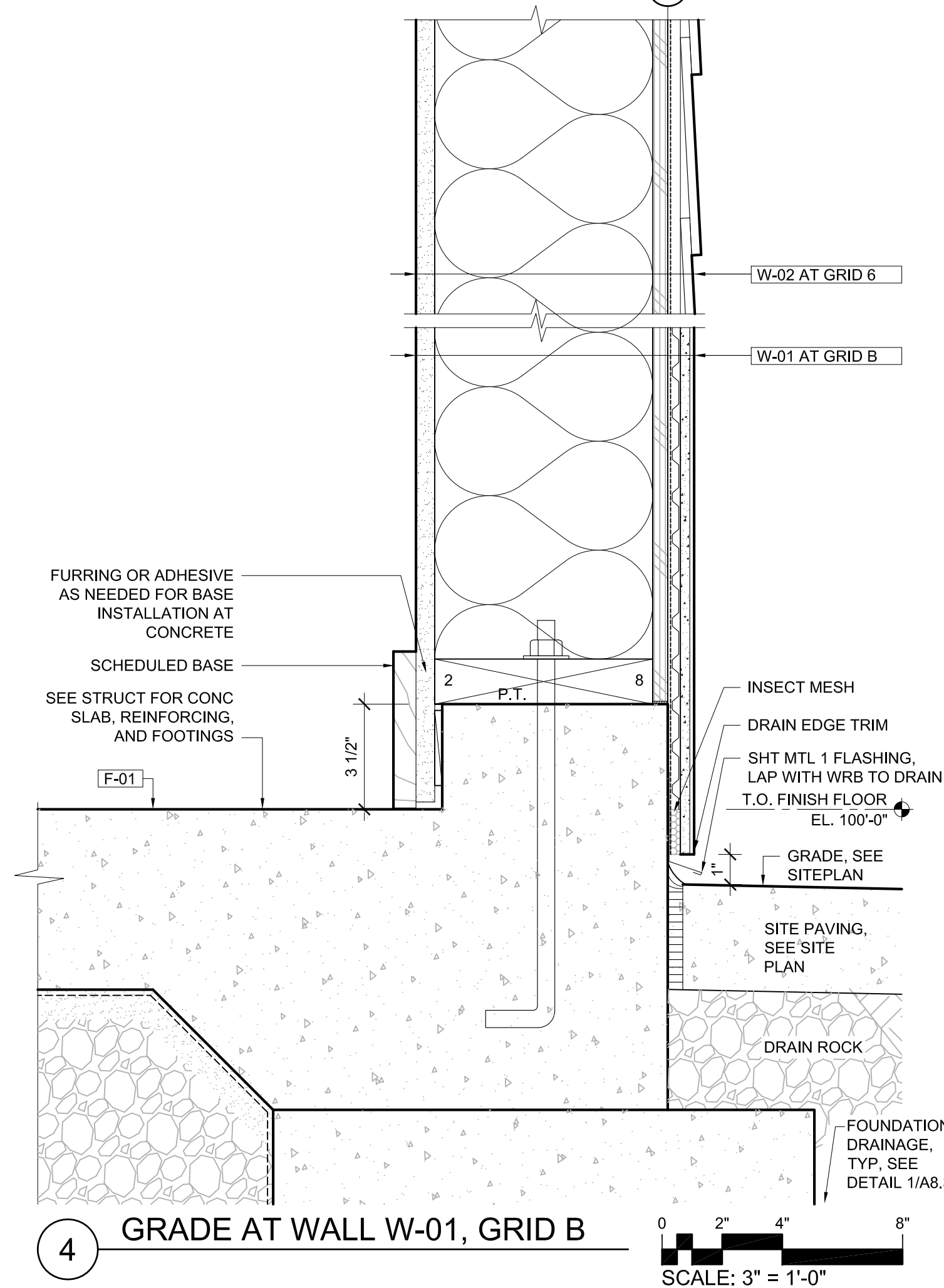
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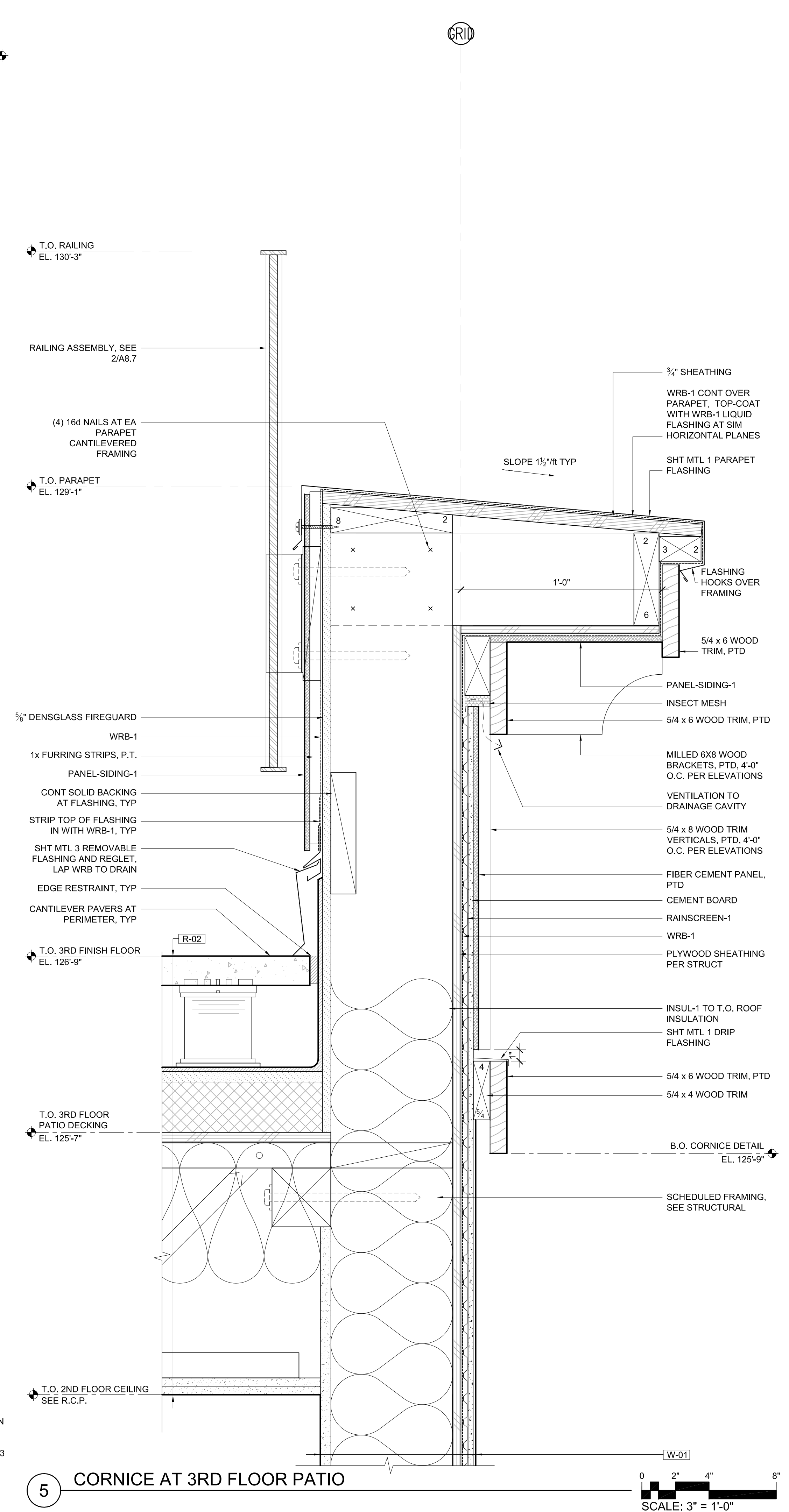
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AT GRID B



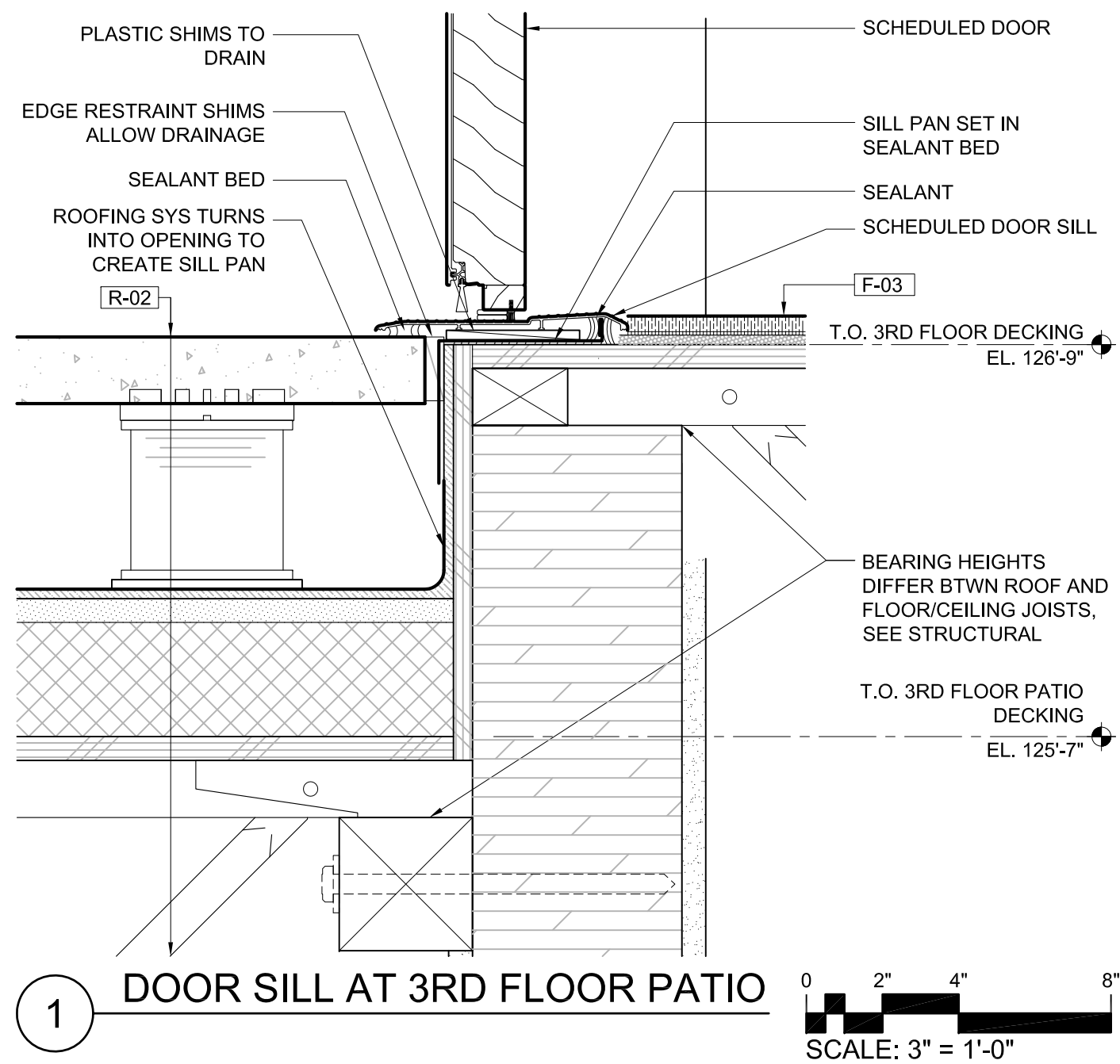
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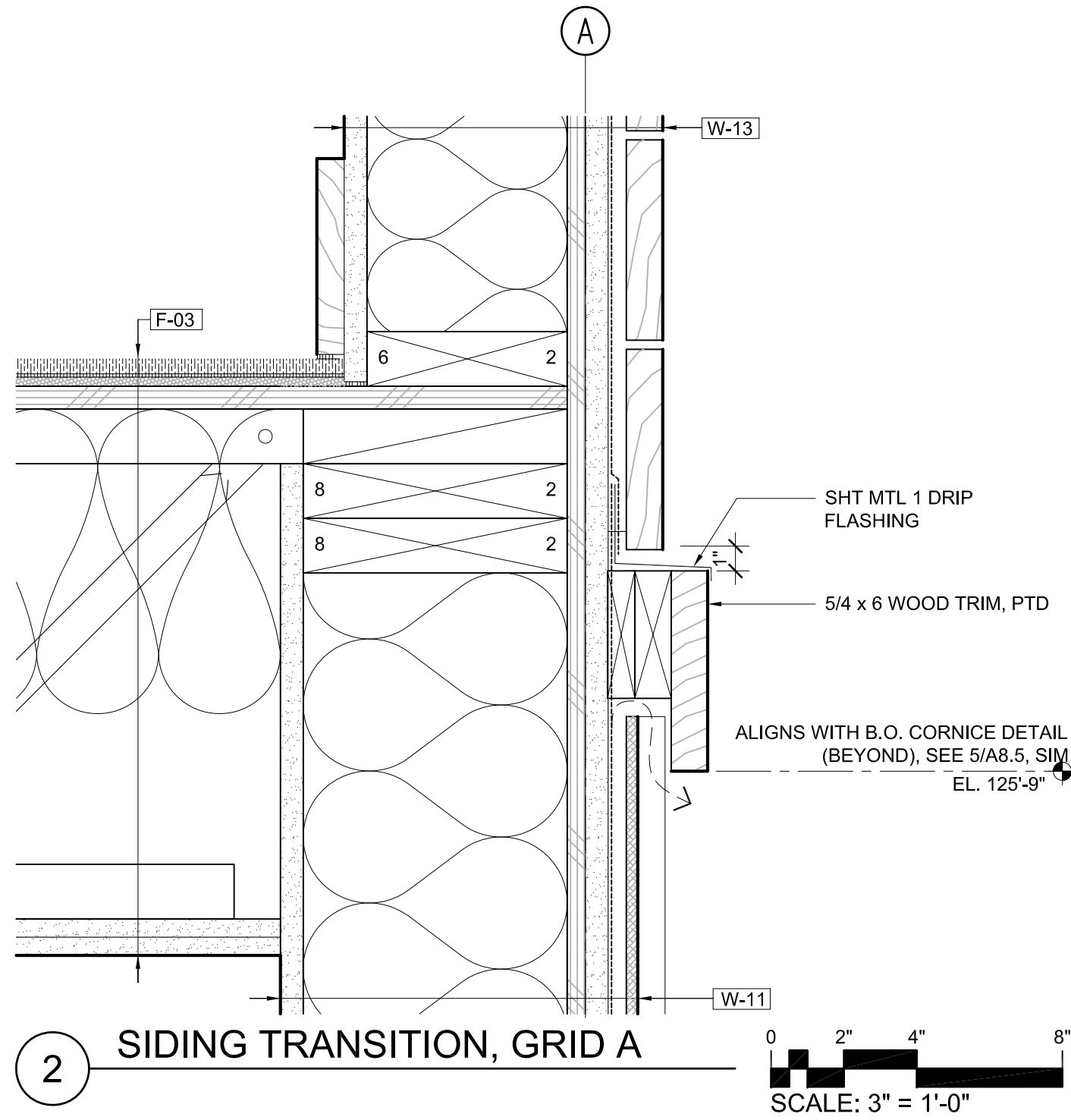
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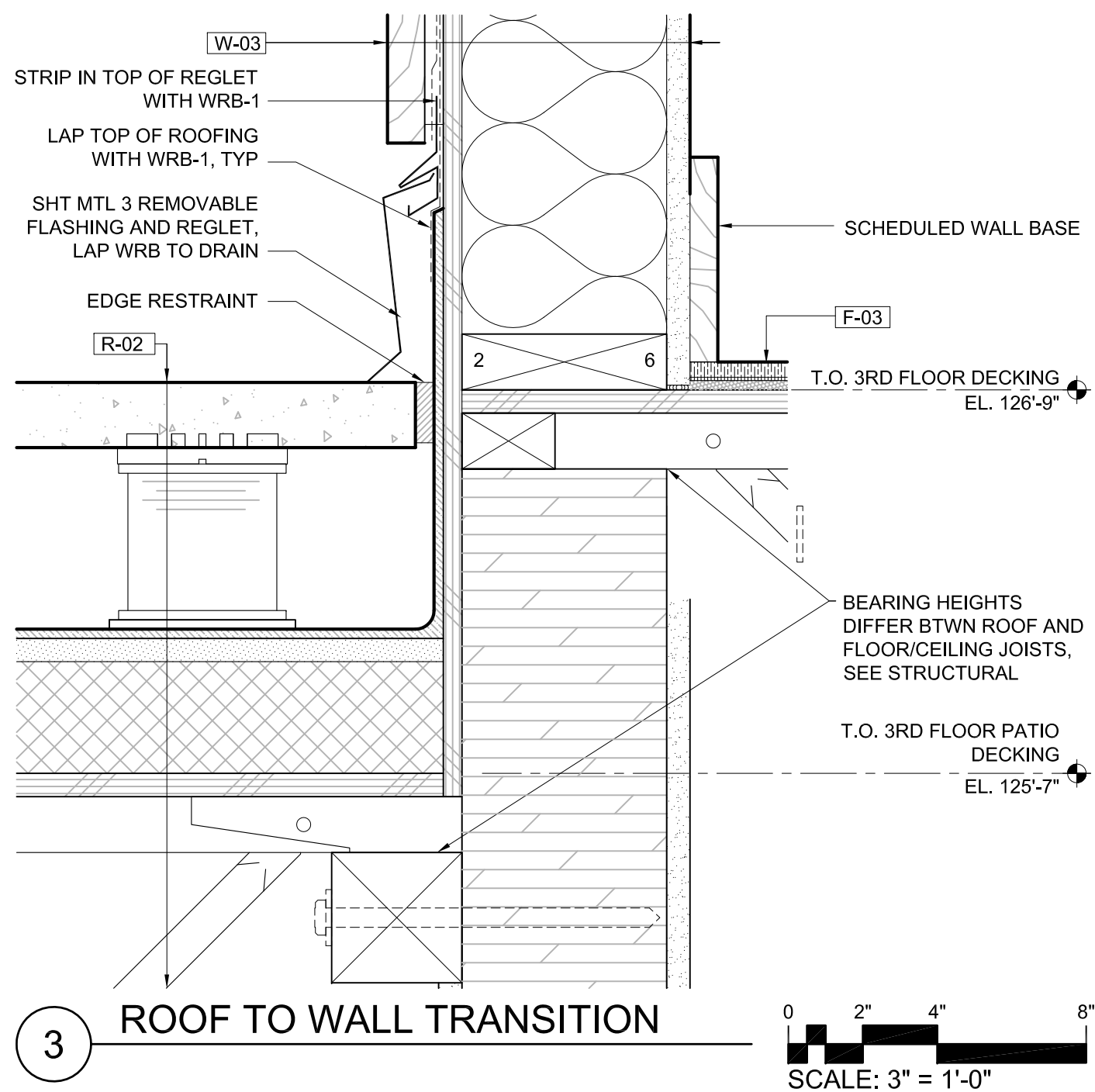
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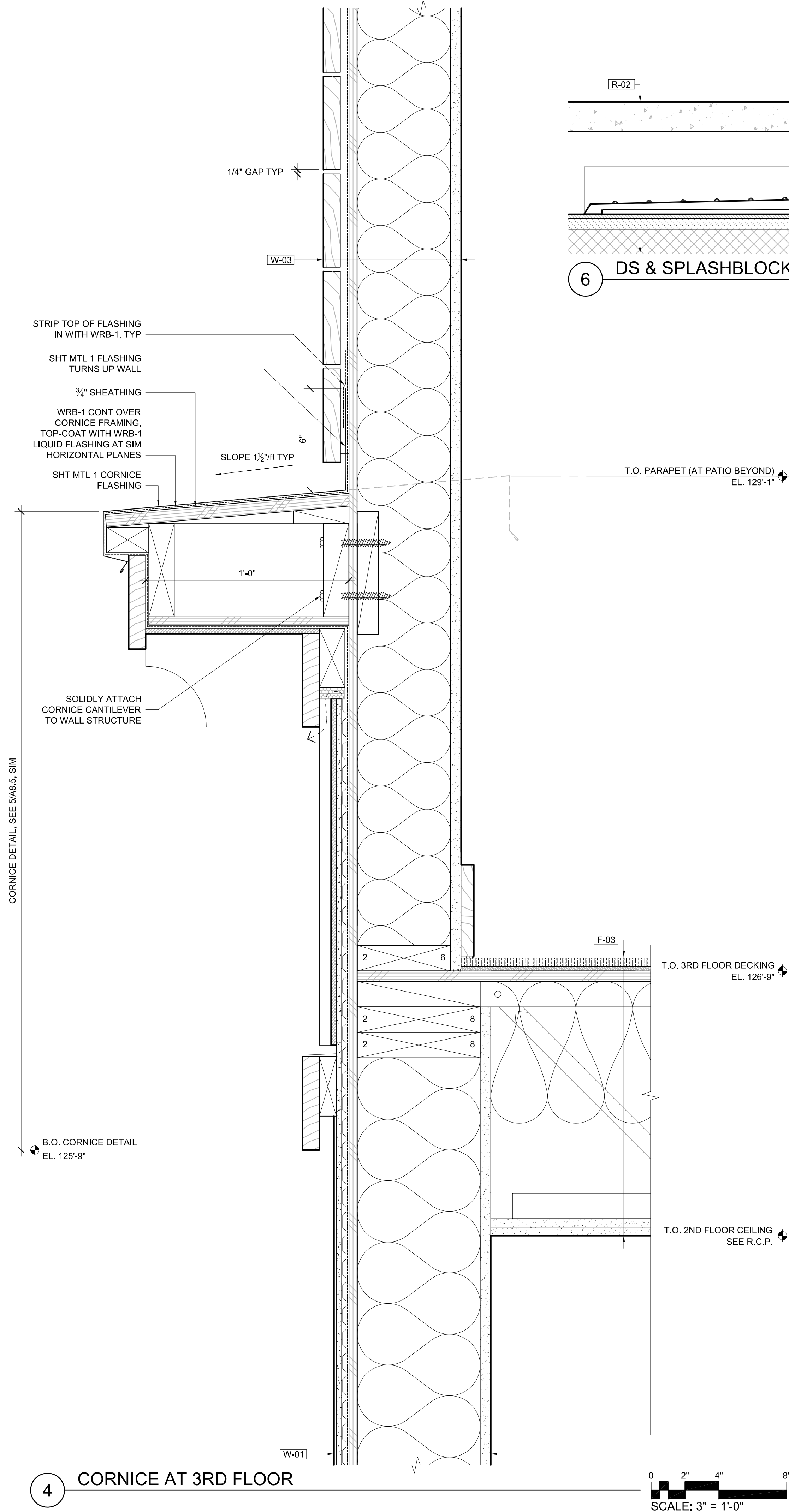
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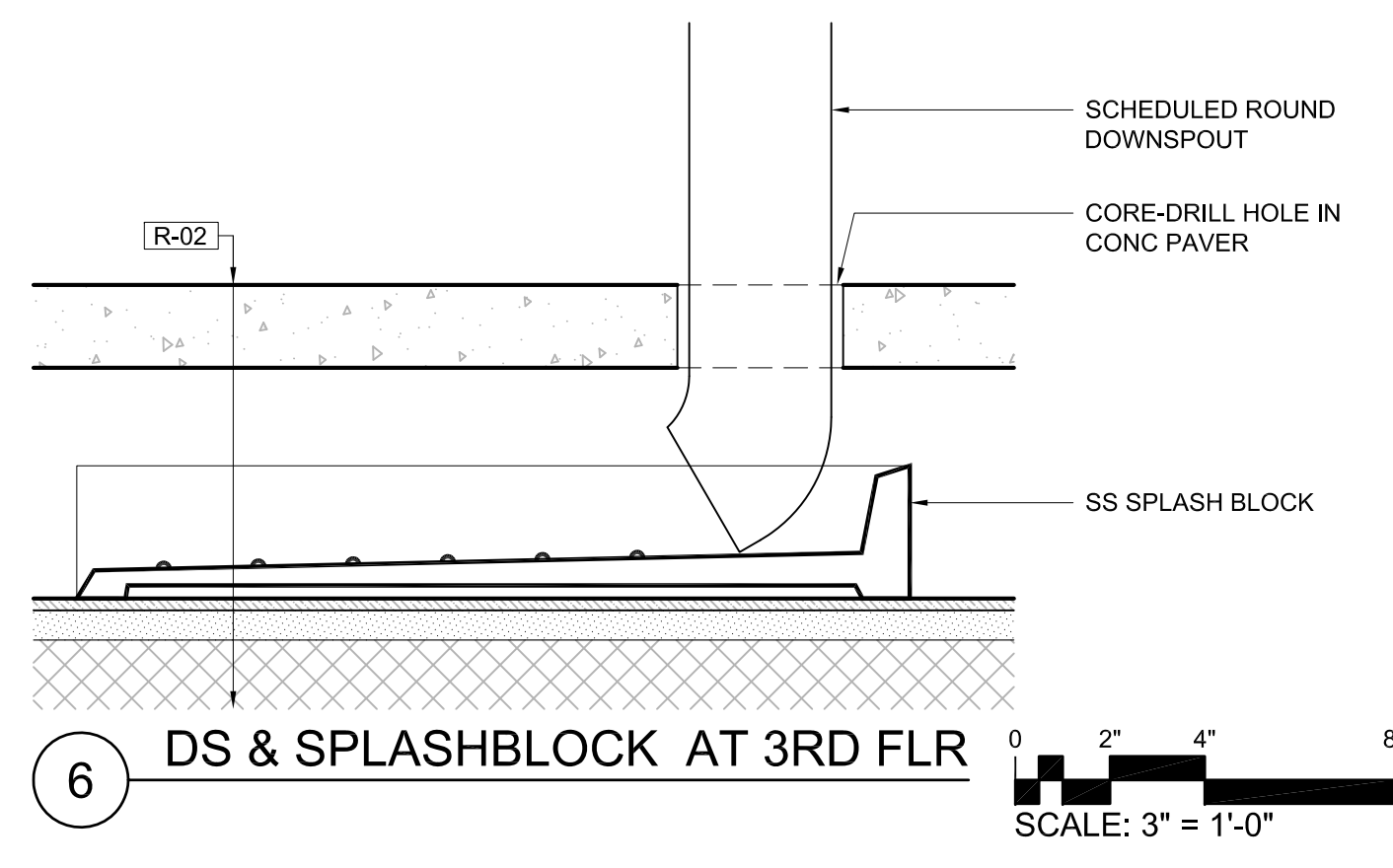
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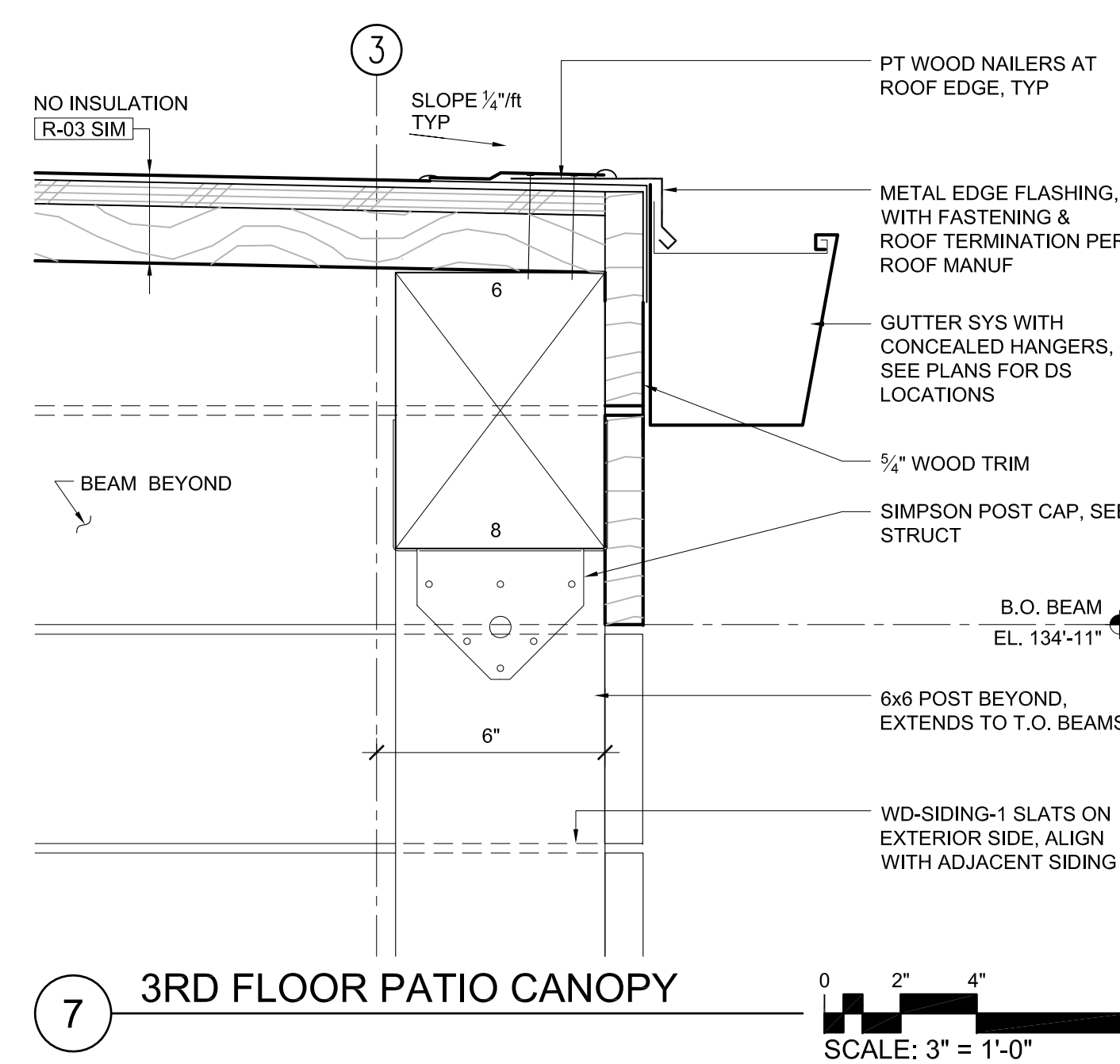
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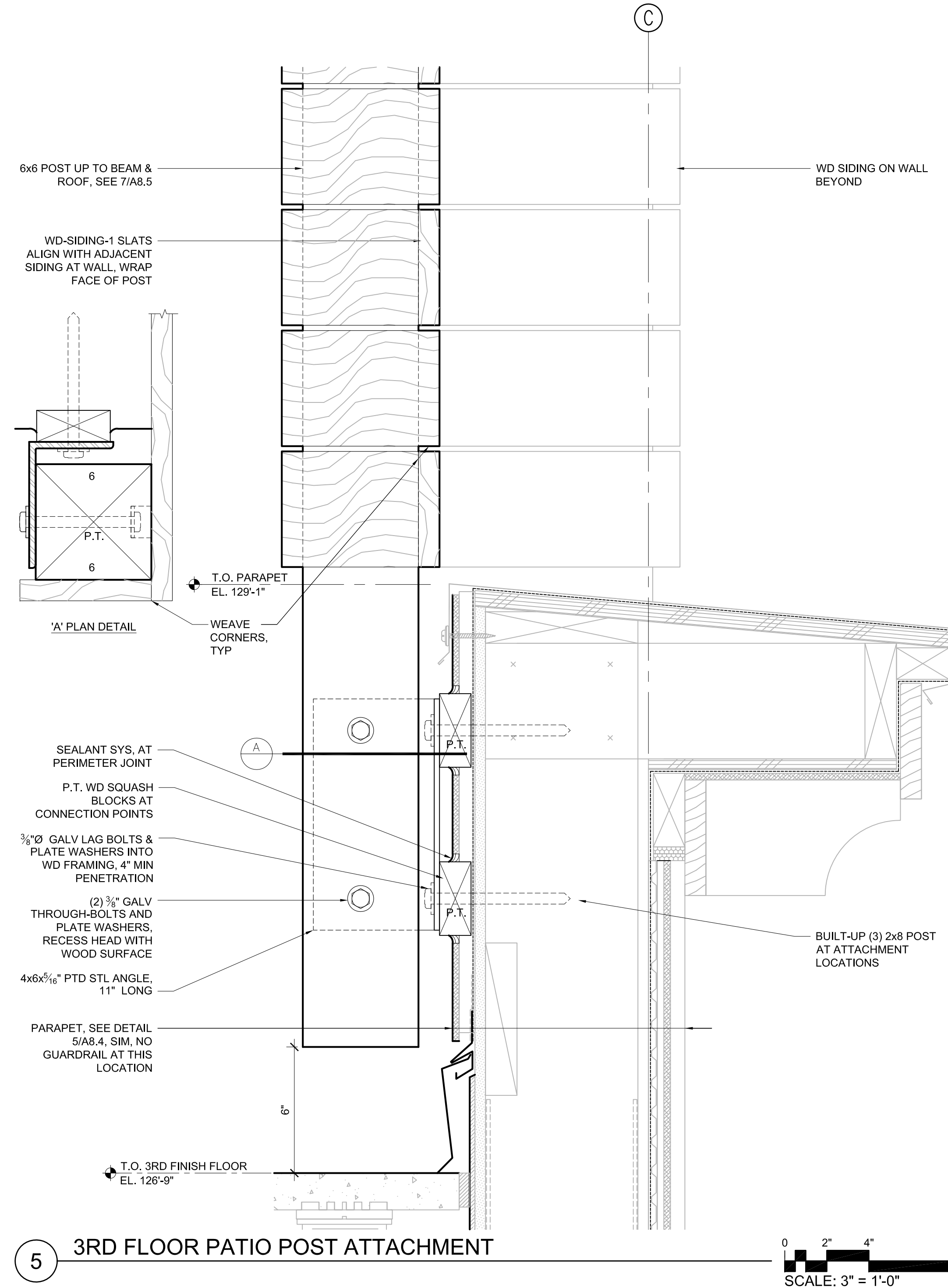
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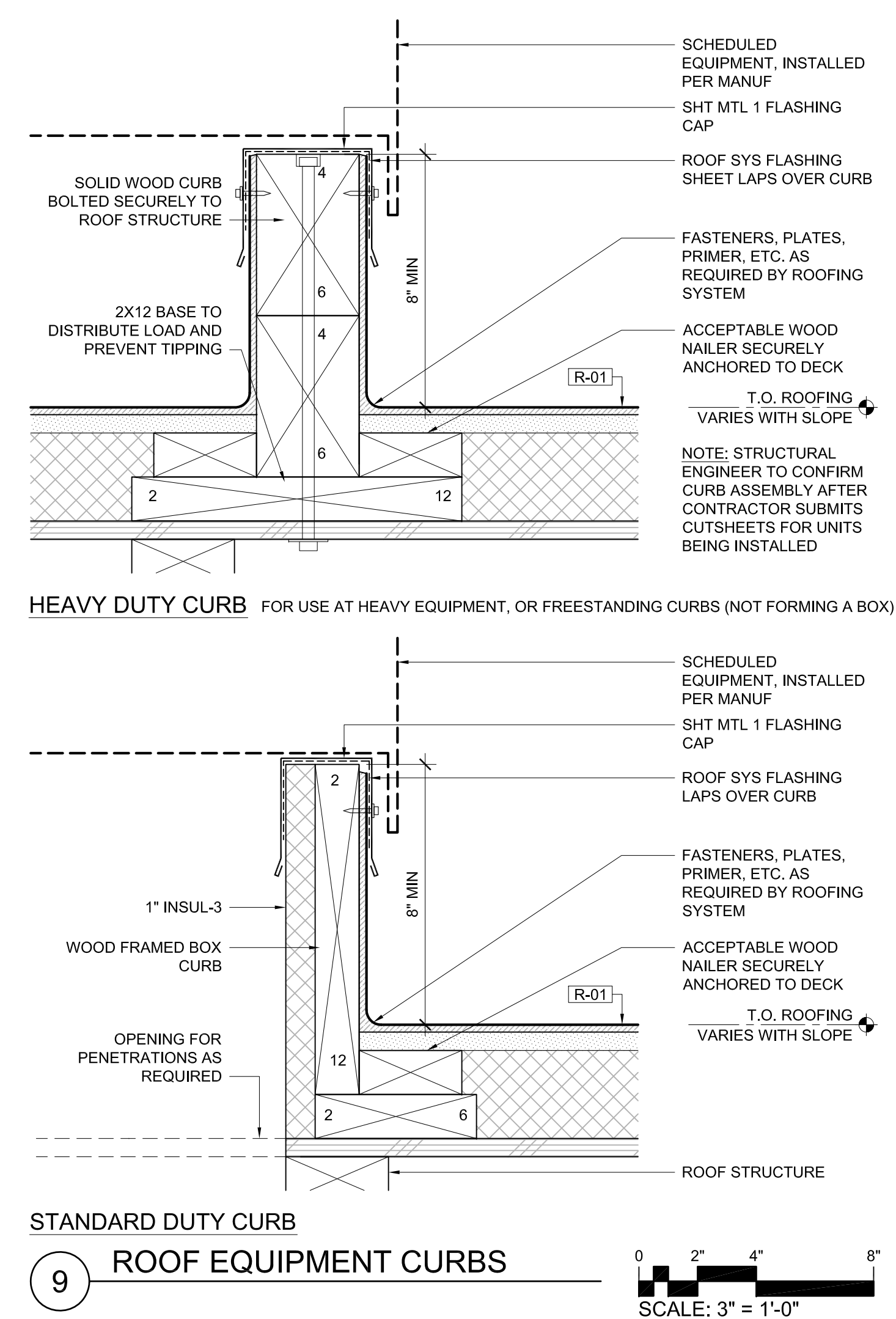
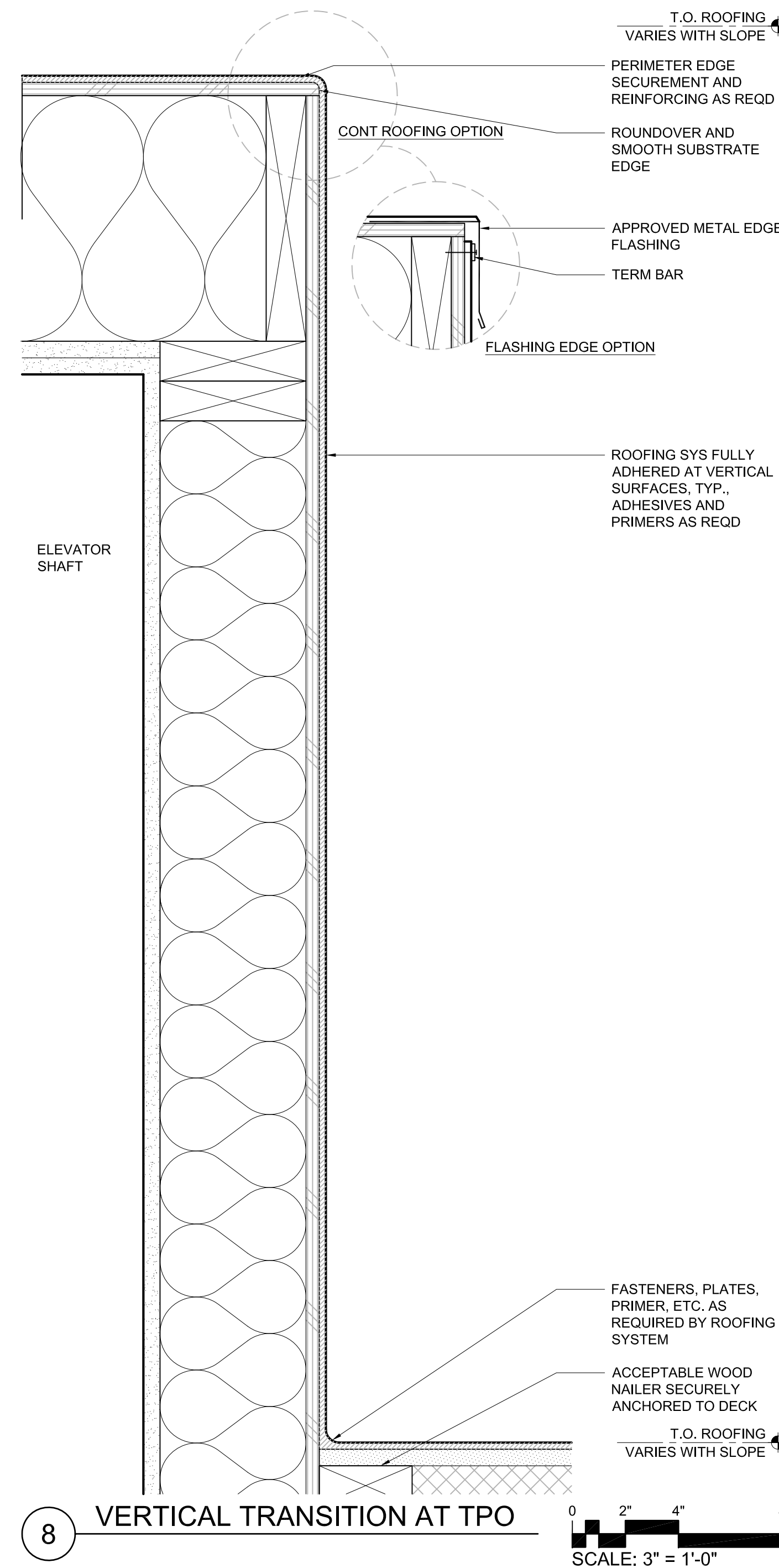
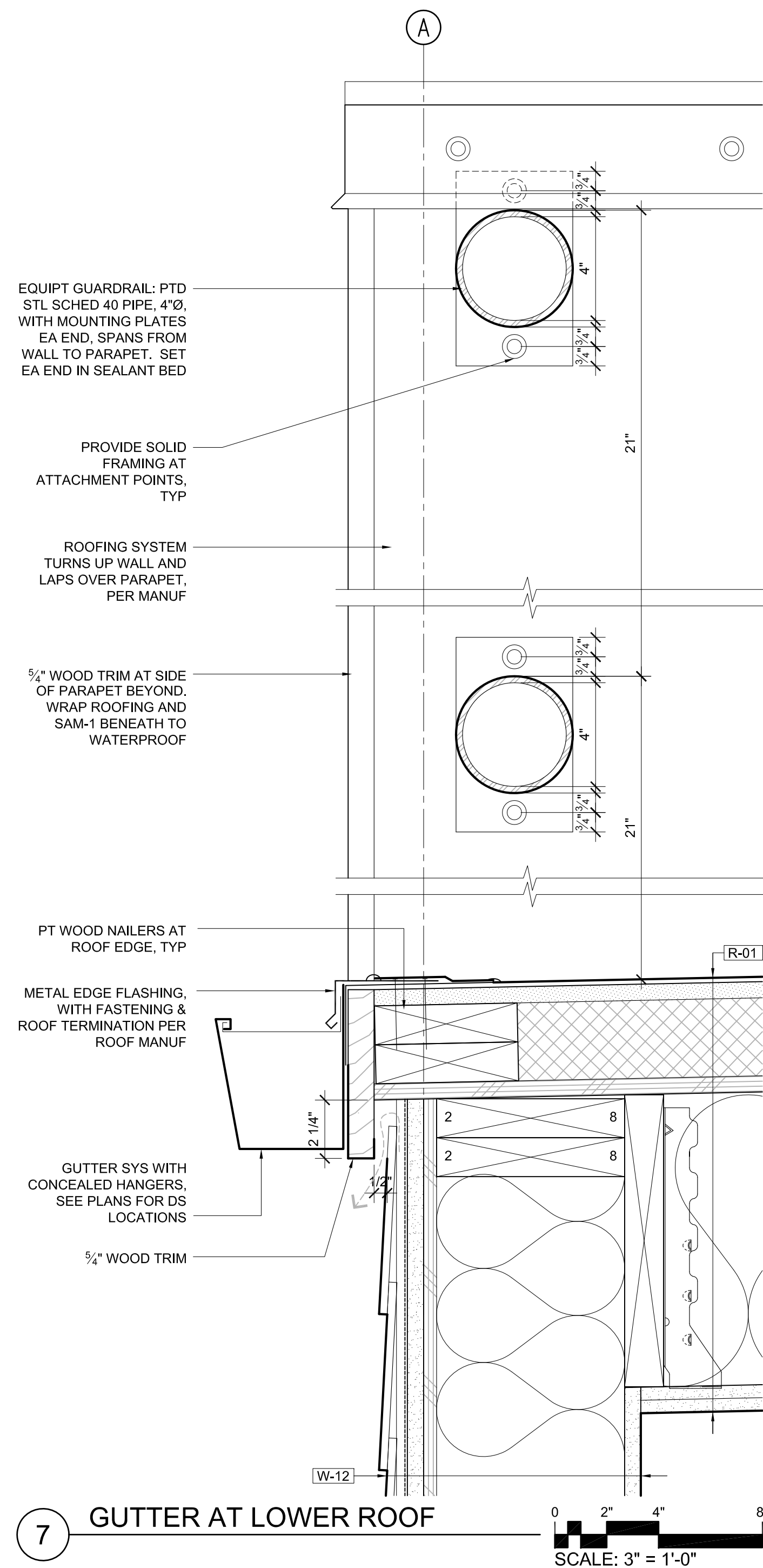
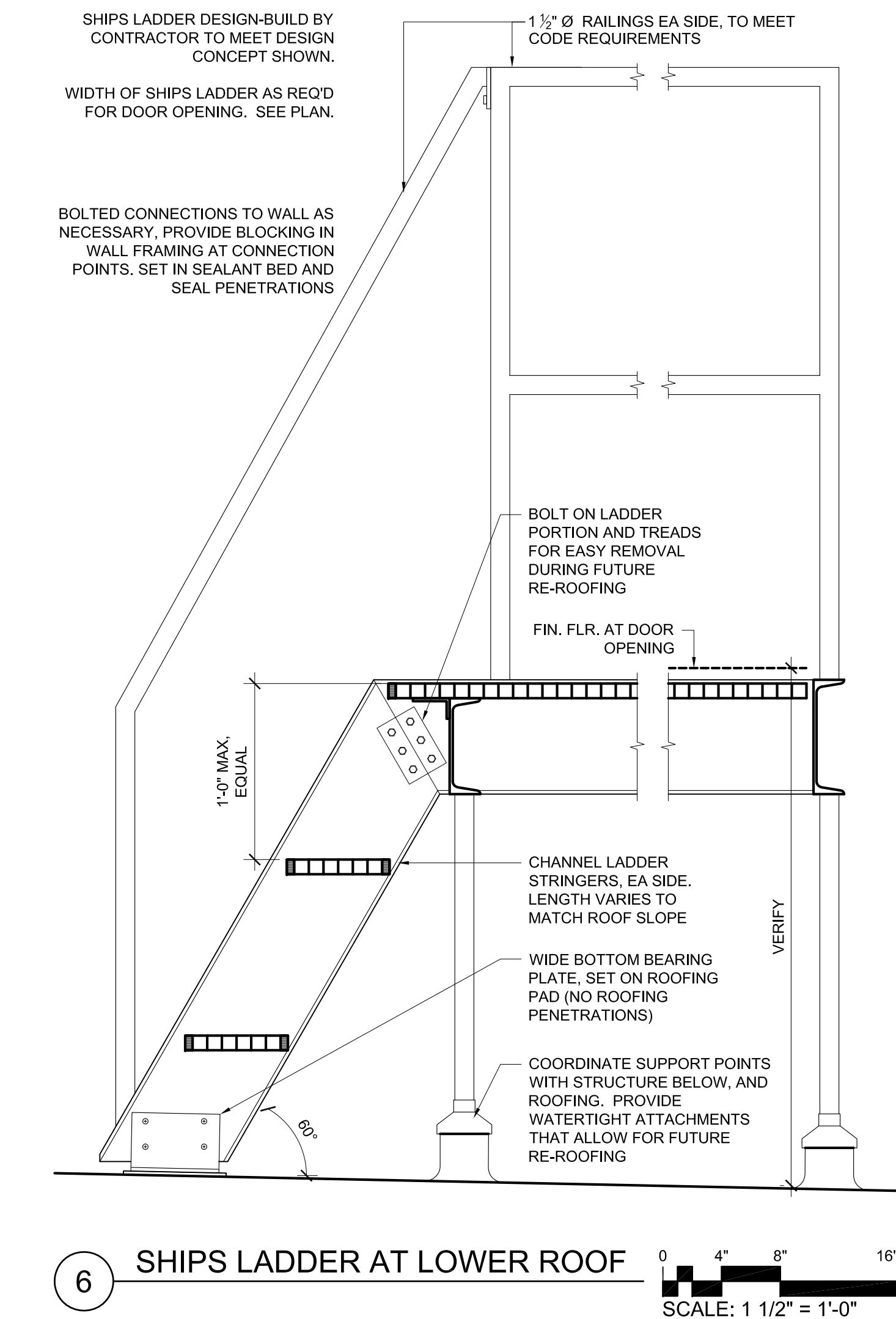
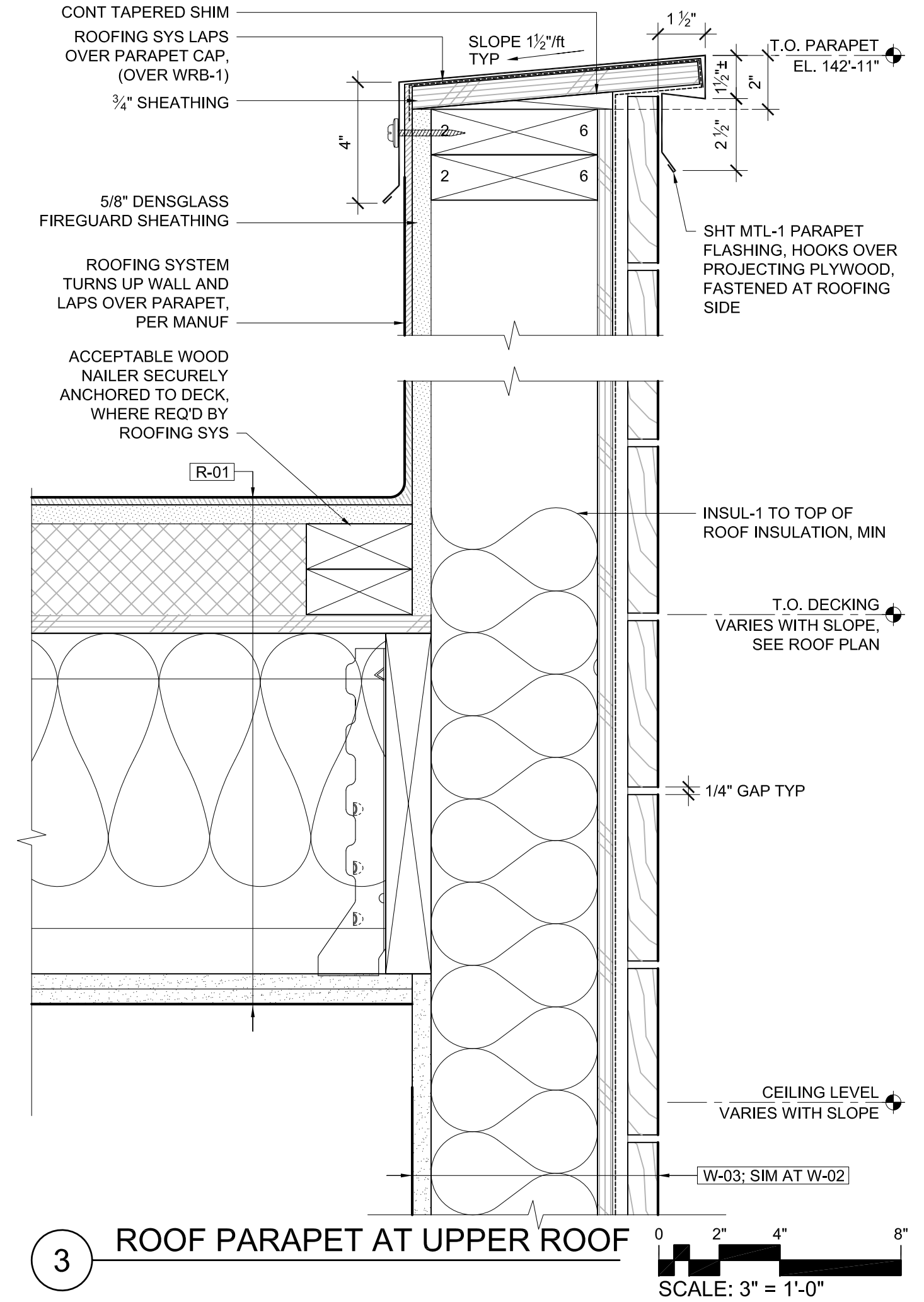
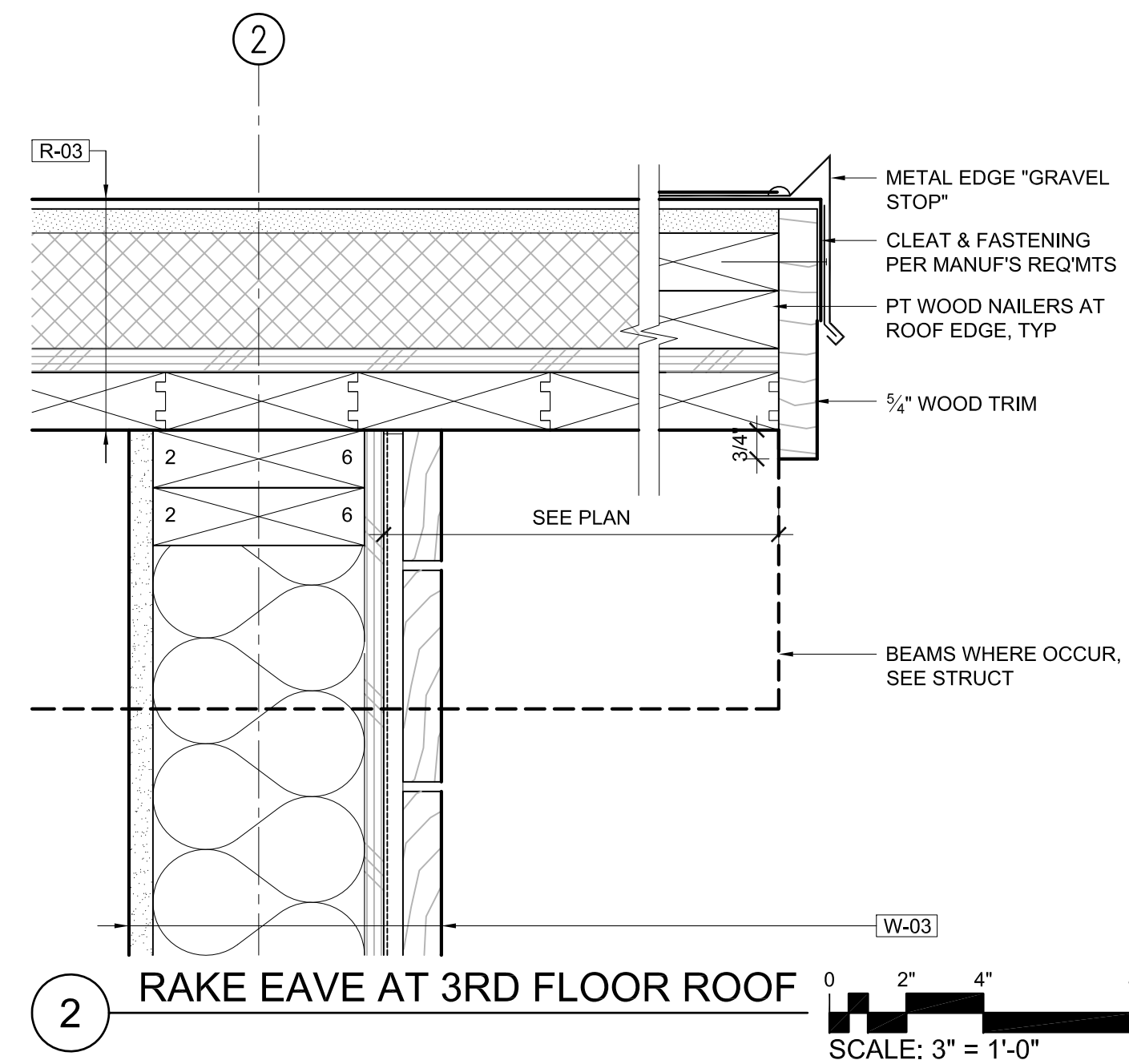
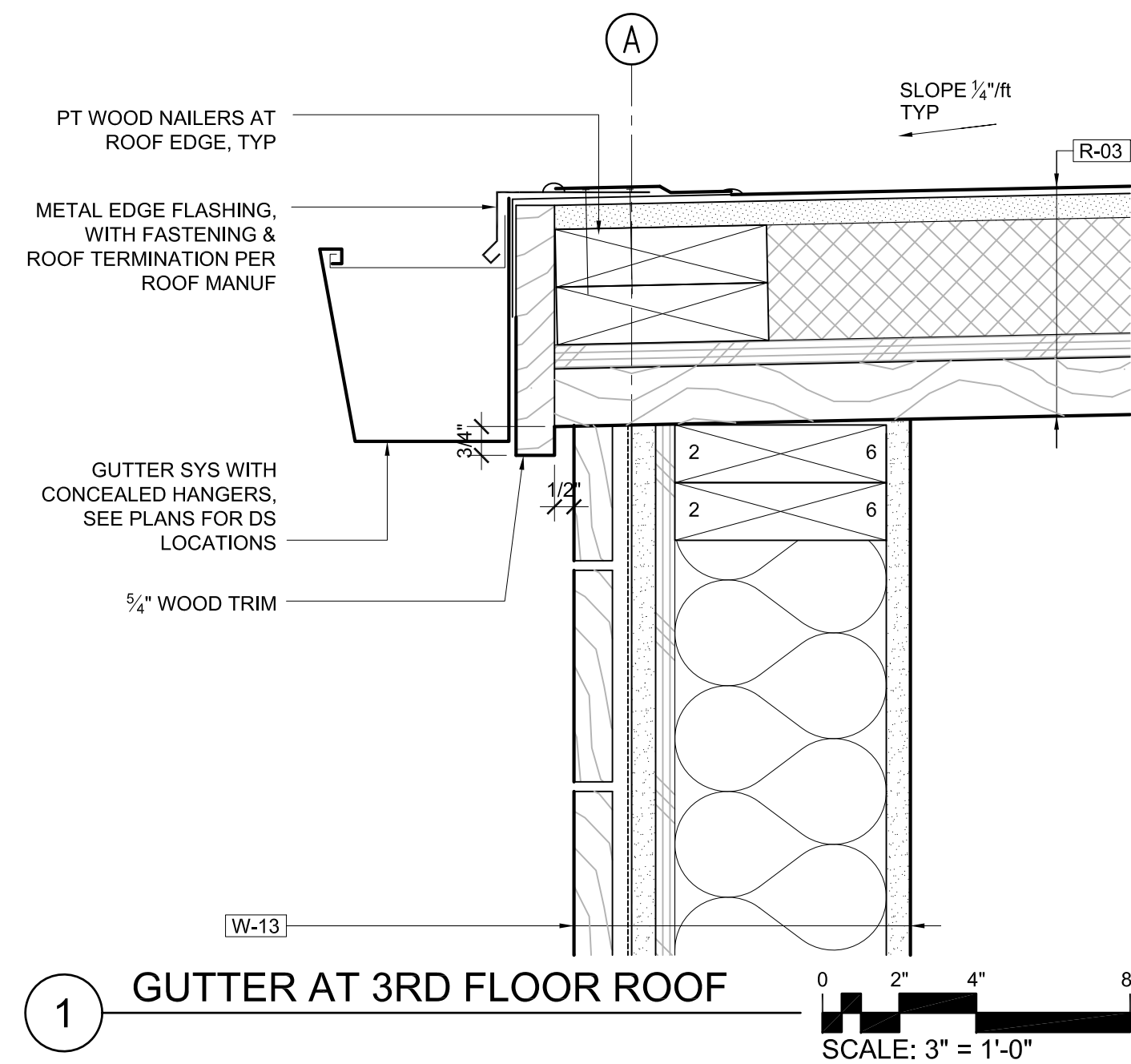
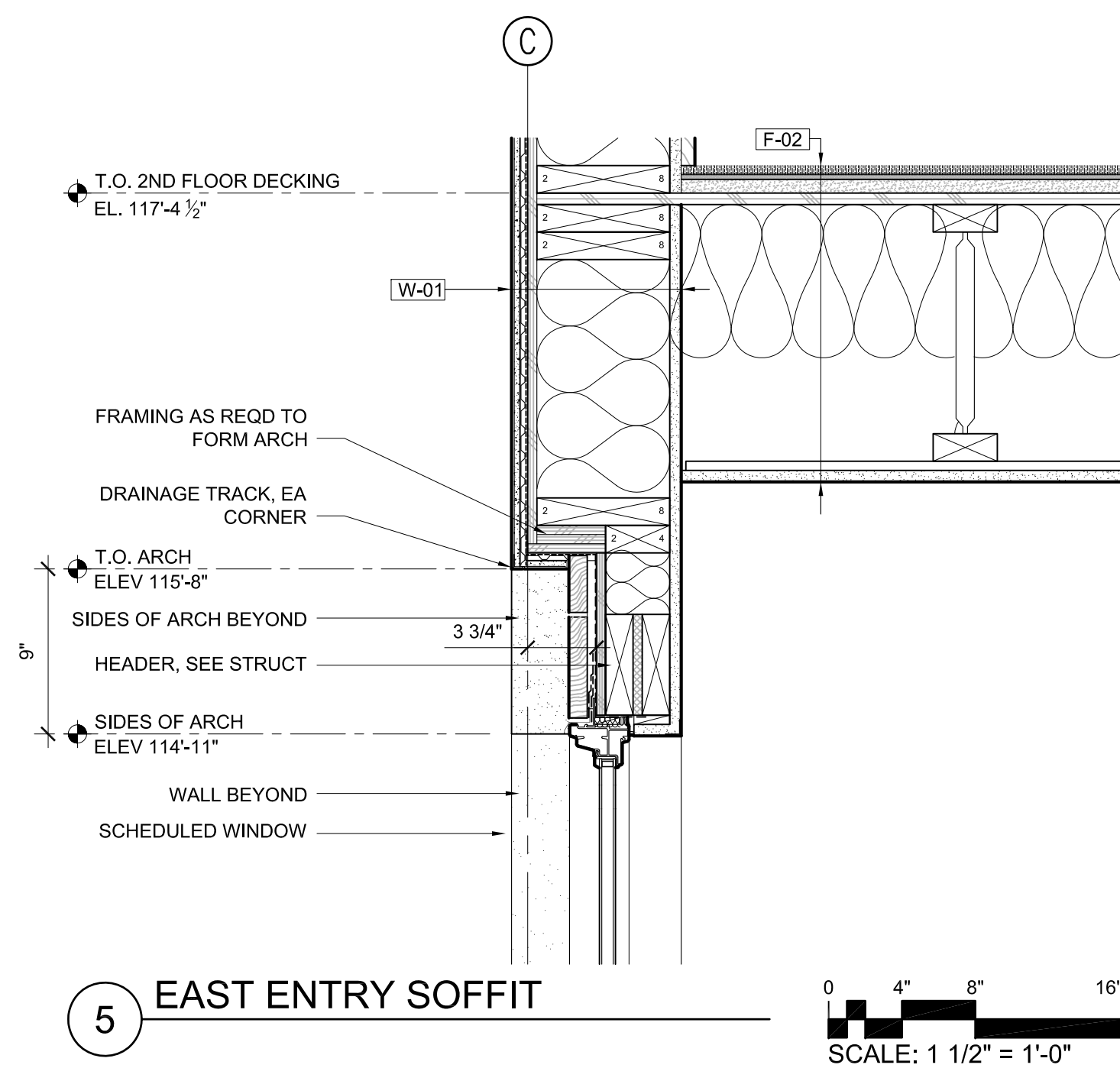
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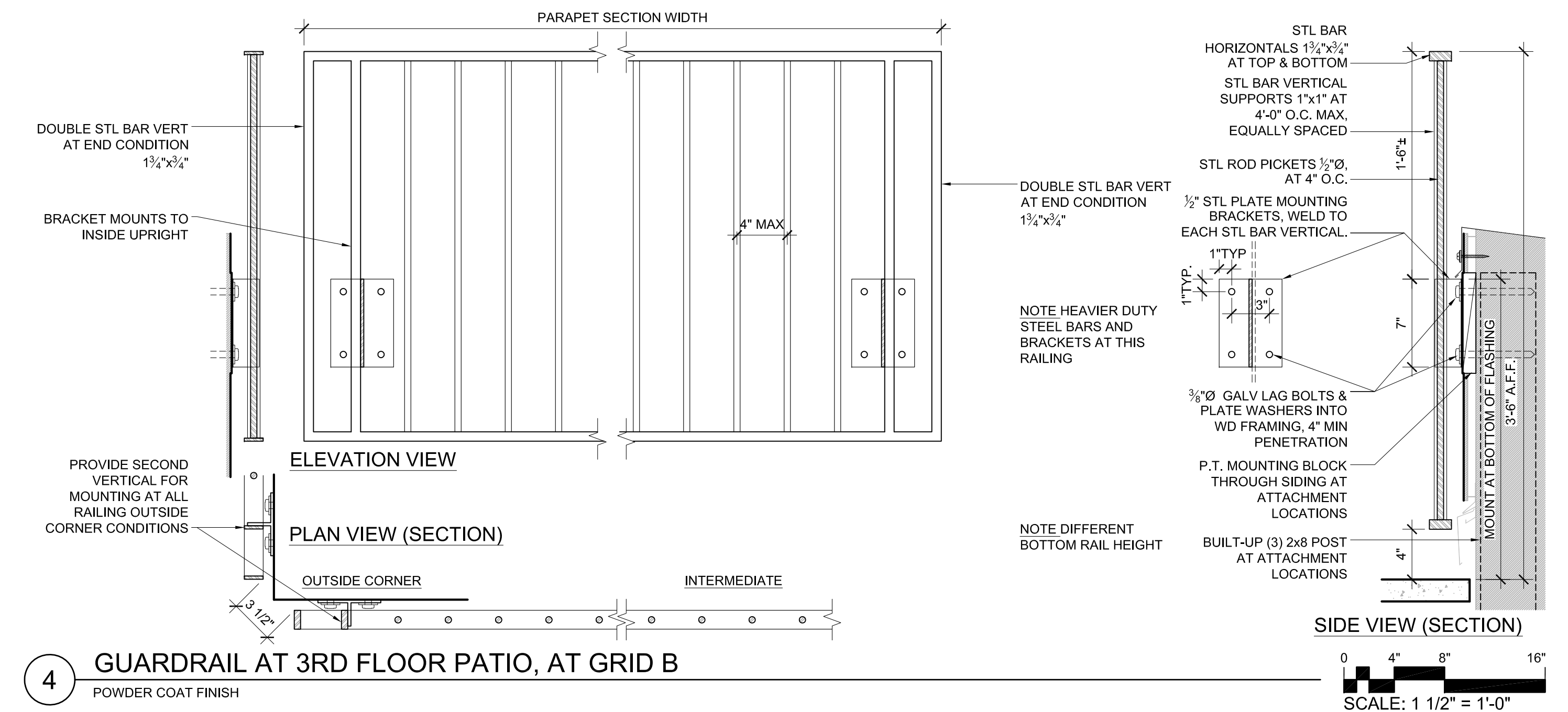
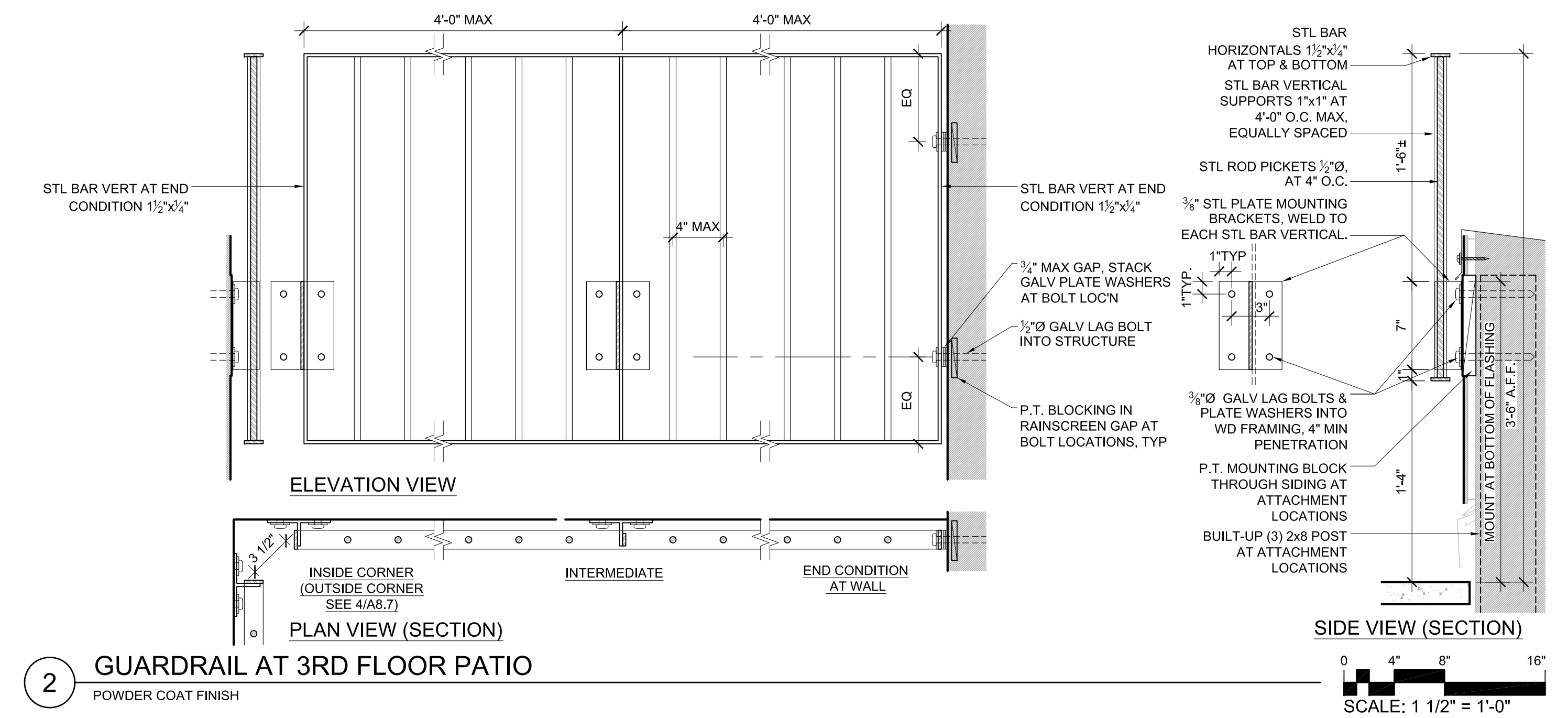
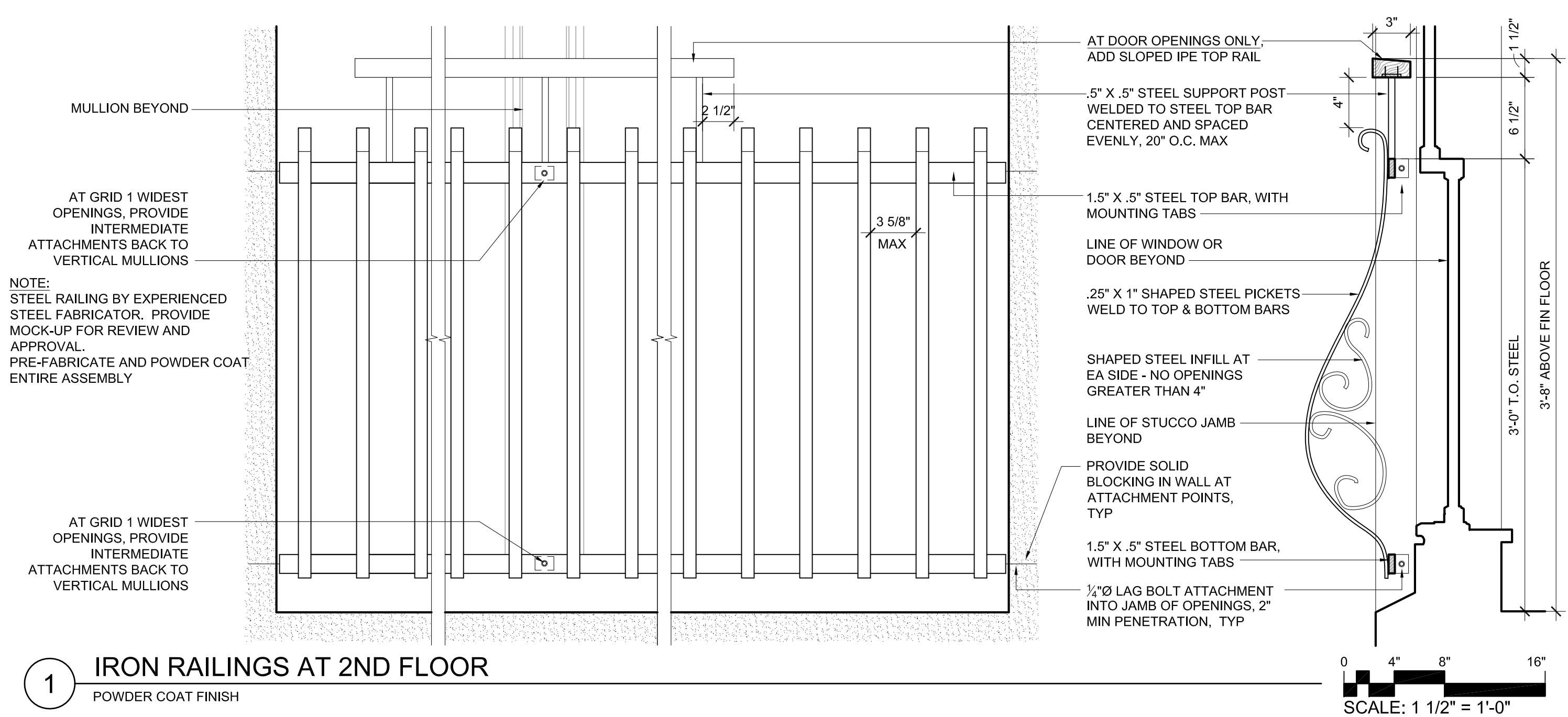
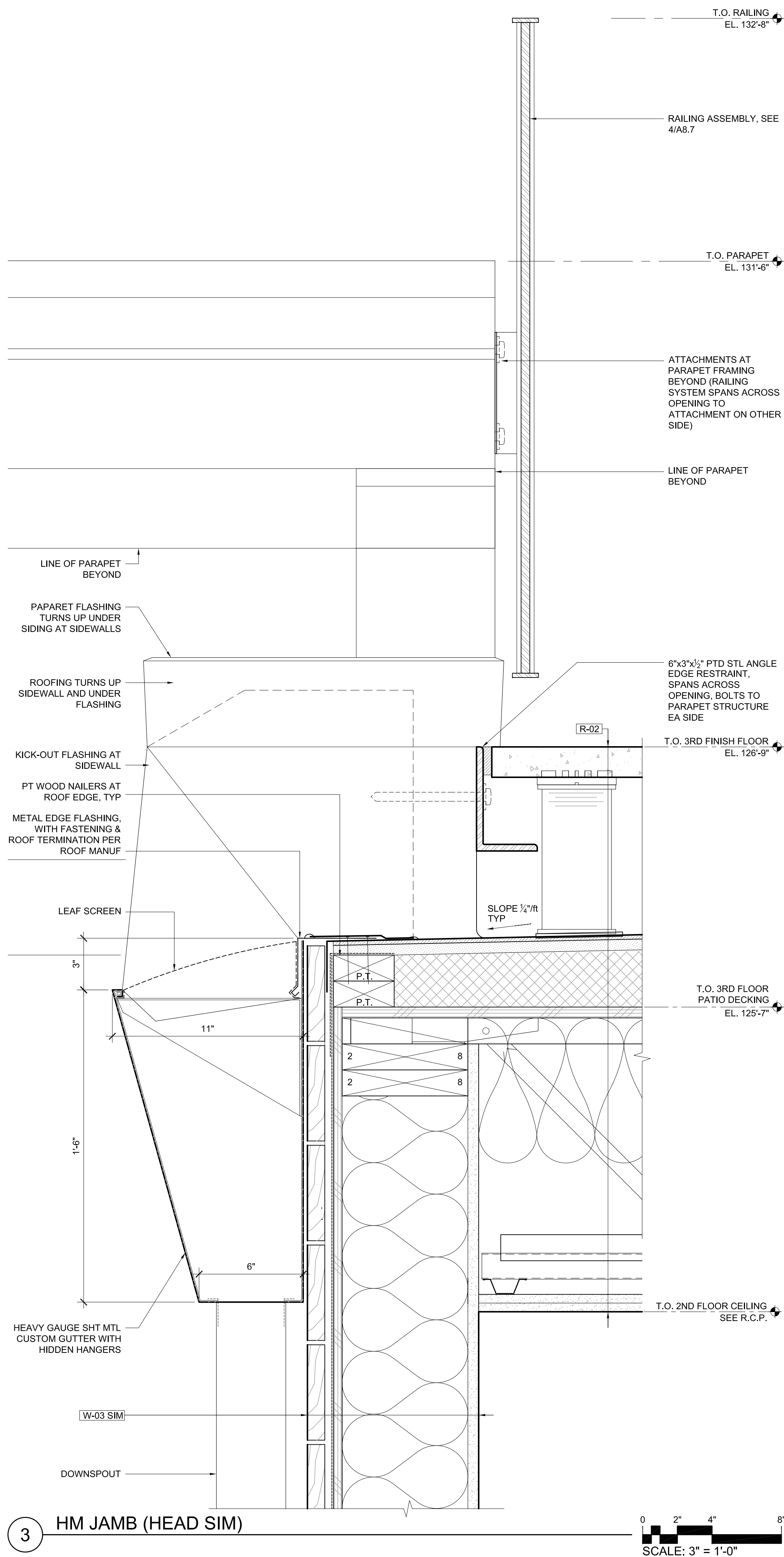


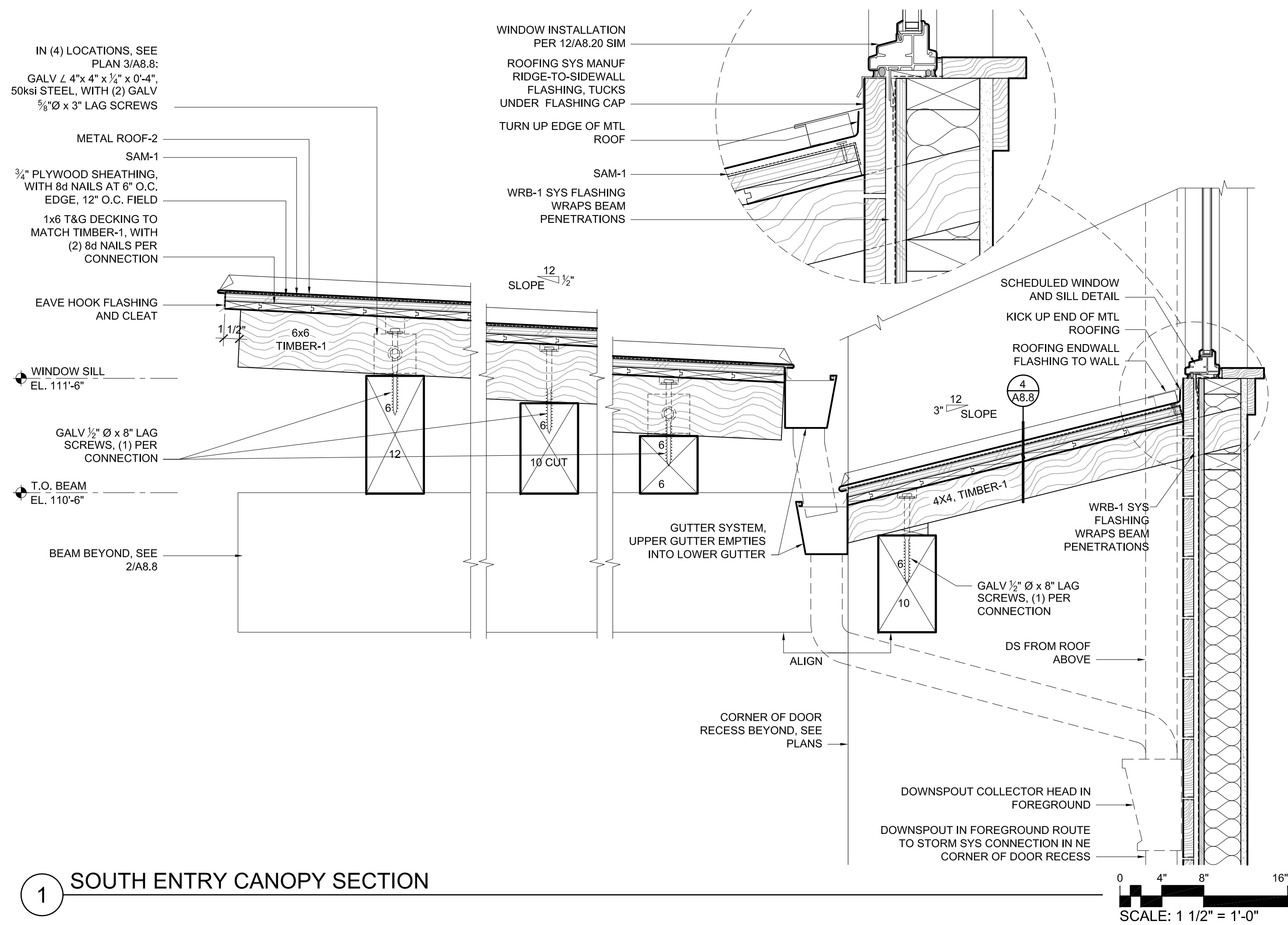
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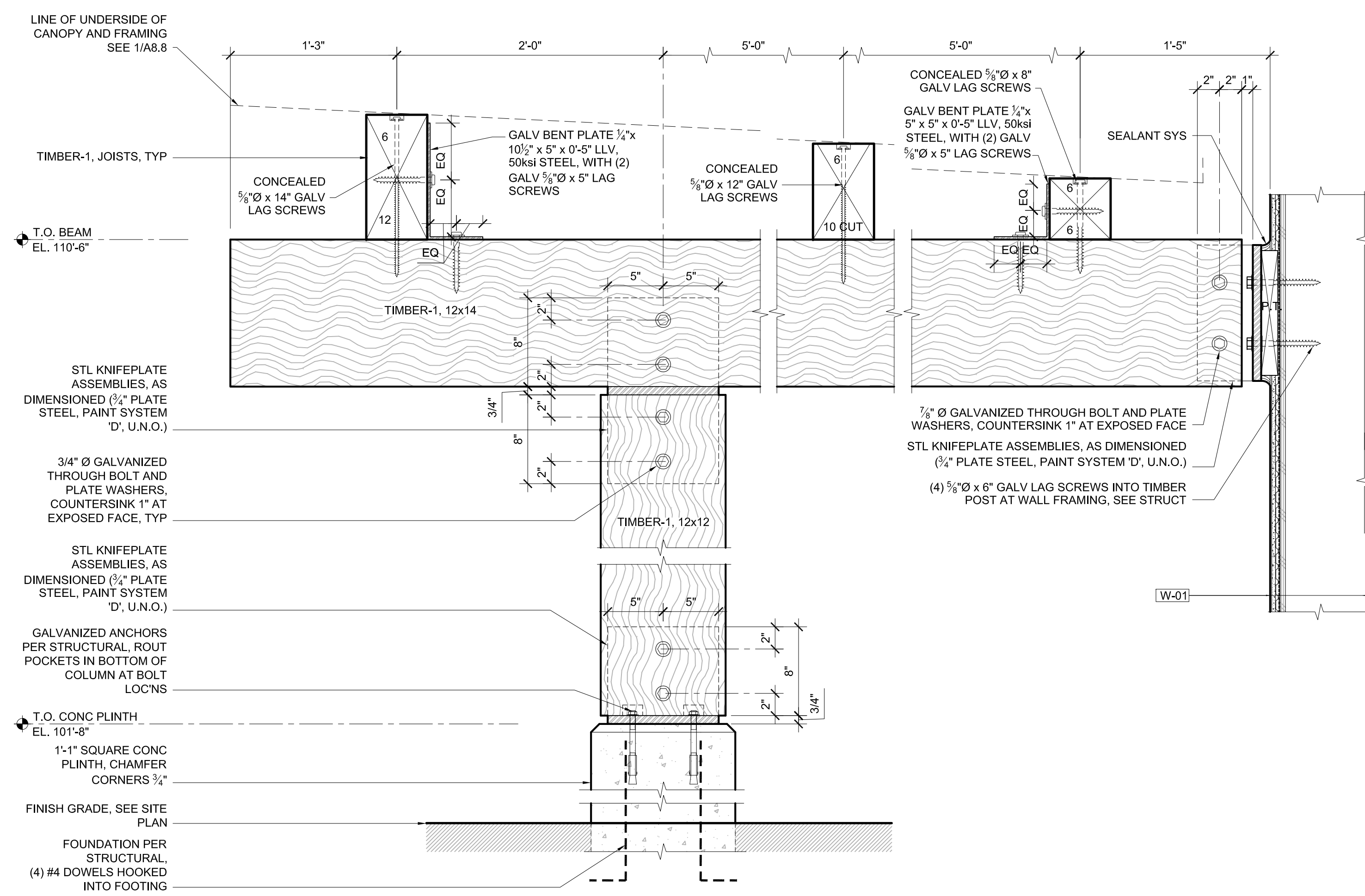
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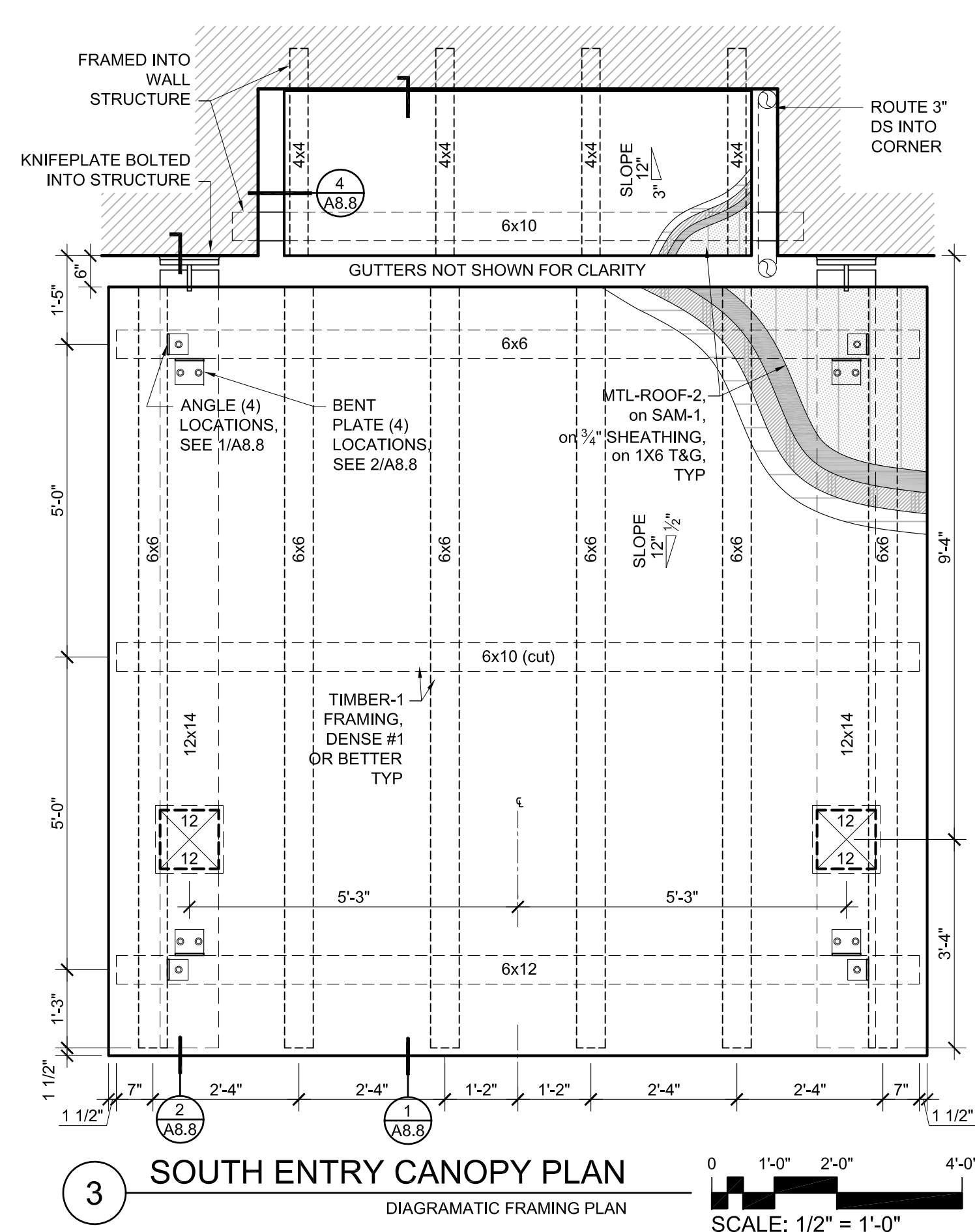




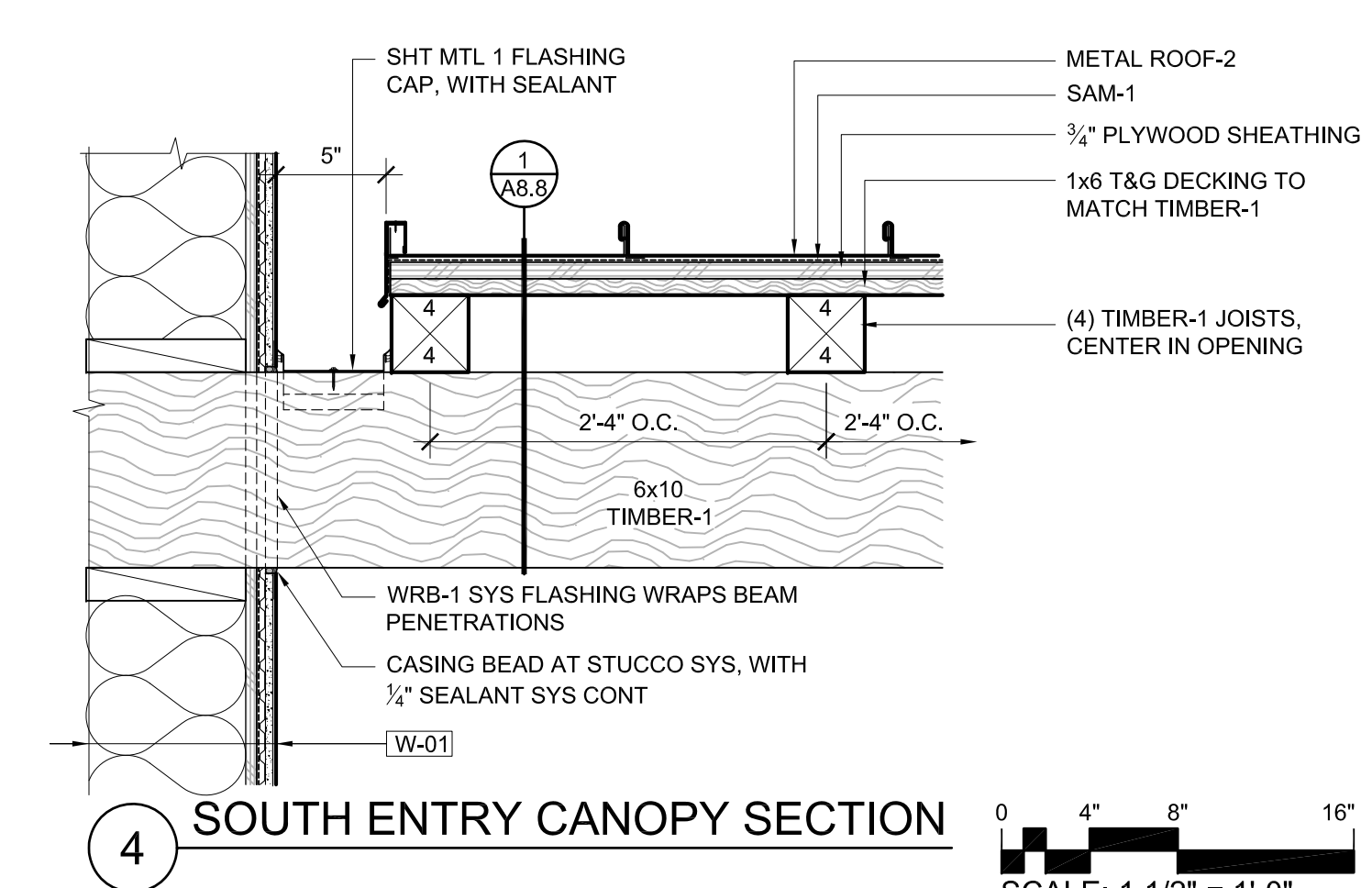
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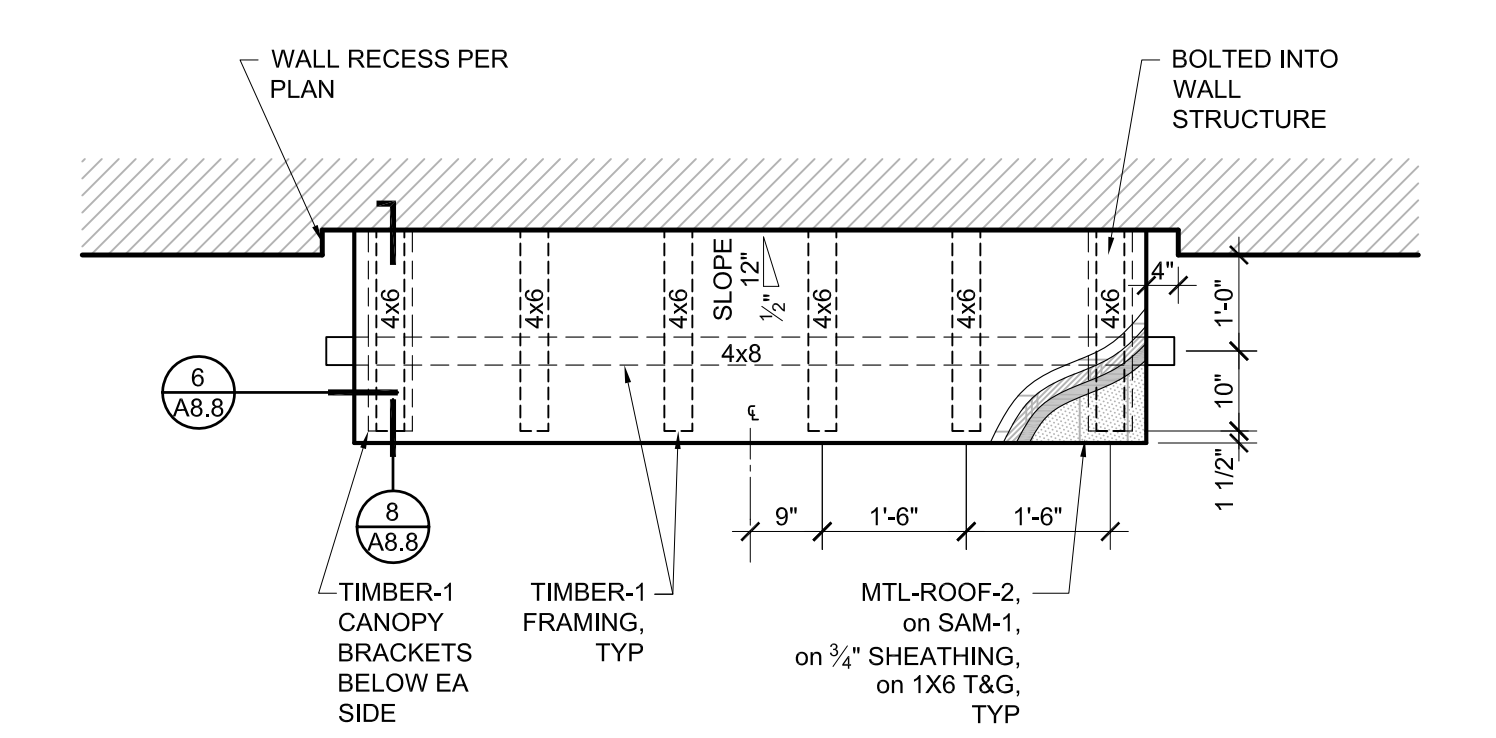
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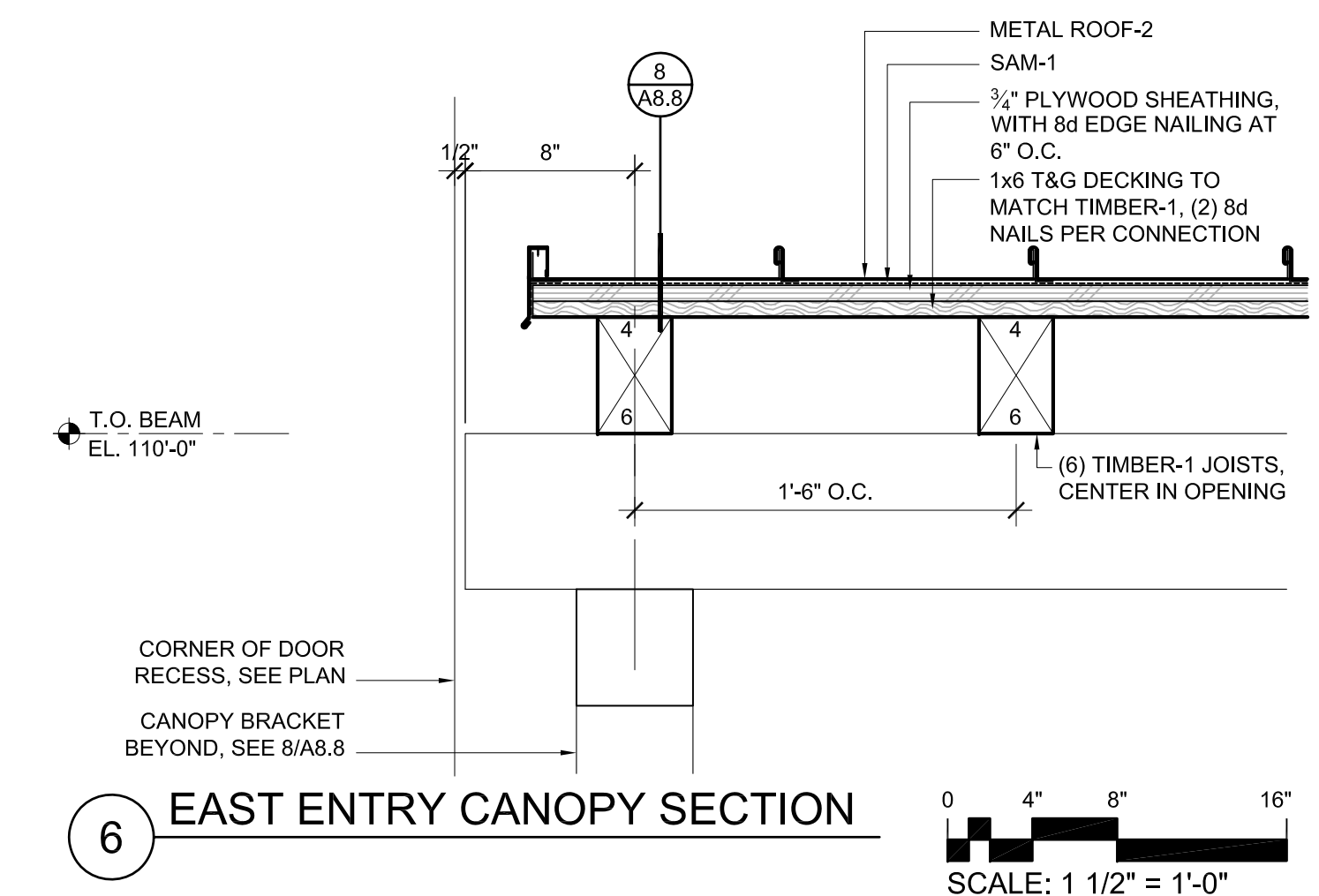
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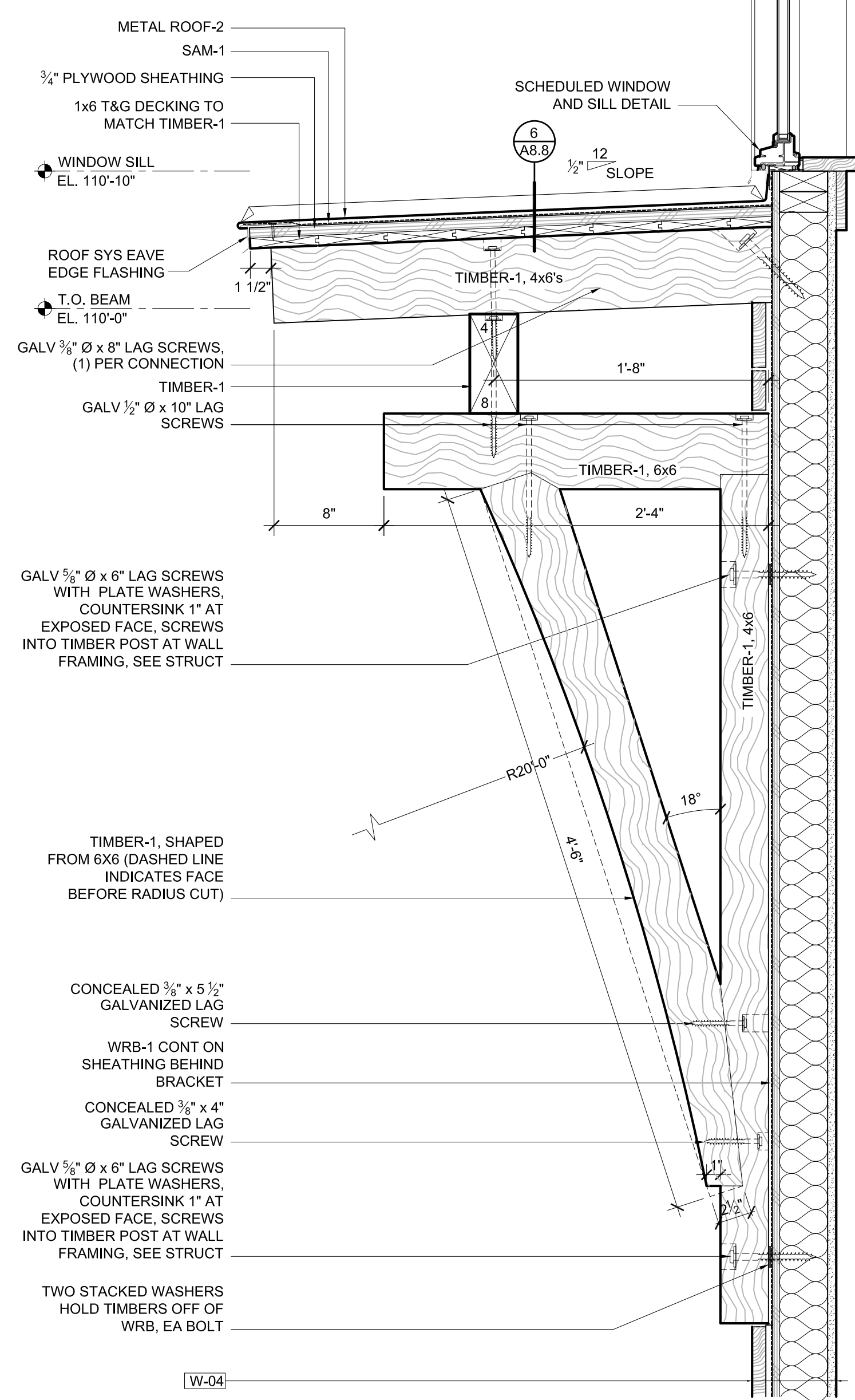
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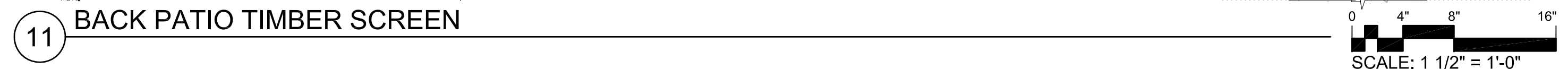
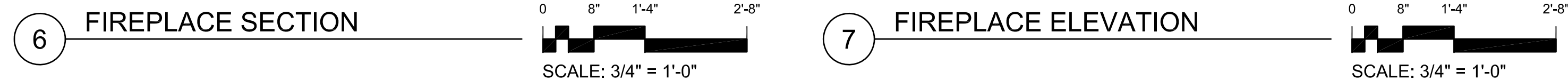
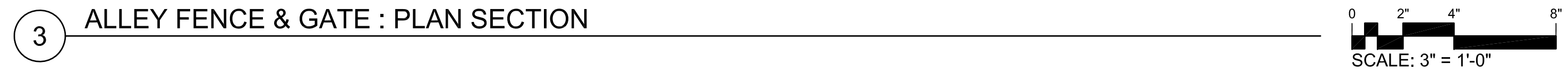
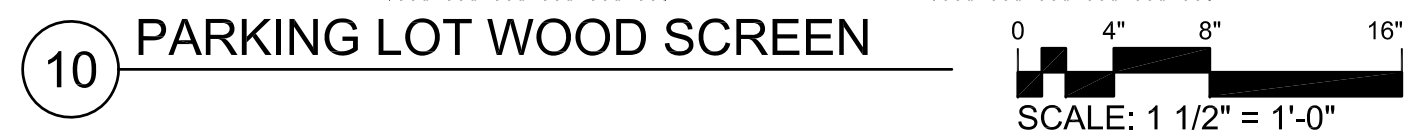
5 EAST ENTRY CANOPY PLAN



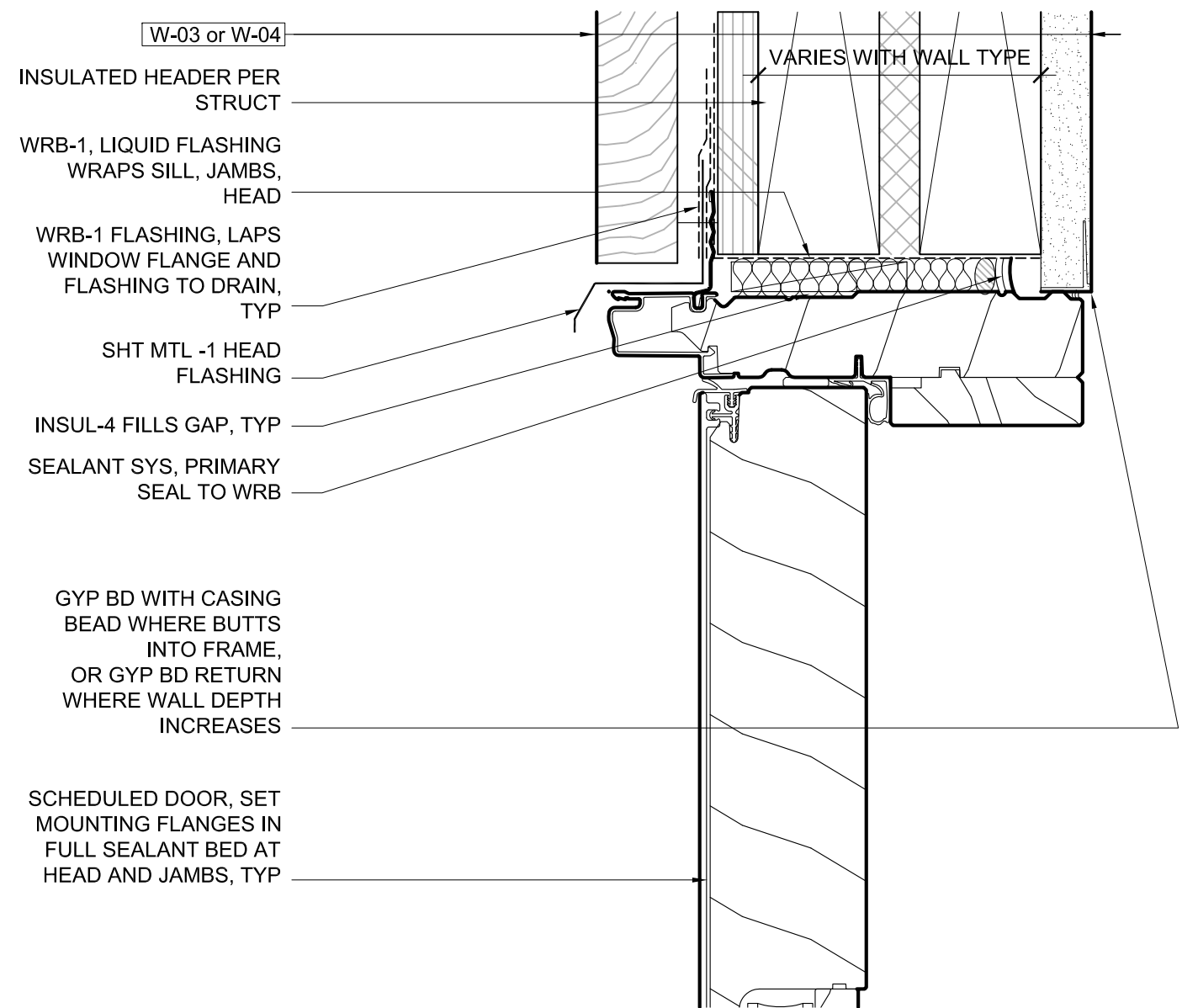
6 EAST ENTRY CANOPY SECTION



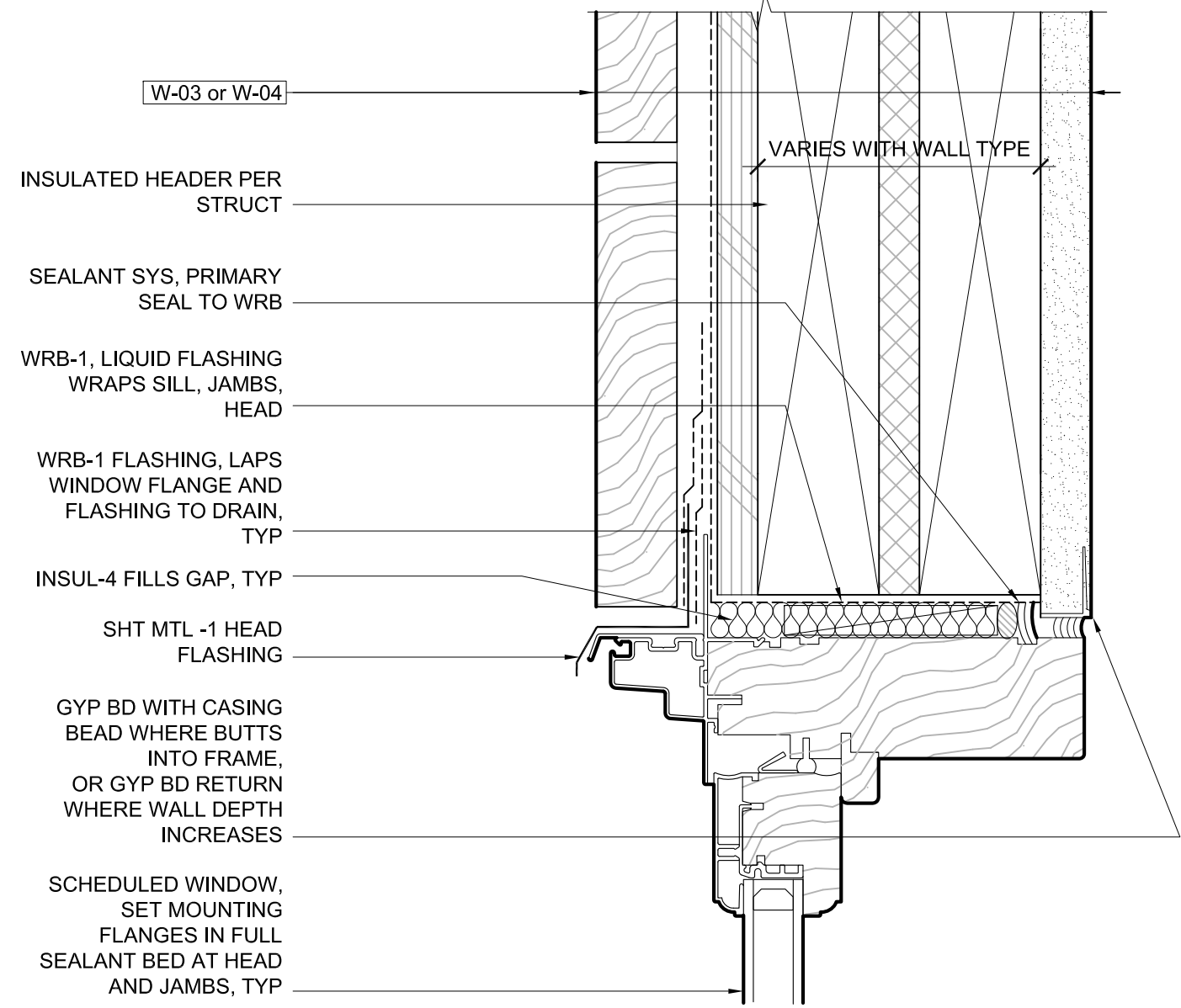
8 EAST ENTRY CANOPY BRACKET



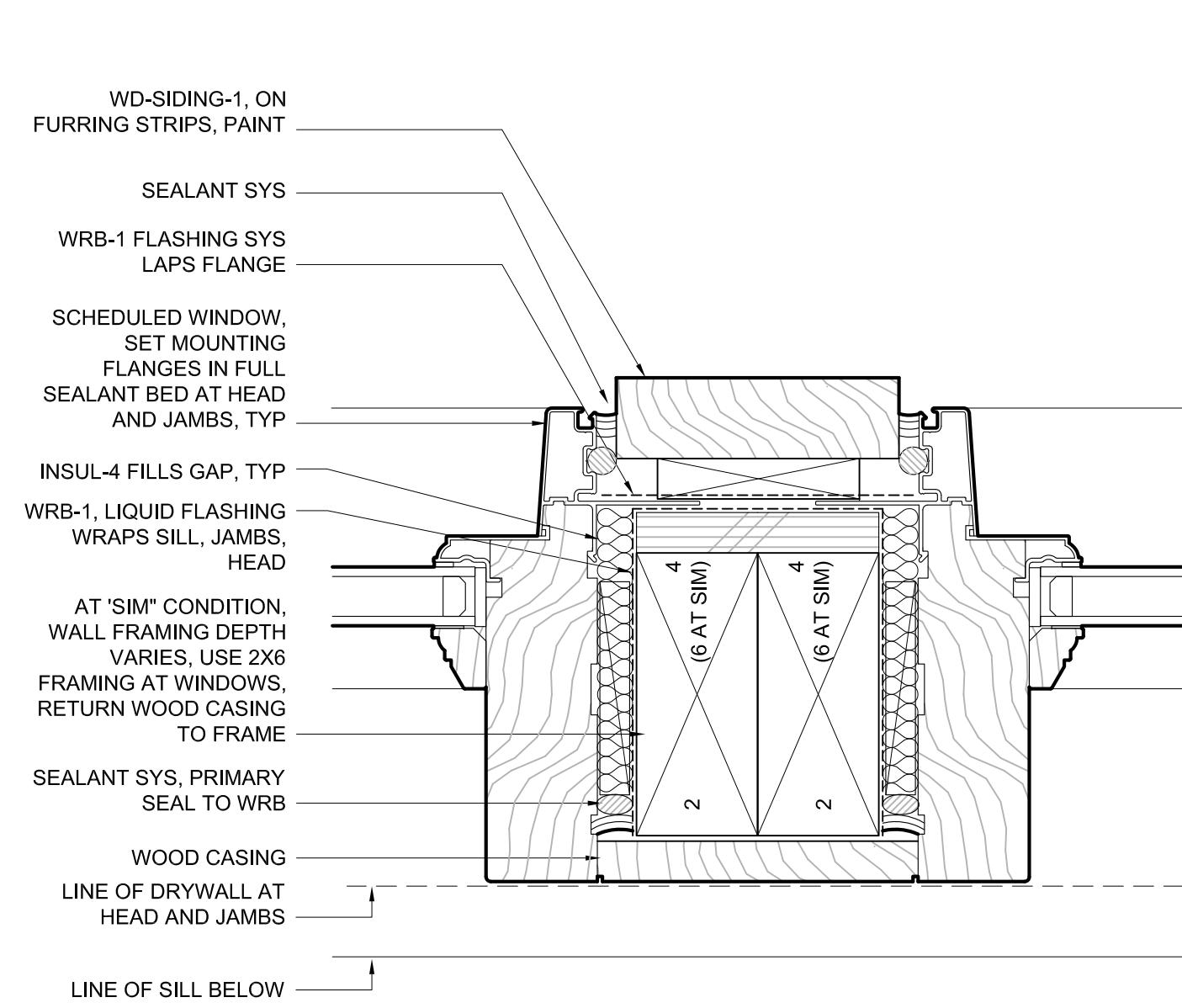




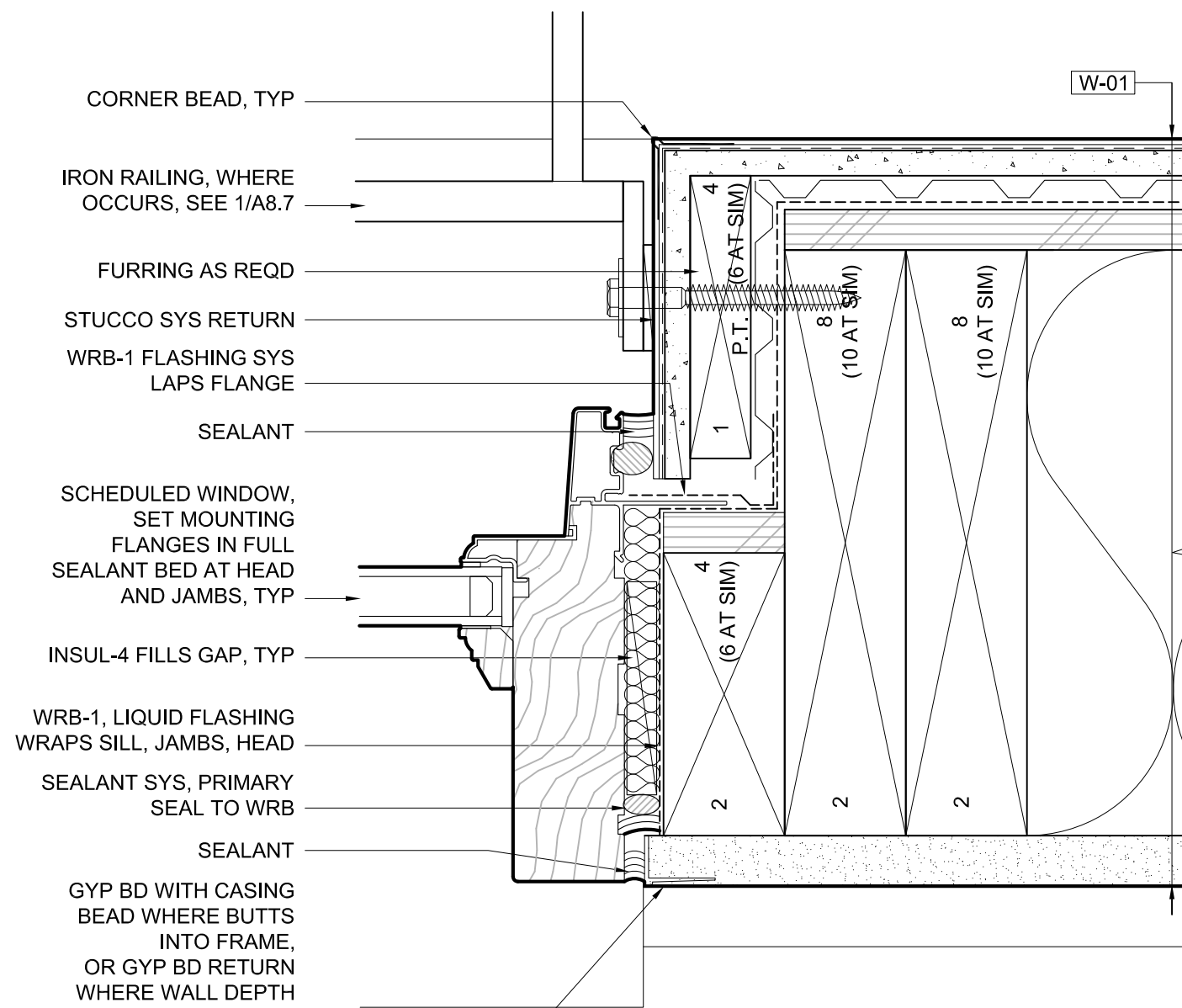
1 SECTION - DOOR HEAD
SCALE: 6" = 1'-0"



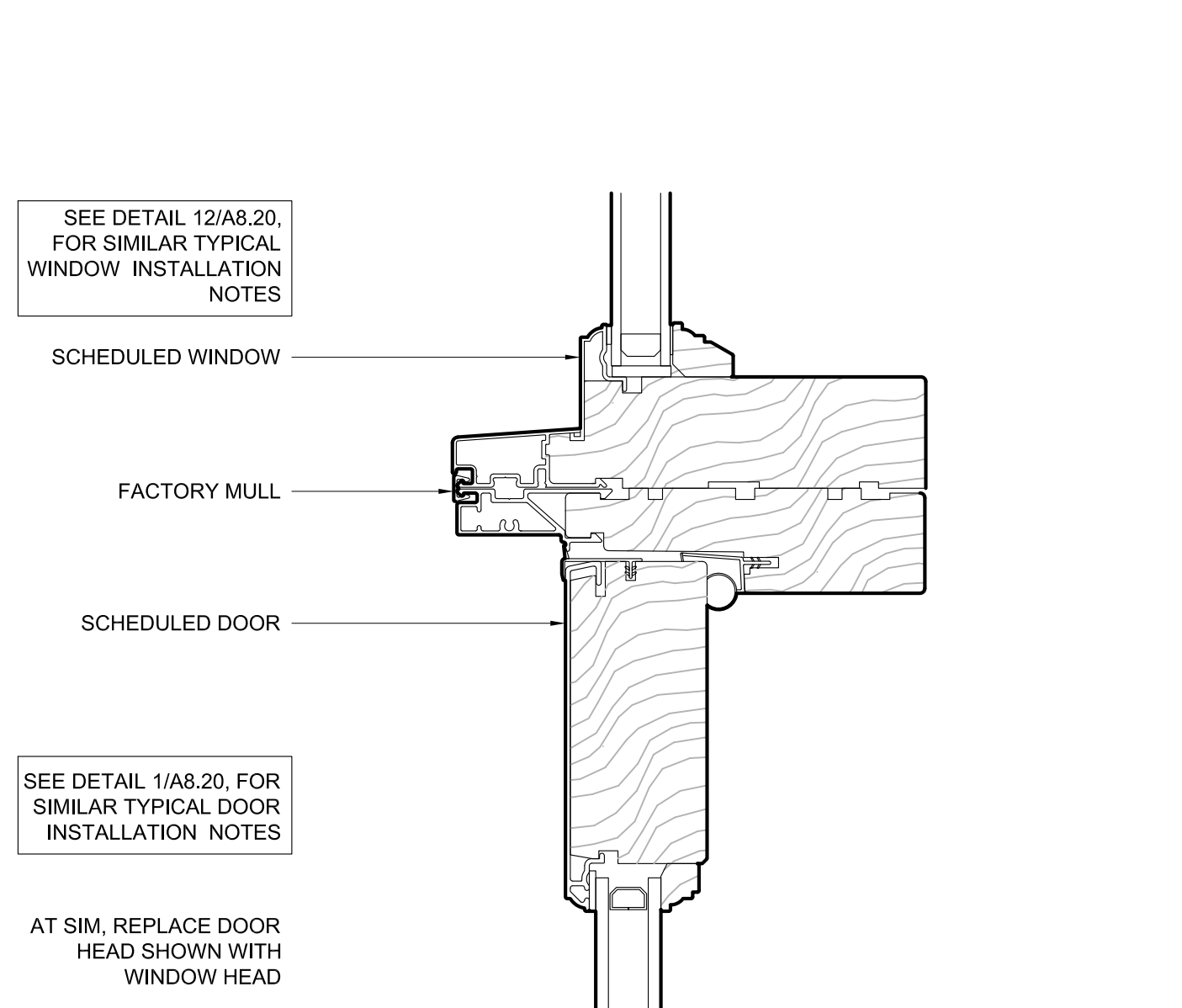
2 SECTION - WINDOW HEAD
SCALE: 6" = 1'-0"



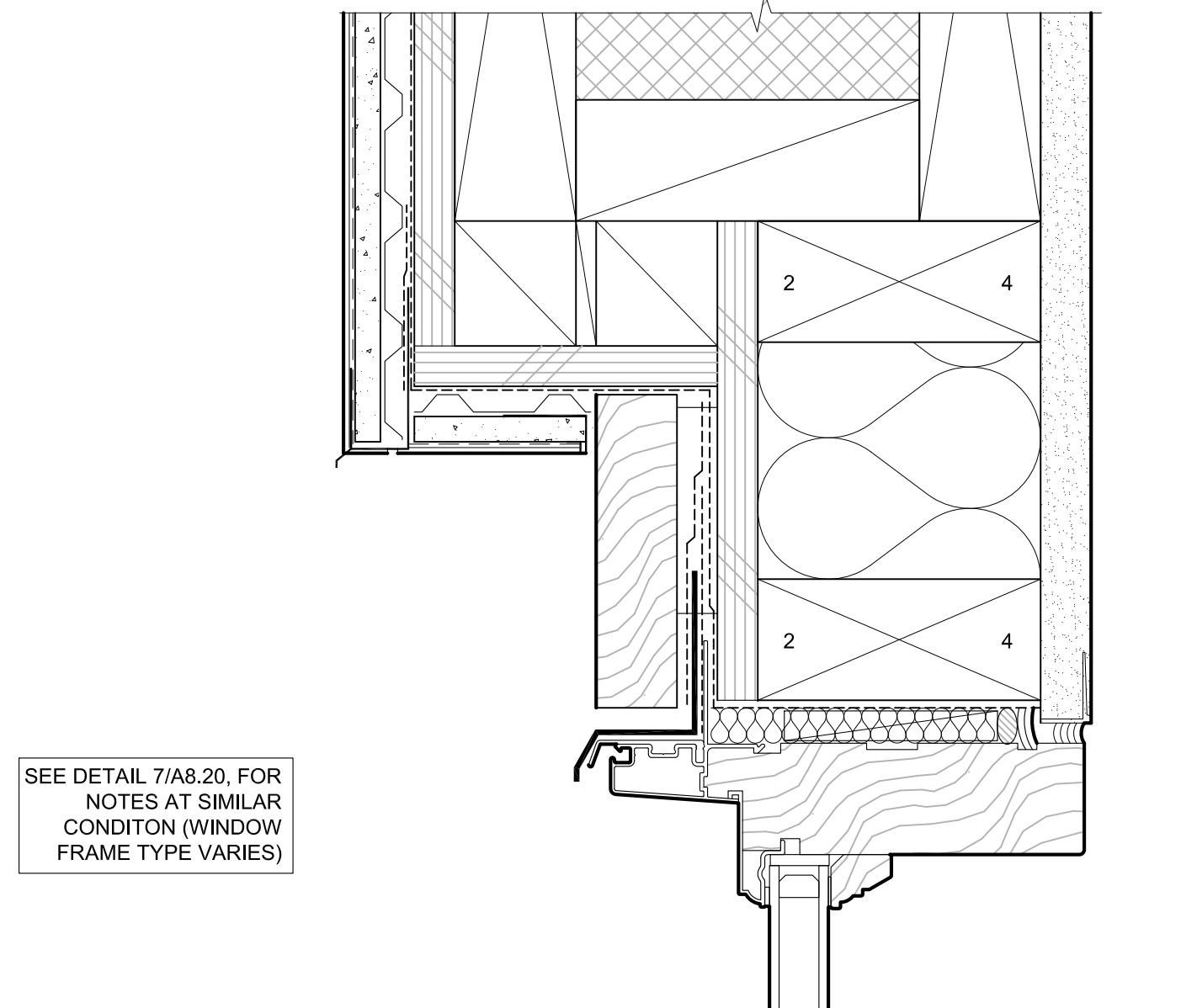
3 PLAN - WINDOW JAMB
SCALE: 6" = 1'-0"



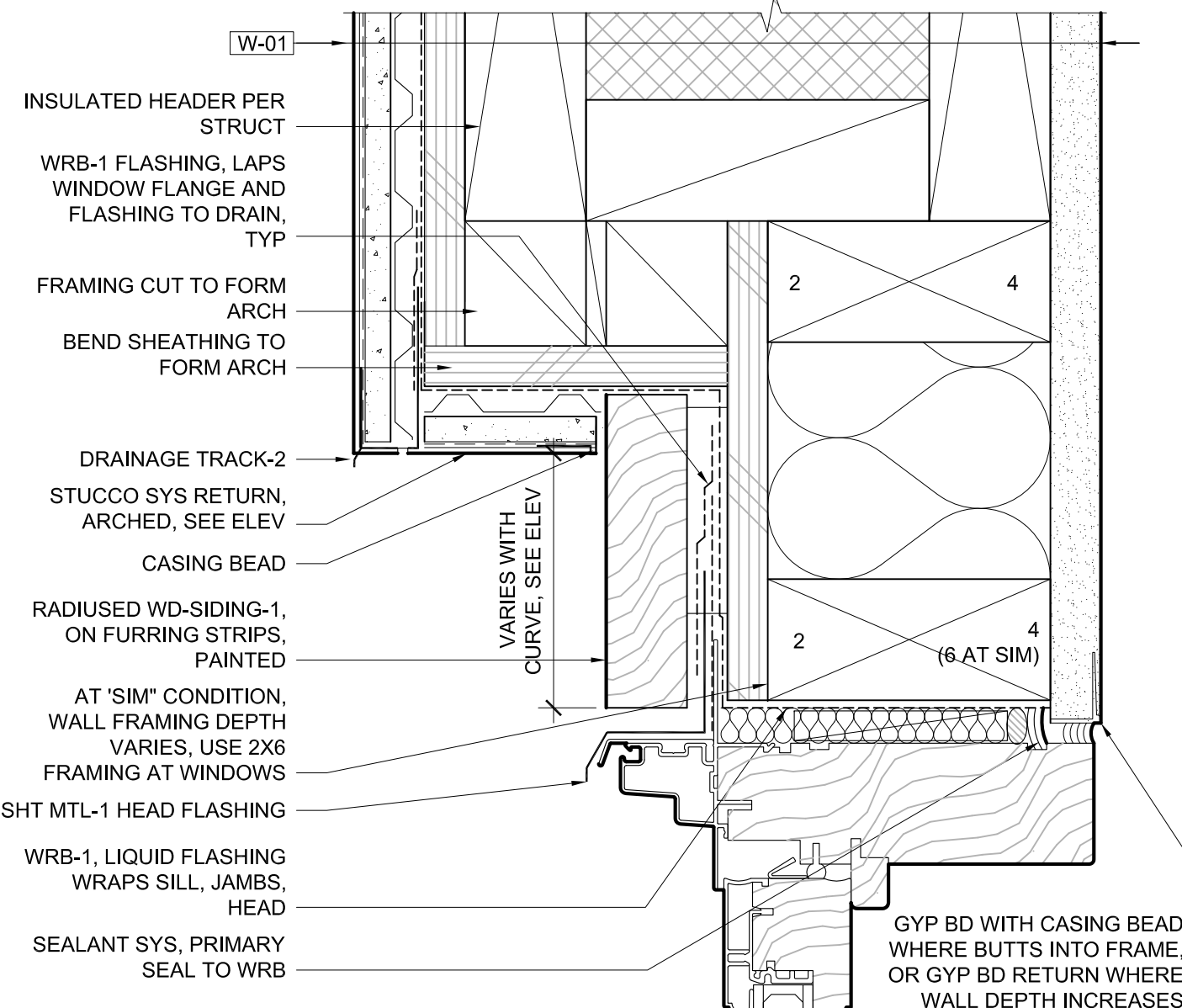
4 PLAN - WINDOW JAMB
SCALE: 6" = 1'-0"



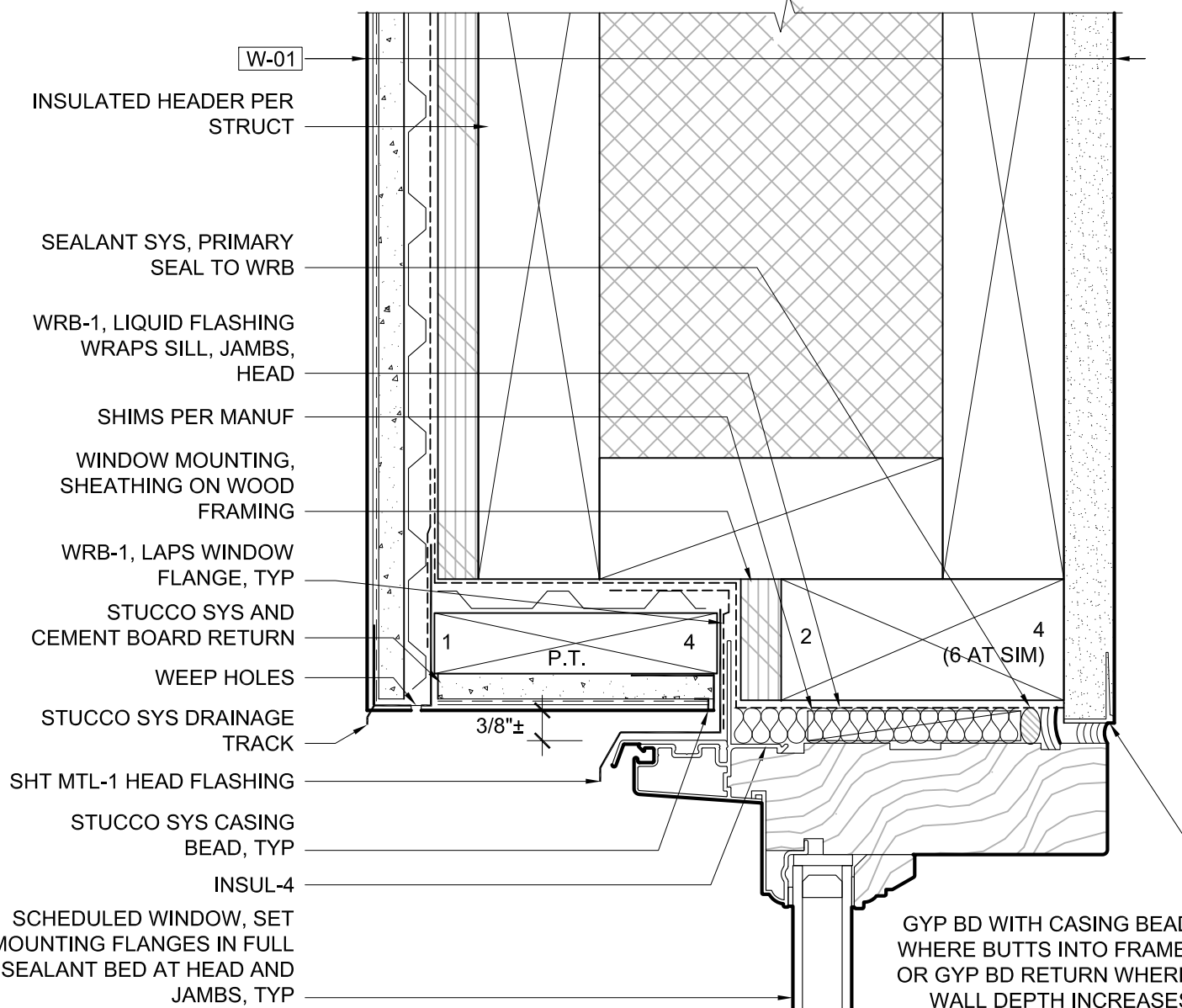
5 SECTION - DOOR HEAD MULLION
SCALE: 6" = 1'-0"



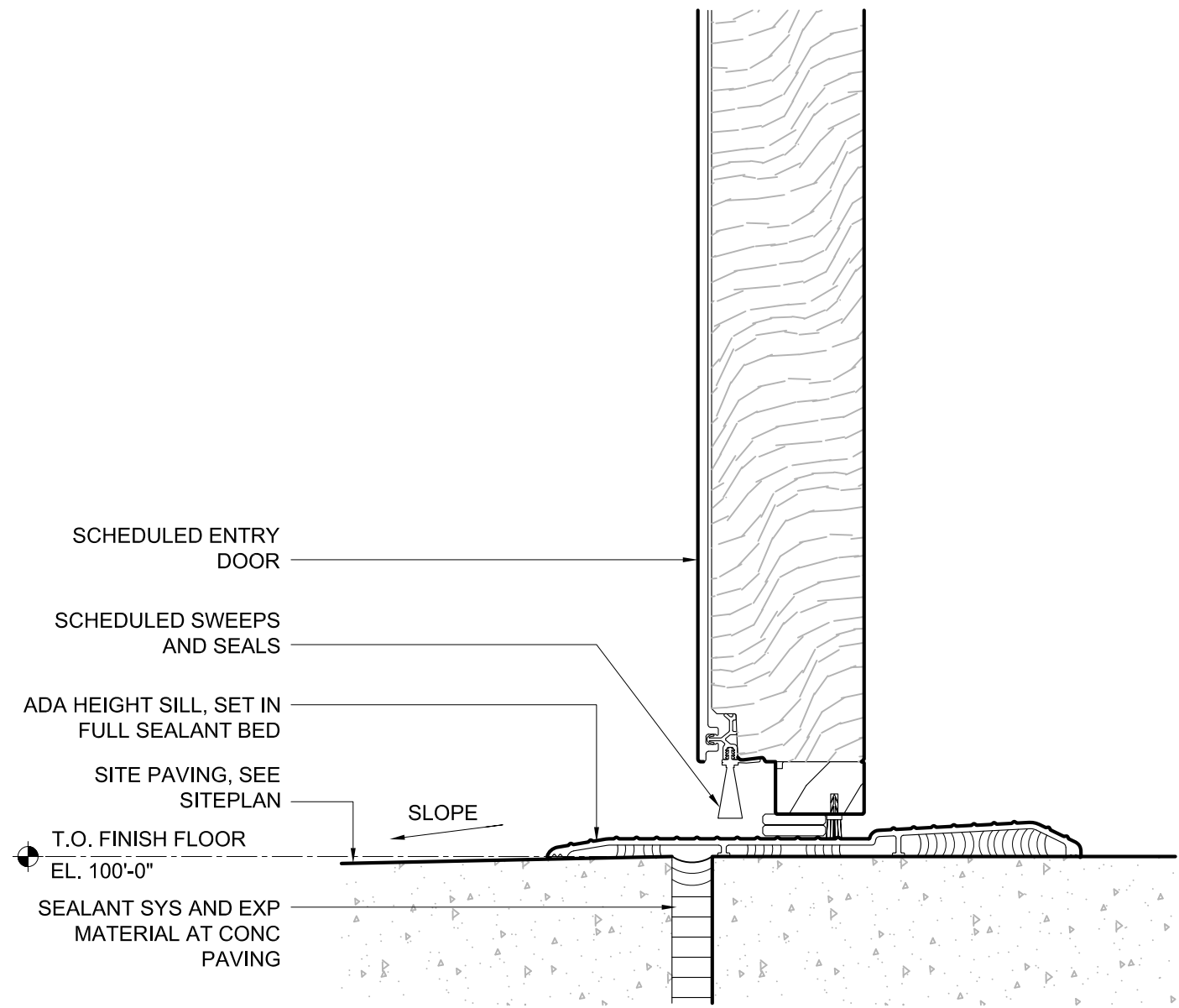
6 SECTION - WINDOW HEAD
SCALE: 6" = 1'-0"



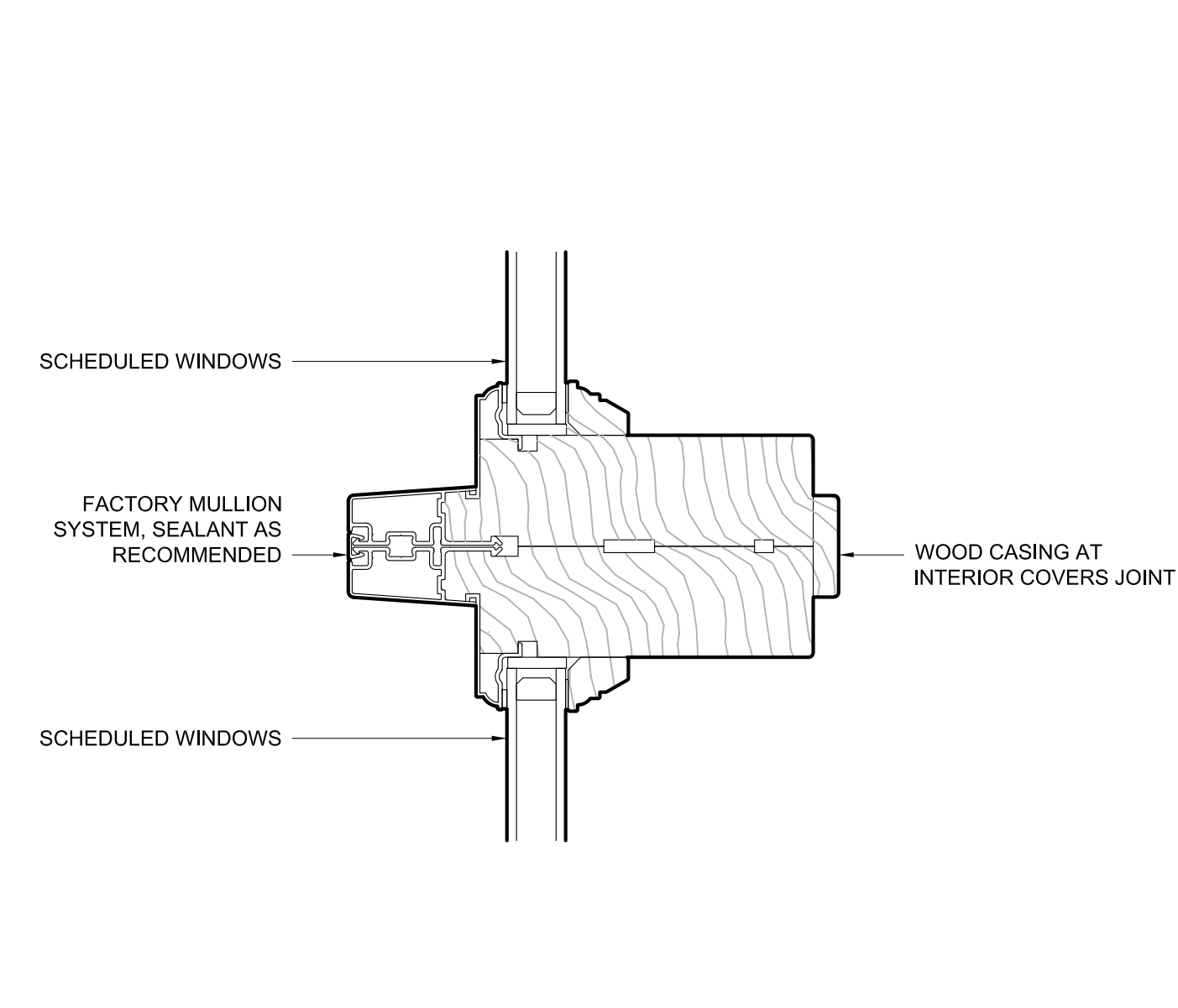
7 SECTION - WINDOW HEAD
SCALE: 6" = 1'-0"



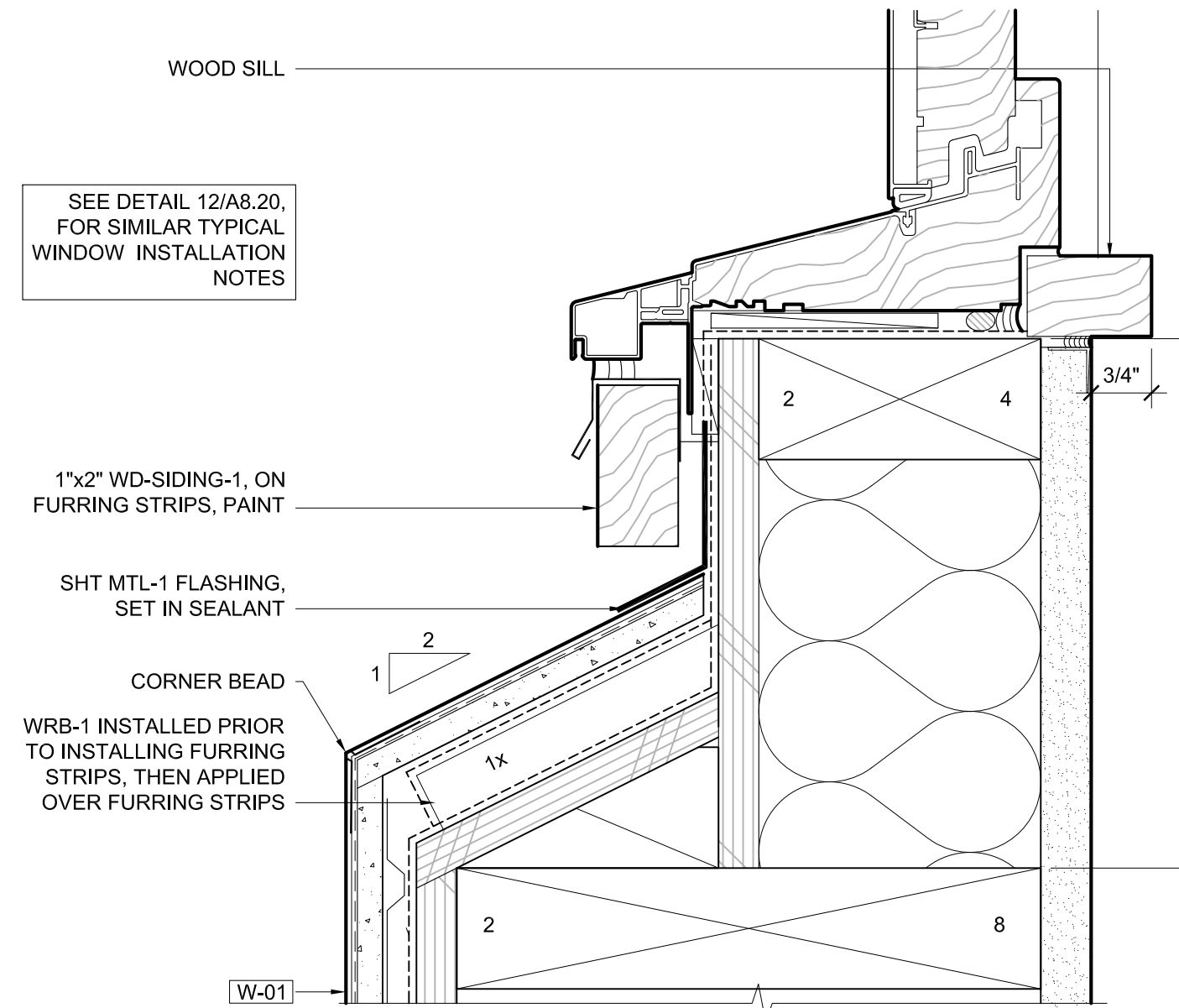
8 SECTION - WINDOW HEAD
SCALE: 6" = 1'-0"



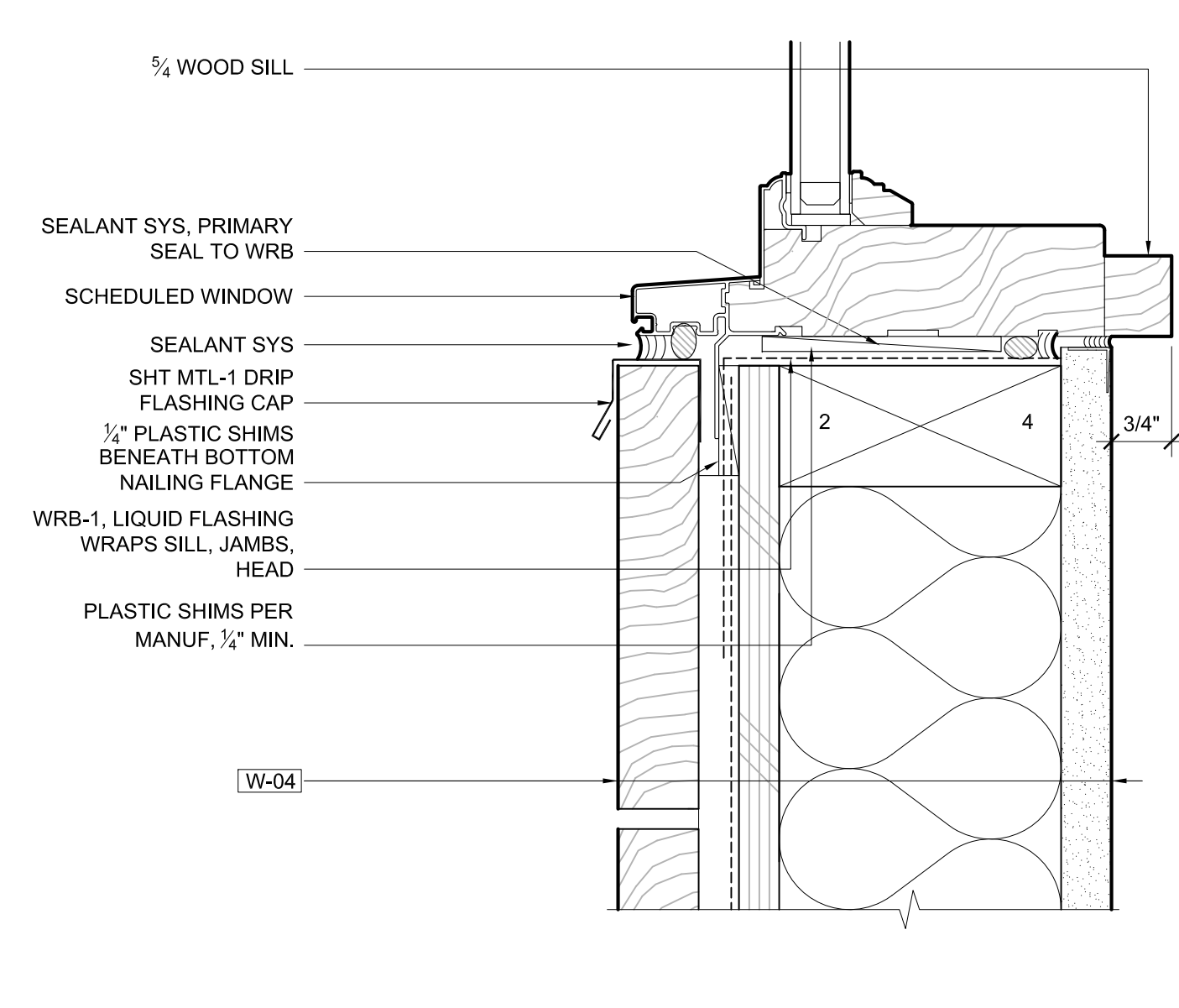
9 SECTION - ENTRY DOOR SILL
SCALE: 6" = 1'-0"



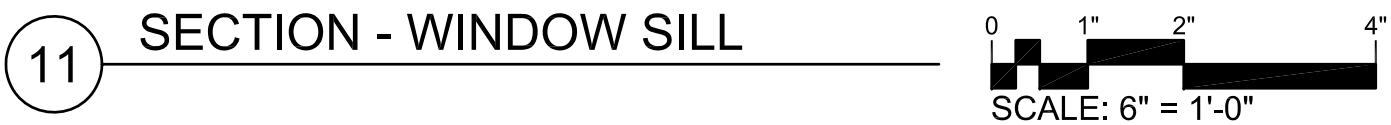
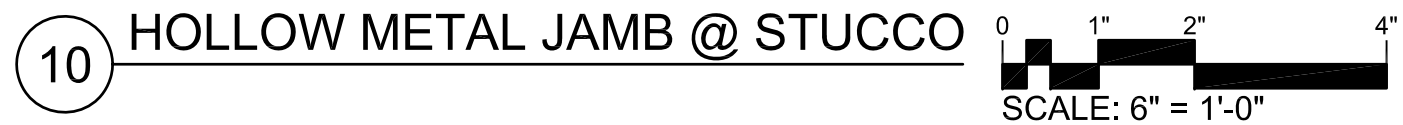
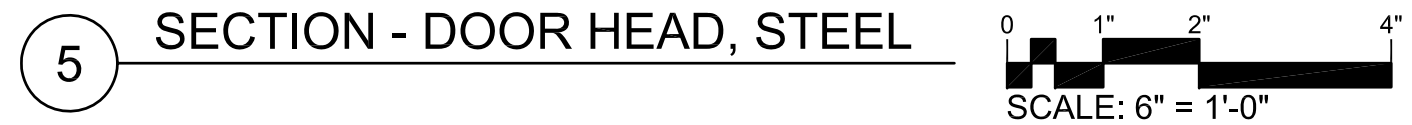
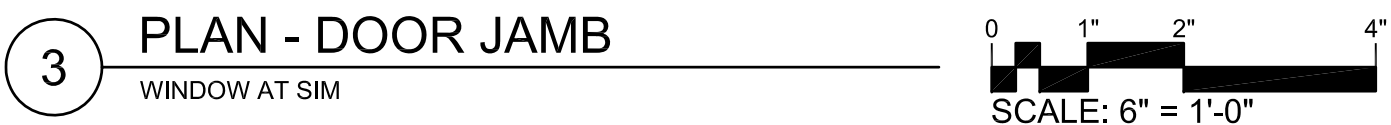
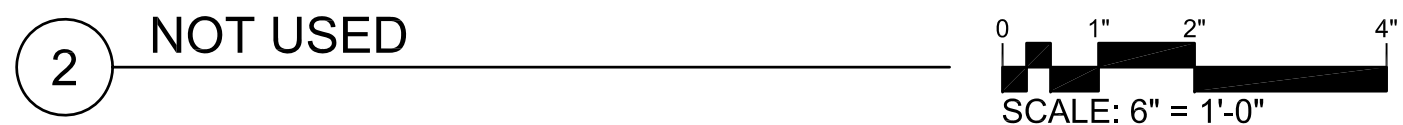
10 SECTION - FACTORY MULLION (PLAN @ SIM)
SCALE: 6" = 1'-0"

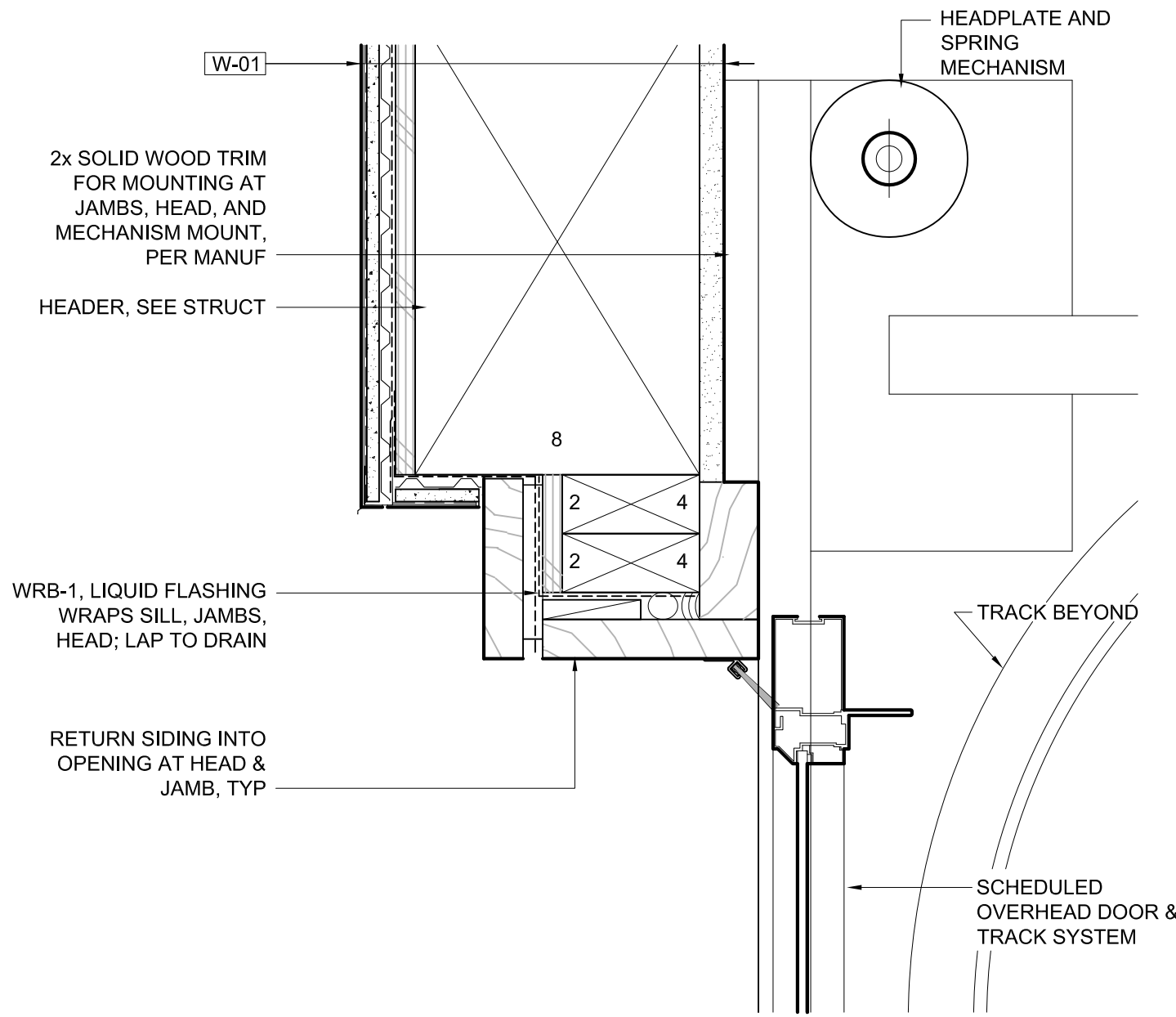


11 SECTION - WINDOW SILL
SCALE: 6" = 1'-0"

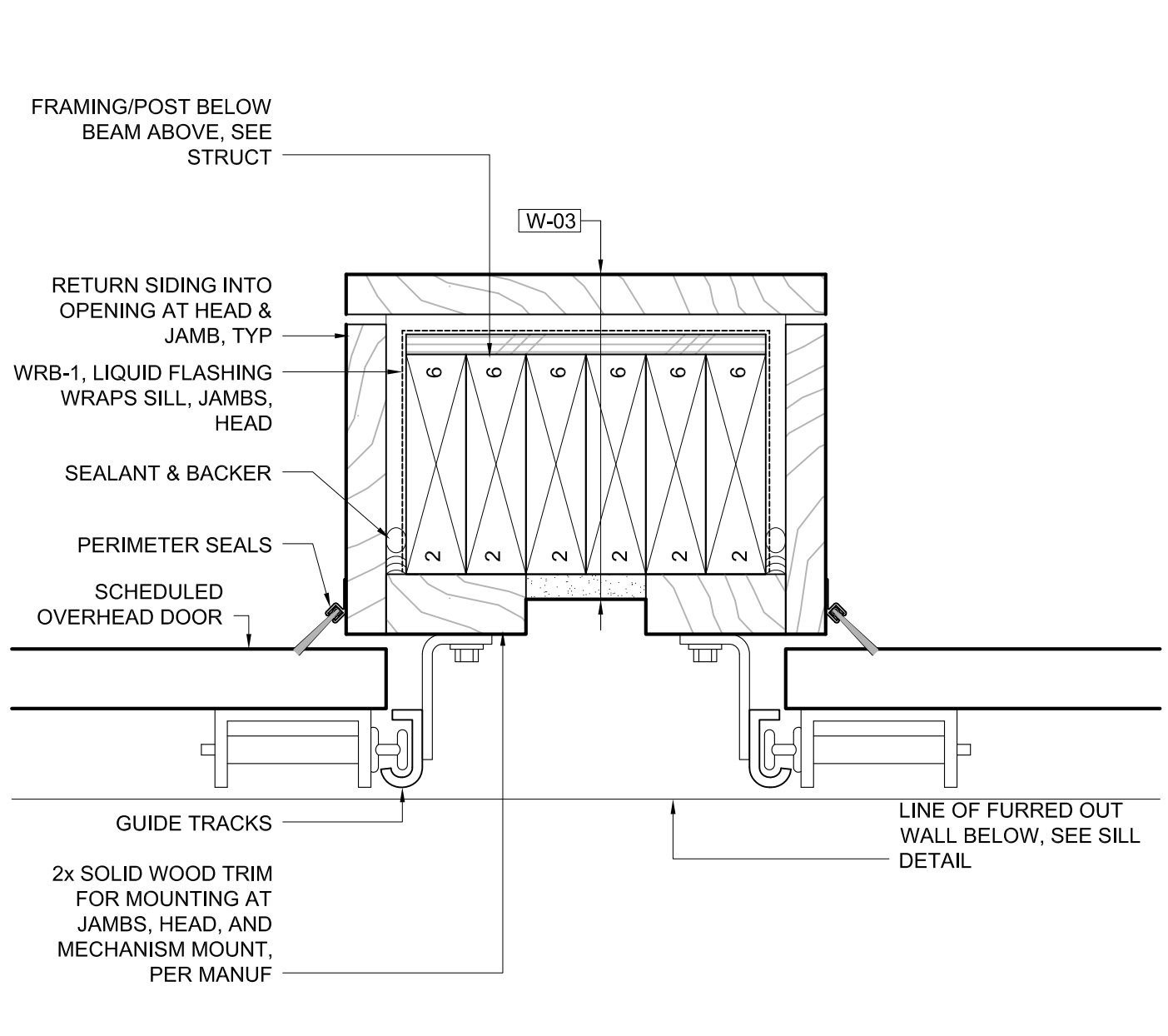


12 SECTION - WINDOW SILL
SCALE: 6" = 1'-0"

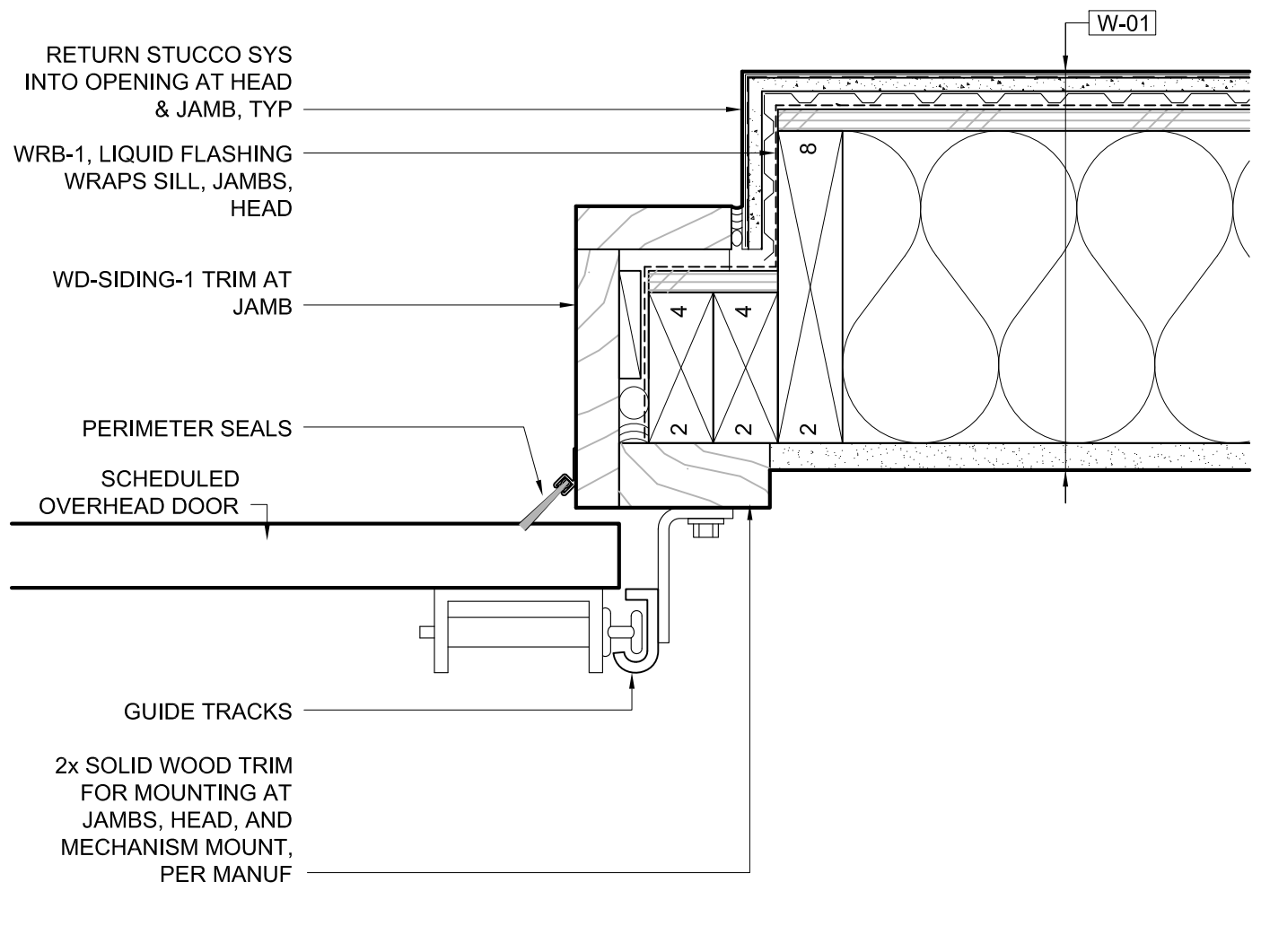




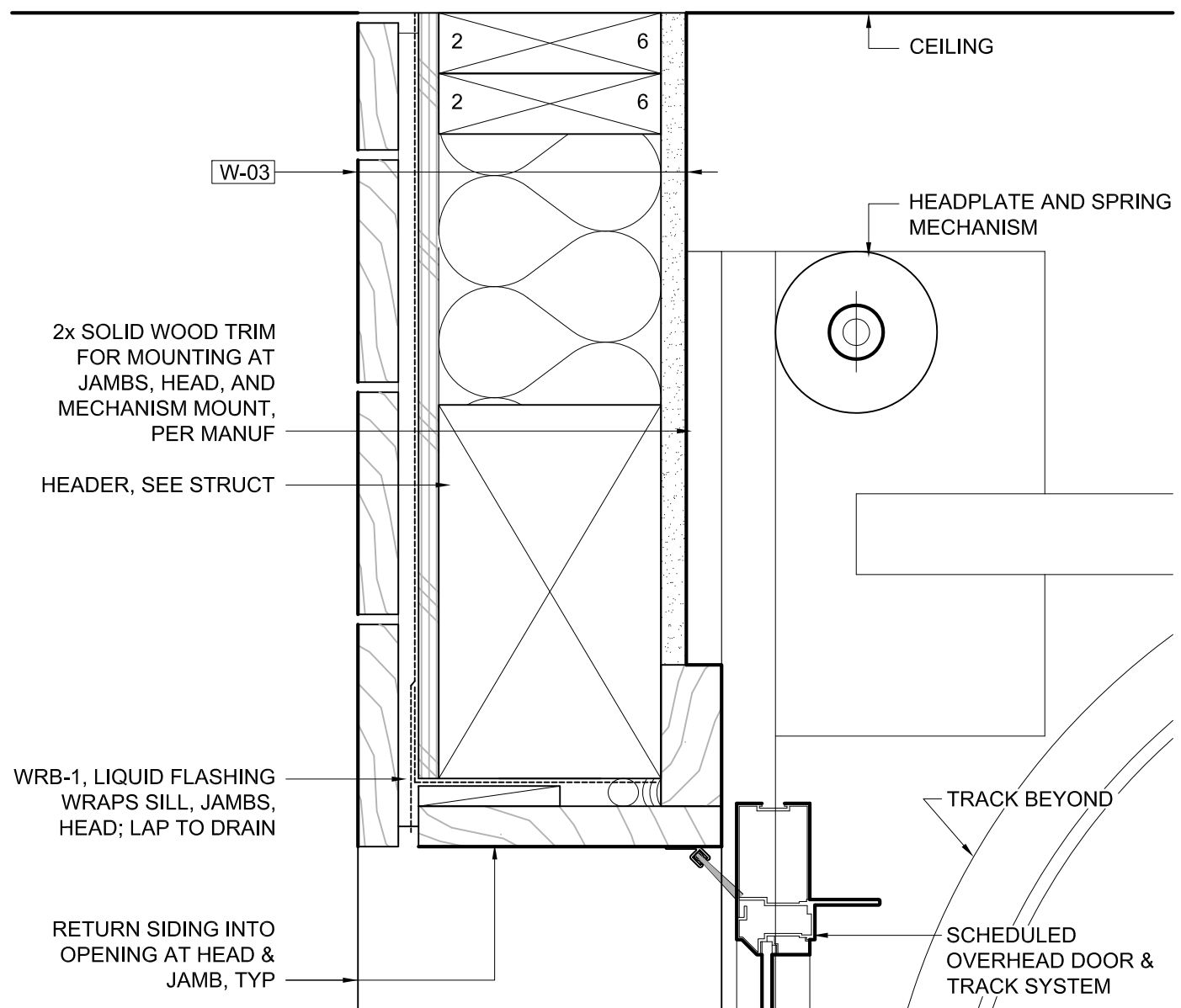
4 SECTION - HEAD AT OVHD DOOR
SCALE: 3" = 1'-0"



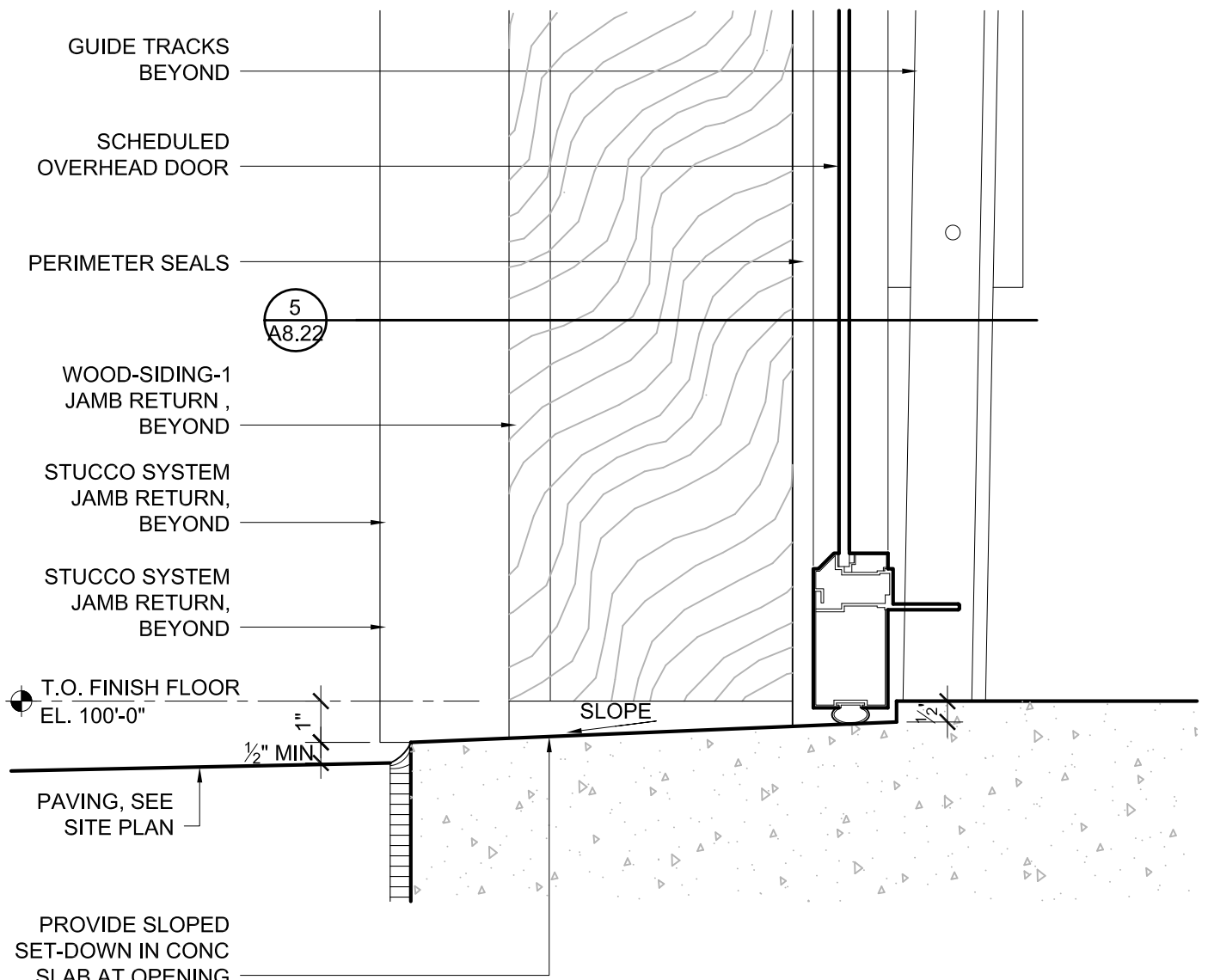
1 SECTION - JAMB AT OVHD DOOR
SCALE: 3" = 1'-0"



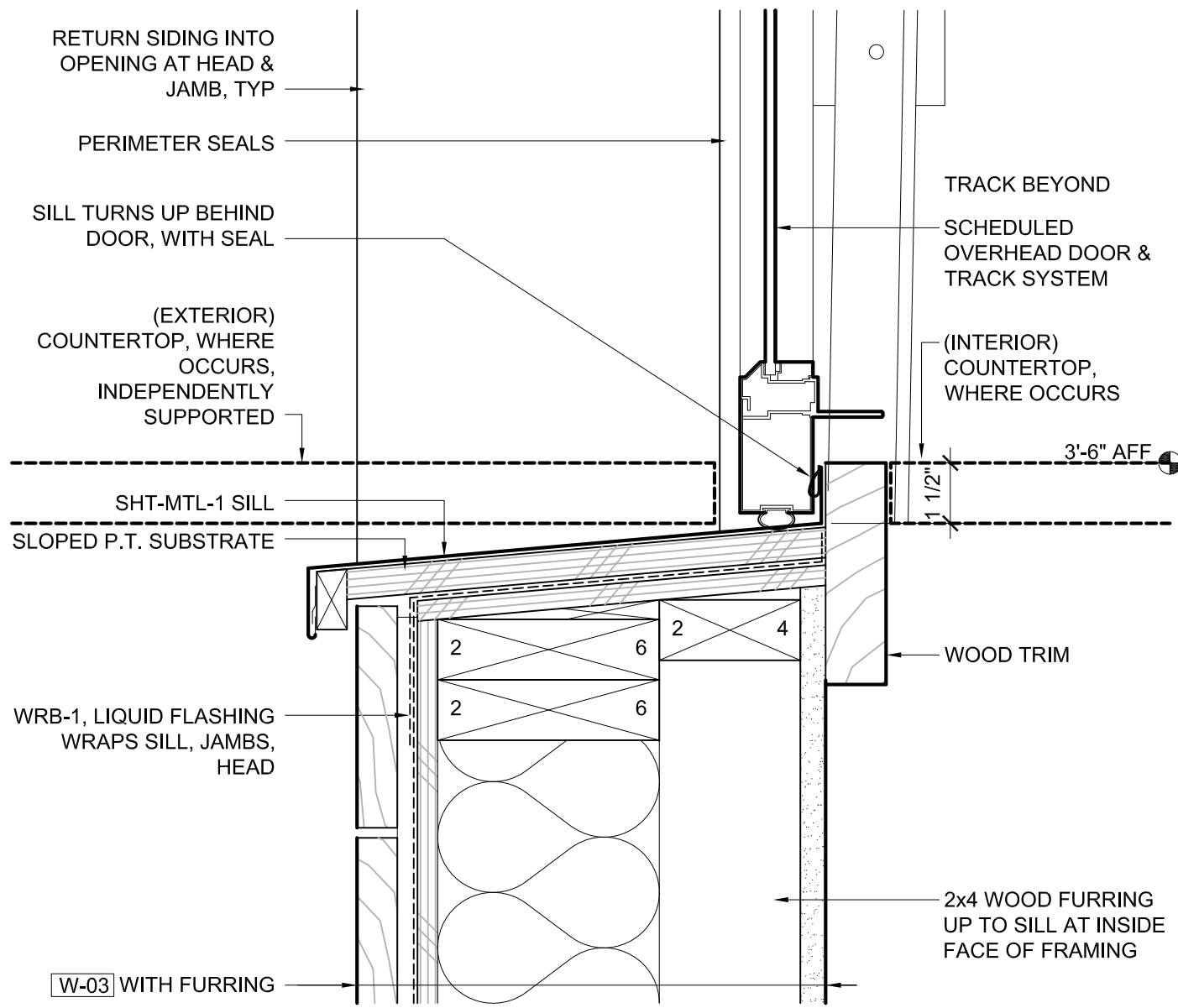
5 SECTION - JAMB AT OVHD DOOR
SCALE: 3" = 1'-0"



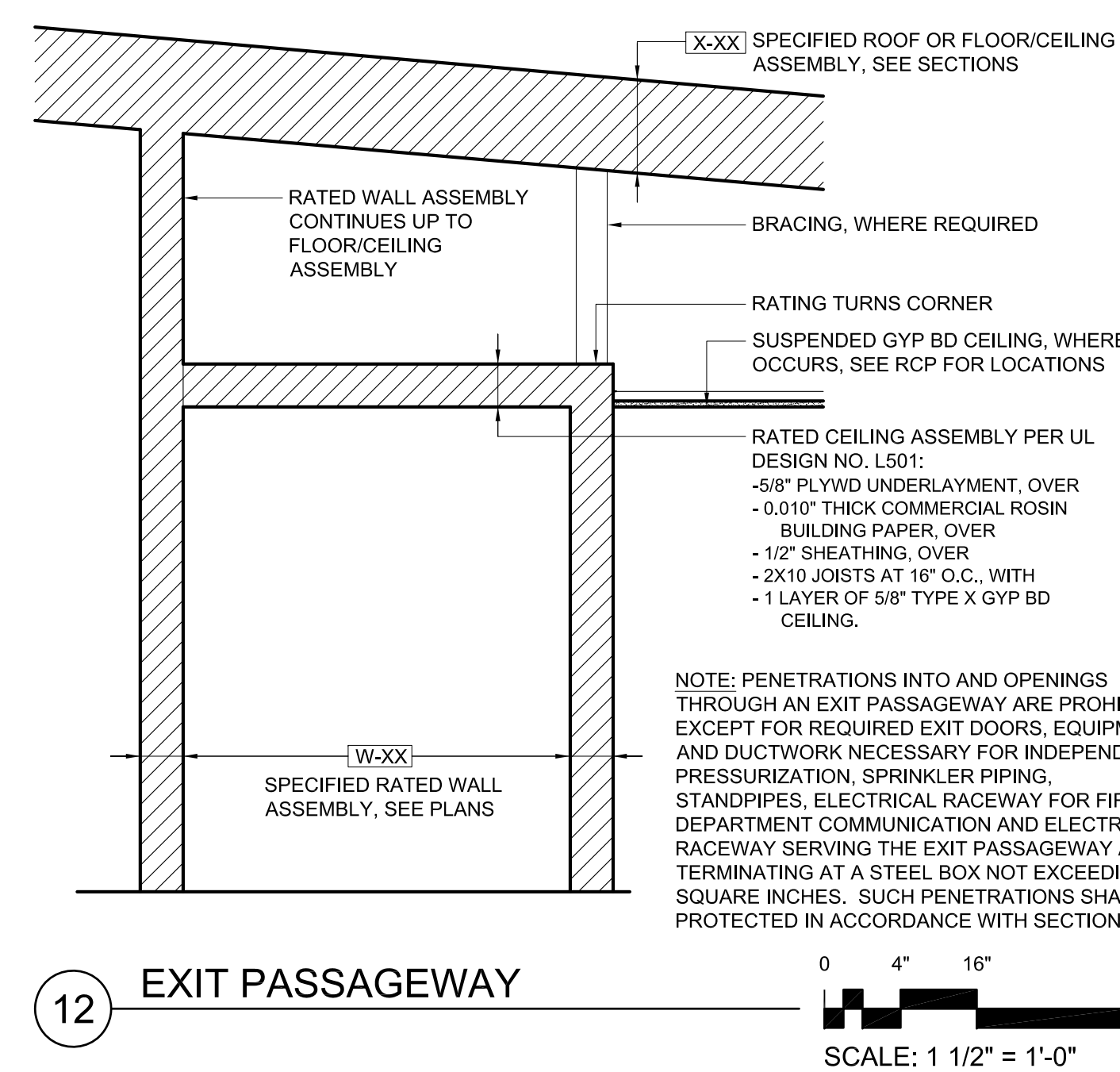
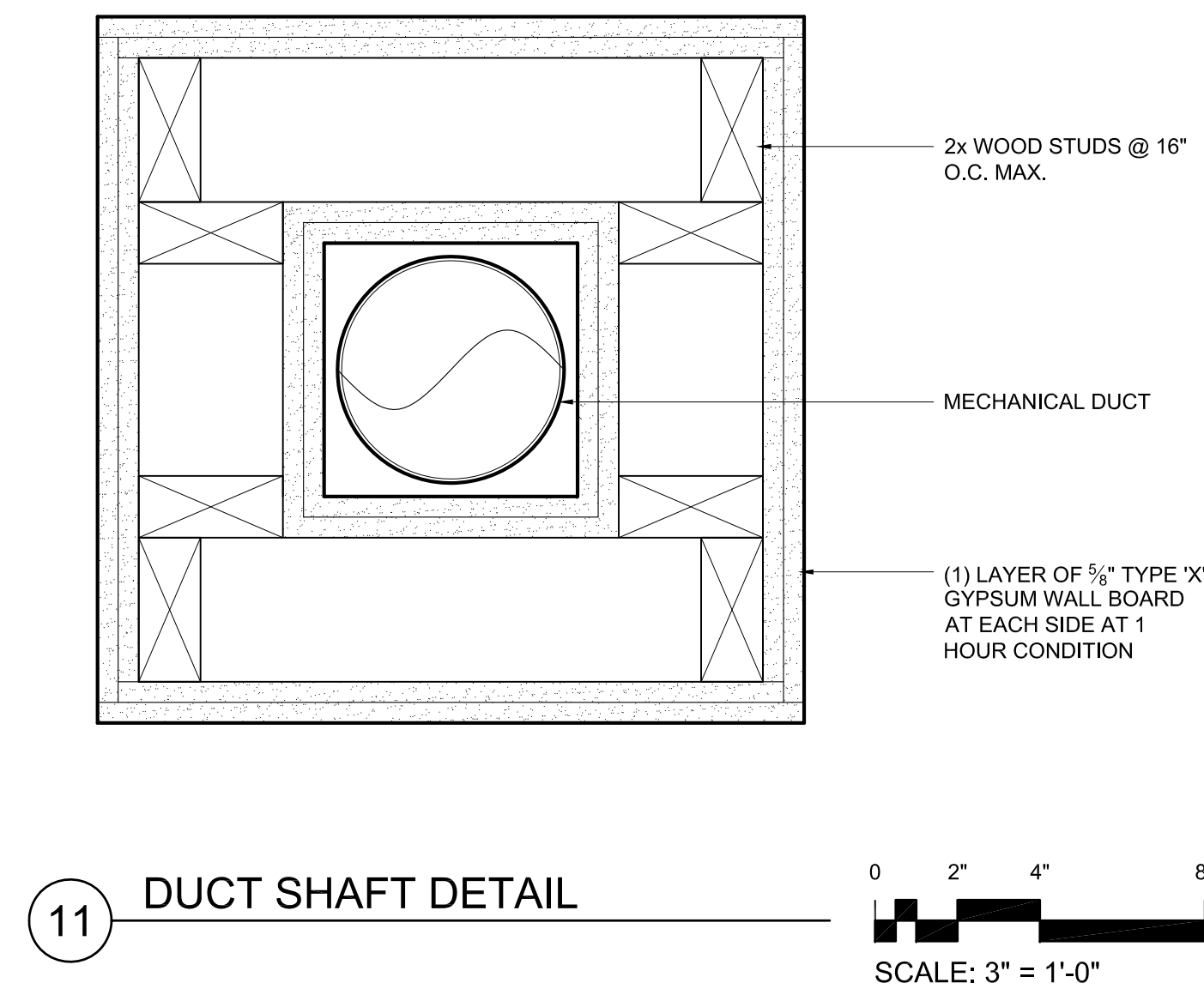
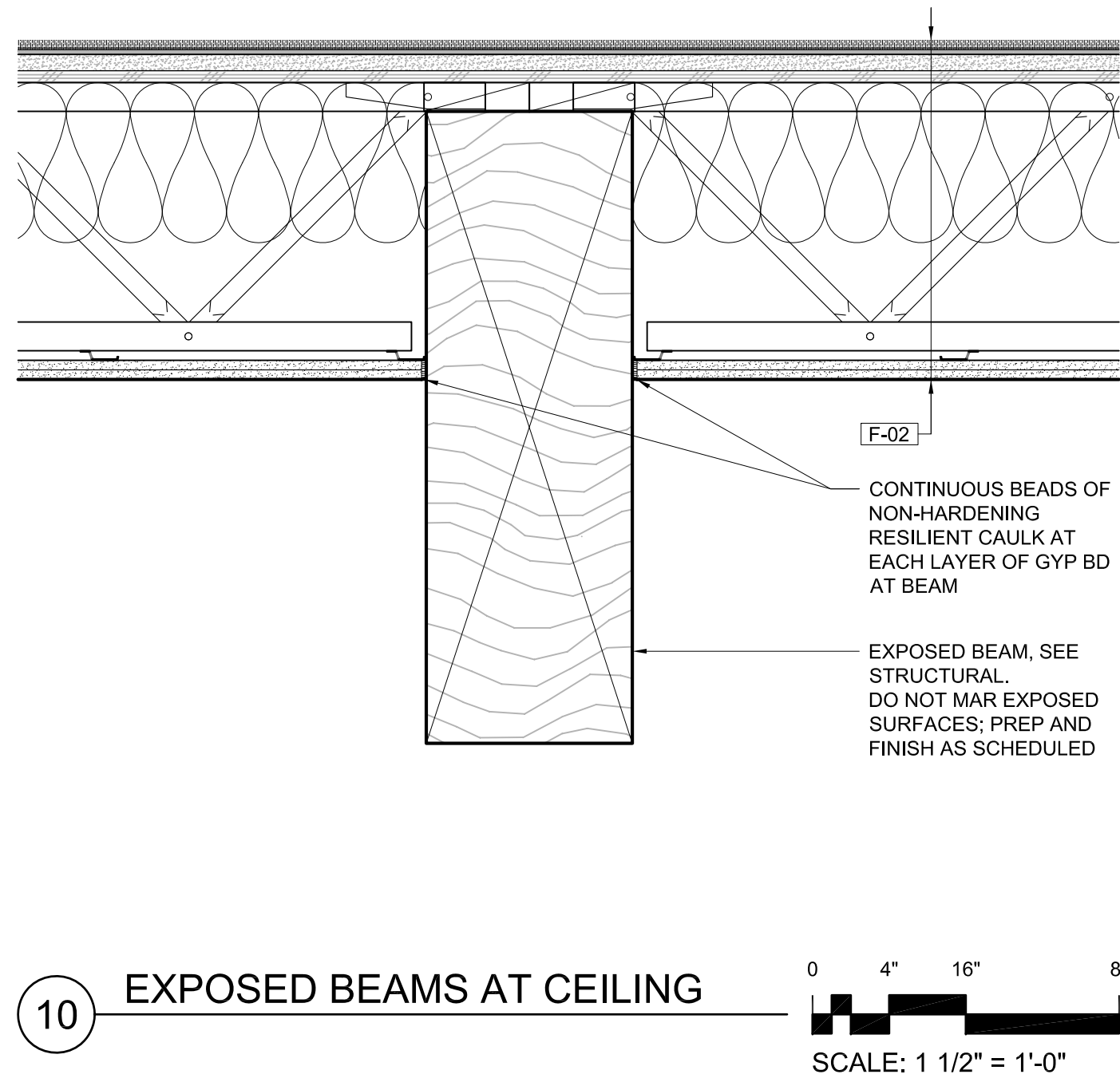
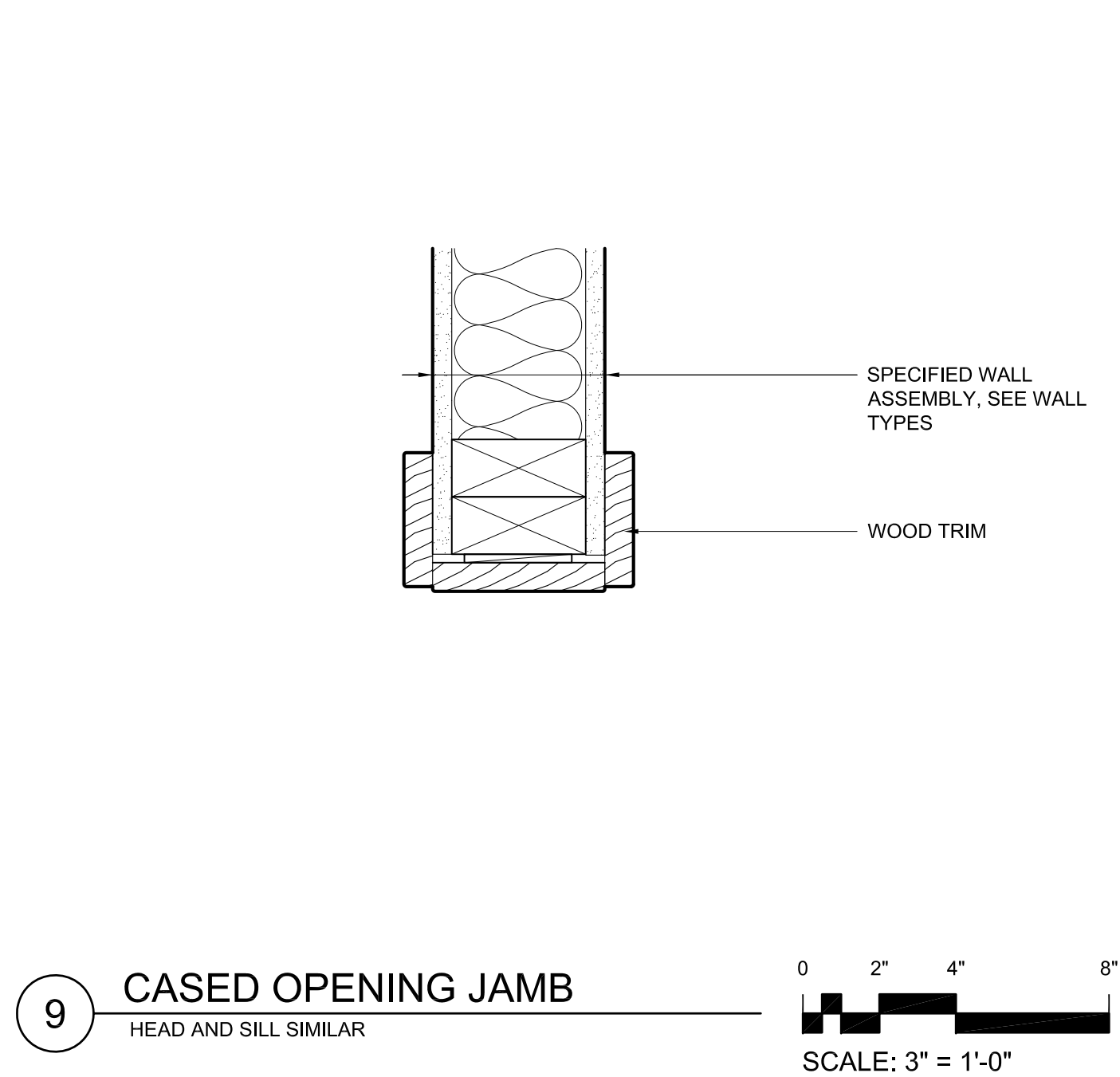
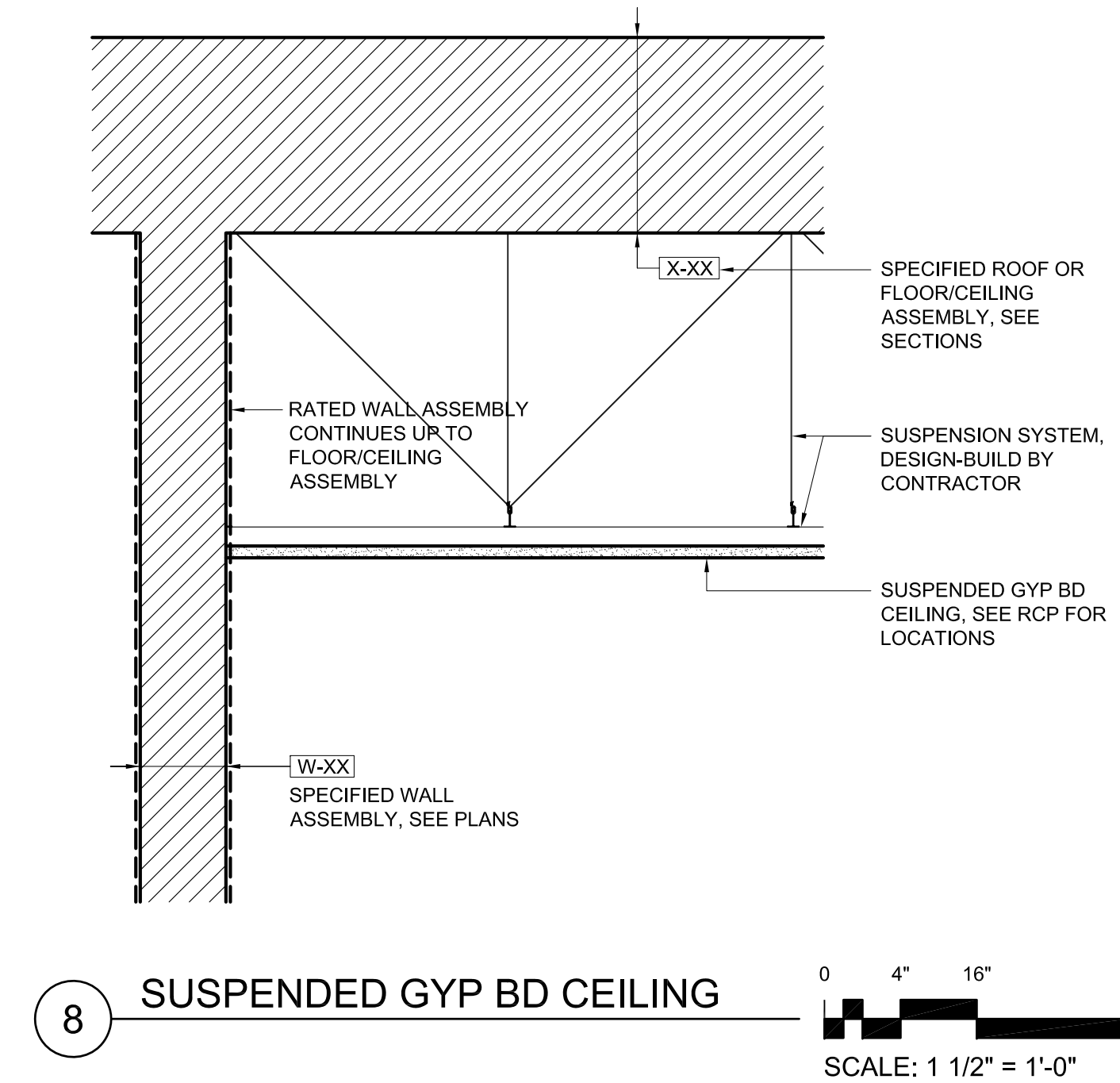
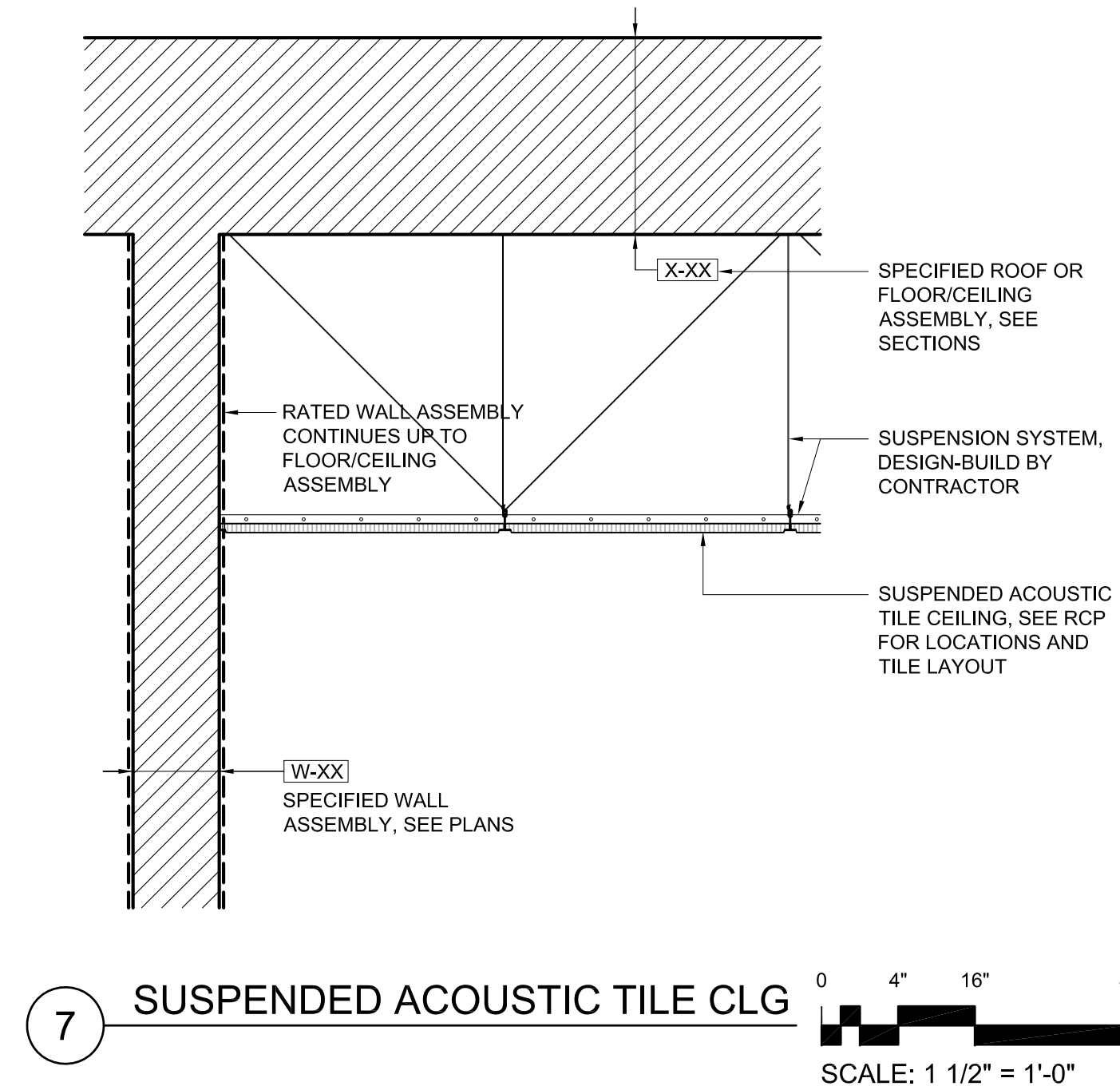
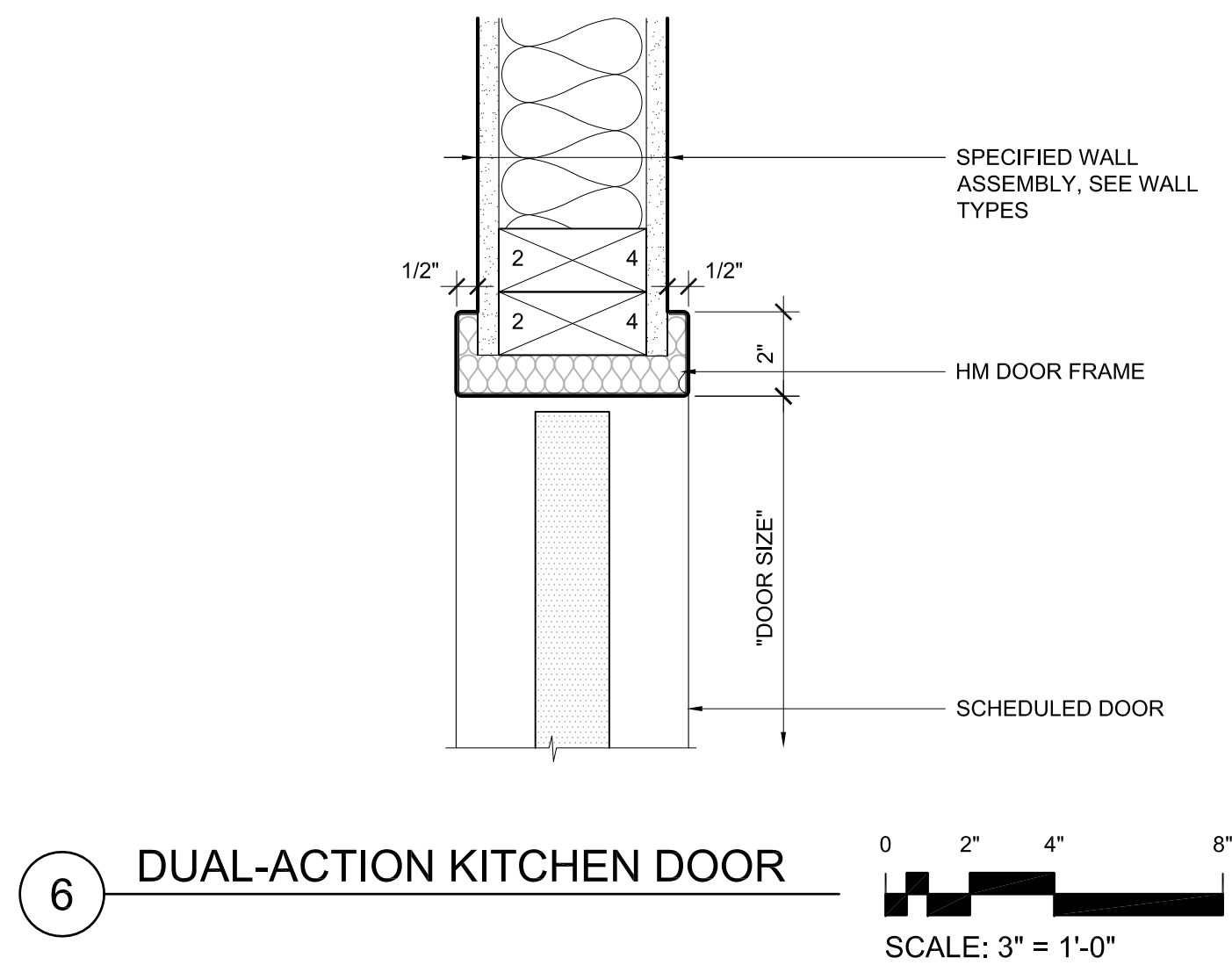
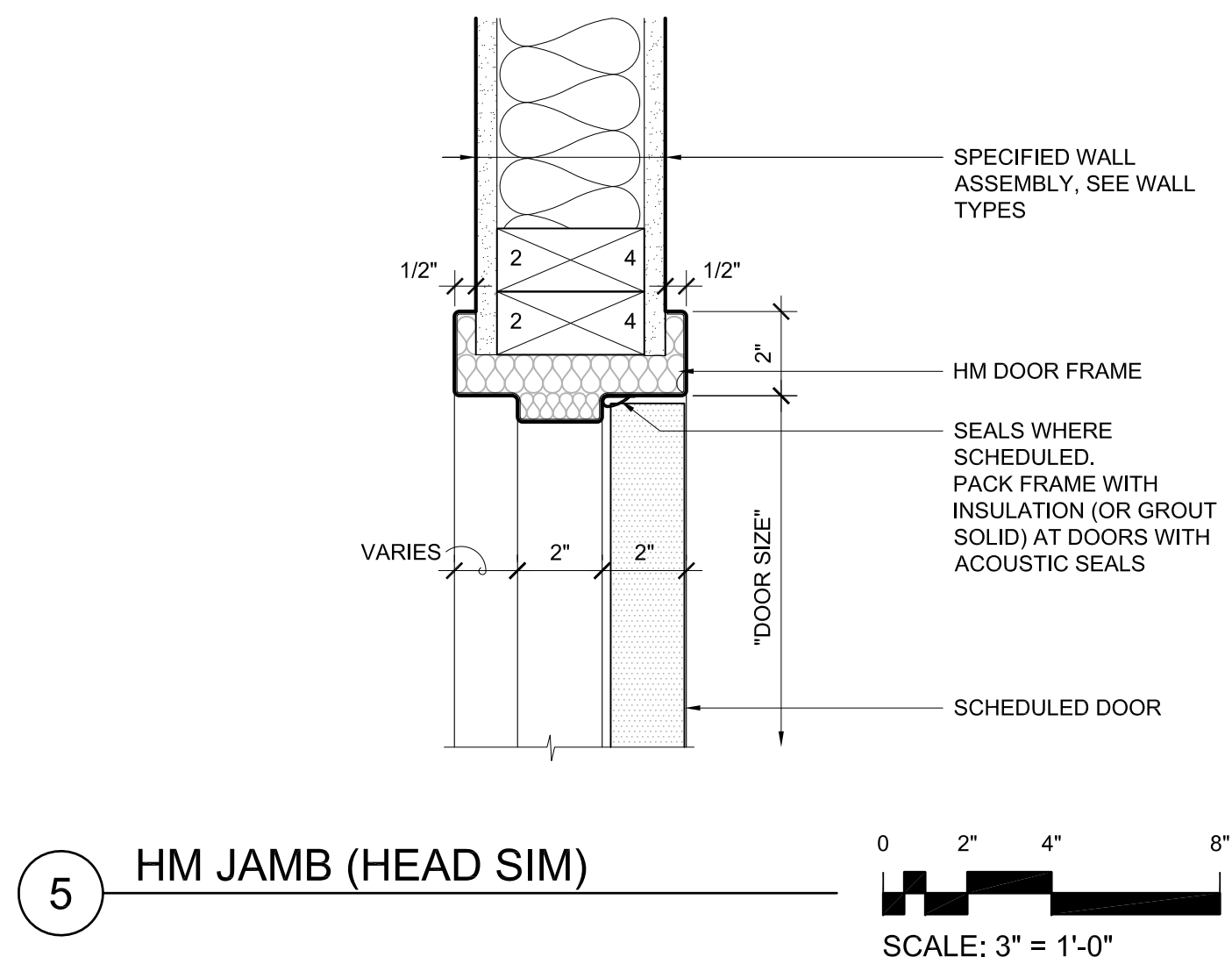
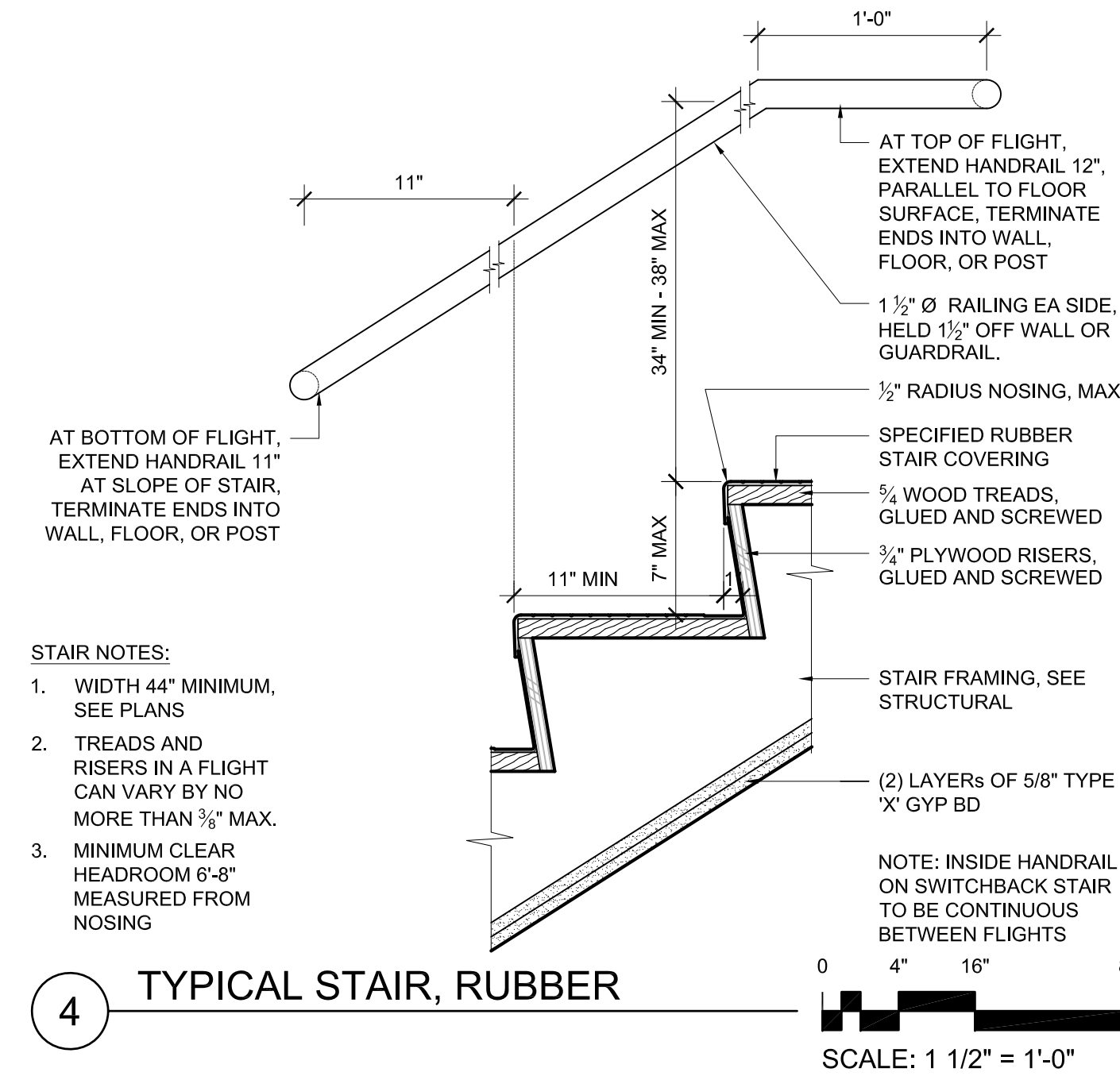
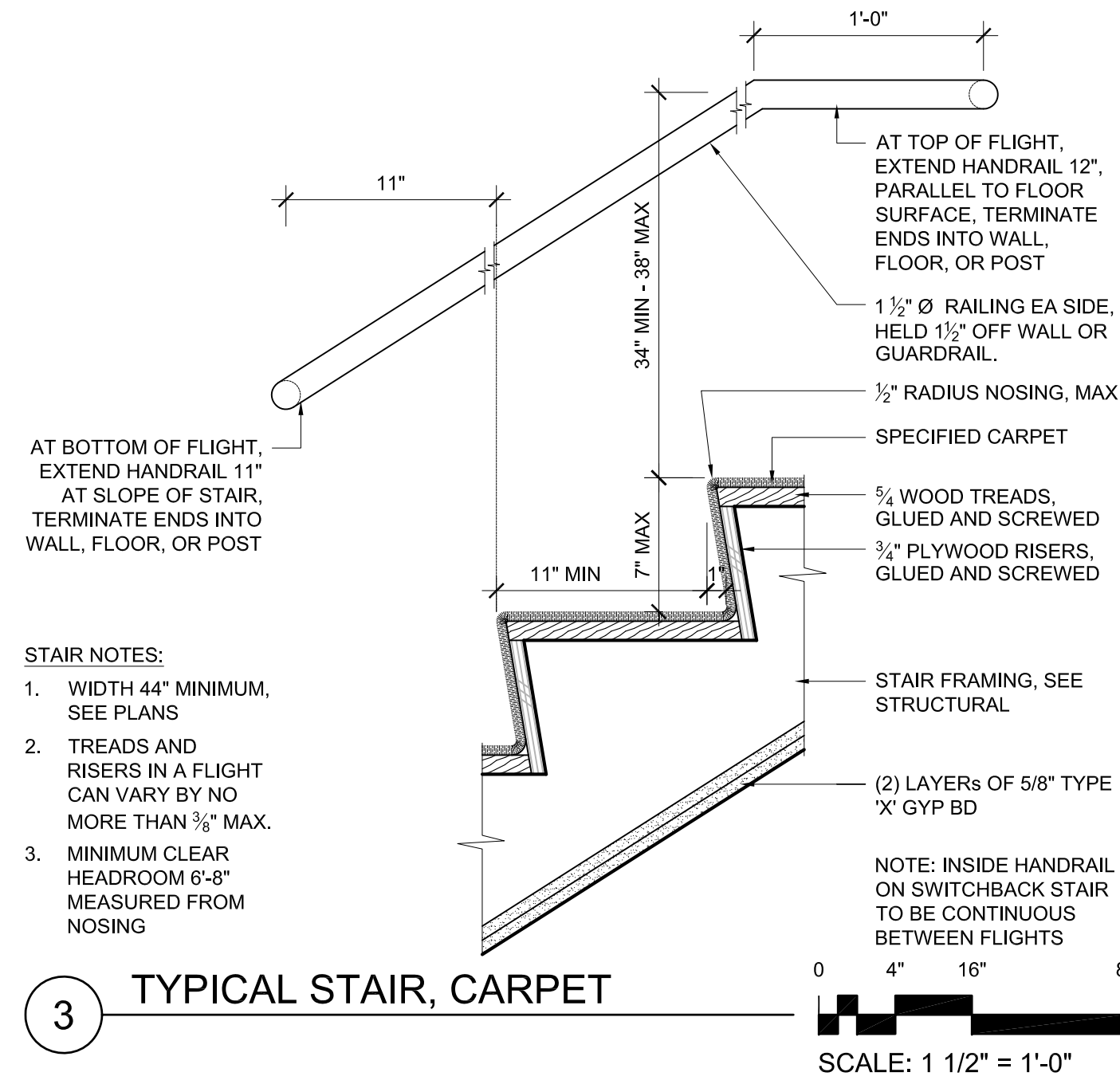
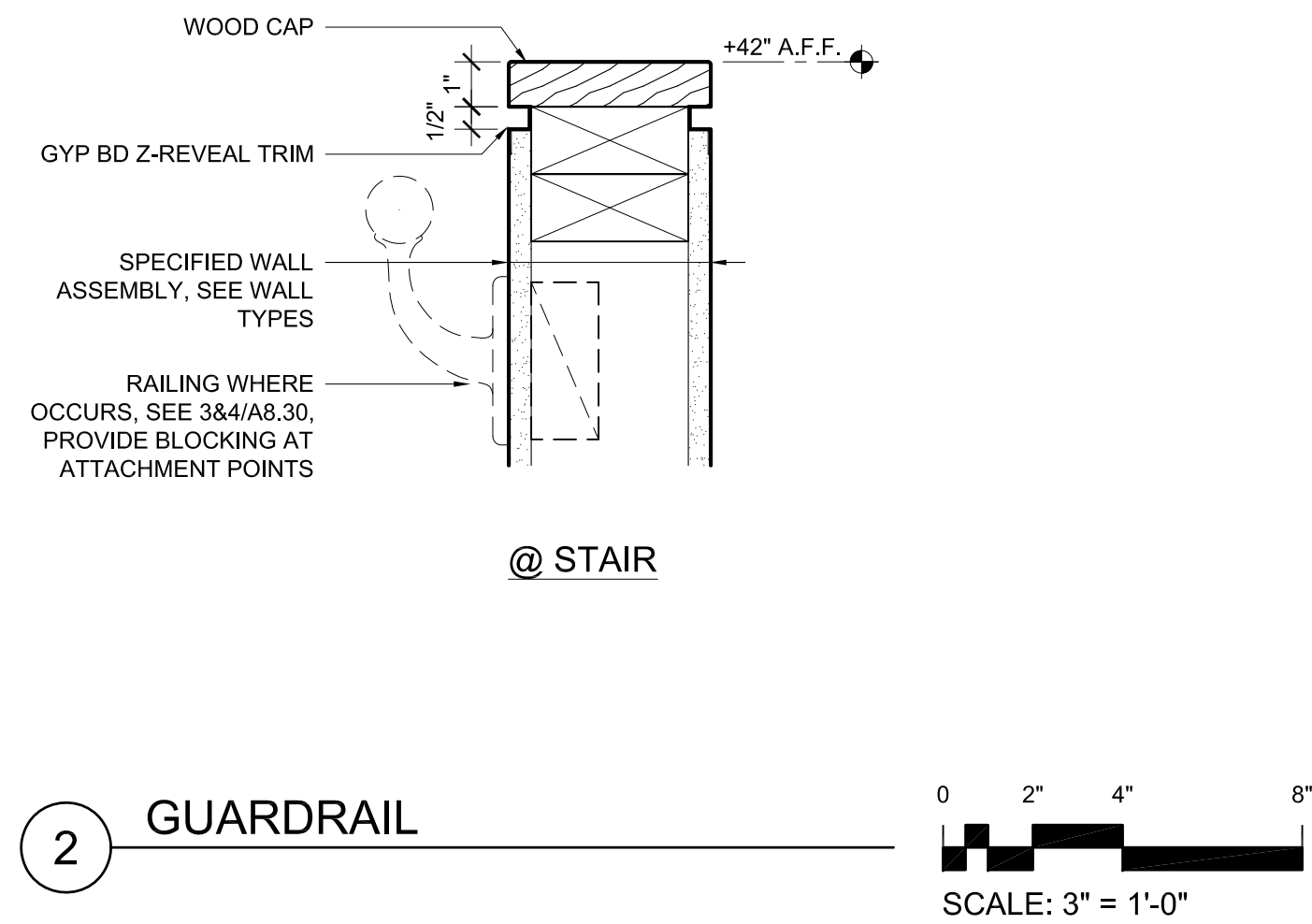
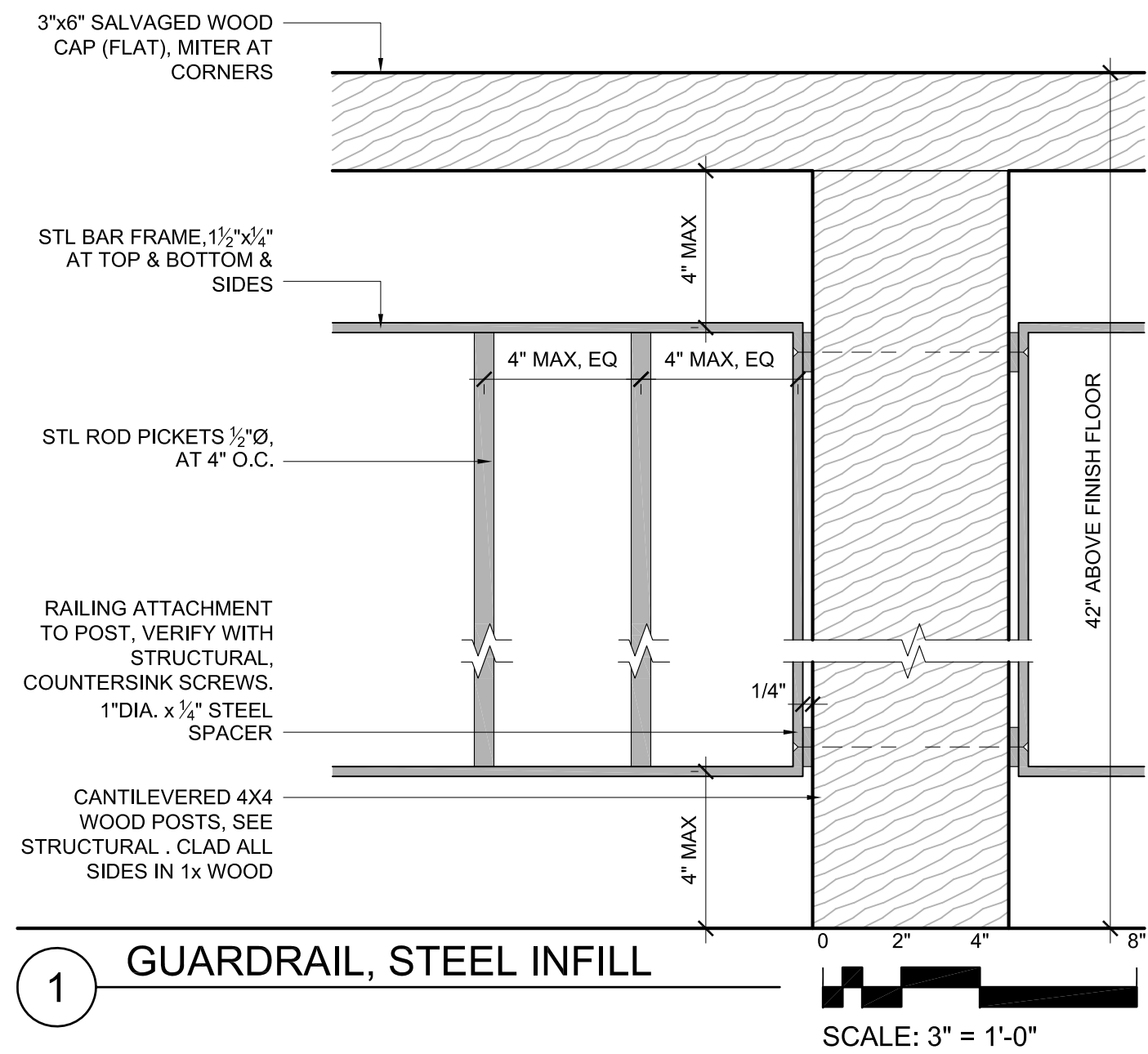
2 SECTION - HEAD AT OVHD DOOR
SCALE: 3" = 1'-0"



6 SECTION - SILL AT OVHD DOOR
SCALE: 3" = 1'-0"



3 SECTION - SILL AT OVHD DOOR
SCALE: 3" = 1'-0"





We are requesting a waiver to extend the current rooftop patio cover to encompass the entire patio. This will allow for year round and inclement weather seating. Increasing the viability of the 3rd floor restaurant space.

We will be adding 6x6" wood posts to support the extended patio cover. The posts will be stained to match the color of the beams at the entrance of the building and other wood on the first floor. The cover will be extending approximately 7ft towards 3rd Street at the same pitch and angle as the current cover.

The proposed expansion does not fully meet the following guidelines 17.59.050(B)(3)(e) (decorative cornice or cap required at the roofline) and 17.59.050(C)(1) and (2)(a) (restricting building materials to materials used on existing historic structures downtown and explicitly prohibiting wood siding). We believe that all of the following circumstances exist and a waiver should be granted.

a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

The current structure's roofline design was created to assist in the scale and massing of the building relative to its neighbors while still providing for a 3rd floor space and an attractive rooftop seating area. To add a cornice to the patio cover extension would destroy the intentional scale and the rooftop design. Since this is not a "true" 3rd story it would seem to be a strange design addition. In addition the second floor of the building has a decorative cornice to help achieve the desired design standard.

The structure was originally granted a waiver for the use of wood siding. While we are not adding any siding we do plan to use stained wood posts. The posts will be stained a dark brown to match the rest of the posts on the building. Painting the wood posts would likely make this award winning building less cohesive since there are no other painted wood posts on the building.

b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards

Any alternative design to accomplish the same end would likely stick out like a sore thumb due to the current structure's design and materials. We aim to make this a seamless and beautiful addition to our building and 3rd Street.

The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter. (Ord. 5034 §2, 2017; Ord. 4797 §1, 2003).

Our aim is to simply extend the existing roofline (patio cover) with matching materials. We wish to keep with the aesthetics of the current building. We believe matching the post with the entrance beams and other wood accents on the building is the best option to achieve cohesiveness. This small cover addition will look like it has been part of the building since day one and without a cornice it will continue to keep the appropriate building scale and massing.

