



**City of McMinnville**  
**Planning Department**  
 231 NE Fifth Street  
 McMinnville, OR 97128  
 (503) 434-7311

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**Historic Landmarks Committee**  
**Community Development Center, 231 NE 5<sup>th</sup> Street**  
**May 15, 2018 3:00 PM**

| Committee Members   | Agenda Items  |
|---|---|
| Joan Drabkin<br>Chair<br><br>John Mead<br><br>Mary Beth Branch<br><br>Mark Cooley<br><br>Heather Sharfeddin | <ol style="list-style-type: none"> <li><b>1. Call to Order</b></li> <li><b>2. Citizen Comments</b></li> <li><b>3. Approval of Minutes</b></li> <li><b>4. Action Items</b> <ol style="list-style-type: none"> <li>A. HL 3-18 / DDR 2-18 – Certificate of Approval for Alteration and Downtown Design Review and Waiver (Exhibit 1)<br/>608 NE 3<sup>rd</sup> Street</li> <li>B. HL 4-18 / DDR 3-18 – Certificate of Approval for Alteration and Downtown Design Review (Exhibit 2)<br/>618 NE 3<sup>rd</sup> Street</li> <li>C. HL 6-18 / DDR 5-18 – Certificate of Approval for Alteration and Downtown Design Review (Exhibit 3)<br/>620 NE 3<sup>rd</sup> Street</li> </ol> </li> <li><b>5. Discussion Items</b></li> <li><b>6. Old/New Business</b></li> <li><b>7. Committee Member Comments</b></li> <li><b>8. Staff Comments</b></li> <li><b>9. Adjournment</b></li> </ol> |

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

\*Please note that these documents are also on the City's website, [www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov). You may also request a copy from the Planning Department.



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## EXHIBIT 1 - STAFF REPORT

**DATE:** May 15, 2018  
**TO:** Historic Landmarks Committee Members  
**FROM:** Chuck Darnell, Associate Planner  
**SUBJECT:** HL 3-18 / DDR 2-18 – 608 NE 3<sup>rd</sup> Street

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### **Report in Brief:**

This is the consideration of a Certificate of Approval for exterior alterations to a historic landmark located at 608 NE 3<sup>rd</sup> Street. The subject property is listed on the McMinnville Historic Resources Inventory as a Distinctive resource, and is also classified as a secondary significant contributing property in the Downtown Historic District that is listed on the National Register of Historic Places.

The applicant is requesting that the Historic Landmarks Committee approve a Certificate of Approval to allow for the alteration of the historic landmark, and also approve a Downtown Design Review application to ensure that the proposed alterations are consistent with the Downtown Design Standards and Guidelines. The applicant is also requesting one waiver from the design standards to allow for a steel awning to be added to the Third Street façade.

A Certificate of Approval is a decision issued by the Historic Landmarks Committee to approve the alteration, demolition or moving of a historic resource or landmark.

An alteration is the addition to, removal of, removal from, or physical modification and/or repair of any exterior part or portion of an historic resource that results in a change in design, materials or appearance. Painting, reroofing, and general repairs are not alterations when the new materials and/or colors match those already in use.

Historic resources are any site, structure, building, district, or object that is included on the Historic Resources Inventory and a Distinctive Resource is considered outstanding for architectural or historic reasons and potentially worthy of nomination to the National Register of Historic Places.

Section 17.65.060 of the McMinnville City Code provides the criteria for which the Historic Landmarks Committee must make a decision about approving a Certificate of Approval for the exterior alteration of a historic resource.

### **Background:**

Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Certificate of Approval application to request exterior alterations to a two story building in the Downtown Historic District. The subject property

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is located at 608 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource relates to the structure itself. The structure is designated as a “Distinctive” historic resource (Resource A866). The building is also located within the Downtown Historic District that is listed on the National Register of Historic Places. The building was classified as a secondary significant contributing property in the historic district. The statement of historical significance and description of the property, as described in the nomination of the Downtown Historic District, is as follows:

This rectangular red and buff brick two-story building is probably the most intact building in the district. It has five chimney-like projections along the parapet on the Third Street façade and five more along the west façade. There are a corbelled buff colored brick cornice, two corbelled brick beltcourses, and simulated quoins all of contrasting buff colored brick. Brick piers at each end of the Third Street façade extend from cornice through to the ground level and end on a raised cement sill plate. Second floor windows are one over one double-hung wood sash on both facades. The east façade is visible above the neighboring building and is plain red brick which exhibits a painted sign “Jameson Hardware Co. Sporting Goods.” The ground floor of the Third Street façade is divided into four bays by four buff brick piers. Wooden transom windows have obscure glass and are multi-paned. There are three storefronts with wood frame plate glass windows and two recessed entrances, one on the east end which leads to the second floor, and one in the center which leads into the hardware store. Original bronze window fasteners connect the plate glass where the windows angle inward towards the doorway. Bulkheads are obscure glass with wood frames and are covered with plywood in two panels flanking the central bay. The Third Street storefront extends around one bay to the west façade. The west façade has six evenly spaced wood frame obscure glass multi-paned windows at the mezzanine level. Each window has projecting buff brick surrounds. There is an original wooden double door and garage door at the south end of the west façade.

The former Jameson Hardware Building was constructed by J.F. Flecher after 1912 and first occupied by R. M. Wade and Company. Later, Evans and Jameson operated their first hardware business in the building. Jameson bought out Evans in 1915, and in 1921, Harold Taylor bought into the business. The four upstairs apartments were occupied by Dr. Wood, the Jamesons, and the librarian, Mrs. Barton. Howard Taylor bought the property in 1932.

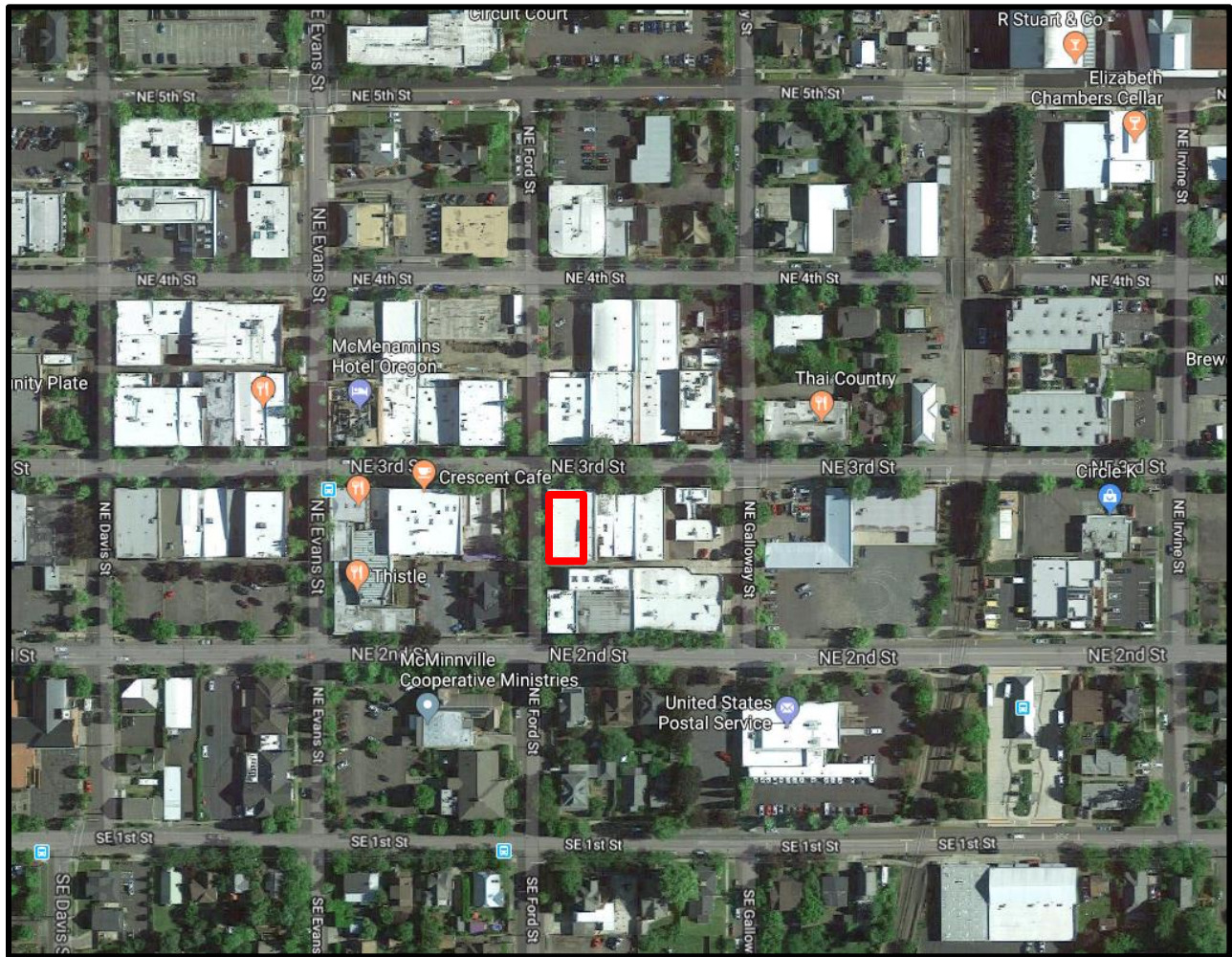
Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is considered a historic landmark and/or listed on the National Register of Historic Places as a contributing resource. Since the subject property is both a historic landmark as defined by the McMinnville City Code and classified as secondary significant contributing property by the National Park Service in the National Register of Historic Places McMinnville Downtown Historic District, the Certificate of Approval review is required. The property is also located in the Downtown Design Standards and Guidelines area. Any exterior alterations of the building are subject to the Downtown Design Standards and Guidelines contained in Chapter 17.59 of the McMinnville City Code.

The current location of the historic resource is identified below:

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The existing primary and street facing facades can be seen below:



NORTH FACADE (3RD STREET)



WEST FACADE (FORD STREET)

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**Discussion:**

The applicant is requesting that the Historic Landmarks Committee approve a Certificate of Approval to allow for the alteration of the historic landmark, and also approve a Downtown Design Review application to ensure that the proposed alterations are consistent with the Downtown Design Standards and Guidelines. The applicant is also requesting one waiver from the design standards to allow for a steel awning to be added to the Third Street façade.

More specifically, the applicant is proposing to complete the following work on the building:

The Taylor-Dale Building will undergo a full seismic upgrade; an upgrade to the vertical structural system; complete replacement of electrical, plumbing, and heating and ventilation systems; improvements to egress from all three levels; upgrades to the building envelope which will include masonry repair, new windows, insulation and improved weather protection; the addition of an automatic sprinkler system; and the installation of an elevator which will make all three levels accessible.

Exterior alterations and modifications are also being proposed to the east, north, and west facades of the building to complete the work described above and to bring the existing building into compliance with building code requirements. Some of the larger exterior alterations being proposed are:

- Reconfigured and further recessed entry to the second floor residential units
- Reconfigured and further recessed double door to provide egress on west façade
- New opening on the east façade, at the southeast corner of the building, to provide access to internal staircase and egress from second floor and basement
- Closure of three unprotected openings on the second story of the east façade
- Removal of existing exterior staircase on east façade
- Potential replacement of all second story windows
- Replacement of glass in storefront window system and bulkheads on ground floor

The Historic Landmarks Committee's responsibility regarding this type of application is to hold a public meeting to review the request to alter the structure. Property owner notices were provided to owners of property within 300 feet of the subject site, consistent with Section 17.65.070 of the McMinnville City Code. This also satisfied the property owner notification requirements required for the Downtown Design Review application. During the public meeting, the Historic Landmarks Committee Chair will provide an opportunity for public testimony on the applications.

**Certificate of Approval Review**

In reviewing a request for an alteration of a historic resource, the Historic Landmarks Committee must base its decision on the following criteria, as described in Section 17.65.060(B) of the McMinnville City Code:

- (1) The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

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The purpose of the Historic Preservation chapter, in Section 17.65.010 of the McMinnville City Code, includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to rehabilitate the existing historic building and preserve existing features and materials where possible. The upgrades being proposed to the building will bring the building into compliance with building code and seismic requirements, which will improve the property's value, safety, and structural stability. The proposal will result in a building that can be utilized for commercial or residential uses, which will strengthen the vibrancy and economy of the city and specifically the Downtown Historic District by adding jobs in an existing underutilized building in the downtown core. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation chapter are satisfied by the proposal.

(2) The following standards and guidelines:

- a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

The property has historically been used commercially, first as a hardware store and later as a dance studio. The building originally had four apartments on the upper floor, and over time two additional apartments were added. The applicant is proposing to continue to use the ground floor for commercial use, and to renovate the upper floor into short term rental uses. A restaurant is planned for the main floor. The proposed uses can be achieved within the existing building without the loss of distinctive exterior materials, exterior building features, or relationships between the spaces within the building.

The proposed uses of the building do result in the need to provide adequate access to and egress from the spaces. To achieve this and meet building code requirements, the applicant is proposing to further recess the entryway to the second story residential units by an additional 1'3" to allow for the door to not open into the public right-of-way and pedestrian pathway. The existing door is weathered and not wide enough to accommodate ADA access into the residential units. Therefore, the applicant is proposing to replace the existing door with a wider door that provides ADA accessibility through the opening. The interior renovations include the addition of an elevator to provide access to the second story and basement, so the applicant wants to ensure that full ADA accessibility can be achieved. The addition of a wider door will result in the removal of one side light. The entry will retain one of the two existing sidelights and the transom above the door. The additional recess of the entryway will also allow for seismic upgrades to occur with a steel column wrap around the entryway. This steel column wrap feature is proposed to be visible on the interior of the recessed entry, and will cover some of what is currently buff colored brick. The applicant is proposing to carefully mine out the buff colored brick that would be covered, and use that to replace other exterior brick on the north and west facades that is so spalled or cracked that they require replacement. Because steel is not an existing building material on the historic building, a condition of approval has been included to require that the steel structural support within the

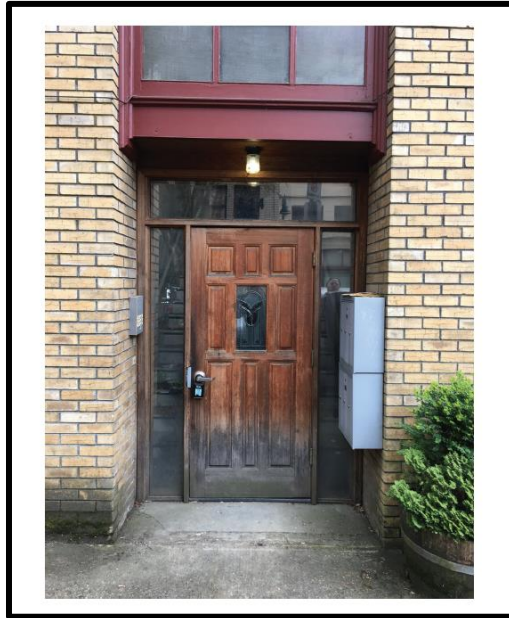
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recessed entryway be wrapped in a wooden encasement or trim consistent with the existing wood trim on the ground floor of the building and surrounding the other entryway on the north façade of the building. A condition of approval has also been included to require that the replacement door providing access to the second story be wood to be consistent with the original building materials on the ground floor of the building.

Photos of the existing second story entry and a rendering of the proposed second story entry are provided below:



On the west façade, the applicant is proposing to further recess the existing double doors to allow for those doors to open without projecting into the public right-of-way and pedestrian pathway. These doors also need to be changed from in-swinging to out-swinging in order to provide for egress from the ground floor per the building code, and the additional recessed entry will allow for that to occur within the property line.

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A photo of the existing west façade entry and a rendering of the proposed west façade are provided below:



On the alley side of the building, the applicant is proposing to remove the existing exterior staircase that currently provides egress from the second story residential units. The existing staircase is currently located in an undefined easement, and the applicant has identified the following code issues with the current staircase:

1. Egress from one building may not be made through a building of lesser safety. The two-story building at 608 NE 3rd Street will be seismically upgraded and have an automatic sprinkler system installed. The one story building at 618 NE 3rd Street will have neither a sprinkler system, nor a seismic upgrade.
2. The existing egress route from 608 NE 3rd Street is not protected from the adjacent, non-sprinklered building by a fire rated separation.
3. The wall of 618 NE 3rd Street which flanks the stair should have a 3 hour fire rating.
4. The stair does not comply with the code's maximum riser-height and minimum tread-width requirements.
5. The stair riser-heights vary beyond code tolerances.
6. The stair is too narrow.
7. The handrails do not comply.
8. There is no landing at the bottom of the stair.
9. The security gate in the alley swings out over the public right-of-way.
10. There is insufficient lighting of the egress path.

The proposal to remedy those issues is to remove the exterior staircase, close the three openings on the east façade of the building, construct a new interior staircase that will provide egress from the second story and the basement, and open a new doorway on the southeast corner (alley side) of the building. Brick from the new opening will be used to fill in the three existing openings on the east side, or to replace existing brick in other locations on the north and west facades that is too spalled to repair.

The closing of the three existing openings on the east facade, which include one doorway that opens to the exterior staircase that is proposed to be removed and two windows, is also being completed to provide for a 3-hour fire rated separation between the subject building and the adjacent building.

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Photos of the existing east façade, the exterior staircase, and a rendering of the proposed east façade are provided below:



EXISTING EGRESS STAIR AND  
GATE AT ALLEY



EXISTING EGRESS STAIR



The proposed alterations to the exterior of the building will allow for the building to be occupied by modern uses that meet applicable building code requirements. Overall, the proposed alterations will not result in the loss of key architectural features or historically significant details on the exterior of the building. The main portions of the façade, including the historic masonry work and details, will be preserved, as discussed in more detail below.

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- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

This criteria describes the need to avoid the replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships. The burden is on the applicant to provide that the historic materials cannot be repaired if they are interested in replacing them. The applicant is proposing to retain the original exterior masonry walls, stating that the existing brick will be cleaned, repaired, and repointed. However, the applicant is also proposing to replace the original storefront window glass and the upper story windows. The existing storefront and mullion system will be retained and cleaned, and new glass panes will be placed within the existing mullion system. A condition of approval has been included to require that the distinctive features of the storefront system described in the National Register of Historic Places nomination, including the original bronze fasteners that connect the plate glass and the wood framing system, be retained and repaired.

A comparison of the existing elevations and the proposed elevations, along with rendering of the proposed elevations, are provided below to show how the prominent masonry work and details will be retained:



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In addition, the applicant has stated the need to replace the second story windows on the premise that they cannot be repaired. The double-hung wood frame windows on the second story were identified in the historic district nomination as part of the architectural integrity of the building. The applicant needs to demonstrate that they are not reparable or seek to repair and retain them. Since the time of application, the applicant has removed one window in its entirety to further evaluate the window and determine whether repairs are possible, or whether they are so deteriorated that they need to be replaced with exact replicas using the same historic materials. A condition of approval has been included to require that the applicant provide detailed information on the findings of the evaluation and the existing conditions of the windows, and that the Planning Director have the ability to review this information and decide whether the windows can be replaced. If they are found to be too deteriorated to repair, the applicant is proposing to replace the windows on the second floor with exact replicated wooden windows, which will be crafted by a window specialist using an existing window as a template.

Where the original materials or elements are missing or replaced, or where the building code requirements require alterations, the elements used in the replacement will be in keeping with the original materials and character of the building.

- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

The applicant is proposing to restore existing historic materials and features where possible, including the exterior brick masonry and storefront window and mullion system. The second story windows and ground floor doors are proposed to be replaced due to weathering and an inability to repair the existing windows and doors. Where replacement is necessary, the applicant is proposing to replicate the existing windows and doors so that they are physically and visually compatible with the original features.

- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Much of the existing building features and materials are original, and there have not been many changes to the property that have acquired their own historic significance. A painted sign exists on the east façade, stating “Jameson Hardware Co. Sporting Goods”, and the applicant is proposing to preserve the remains of that painted sign during the brick restoration.

- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

The distinctive features of the existing building will be retained. Much of the character defining features of the building are in the original storefront window system and the exterior brick work. The existing exterior masonry work includes a corbelled cornice, corbelled brick beltcourses, brick piers running from the cornice through to the ground level, and brick chimney-like projections along the roofline of the north and west facades. All of these features and masonry details will be maintained. The existing red and buff colored brick will also be retained where possible. The masonry will be repointed and relayed if necessary with custom mixed mortar which is visually and physically compatible with the original. The tops of protruding ledges will be repaired and sealed to direct water away from the masonry walls. Where

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new openings are being proposed on the back side of the building, that brick will be used to replace existing brick that is too spalled to repair. The applicant is also proposing to mine out and use some of the buff colored brick from the recessed entryway to the second story residential units in areas where other buff colored brick is too spalled or cracked to repair. The existing storefront and mullion system, which is also a distinctive feature of the building will be preserved, but with new glass being installed to replace the existing.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The applicant is proposing to clean the exterior masonry with a mild cleanser and a light power wash before being repaired and repointed. This is consistent with the Secretary of the Interior's Guidelines for the Preservation of Historic buildings, which specifically states the following as a recommended guideline: "Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes."

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The applicant has stated that they are not aware of any known archeological resources.

- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

The proposed alterations can most closely be considered a "Rehabilitation" of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the Interior's Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

The applicant is proposing to maintain the most character defining features of the building in the exterior masonry and the existing storefront window mullion system. Where existing materials are deteriorated, replacement is being proposed using the same building materials as exist today on the historic building. Heavily cracked or spalled brick will be replaced, either with brick relocated from other facades of the building where other alterations are proposed in less visible areas, or with like-colored brick to match the existing façade. The second story windows and ground level doors will be replicated with new wood windows and doors, with the windows being crafted by a window specialist using an existing second story window as a template.

Some of the applicable rehabilitation guidelines for treating masonry on historic buildings are provided below:

Recommended Guideline: Identifying, retaining and preserving masonry features that are important in defining the overall historic character of the building (such as walls, brackets, railings,

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cornices, window and door surrounds, steps, and columns) and decorative ornament and other details, such as tooling and bonding patterns, coatings, and color.

As mentioned above, the applicant is proposing to clean, repair, and preserve the existing masonry and brick details on the existing historic building, which provide much of the significant character defining features and details of the building.

Recommended Guideline: Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.

The applicant has stated that the masonry will be cleaned with a mild cleanser and a light power wash before being repaired and repointed.

Recommended Guideline: Repairing masonry by patching, splicing, consolidating, or otherwise reinforcing the masonry using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing parts of masonry features when there are surviving prototypes, such as terra-cotta brackets or stone balusters.

Recommended Guideline: Repairing masonry walls and other masonry features by repointing the mortar joints where there is evidence of deterioration, such as disintegrating mortar, cracks in mortar joints, loose bricks, or damaged plaster on the interior.

Recommended Guideline: Duplicating historic mortar joints in strength, composition, color, and texture when repointing is necessary. In some cases, a lime-based mortar may also be considered when repointing Portland cement mortar because it is more flexible.

As mentioned above, the existing masonry will be preserved where possible, and the existing brick will be repointed. A custom mixed mortar which is visually and physically compatible with the original will be used if necessary.

Some of the applicable rehabilitation guidelines for treating windows on historic buildings are provided below:

Recommended Guideline: Evaluating the overall condition of the windows to determine whether more than protection and maintenance, such as repairs to windows and window features, will be necessary.

Recommended Guideline: Replacing in kind an entire window that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered.

The applicant has removed one window in its entirety to further evaluate the window and determine whether repairs are possible, or whether they are so deteriorated that they need to be replaced with exact replicas using the same historic materials. The applicant should provide detailed information on the findings of the evaluation and the existing conditions of the windows. If they are found to be too deteriorated to repair, the applicant is proposing to replace the windows on the second floor with exact replicated wooden windows, which will be crafted by a window specialist using an existing window as a template.

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Some of the applicable rehabilitation guidelines for treating entrances on historic buildings are provided below:

Recommended Guideline: Designing and constructing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the building (i.e., ensuring that the new entrance or porch is clearly subordinate to historic primary entrances or porches).

Recommended Guideline: Identifying, retaining, and preserving entrances and porches and their functional and decorative features that are important in defining the overall historic character of the building. The materials themselves (including masonry, wood, and metal) are significant, as are their features, such as doors, transoms, pilasters, columns, balustrades, stairs, roofs, and projecting canopies.

Not Recommended Guideline: Altering utilitarian or service entrances so they compete visually with the historic primary entrance; increasing their size so that they appear significantly more important; or adding decorative details that cannot be documented to the building or are incompatible with the building's historic character.

Not Recommended Guideline: Cutting new entrances on a primary façade.

The proposed alterations would maintain the location of and general design of the existing entrances to the building on the north and west facades. The applicant is proposing to further recess two of the entryways, but is doing so to meet building code and egress requirements. The applicant is utilizing existing openings in the west façade to provide egress from the main floor and access to the basement, which will function as utilitarian entrances but will not compete with the historical character of the building as the openings in the façade exist today. The one additional new entrance being proposed will be on the alley side of the building in an area that is not prominent and will not detract from the historical character of the primary facades on the north and west of the building.

Some of the applicable rehabilitation guidelines for treating storefronts on historic buildings are provided below:

Recommended Guideline: Identifying, retaining, and preserving storefronts and their functional and decorative features that are important in defining the overall historic character of the building. The storefront materials (including wood, masonry, metals, ceramic tile, clear glass, and pigmented structural glass) and the configuration of the storefront are significant, as are features, such as display windows, base panels, bulkheads, signs, doors, transoms, kick plates, corner posts, piers, and entablatures. The removal of inappropriate, non-historic cladding, false mansard roofs, and other later, non-significant alterations can help reveal the historic character of the storefront.

As mentioned above, the applicant is proposing to preserve the existing storefront window mullion system. The applicant will be replacing the existing glass, but will do so with clear glass and in the case of the bulkheads and transoms, new glass that is consistent in visual appearance with the existing glass.

Some of the applicable rehabilitation guidelines for code-required work on historic buildings are provided below:

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Recommended Guideline: Identifying the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting which may be affected by accessibility code-required work.

Recommended Guideline: Finding solutions to meet accessibility requirements that minimize the impact of any necessary alteration on the historic building, its site, and setting, such as compatible ramps, paths, and lifts.

Recommended Guideline: Complying with life-safety codes (including requirements for impact-resistant glazing, security, and seismic retrofit) in such a manner that the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.

Recommended Guideline: Using existing openings on secondary or less-visible elevations or, if necessary, creating new openings on secondary or less-visible elevations to accommodate second egress requirements.

As described in more detail above, the majority of the alterations to the exterior of the building being proposed are driven by bringing the building up to current building code requirements. The largest upgrade to the building is the seismic retrofit, which is being completed primarily on the interior of the building to minimize impacts to the historic character of the exterior of the building. Changes that will occur to the exterior of the building have been thoughtfully designed and in some cases occur on less-visible facades, which minimize impacts to the historic character of the building.

- (3) The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource's preservation or renovation;

The proposed alteration is reasonable, as the applicant intends to upgrade, but preserve, the existing historic building while making alterations where necessary to meet building code requirements and replace materials only where the existing materials have deteriorated beyond repair. The applicant has stated that, for the building to be of economic value to the owner, egress must be improved from all three levels, and the street entrance to the second floor must be improved. The seismic, egress and mechanical systems upgrades and the installation of an automatic sprinkler system are well timed, with the building being empty on all three levels. The investment and added activity should be of value to the historic district as a whole.

- (4) The value and significance of the historic resource;

The historic resource is located within the Downtown Historic District that is listed on the National Register of Historic Places, and is classified as a secondary significant contributing property in the historic district. The applicant has argued that the existing classification may be incorrect, and that the building should be classified instead as a primary significant contributing resource in the historic district. However, overall the intent of the proposed alterations and work are on the preservation of character defining historical features, including the exterior masonry and historic storefront window system, and the replacement of deteriorated materials with like materials.

- (5) The physical condition of the historic resource;

The existing building is in need of maintenance and some repair to the exterior finishes and details. As described in more detail above, the applicant is proposing to improve the physical condition of the

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resource, preserving historic features and details where possible, and replacing materials only where the existing materials have deteriorated beyond repair.

### **Downtown Design Review**

In reviewing a request for an alteration or new construction to a building or property in the downtown design area, the Historic Landmarks Committee must base its decision on the design standards and guidelines in Chapter 17.59 (Downtown Design Standards and Guidelines) of the McMinnville City Code, and also on the following review criteria:

- (1) The City's historic preservation policies set forth in the Comprehensive Plan;
- (2) If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2)

The application for Downtown Design Review was is consistent with both of those review criteria, as described above in the Certificate of Approval review.

The following design standards and guidelines in Chapter 17.59 are applicable to this request:

#### 17.59.050 Building and Site Design.

##### A. Building Setback.

1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.
2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

These standards are not applicable, as the existing building has a zero setback and covers the entire property.

##### B. Building Design.

1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

The proposed alterations will not change the buildings original massing or configuration.

2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

The building currently exceeds 60 feet in width on both street frontages and meets this standard. The proposed alterations will maintain the existing different colored brick piers that act as the original proportional subdivisions.

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include:
  - a. A belt course separating the upper stories from the first floor;

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- b. A bulkhead at the street level;
- c. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;
- d. A recessed entry and transom with transparent door; and
- e. Decorative cornice or cap at the roofline.

The applicant is proposing to maintain exterior masonry, which includes decorative brick detail work creating a beltcourse between the upper stories and the first floor and a decorative cornice at the roofline. The existing storefront window mullion system will be retained, with new glass panes being installed, but the amount of glazing will stay consistent with the historic building's storefront design. The existing storefront also includes recessed entries and a bulkhead at the Third Street frontage, which is the main entry point into the building.

- 4. Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

The proposed alterations will not change the roof lines of the original structure, except that bricks will be taken from the remains of chimneys on the alley, (south), façade to restore a chimney on the street, (west), façade, and improve roof drainage.

- 5. The primary entrance to a building shall open on to the public right-of-way and should be recessed.

The original recessed main entrance to the ground floor will remain in its current configuration. The proposed alteration in the northeast corner of the building will increase the recess to provide better protection and to prevent the door from opening over the public right-of-way. The double doors on the west façade will be recessed further to minimize their swing over the sidewalk. The increased recess will provide better protection to the doors and those using them. These doors will provide a secondary entrance and code required egress to and from the ground floor.

- 6. Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical.

Replacement windows on the second floor, if found to be required, will match the proportions and recess of the original windows. Other windows and the storefront will remain.

- 7. The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.

The scale of the added canopy at the northeast entrance to the second floor is visually compatible with the original architectural character of the building. The metal canopy will have the same thickness, (seven inches) as, and be aligned with, the horizontal separation between the adjacent storefront and the prismatic clerestory above. The canopy will be the painted the same trim color as the existing horizontal band. The structural steel and canopy will have detailing common to the period of the building. The two foot extension over the sidewalk matches the width of the pilasters thus supporting the established scale and proportion of the building. The proportions of the building and its defining elements will be preserved. The design allows visibility of the building's architectural features, door, transom, clerestory, and pilasters.

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It respects the rectangular geometry of the street facades. The existing, dominate architectural elements will still be unifying features of the façade.

The deeper recess for the double doors in the west elevation will resolve code issues without changing scale or proportion of the building. It supports the design guideline which calls for recessed openings at street entrances. Alterations to the east and south facades will clean up a poor conditions along the alley, at the southeast corner of the building. They will provide a solution to multiple code violations, without depreciating the building's current architectural character. The infills will match the brick and stucco now facing the east and south facades.

8. Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.

No alterations are planned for the exterior foundation or base of the building.

C. Building Materials.

1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

The original finishes will be conserved and restored. A steel canopy is proposed at the second story entrance on 3rd Avenue. A similar steel canopy can be found on the Telephone Register building at NE 4th and Davis. That building is registered as a Primary Significant Contributing building. The proposed canopy will be less intrusive, more carefully detailed and, because it is steel, supported without attaching to the brick facing the building. Findings to support the design waiver and allow for the steel canopy are provided below.

2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):
  - a. Wood, vinyl, or aluminum siding;
  - b. Wood, asphalt, or fiberglass shingles;
  - c. Structural ribbed metal panels;
  - d. Corrugated metal panels;
  - e. Plywood sheathing, to include wood paneling such as T-111;
  - f. Plastic sheathing; and
  - g. Reflective or moderate to high grade tinted glass.

The applicant is not proposing to use any of the listed prohibited exterior building materials.

3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim.

The existing red and buff colored brick will be maintained. The applicant is proposing to use a neutral dark gray color on the wood trim and steel canopy.

17.59.070 Awnings.

- A. Awnings or similar pedestrian shelters shall be proportionate to the building and shall not obscure the building's architectural details. If transom windows exist, awning placement shall be above or over the transom windows where feasible.

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The proposed canopy will be seven inches tall and project horizontally from the 5'-6" wide recessed entrance to the second floor and project two feet over the sidewalk. Its seven inch height and location will correspond with the band that separated the clearstory windows from the storefront. The design allows for the visibility of both the transom over the door, and the clerestory. Over the sidewalk, the canopy width expands from 5'-6" to 8'-0" by extending fifteen inches over the twenty six inch wide columns. The building's architectural features, door, transom, clerestory, and pilasters will remain the dominant, unifying architectural features.

- B. Awnings shall be placed between pilasters.

The canopy will project from the 5'-6" wide recess between the two flanking columns. In order to provide more protection at the entrance, the canopy, once over the sidewalk expands to 8'-0" wide by extending fifteen inches over the two, twenty six inch wide columns. The column can still be seen extending from the ground to the second story. Findings to support the design waiver and allow for the canopy to extend over a portion of the flanking columns are provided below.

- C. Where feasible, awnings shall be placed at the same height as those on adjacent buildings in order to maintain a consistent horizontal rhythm along the street front.

There are no awnings on adjacent buildings. The subject building is north facing and there is no evidence that ever had an awning or canopy.

- D. Awnings should be constructed of soft canvas, fabric, or matte finished vinyl. The use of wood, metal or plastic awnings is prohibited.

This canopy is proposed to be constructed of metal because it has the capability to extend past the building columns in a thickness that matches the seven inch band separating the storefront and clerestory. Findings to support the design waiver and allow for the steel canopy are provided below.

- E. Awnings may be indirectly illuminated; internal illumination of awnings is prohibited.

The awning will not be illuminated.

- F. Awning colors shall be of a low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the awning are prohibited.

The awning will be painted the trim color, a neutral dark gray matching the color of the trim, and the band which exists between the clerestory and storefront windows.

#### 17.59.080 Signs.

- A. The use of flush-mounted signs, flag-mounted signs, window signs, and icon signs are encouraged. Sign materials shall be compatible with materials used in the building.

Two bronze plaques approximately 1'-1" by 1'-6" will be mounted through the mortar joints of the flanking columns. One will identify the name and address of the accommodations on the second floor. The other will identify the building as a national historic landmark. The building address will also be illuminated at the center of the leading edge of the canopy. A single 42" diameter blade sign at the northwest corner of the building will identify the single business occupying the ground floor. The address of this business will be displayed in the transom over main entrance.

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- B. Where two or more businesses occupy the same building, identifying signs should be grouped together to form a single panel.

Only one business is proposed to occupy the ground floor of the building with this proposal.

- C. Wall signs shall be placed in traditional locations in order to fit within architectural features, such as: above transoms; on cornice fascia boards; or, below cornices. Wall signs shall not exceed the height of the building cornice.

Two bronze plaques approximately 1'-1" x 1'-6" will be mounted through the mortar joints of the flanking columns. One will identify the name and address of the accommodations on the second floor. The other will identify the building as a national historic landmark. The building address will also be illuminate at the center of the leading edge of the canopy. A single blade sign at the northwest corner of the building will identify the single business occupying the ground floor. The address of this business will be displayed in the transom over main entrance. None of the signs will exceed the height of the building cornice.

- D. For every lineal foot of building frontage, 1.5 square feet of signage may be allowed, to a maximum of 200 square feet.

The proposed signage is about 10% of the allowed. The signage currently proposed is under 20 square feet. The total frontage on both streets is 166 feet, thus allowing 200 sf of signage.

- E. The use of the following are prohibited in the downtown area:
  1. Internally-lit signs;
  2. Flashing signs
  3. Pedestal signs and pole-mounted signs;
  4. Portable trailer signs;
  5. Cabinet-type plastic signs;
  6. Billboards of all types and sizes;
  7. Historically incompatible canopies, awnings, and signs;
  8. Signs that move by mechanical, electrical, kinetic or other means; and,
  9. Inflatable signs, including balloons and blimps. (Ord. 4797 §1, 2003).

None of the prohibited types of signs are being proposed.

### **Waiver of Downtown Design Standard – Steel Awning**

The applicant is requesting a waiver to the standards of Sections 17.59.050(C)(1), 17.59.070(B), and 17.59.070(D). The Historic Landmarks Committee may approve a waiver to any standard contained in Chapter 17.59 of the McMinnville City Code if it can be found that the request meets the following review criteria, as described in Section 17.59.040(A)(3):

- A. There is a demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

The applicant has provided an argument that the demonstrable difficulty in meeting the code requirements for the steel awning are relative to the seismic upgrade. The Taylor-Dale building is an unreinforced masonry building and most of the steel added for the seismic upgrade will be added within the interior. The entrance to the second story will be an exception. Half inch steel plates are proposed to strengthen and contain the brick columns flanking the entrance. The steel plate was proposed to be visible on the exterior within the second story entry recess. However, as part of the Certificate of

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Approval review of the exterior alterations, a condition of approval was included to require that the steel plate be encased with wood trim to match the existing wood building materials on the ground floor of the existing building. Therefore, the arguments that the steel canopy will match the steel plate around the second story entry are no longer valid.

The applicant has argued that there is a need for the canopy to be steel so that it can blend in to the existing façade and not create a new architectural feature that does not exist on other portions of the main entry façade. A fabric awning would require a larger framing system that may detract from the character defining storefront window system and clerestory windows. The applicant is proposing to use the steel awning because the depth can be held to only seven inches, which allows for installation of lighting, a required sprinkler head, and security equipment. This depth is also the same height as, and aligned with, the horizontal separation between the adjacent storefront and the prismatic clerestory above. This results in the awning not detracting from the character defining features of the building.

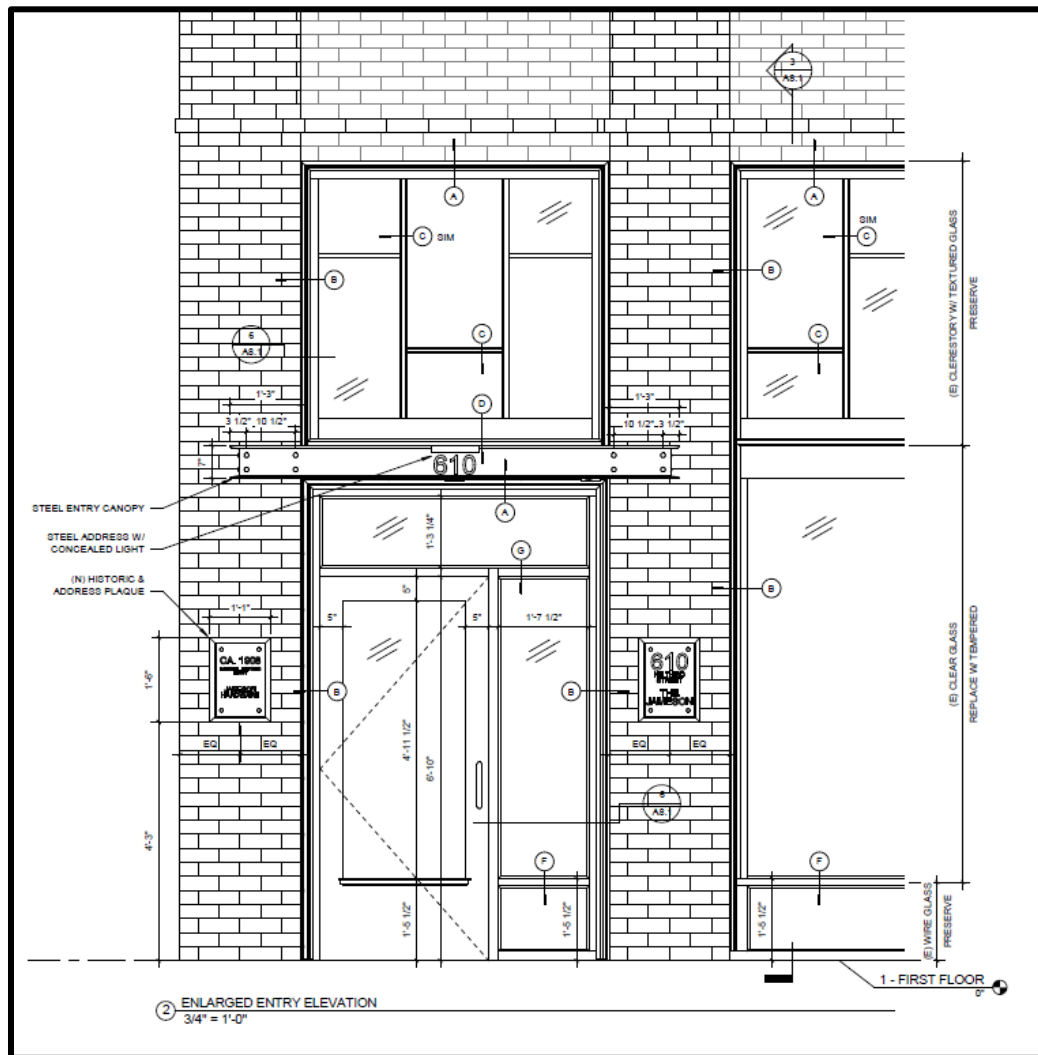
A rendering and elevation drawing showing the awning depth and design are provided below:



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- B. There is demonstrable evidence that the alternative design accomplishes the purpose of this chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;

The use of steel for the canopy allows for a durable and welcoming solution which can be mounted directly to the steel needed for the seismic upgrade. The proportions of the building and its defining elements are preserved. The design allows visibility of the building's architectural features, door, transom, clerestory, and pilasters. It respects the proportions of building and rectangular geometry of the street facades. The existing main architectural elements will still be dominant, unifying features of the façade.

The use of steel also allows for the attachment of the canopy to the building without damaging the existing brick face, and allow a 1/2" separation from the brick. A canvas awning would introduce another material and another geometry to this part of the building, and would break with the rectangular composition of the street facing facades. Additional canvas awnings on the northern exposure of this building would not be appropriate and would diminish the transparency of the ground floor façade. The proposed solution will also yield a source of original, matching brick that can be used in the restoration of the street facades.

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- C. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this chapter.

The proposed design which yields a protected area 5'-0" deep by 8'- 0" wide measured at the extension over the sidewalk, is the minimum protection required. By comparison, the ground floor main entrance offers a recess of 7 feet to 8 feet wide by 6'-6" deep and is protected by side walls for the entire depth. The extended canopy width over the sidewalk is held back to allow one side of the flanking pilasters to reach their full height without visual interruption.

**Fiscal Impact:**

None.

**Committee Options:**

- 1) **APPROVE** the applications, providing findings of fact for the required demolition review criteria.
- 2) **APPROVE** the applications **WITH CONDITIONS**, providing findings of fact for the required demolition review criteria.
- 3) **DENY** the applications, providing findings of fact for the denial in the motion to deny.

**Recommendation/Suggested Motion:**

Staff recommends that the Historic Landmarks Committee approve the Certificate of Approval application (HL 6-18) with the following conditions:

1. That the applicant provide detailed information on the findings of the evaluation of the existing windows and a more detailed summary of the existing conditions of the windows, and that the Planning Director have the ability to review this information and determine whether the windows are damage beyond repair. If found to be damaged beyond repair, the Planning Director shall have the ability to allow for the second story windows to be replaced with historically compatible and replicated windows, as described in the application narrative.
2. That the distinctive features of the storefront system on the north and west facades described in the National Register of Historic Places nomination, including the original bronze fasteners that connect the plate glass and the wood framing system, be retained and repaired.
3. That the replacement door providing access to the second story be wood to be consistent with the original building materials on the ground floor of the building. The final details of the replacement door shall be reviewed and approved by the Planning Director prior to installation.
4. That all other replacement doors, including the double doors and garage door on the west façade, be wood and be replicated to have the same design as the existing original doors.
5. That the steel structural support within the recessed second story entryway on the northern façade be wrapped in a wooden encasement or wooden trim consistent with the existing wood trim on the ground floor of the building and surrounding the other entryway on the north façade of the building.

Staff also recommends that the Historic Landmarks Committee approve the Downtown Design Review application (DDR 5-18) with no conditions of approval.

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**Suggested Motion:**

Staff suggests that the Historic Landmarks Committee make the following motion to approve the Certificate of Approval application:

**THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE CERTIFICATE OF APPROVAL TO ALLOW THE ALTERATION OF THE HISTORIC RESOURCE AT 608 NE 3<sup>rd</sup> STREET (RESOURCE A866) WITH THE CONDITIONS RECOMMENDED BY STAFF.**

Staff also suggests that the Historic Landmarks Committee make the following motion to approve the Downtown Design Review application:

**THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE EXTERIOR ALTERATIONS AND DESIGN WAIVERS FOR THE HISTORIC RESOURCE AT 608 NE 3<sup>rd</sup> STREET (RESOURCE A866).**

CD:sjs

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608 NE 3RD ST. EXTERIOR ALTERATION



**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

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File No. HL 3-18

Date Received 4-6-18

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Receipt No. N/A

Received by CD

## Certificate of Approval (Alteration)

### Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☒ Agent ☐ Other \_\_\_\_\_

Applicant Name EMA Architecture, LLC Phone 503-224-1282

Contact Name Ernest R. Munch Phone \_\_\_\_\_  
(If different than above)

Address 111 SW Oak Street, Suite 300

City, State, Zip Portland, OR 97204

Contact Email ernie@ermunch.com

### Property Owner Information

Property Owner Name Historic Third & Ford, LLC Phone 707-544-4000  
(If different than above)

Contact Name Seth Caillat Phone 707-836-2049

Address 421 Aviation Boulevard

City, State, Zip Santa Rosa, CA 95403

Contact Email seth.caillat@jfwmail.com

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 608 NE Third Street, McMinnville, OR 97128

Assessor Map No. R4421 - BC - 10400 Total Site Area 5,997 SF

Subdivision Rowlands Addition Block 6 Lot 4

Comprehensive Plan Designation COMMERCIAL Zoning Designation C-3

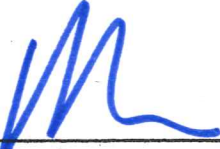
1. What is the classification of the historic building? incorrectly classified as secondary contributing
2. Architect Name EMA Architecture, LLC Phone \_\_\_\_\_  
(Engineer or Other Designer)  
Contact Name Ernest R Munch Phone 503-224-1282  
Address 111 SW Oak Street, Suite 300  
City, State, Zip Portland, OR 97204  
Contact Email ernie@ermunch.com
3. Contractor Name R&H Construction Phone \_\_\_\_\_  
Contact Name Shane Bliss Phone 503-702-4929  
Address 1530 SW Taylor Street  
City, State, Zip Portland, OR 97205  
Contact Email sbliss@rhconst.com
4. The existing use of the property. Dance studio, apartments
5. The intended use of the property. Restaurant, short-term rentals
6. Attach a written narrative that describes:
  - A. The proposed project in detail (specific portions of the structure being altered, new features being constructed, etc.);
  - B. How the proposed project meets the applicable Comprehensive Plan policies;
  - C. How the proposed project meets the applicable design standards and guidelines, which are as follows:
    - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
    - b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
    - c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
    - d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
    - e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
    - f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
  - h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
  - i. The proposed project must be consistent with the Guidelines for Historic Preservation as published by the United States Secretary of the Interior;
- D. The reasonableness of the proposed project and a description of the economic use of the historic resource, and how those factors relate to the proposed project;
- E. The current value and significance of the historic resource, and how those factors relate to the proposed project; and
- F. The physical condition of the historic resource, and how the condition relates to the proposed project.

In addition to this completed application, the applicant must provide the following:

- ☒ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the information listed in the information sheet.
- ☒ Architectural drawings, including elevations of the proposed alteration. The elevations shall include descriptions of the proposed finish material.
- ☒ Photographs and/or drawings of the existing structure.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

  
\_\_\_\_\_  
Applicant's Signature

4.5.18  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Property Owner's Signature

4/5/18  
\_\_\_\_\_  
Date

## Taylor-Dale Hardware Building, 608 NE 3rd Street, McMinnville, OR 97128

Historic Landmark **Certificate of Approval** Application Narrative.

17 April 2018

### ***A. The proposed project in detail:***

The Taylor-Dale Building was built, in 1908, as a hardware store on the ground floor with four private apartments on the second floor. Two apartments were added later. At 110 years old, "this rectangular red and buff brick two-story building is probably the most intact building in the district." This year, it will undergo a full renovation intended to renew its economic vitality and architectural integrity. A restaurant, is planned for the main floor. Six vacation-rentals-by-owner (VRBO), plus one smaller owner occupied unit are planned for the second floor.

The primary goal of the project is to restore and preserve the building for the next 110 years.

The emphasis of the restoration and preservation of the exterior architectural features will be on the north and west, street facades.

The Taylor-Dale Building will undergo a full seismic upgrade; an upgrade to the vertical structural system; complete replacement of electrical, plumbing, and heating and ventilation systems; improvements to egress from all three levels; upgrades to the building envelope which will include masonry repair, new windows, insulation and improved weather protection; the addition of an automatic sprinkler system; and the installation of an elevator which will make all three levels accessible.

### **Exterior work:**

Exterior modifications related to the work listed above, and accessibility and life-safety issues are explained in detail in the Downtown Design Standards and Guidelines Application. They are summarized below:

- 1. The entrance to the second floor residential units lacks accessible clearances at the door, and requires a seismic upgrade and automatic sprinkler head.** The entrance will be reconfigured to gain the required clearances. Exterior changes in this location will also accommodate the seismic upgrade; an added sprinkler and; allow better protection of the door and those using it.
- 2. The Ground Floor lacks a required second egress.** The second egress will be achieved by making the exterior double door in the west façade out-swinging, and by recessing them to minimize the swing of the doors over the public right-of-way.

3. **A Fire Department Connection, (FDC), must be added to the west façade to support the proposed automatic sprinkler system.**
4. **The Second Floor and Basement have inadequate egress:** Code compliant egress will be achieved via a newly constructed stairway and by opening a new egress door on the east elevation, at the southeast corner, which will allow the egress door to open without swinging over the public right-of-way. Construction of the stair will require the closure of three windows on the south façade. The existing non-compliant egress stair and security grating will be removed. Seven square feet of the one-story building at 618 NE 3rd Street will be reconfigured, to allow for the new regress route. (Changes to 618 NE 3th Street are the subject of separate applications.)
5. **There are 3 unprotected openings in the east wall which is common to 608 and 618 NE 3rd Street. No openings are allow by the building code.** Closing the one door and two windows with brick salvaged from the building, will resolve this code issue.

#### **Masonry Repair**

The exterior masonry will be cleaned with a mild cleanser and low pressure wash, then repaired and repointed. While most of the north and west facing portions of the building are in good condition, the upper 8-9 feet of those facades are in need of a deep repointing. Fifteen to twenty red bricks, mostly in the area above the second floor windows, have spalled and must be replaced with matching brick, reclaimed from the building. Mortar used in the repointing will be custom mixed to be visually and physically compatible with the existing brick and mortar when cleaned.

New cap flashing will be installed. The masonry tops of four narrow horizontal ledges on the north and west façades will be repaired and sealed or protective flashings may be added. This will aid in keeping outside moisture from penetrating the masonry walls.

One chimney on the west façade has been shortened and will be rebuilt to its original height using red bricks salvaged from the tops of other chimneys that are now, and will be, hidden by cap flashings. There is also a large crack in the upper southwest corner of the west façade. It will be investigated, repaired and perhaps structurally reinforced using brick salvaged from other parts of the building.

There are two to three areas, on the north façade, where the buff colored brick has cracked, perhaps from rusting steel headers above the storefronts. This

brick will be removed and salvaged. The steel headers will be cleaned and galvanized and the cracked bricks will be replaced. If additional buff colored bricks are needed for this and other repairs, they will be salvaged from the second story entrance area, (as discussed in a separate application).

The eastern face of the building, although partially obscured by the building at 618 NE 3rd Street is in need of extensive repair. The top three feet of the wall has deteriorated almost to the point where the brick will need to be removed and re-laid. The area may be saved by a deep cleaning and repointing of the mortar joints. Remnants of a deck and its cover need to be removed from the east wall. About 70 bricks have spalled or are missing and will need to be replaced. The plan is to salvage brick from the opening of the new egress door on that same, east façade. (This is discussed further in another Historic Review application.) To the extent possible through the restoration of the brick, the faded remains of the sign, "Jamison Hardware Sporting Goods", will be preserved.

The southern façade was previously repointed and covered with a white stucco. Three chimney stubs will be removed in order to provide bricks for the restoration of the other facades and provide better drainage from the roof.

Changes in insulation, vapor barriers, and mechanical controls will be carefully studied by a consultant and installed to insure the long term fitness of the brick facades with the upcoming occupancy changes.

## Doors

Ground floor exterior doors will be replicated, including:

1. The vertical lift door to the basement ramp will be replicated, and its function restored.
2. The adjacent double doors exiting onto Ford Street will be replicated. (Changing the swing on the doors and the selection of more appropriate hardware are discussed in a separate application.)
3. The 3rd Street double doors leading to the main level will be replicated and recessed.
4. All doors and adjacent windows will be fitted with tempered glass as per the current building code.

## Windows

1. If matching wire glass can be found, it will be used to replace the broken panes in the bulkhead below the storefront.
2. Second floor windows in the north and west facades cannot be repaired. They will be replaced in kind with replicas of the existing windows using the same material. The glazing will be tempered and insulated. Because of the insulated glass, the use of glazing compound will be replaced with wood stops. For reasons of child safety, and building envelope integrity, new sashes will be held closed except for one lower sash per sleeping area, which will satisfy current egress code. These 6 lower sashes will be heavier than the original. In lieu of added window weights, vintage Pullman Balance system may be used. This change will not be visible from the exterior. The replacement windows and doors will be crafted in Monitor, Oregon, with machinery which is contemporaneous with the building.
3. The storefront's 8' x 7' sheets of glass will be replaced with 1/4" tempered glass within the original mullion system which will be gently cleaned.

### **17.65.060(B)(1): How the proposed project meets the application Comprehensive Plan Policies:**

**Goal:** TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHEOLOGICAL SIGNIFICANCE TO THE CITY OF McMinnville.

**Comprehensive Plan Policy:** 15.00 The City of McMinnville shall establish a program for the identification and preservation of significant sites, structures, objects and areas.

#### **Finding:**

The applicant is filing under the program established by the City of McMinnville to preserve significant sites, structures, objects and areas. The main thrust of this project is to restore and preserve what is, "probably the most intact building in the district, for the next," 110 years.

**Comprehensive Plan Policy:** 16.00 The City of McMinnville shall support special assessment programs as well as federal grants-in-aid programs and other similar legislation in an effort to preserve structures, sites, objects, or areas of significance to the City.

**Finding:** The property does not enjoy a special assessment in support of historic preservation. The owner applied for but did not receive a grant to aid the preservation effort.

**Comprehensive Plan Policy:** 17.00 The City of McMinnville shall enact interim measures for protection of historic sites and structures. Those measures are identified in the McMinnville Comprehensive Plan, Volume I, Chapter III.

**Finding:** NA. This program is applying for approval under Chapter 17.59 and 17.65, not under interim measures.

**Comprehensive Plan Policy:** 17.01 The City of McMinnville will, by the time of the first plan update (1985), conduct a thorough study (consistent with the requirements of Statewide Planning Goal No. 5) of the 515 resources included in the 1980 historical survey and the properties VOLUME II Goals and Policies Page 3 listed on the 1976 Inventory of Historical Sites (Figure III-1, Volume I, McMinnville Comprehensive Plan) and place those structures and sites which are found to warrant preservation on a list of historic buildings and places. The City shall also study other buildings and sites which were not included on the 1976 and 1980 inventories and place those so warranted on the list of historic buildings and places. The City shall then adopt a historic preservation ordinance which is consistent with the requirements of Statewide Planning Goal No. 5 and which protects the structures and sites included on the list (as amended by Ord. 4218, Nov. 23, 1982).

**Finding:** This program is applying for approval under Chapter 17.59 and 17.65, not under interim measures.

**17.65.060(B)(1): How the proposed project meets the applicable design standards and guidelines, which are as follows:**

- a) A property will be used as it was historically, or be given a new use that maximized the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

**Finding:** The Taylor-Dale Building was built, in 1908, as a hardware store on the ground floor with four private apartments on the second floor. Two apartments were added later. This project envisions a full renovation and restoration of the interior. A restaurant, is planned for the main floor. Six vacation-rentals-by-owner, (VRBO), plus one smaller owner occupied unit are planned for the second floor.

- b) The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.**

**Finding:** The original exterior brick walls, will be cleaned, repaired, repointed, and the original storefront and windows on the second floor will be replicated according to the Department of Interior's guidelines for Historic Preservation. Where the original materials or elements are missing or replaced, or where the building code requirements require alterations, the elements will be in keeping with the original materials and character of the building.

- c) Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic material and features will be physically and visually compatible, identifiable upon close inspection, and properly documented and preserved for future research.**

**Finding:** As described in detail above, the brick masonry, and storefront windows, will be stabilized, consolidated, and conserved.

Doors on the ground floor which appear to be original, and the second floor windows on the west and north elevations will be replicated. They will be physically and visually compatible, identifiable upon close inspection. The original doors and windows will be properly documented for future research.

- d) Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

**Finding:** To the extent possible through the restoration of the brick, the faded remains of the sign, "Jamison Hardware Co. Sporting Goods", will be preserved.

- e) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

**Finding:** As described in detail above, the brick and storefront will be stabilized and restored, to as close to its original condition as possible.

- f) The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration**

**requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.**

**Finding:** The second floor windows and first floor doors have deteriorated to the extent that they will need to be replaced. As explained in detail above, they will be replicated and installed with minimal modifications, which will resolve issues with the current building code.

- g) Chemical or physical treatment, if appropriate. Will be undertaken using the gentlest means possible. Treatments that cause damage to historic material will not be used.**

**Finding:** The exterior masonry will be cleaned with a mild cleanser and light power wash before being repaired and repointed.

- h) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

**Finding:** There are no known archeological resources.

- i) The proposed project must be consistent with the Guidelines for Historic Preservation as published by the United States Secretary of the Interior.**

**Finding:** The brick masonry is the most distinguishing feature of the building. As described above in detail, great care will be taken to restore the north and west street facades to their original condition. The building will be cleaned with a mild agent and washed with low pressure water. Spalled bricks will be replaced, and cracks repaired. The masonry will be repointed and relayed if necessary with custom mixed mortar which is visually and physically compatible with the original. The tops of protruding ledges will be repaired and sealed to direct water away from the masonry walls. Cap flashing and roofing will be replaced. Like materials will be used to close existing openings and holes on the north and east facades, where required to meet code.

The north and west storefronts will be restored in their original configuration. The large, 8' x 7', panes of plate glass will be replaced with tempered glass. Broken panes in the clerestory and bulkhead will be replaced if matching glass can be found. The original metal and wooden sashes will be cleaned, repaired and repainted.

The applicant has consulted with the local building official concerning life-safety and other building code issues. The issues of egress, automated fire protection, accessibility,

and other code violations have, for the most part, been resolved within the interior. The exceptions are:

1. Accessibility clearances, seismic upgrade, a door opening over a public right-of-way and automatic fire protection at the northeast main entry to the second floor,
2. Egress at the southeast corner from the second story and basement,
3. Openings in a rated firewall on the east property line;
4. Openings in the south elevation which must be closed to accommodate the new egress stair;
5. A required second egress from the ground floor achieved by changing the swing of double doors on the west elevation and recessing the double doors to partially avoid swinging them over the sidewalk.

### **The Canopy**

1. The proposed canopy will be of the same scale, color and height as a trim that intervenes between the storefront and the clerestory.
2. It is of modest scale and will not dominate the primary historic elements that define the building or detract from its historic significance.
3. The material used allows it to be spaced 1/2" from the flanking brick columns so as to not disturb or destroy the historic finishes.
4. The detailing of the canopy will reflect that of the historic period but will be distinguishable from the historic forms and materials.
5. The canopy will relate to the form and scale of the existing historic features.
6. The canopy will reflect the building's historic rectangular geometry.
7. The canopy is located and performs its function where needed, at the main entrance to the second floor accommodations. The main entrance is required to be on a main street frontage and could not be located off the alley.
8. It is added to the building to allow a new use: public accommodations.
9. The design will allow the entrance to comply with accessibility and life-safety code requirements.
10. The design will allow for the removal of the clutter currently defacing the entrance.
11. The design of the entry will provide material, (buff colored brick), needed to restore the high historic value street facades.

See also the Detailed Description above and the companion narrative for the Downtown Design Standards and Guidelines Application.

### **D. The reasonableness of the proposed project and a description of the economic use of the historic resource, and how those factors relate to the proposed project;**

**Finding:** The proposed uses for the project are much like the original: The first floor changes from hardware store to restaurant, and the second floor changes from 6

apartments to 6-7 vacation rentals by owner. To be of economic value to the owner, egress must be improved from all three levels, and the street entrance to the second floor must be improved.

The seismic, egress and mechanical systems upgrades and the installation of an automatic sprinkler system are well timed, with the building being empty on all three levels. The investment and added activity should be of value to the historic district as a whole.

**E. The current value and significant of the historic resource, and how those factors relate to the proposed project;**

**Finding:** The building should be classified as a Primary Significant Contributing resource in the inventory, where it is mentioned as, "probably the most intact building in the district." The exterior program is focused on the restoration and preservation of the masonry, windows and storefront in its original form.

The addition of a canopy in the northeast corner offers an opportunity to better the entrance to the second floor public accommodation. It is here that the original entrance has been lost, and egress, accessibility, and structural upgrades converge,

**F. The physical condition of the historic resource, and how the condition relates to the proposed project.**

**Finding:** As explained above in detail, building exterior is in good condition below the window heads of the second story. The basement is solid, and the brick was repointed within the last 20 years. Doors on the western exposure are weathered and in need of replacement. The entrance to the second story is not original and highly weathered. The doors of the first floor main entrance are worn out. However, the most challenging work on the lower part of the building will be the repair of rusting steel headers over the storefront windows.

The area above the second story windows, in general requires a deeper repair and repointing. Alterations to the southeast corner which opens to the back alley are needed to resolve building code issues. The northeast entrance to the second floor requires a new period door, accessibility improvements, and better protection from the weather.

#2

608 NE 3RD ST

EXTERIOR ALTERATION

**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

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COMMUNITY DEVELOPMENT  
CENTER**Office Use Only:**File No. DDR 2-18Date Received 4-6-18Fee \$0Receipt No. N/AReceived by CD**Downtown Design Standards & Guidelines Application****Applicant Information**Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☒ Agent ☐ Other \_\_\_\_\_Applicant Name EMA Architecture, LLC Phone 503-224-1282Contact Name Ernest R. Munch Phone \_\_\_\_\_  
(If different than above)Address 111 SW Oak Street, Suite 300City, State, Zip Portland, OR 97204Contact Email ernie@ermunch.com**Property Owner Information**Property Owner Name Historic Third & Ford, LLC Phone 707-544-4000  
(If different than above)Contact Name Seth Caillat Phone 707-836-2049Address 421 Aviation BoulevardCity, State, Zip Santa Rosa, CA 95403Contact Email seth.caillat@jfwmail.com**Site Location and Description**

(If metes and bounds description, indicate on separate sheet)

Property Address 608 NE Third Street, McMinnville, OR 97128Assessor Map No. R4 421 - BC - 10400 Total Site Area 5,997 SFSubdivision Rowlands Addition Block 6 Lot 4Comprehensive Plan Designation COMMERCIAL Zoning Designation C-3

This request is for a:

☒ **Design Review**

☒ **Design Waiver**

1. Attach a written narrative that describes:

- A. The proposed project in detail, including descriptions of the architectural features and building materials being used;
- B. How the project meets the applicable downtown design standards and guidelines;
- C. How the project meets the historic preservation standards and guidelines (if applicable); and
- D. How the project will fit into the context of the downtown historic district.

2. As part of this application, is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so, explain in detail how the criteria for waiving a standard or guideline as listed in Section 17.59.040(A) have been met (*attach additional pages if necessary*). \_\_\_\_\_

Please see attached narrative

In addition to this completed application, the applicant must provide the following:

- ☒ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size). For new construction or for structural modifications show the information listed in page one of the information sheet.
- ☒ Building and construction drawings including building elevations of all visible sides.
- ☒ A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
- ☒ Photographs of the subject site and adjacent property.
- ☐ Other information deemed necessary by the Planning Director.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

  
\_\_\_\_\_  
Applicant's Signature

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Property Owner's Signature

  
\_\_\_\_\_  
Date

## **Taylor-Dale Hardware Building, 608 NE 3rd Street, McMinnville, OR**

17 April 2018

### Historic Landmark **Downtown Design Standards & Guidelines** Application Narrative

#### **A. The proposed project in detail:**

The Taylor-Dale Building was built, in 1908, as a hardware store on the ground floor with four private apartments on the second floor. Two apartment were added later, for a total of six. At 110 years old, "this rectangular red and buff brick two-story building is probably the most intact building in the district." This year, it will undergo a full renovation intended to renew its economic vitality and architectural integrity. A restaurant, is now planned for the main floor. Six vacation-rentals-by-owner (VRBO), plus one smaller owner occupied unit are planned for the second floor.

The primary goal of the project is to restore and preserve the building for the long term.

The emphasis of the restoration and preservation of the exterior architectural features will be on the north and west street facades.

Openings in the east façade will be filled and stabilized consistent with the original masonry.

The south façade was earlier covered with stucco. Three openings will be closed in favor of a new interior egress stair.

In addition, the Taylor-Dale Building will undergo a full seismic upgrade; an upgrade to the vertical structural system; complete replacement of electrical, plumbing, and heating and ventilation systems; improvements to egress from all three levels; upgrades to the building envelope which will include masonry repair, new windows, insulation and improved weather protection; the addition of an automatic sprinkler system, and the installation of an elevator which will make all three levels accessible.

#### **Proposed changes to the exterior as they are related to building code issues.**

1. The existing egress stair from the second floor of 608 NE 3rd Street, is through a dimensionally undefined easement, across the roof of, and down a stairway on, the adjacent building at 618 NE 3rd Street. It is non-compliant in the following ways:
  - a. Egress from one building may not be made through a building of lesser safety. The two-story building at 608 NE 3rd Street will be seismically upgraded and have an automatic sprinkler system installed. The one story

building at 618 NE 3rd Street will have neither a sprinkler system, nor a seismic upgrade.

- b. The existing egress route from 608 NE 3rd Street is not protected from the adjacent, non-sprinklered building by a fire rated separation.
  - c. The wall of 618 NE 3rd Street which flanks the stair should have a 3 hour fire rating.
  - d. The stair does not comply with the code's maximum riser-height and minimum tread-width requirements.
  - e. The stair riser-heights vary beyond code tolerances.
  - f. The stair is too narrow.
  - g. The handrails do not comply.
  - h. There is no landing at the bottom of the stair.
  - i. The security gate in the alley swings out over the public right-of-way.
  - j. There is insufficient lighting of the egress path.
- 2. The basement has inadequate egress.
  - 3. There are 3 unprotected openings in the east wall, which should be a 3-hour fire rated separation between the two buildings.
  - 4. The ground floor lacks a required second egress.
    - 4a. The exterior double doors on the west façade do not have exterior lighting.
  - 5. The building will require the addition of an automatic fire sprinkler system, and a full seismic up-grade. That work can be accomplished inside the building, with two exceptions: 1) a fire department connection (FDC) will be added on the west façade of the building, not more than 50' from the existing fire hydrant at corner of NE 3rd and Ford Streets; 2) two steel column wraps will be partially visible on the exterior at the northeast entrance to the second floor.
  - 6. The northeast entrance to the second floor residential units lacks accessible clearances at the door. The door swings out partially over the public right-of-way.

Exterior Alterations at listed below:

- 1. **New egress door at the southeast corner:** An egress stair in the southeast corner of the building is planned to resolve the issues of egress from the basement and second floor. A new rated egress door from the stair to the rear alley, a public right-of-way, will be opened on the east wall of the building. To accomplish this, the existing non-compliant egress stair and

security grating will be removed. Seven square feet of the one-story building at 618 NE 3rd Street will be reconfigured, to allow for the new egress route and the relocation of the gas meter serving 608 NE 3rd. A code required exterior light will be provided above the door. It will also provide security for those using the new door. (Changes to 618 NE 3th Street are the subject of separate applications.)

2. **Closure of three windows on the south façade:** In order to accommodate the new egress stair within the building, three windows will be closed and finished to match the existing stucco. The method of finish will allow future investigators to observe the size and placement of the existing windows.
3. **Closure of three openings in east wall:** The east wall of 608 NE 3rd Street is shared by the neighboring building at 618 NE 3rd Street: It should be 3-hour fire rated. The two windows and one door in that wall will be closed to provide that rating. The infill will be finished with matching brick, salvaged from the opening of the new egress door mentioned above. The method of closure will allow future investigators to observe the size and placement of the former openings.
4. **Recess double doors on the west façade. Change doors to out-swinging. Add exterior lighting:** It is proposed to recess the double doors on the west façade to out-swinging in order to provide a second egress and entrance for the ground floor. The doors are 42-1/2" wide. They will be recessed into the west façade up to the farthest possible without blocking another interior door, to limit the amount of swing over the sidewalk. Planters on the sidewalk outside the door will protect pedestrians from any remaining extended door swing.

The existing exterior door jams will be extended into the building. A steel plate door sill will cover the interior wood floor framing that would otherwise be exposed and provide drainage away from the doors.

Recessing the doors to the inside of the brick wall will allow for recessed, exterior lighting to be provided at the doors. The recess will also help protect the doors from exposure.

The doors themselves are weathered from their exposure. They will be replicated and replaced. The original exterior hardware will be remounted on the exterior. On the interior, the doors will be equipped with egress hardware and latching devices.

5. **Fire department connection:** A fire department connection (FDC) for the new sprinkler system will be added on the west façade of the building, not

more than 50' from the existing fire hydrant at corner of NE 3rd and Ford Streets. Sprinkler heads will be added to first floor door recesses as per code.

6. **Third Street entrance to the second floor:** The door for ground floor entrance to the second story is weathered, and neither original nor fitting to the period of the building. When fully opened, the door swings a foot over the public right-of-way. It does not meet the clearance requirements for accessibility. Two steel column wraps, required for the seismic upgrade, will be partially visible on the exterior of the brick columns flanking the entrance. The recess will require a fire sprinkler.

Mail boxes and other front door equipment has been mounted directly to the exterior brick columns. There is no evidence that this entrance was ever protected by an awning or canopy.

The conversion of the second floor to a VRBO will require a more recognizable, more welcoming and more sheltered entrance for guests who will be maneuvering their way through a secure door with their belongings.

The proposal is to recess the entrance doorway another 1'-3" further into the building, for a total of 3 feet, allowing the door to open entirely without swinging over the sidewalk. The door will be moved to one side to gain the clearances require for accessibility. The door itself will be a single replica of the existing, ground floor, 3rd Street entrance doors. It will have a single sidelight and a transom window.

A steel door sill will be added to match the seismic steel column wraps which will be partially visible on the flanks of the entrance. The sill will serve to provide drainage away from the sill and protect the interior floor and wood framing which would otherwise be exposed to the weather. A steel canopy matching the height and 7" width of the existing band that separates the storefront from the clerestory will extend two feet over the sidewalk. The canopy will extend 1'-3" beyond the width of the opening on either side. It will not be mounted to the brick, but cantilevered from the steel column wraps. The canopy ceiling will be flush with the bottom of the 7" supporting members and be painted the same color as the building trim and sashes.

The equipment needed to monitor, protect, light and gain access to the VRBO above will be contained within the extended steel door jambs and the 7" thickness of the canopy, and not lodged in or hung on the brick. (The equipment could include, a screen reader, key pad, microphone and speaker in the jamb; and lights, sprinkler head, surveillance camera, projection clock and sprinkler head overhead.)

The buff colored brick that would be concealed by the seismic column wraps will be carefully mined out and replaced. The salvaged brick will then be used to make repairs in the buff colored brick columns and decorative bands on the north and west street facades.

### **Downtown Design Standards and Guidelines**

The use of steel in the canopy and its overlap of the columns may require a waiver. The response to the Downtown Design Standards and Guidelines and the waiver request follow.

#### **17.59.050 Building and Site Design**

##### **A. Building Setback.**

- 1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.**
- 2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.**

**Finding:** NA. The building currently covers 100% of the site.

##### **B. Building Design**

- 1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.**

**Finding:** The proposed alterations will not change the buildings original mass and configuration.

- 2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.**

**Finding:** The building currently exceeds 60 feet in width on both street frontages and meets this guideline. The proposed alterations will respect the original proportional subdivisions.

3. **Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include;**
  - A. **A belt course separating the upper stories from the first floor;**
  - B. **A bulkhead at the street level;**
  - C. **A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;**
  - D. **A recessed entry and transom with transparent door; and**
  - E. **Decorative cornice or cap at the roofline**

**Finding:** The existing/original storefront and building decoration will be retained and restored using matching material. The alteration of the recessed entry in the northeast corner of the building will remove a non-conforming door and replace it with a transparent door, transom and sidelight. That alteration will shift the doorway off center to achieve required accessible clearances.

4. **Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.**

**Finding:** The proposed alterations will not change the roof lines of the original structure, except that bricks will be taken from the remains of chimneys on the alley, (south), façade to restore a chimney on the street, (west), façade, and improve roof drainage.

5. **The primary entrance to a building shall open on to the public right-of-way and should be recessed.**

**Finding:** The original recessed main entrance to the ground floor will remain in its current configuration.

The proposed alteration in the northeast corner of the building will increase the recess to provide better protection and to prevent the door from opening over the public right-of-way.

The double doors on the west façade will be recessed further to minimize their swing over the sidewalk. The increased recess will provide better protection to the doors and those using them. These doors will provide a secondary entrance and code required egress to and from the ground floor.

- 6. Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical**

**Finding:** Replacement windows on the second floor will match the proportions and recess of the original windows. Other windows and the storefront will remain.

- 7. The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.**

**Finding:** The scale of the added canopy at the northeast entrance to the second floor is visually compatible with the original architectural character of the building.

The metal canopy will have the same thickness, (seven inches) as, and be aligned with, the horizontal separation between the adjacent storefront and the prismatic clerestory above. The canopy will be painted the same trim color as the existing horizontal band.

The structural steel and canopy will have detailing common to the period of the building. The two foot extension over the sidewalk matches the width of the pilasters thus supporting the established scale and proportion of the building.

The proportions of the building and its defining elements will be preserved. The design allows visibility of the building's architectural features, door, transom, clerestory, and pilasters. It respects the rectangular geometry of the street facades. The existing, dominate architectural elements will still be unifying features of the façade.

The deeper recess for the double doors in the west elevation will resolve code issues without changing scale or proportion of the building. It supports the design guideline which calls for recessed openings at street entrances.

Alterations to the east and south facades will clean up a poor conditions along the alley, at the southeast corner of the building. They will provide a solution to multiple code violations, without depreciating the building's current architectural character. The infills will match the brick and stucco now facing the east and south facades.

- 8. Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.**

**Finding:** No alterations are planned for the exterior foundation or base of the building. Repairs will be made as necessary.

**C. Building Materials**

- 1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.**

**Finding:** The original finishes will be conserved and restored. A steel canopy is proposed at the second story entrance on 3rd Avenue. A similar steel canopy can be found on the Telephone Register building at NE 4th and Davis. That building is registered as a Primary Significant Contributing building. The proposed canopy will be less intrusive, more carefully detailed and, because it is steel, supported without attaching to the brick facing the building. A narrative supporting a waiver is included below.

- 2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):**
  - a. Wood, vinyl, or aluminum siding;**
  - b. Wood, asphalt, or fiberglass shingles;**
  - c. Structural ribbed metal panels;**
  - d. Corrugated metal panels**
  - e. Plywood sheathing, to include wood paneling such as T-111;**
  - f. Plastic sheathing; and**
  - g. Reflective or moderate to high grade tinted glass.**

**Finding:** None of the above materials are proposed to be used in the restoration or the building exterior or in the proposed alterations.

- 3. Exterior building colors shall be of low reflective, subtle, neutral, or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim (Ord. 4749 § 1, 2003)**

**Finding:** A neutral dark gray will be used on the wood trim and steel canopy.

**17.59.060 Parking**

**No parking is under consideration.**

**17.59.070 Awnings.**

- A. Awnings or similar pedestrian shelters shall be proportionate to the building and shall not obscure the building's architectural details. If transom windows exist, awning placement shall be above or over the transom windows where feasible.**

**Finding:** The proposed canopy will be seven inches tall and project horizontally from the 5'-6" wide recessed entrance to the second floor and project two feet over the sidewalk. Its seven inch height and location will correspond with the band that separated the clearstory windows from the storefront. The design allows for the visibility of both the transom over the door, and the clerestory.

Over the sidewalk, the canopy width expands from 5'-6" to 8'-0" by extending fifteen inches over the twenty six inch wide columns. The building's architectural features, door, transom, clerestory, and pilasters will remain the dominant, unifying architectural features.

- B. Awnings shall be placed between pilasters.**

**Finding:** The canopy will project from the 5'-6" wide recess between the two flanking columns. In order to provide more protection at the entrance, the canopy, once over the sidewalk expands to 8'-0" wide by extending fifteen inches over the two, twenty six inch wide columns. The column can still be seen extending from the ground to the second story. A waiver is requested below for extending canopy over a portion of the flanking columns.

- C. Where feasible, awnings shall be places at the same height as those on adjacent buildings in order to maintain a consistent horizontal rhythm along the street front.**

**Finding:** There are no awnings on adjacent buildings. The subject building is north facing and there is no evidence that ever had an awning or canopy.

- D. Awnings should be constructed of soft canvas, fabric, or matte finished vinyl. The use of wood, metal or plastic awnings is prohibited.**

**Finding:** This canopy is proposed to be constructed of metal because it has the capability to extend past the building columns in a thickness that matches the seven inch band separating the storefront and clerestory. A waiver for the use of metal is requested below.

- E. Awnings may be indirectly illuminated; internal illumination of awnings is prohibited.**

**Finding:** This awning will not be illuminated but will contain fixtures that illuminate the entrance and signage below.

- F. Awning colors shall be of a low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic, or florescent colors for the awning are prohibited (Ord. 4797 §1, 2003)**

**Finding:** The awning will be painted the trim color, a neutral dark gray matching the color of the trim, and the band which exists between the clerestory and storefront windows.

#### **17.59.080 Signs**

- A. The use of flush-mounted signs, flag-mounted signs, window signs, and icon signs are encouraged. Sign materials shall be compatible with materials used in the building.**

**Finding:** Two bronze plaques approximately 1'-1" by 1'-6" will be mounted through the mortar joints of the flanking columns. One will identify the name and address of the accommodations on the second floor. The other will identify the building as a national historic landmark. The building address will also be illuminated at the center of the leading edge of the canopy.

A single 42" diameter blade sign at the northwest corner of the building will identify the single business occupying the ground floor. The address of this business will be displayed in the transom over main entrance.

- B. Where two or more business occupy the same building, identifying signs should be grouped together to form a single panel.**

**Finding:** While two businesses will occupy the same building, they will have separated entrances with different address. This merits separate signage locations. If more than one business occupied the ground floor, those signs will be grouped in a single location near the entrance to that floor.

- C. Wall signs shall be placed in traditional locations in order to fit within architectural features, such as: above transoms; on cornice fascia boards; or, below cornices. Wall signs shall not exceed the height of the building cornice.**

**Finding:** Two bronze plaques approximately 1'-1" x 1'-6" will be mounted through the mortar joints of the flanking columns. One will identify the name and address of the accommodations on the second floor. The other will identify the building as a national historic landmark. The building address will also be illuminate at the center of the leading edge of the canopy.

A single blade sign at the northwest corner of the building will identify the single business occupying the ground floor. The address of this business will be displayed in the transom over main entrance.

None of the signs will exceed the height of the building cornice.

**D. For every lineal foot of building frontage, 1.5 square feet of signage may be allowed, to a maximum of 200 square fee.**

**Finding:** The planned signage is about 10% of the allowed. The signage currently planned is under 20 square feet. The total frontage on both streets is 166 feet, thus allowing 200 sf of signage.

**E. The use of the following are prohibited in the downtown area:**

- a. Internally-lit signs;
- b. Flashing signs;
- c. Pedestal signs and pole-mounted signs;
- d. Portable trailer signs;
- e. Cabinet-type plastic sings;
- f. Billboards of all types and sizes;
- g. Historically incompatible canopies, awnings, and signs;
- h. Signs that move by mechanical, electrical, kinetic or other means; and
- i. Inflatable signs, including balloons and blimps. (Ord. 4794 §1, 2003)

**Finding:** None of the above are being proposed. If the proposed canopy is considered a "historically incompatible" sign, it should be included in the requested the waiver below.

**C. How the project meets the Historic Preservation Standards and guidelines**

Refer to the discussion of section 17.65 in the Historic Landmark Certificate of Approval narrative.

**D. How the project will fit into the context of the Downtown Historic district**

The inventory describes the Taylor-Dale (Jameson) building, as a rectangular red and buff brick two-story building," and "probably the most intact building in the district." This year, it will undergo a full renovation intended to renew its economic vitality and architectural integrity.

The much needed restoration work will keep this landmark intact for the long term. The restaurant, now planned for the main floor and six vacation-rentals-by-owner (VRBO), on the second floor will add to the economic activity along the district's main street and the city as a whole.

**F. Waiver request for a metal canopy overlapping two pilasters at the 3rd street entrance to the second floor**

**Detailed description of the proposal**

**The Context**

The door for ground floor entrance to the second story is weathered, not original, and when fully opened, it swings a foot over the public right-of-way. It does not meet the accessibility clearance requirements. The conversion of the second floor to a VRBO will require a more recognizable, more welcoming, and more sheltered entrance for guests who will be maneuvering their way through a secure door with their belongings.

This location must also be considered relative to the seismic upgrade. The Taylor-Dale building is an unreinforced masonry building and most of the steel added for the seismic upgrade will be added within the interior. This entrance to the second floor will be an exception. Half inch steel plates are prescribed to strengthen and contain the brick columns flanking the entrance. Because of the current recess, 21 inches of the buff brick is exposed on the sides of the pilasters, compared to 5 inches at the storefront. The steel plate will cover a portion of the additional buff colored brick. It will be visible on the exterior within the entry recess.

**The Solution**

It is proposed that the existing door, frame, and sidelights be replaced to match those of the main entrance to the ground floor. The replacement would be recessed another 1'-3", totaling 3 feet from the face on the northern façade to the door. A metal canopy would be extended through the recess and extend 2'-0" proud of the building face. Over the sidewalk, the canopy would be widened an additional 1'-3" on each side, to give greater protection where the sides of the recess no longer do. (By comparison, the ground floor main entrance offers a recess tapering from 7 to 8 feet wide by 6'-6" deep and is protected by side walls for the entire depth.) The extended canopy width over the sidewalk is held back

to allow one side of the flanking pilasters to reach their full height without visual interruption.

The metal canopy will be of the same thickness, seven inches, and at the same height as, and aligned with, the horizontal separation between the adjacent storefront and the prismatic clerestory above.

**Additional Design Features and Considerations:**

- A. The entrance door will be recessed 1'-3" farther into the building to allow it to open without swinging over the public right-of-way, and moved to one side so that it complies with required accessible clearances. The added 1'-3" recess allows for the flush mounting of access and security devices without invading the brick column.
- B. A new door, transom, and frame will be made to match the style and detailing of the main entrance to the ground floor.
- C. The structural steel and canopy will have detailing common to the time period of the building. The two foot extension over the sidewalk matches the width of the pilasters thus supporting the scale and proportion of the building.
- D. The depth of the canopy, about seven inches, will allow for the discrete installation of fixtures which will provide code required lighting of the entrance, light for signage, a projection clock, a required sprinkler head, and security equipment.
- E. The threshold of the entrance will also be steel, extending from the door out to the extent of the structural steel added to the sides of the brick columns. This will allow drainage from the deeper recess and cover the floor framing below which would otherwise be exposed by the increased depth.
- F. The application of the seismic reinforcing steel plate over the buff colored brick on the sides of the entry is, in a way, fortunate because it will cover past insults to the brick at this entry and supply a source of buff colored brick needed for the restoration of cracks on the north and west façades. (These repairs are discussed in Historic Review Narrative # 1, Maintenance).
- G. The canopy will be painted the same neutral dark gray color as the trim.

**Criteria for the approval of the waiver(s):**

- A. There is a demonstrable difficulty in meeting the specific requirements of this chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;**

**Finding:** The pilasters flanking the entrance cannot be moved further apart to provide a more comfortable and protected entrance to the public accommodations above. The unreinforced masonry building requires the steel reinforcing to be exposed on the exterior at this location. The condition of the existing door is evidence that the current entrance (5'-6" wide by 1'-11" deep), is demonstratively inadequate protection for the door, let alone guests who will be using this entrance. The proposed design which yields a 5'-0" depth and 8'-0" width measured at the sidewalk extension, is the minimum protection required.

- B. *There is demonstrable evidence that the alternative design accomplishes the purpose of this chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;***

**Finding:** The use of steel for the canopy allows for a durable and welcoming solution which can be mounted directly to the steel needed for the seismic upgrade. The proposed steel sill protects floor framing that would otherwise be exposed. The proposed steel canopy unifies the materials at the entrance. The proportions of the building and its defining elements are preserved. The design allows visibility of the building's architectural features, door, transom, clerestory, and pilasters. It respects the proportions of building and rectangular geometry of the street facades. The existing main architectural elements will still be dominant, unifying features of the façade.

The use of steel allows for the attachment of the canopy to the building without damaging the existing brick face, and allow a 1/2" separation from the brick.

A canvas awning would introduce another material and another geometry to this part of the building, and would break with the rectangular composition of the street facing facades. Additional canvas awnings on the northern exposure of this building would not be appropriate and would diminish the transparency of the ground floor façade.

The proposed solution will also yield a source of original, matching brick that can be used in the restoration of the street facades.

- C. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this chapter.**

**Finding:** The proposed design which yields a protected area 5'-0" deep by 8'-0" wide measured at the extension over the sidewalk, is the minimum protection required. By comparison, the ground floor main entrance offers a recess of 7 feet to 8 feet wide by 6'-6" deep and is protected by side walls for the entire depth.

The proposed canopy extends only 2 feet over the sidewalk.



NORTH FACADE (3RD STREET)



MAIN FLOOR ENTRANCE AT NORTH FACADE



SECOND FLOOR ENTRANCE AT  
NORTH FACADE



MAIN FLOOR ENTRANCE AT  
NORTH FACADE



EXAMPLE OF WIRE GLASS SPANDREL PANEL AT STOREFRONT



SPALLING RED BRICK AND CRACKING  
AT NORTH FACADE



ELECTRICAL SERVICE  
PENETRATING BRICK

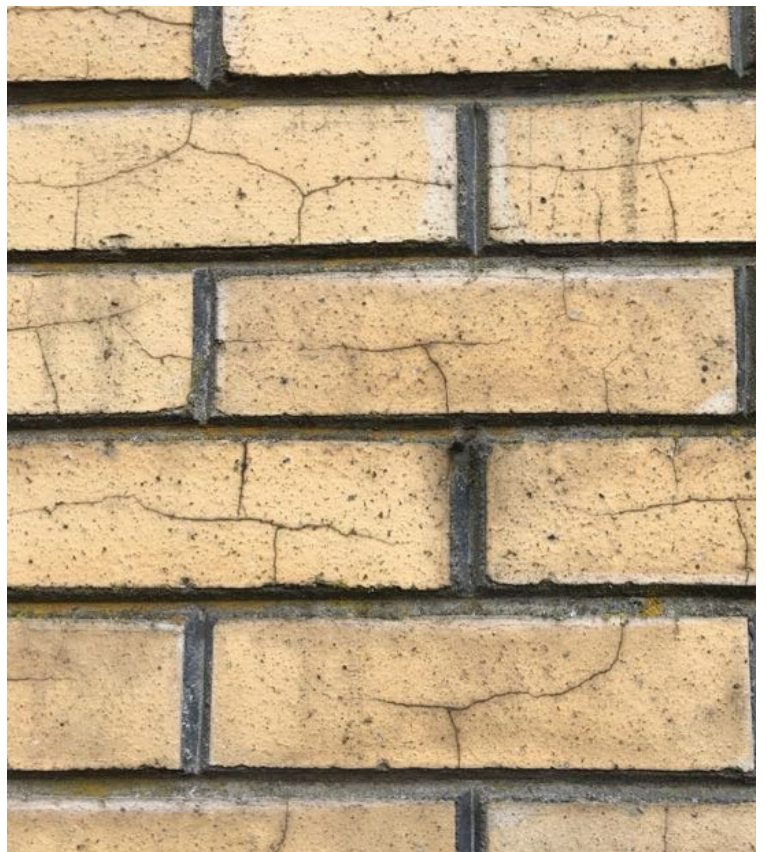


SPALLING RED BRICK AT NORTH FACADE





DETERIORATED MORTAR JOINTS AND ORGANIC GROWTH



CRACKING AT BUFF-COLORED BRICK



CRACKING IN BUFF-COLORED BRICK AT COLUMNS AND RUSTING OF  
STEEL LINTELS AT NORTH AND WEST FACADES





WEST FACADE (FORD STREET)



DOUBLE DOOR ENTRANCE



VERTICAL LIFT RAMP DOOR



SPALLING BRICK AT WEST FACADE





SOUTH FACADE (ALLEY) AS SEEN FROM FORD STREET



SOUTH FACADE (ALLEY) AS SEEN FROM SOUTHEAST



TYPICAL WINDOW AT SOUTH FACADE



ADJACENT BUILDINGS IN ALLEY



EXISTING EGRESS STAIR AND  
GATE AT ALLEY



EXISTING EGRESS STAIR





DETERIORATED RED BRICK AT  
EAST FACADE



ROOF DECK LEDGER AT EAST  
FACADE



SECOND FLOOR EGRESS DOOR AND ROOF DECK AT EAST FACADE





EAST FACADE, SHOWING MISSING AND DAMAGED BRICK



ROOF, LOOKING SOUTH TOWARD CHIMNEYS AT ALLEY



613 NE THIRD STREET



619 NE THIRD STREET



645 NE THIRD STREET



700 BLOCK NE THIRD STREET



546 NE THIRD STREET



207 NE FORD STREET



210 NE FORD STREET



205 NE FORD STREET



611 NE THIRD STREET



585 NE THIRD STREET



618 NE THIRD STREET



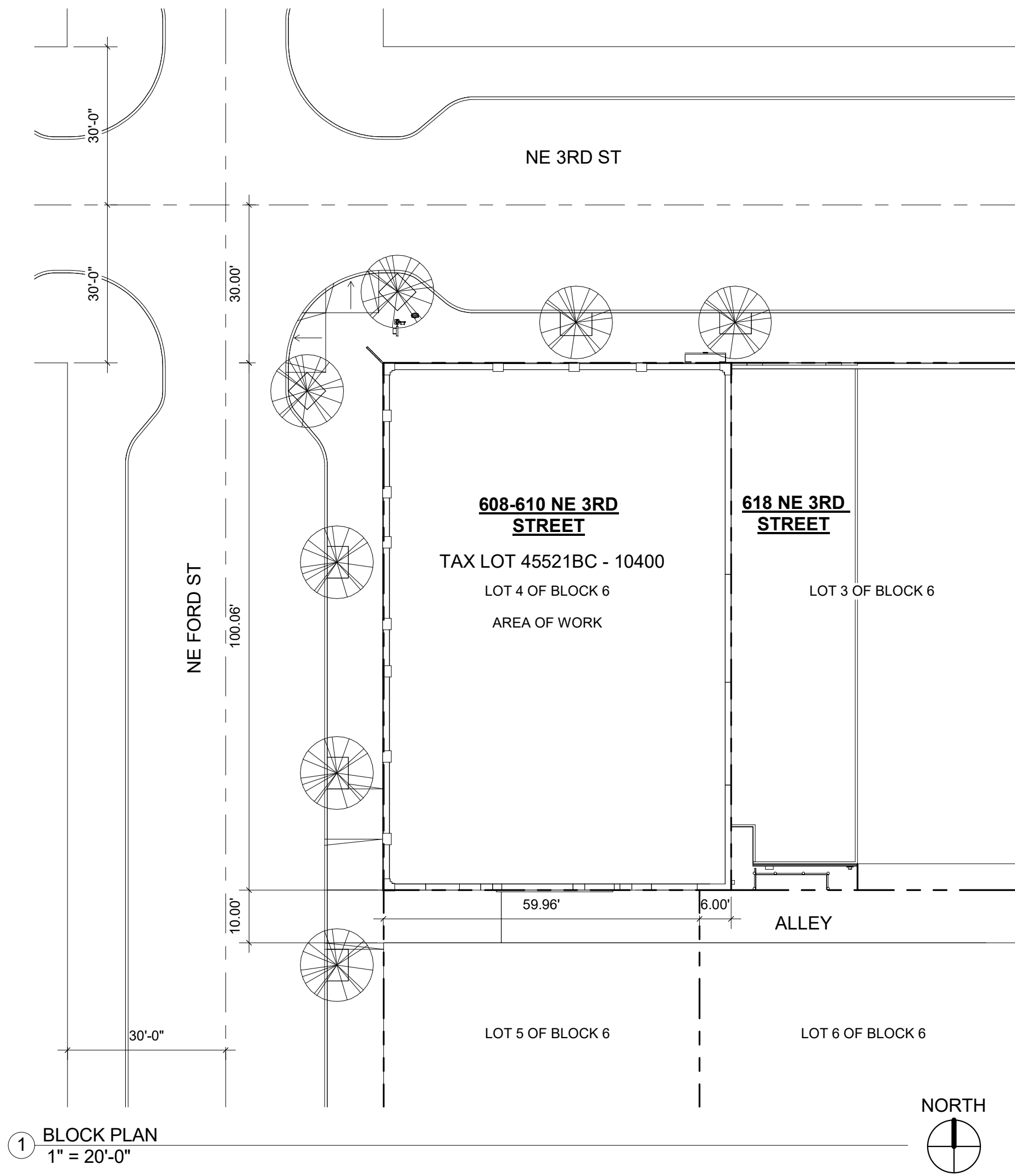
620 NE THIRD STREET



624 NE THIRD STREET



640 NE THIRD STREET



# TAYLOR-DALE TENANT IMPROVEMENT HISTORIC REVIEW SUBMITTAL

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**MEP**  
BIDDER DESIGN

**SHEET INDEX**

| SHEET #       | SHEET NAME                    |
|---------------|-------------------------------|
| ARCHITECTURAL |                               |
| A0.0          | COVER                         |
| A1.1          | FLOOR PLANS - EXISTING / DEMO |
| A1.2          | FLOOR PLANS - EXISTING / DEMO |
| A2.1          | FLOOR PLANS - PROPOSED        |
| A2.2          | FLOOR PLANS - PROPOSED        |
| A2.3          | FLOOR PLANS - BLDG 618        |
| A4.2          | EXTERIOR ELEVATIONS           |
| A4.3          | EXTERIOR ELEVATIONS           |
| A8.1          | DETAILS                       |
| A8.2          | DETAILS                       |
| A8.3          | DETAILS                       |
| A9.1          | EXTERIOR PERSPECTIVES         |
| A9.2          | EXTERIOR PERSPECTIVES         |

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TAYLOR - DALE BLDG

608-610 & 618 NE 3rd Street,  
McMinnville, OR 97128

HISTORIC REVIEW

| 4/6/18 |      |
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COVER

A0.0

DISCLAIMER

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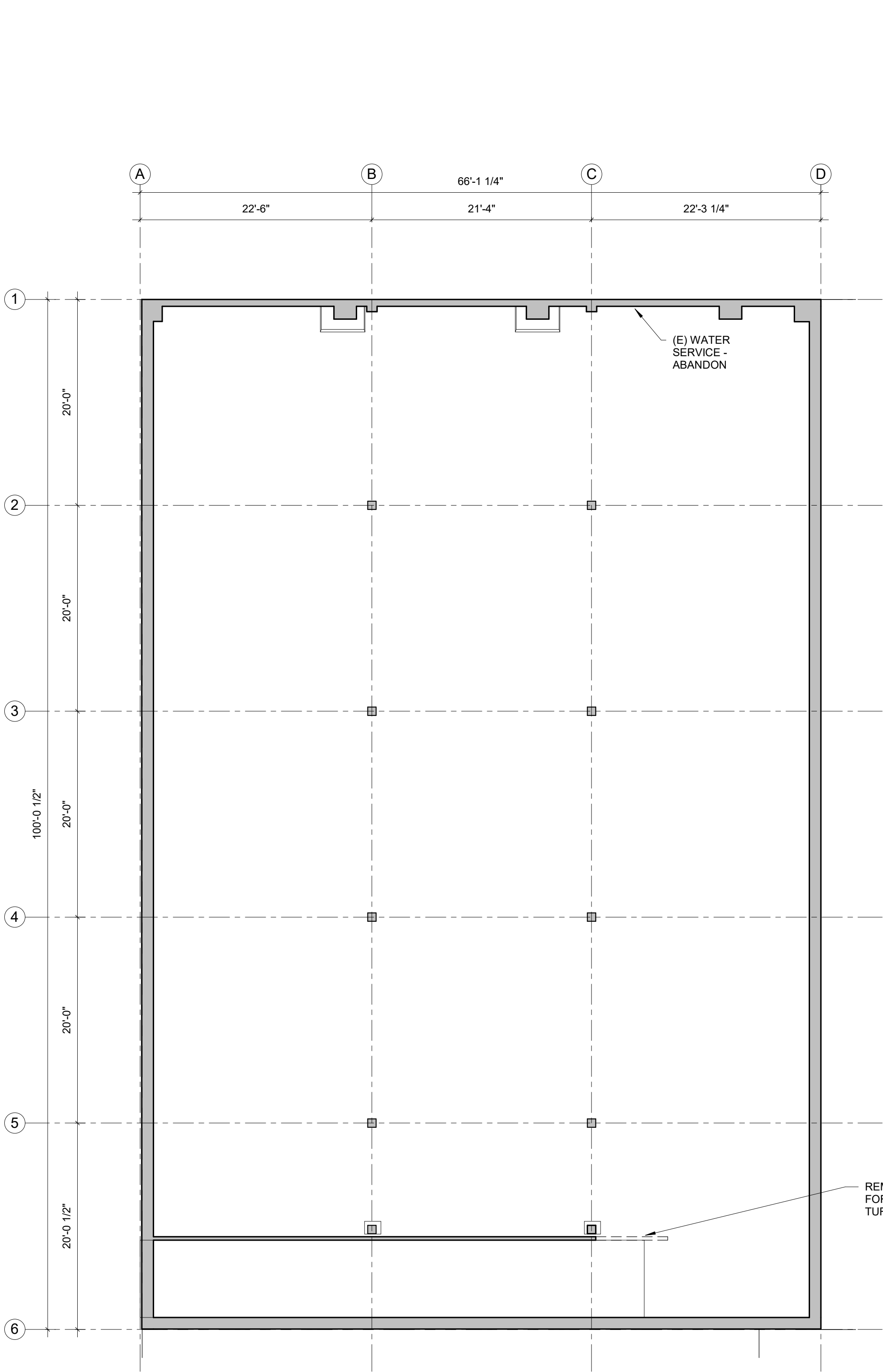
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FLOOR PLANS -  
EXISTING / DEMO

A1.1

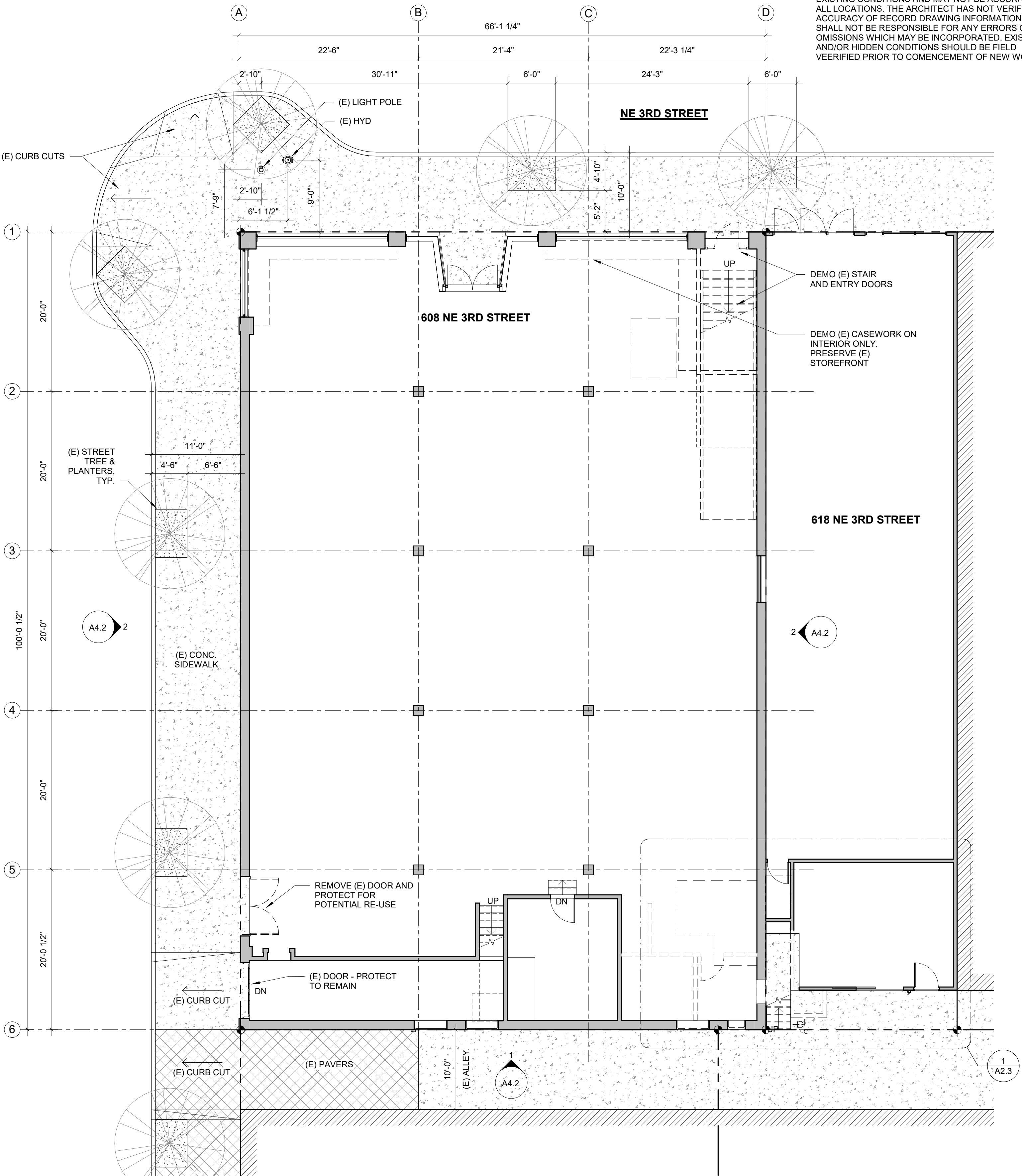


0 - BASEMENT EXISTING/DEMO PLAN  
1/8" = 1'-0"

PLAN LEGEND

(E) WALL TO REMAIN  
--- DEMO

FOR REFERENCE ONLY



1 - LEVEL 1 EXISTING / DEMO PLAN &  
SITE PLAN  
1/8" = 1'-0"

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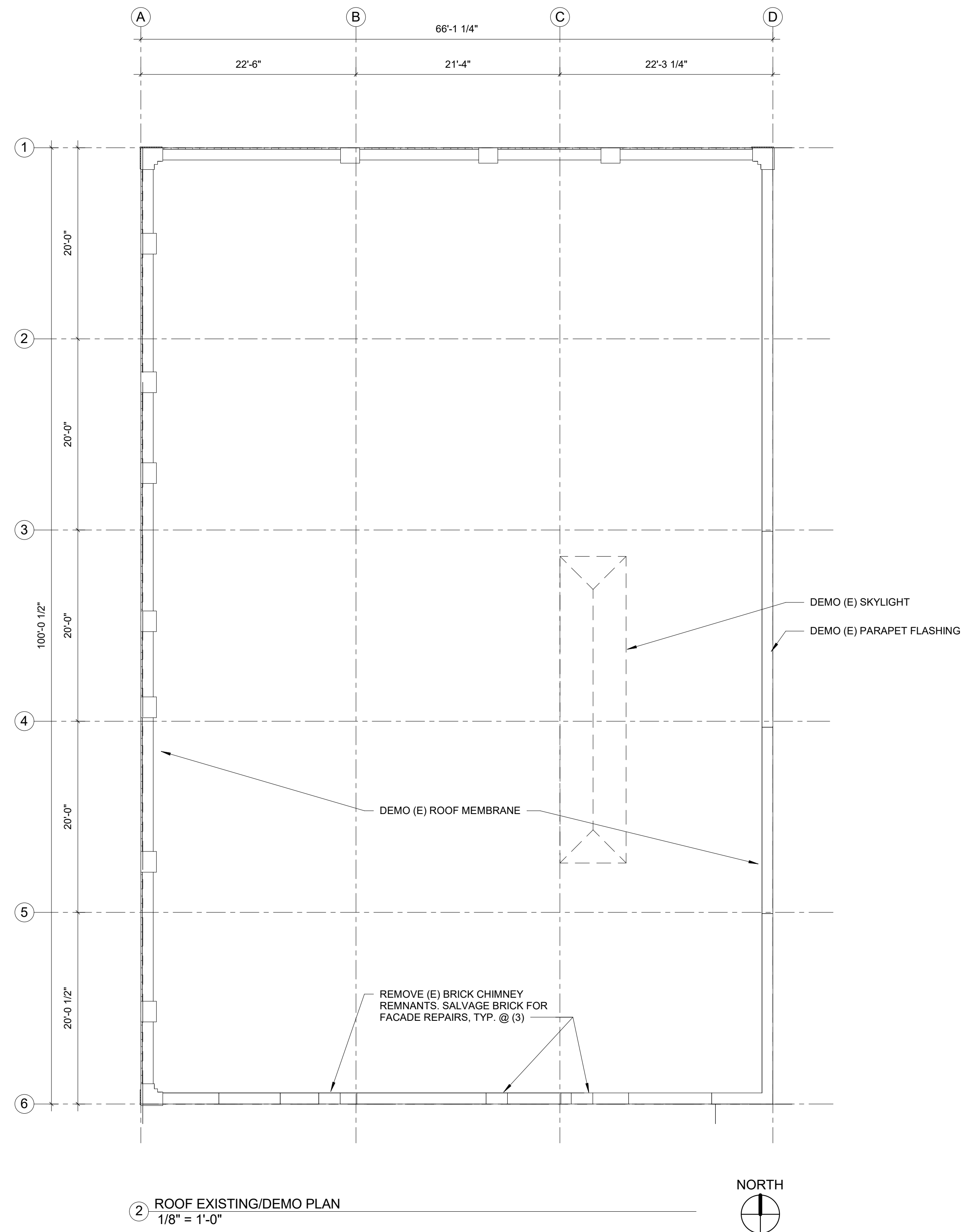
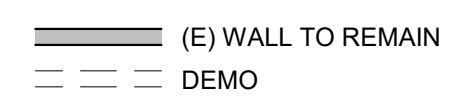
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McMinnville, OR 97128

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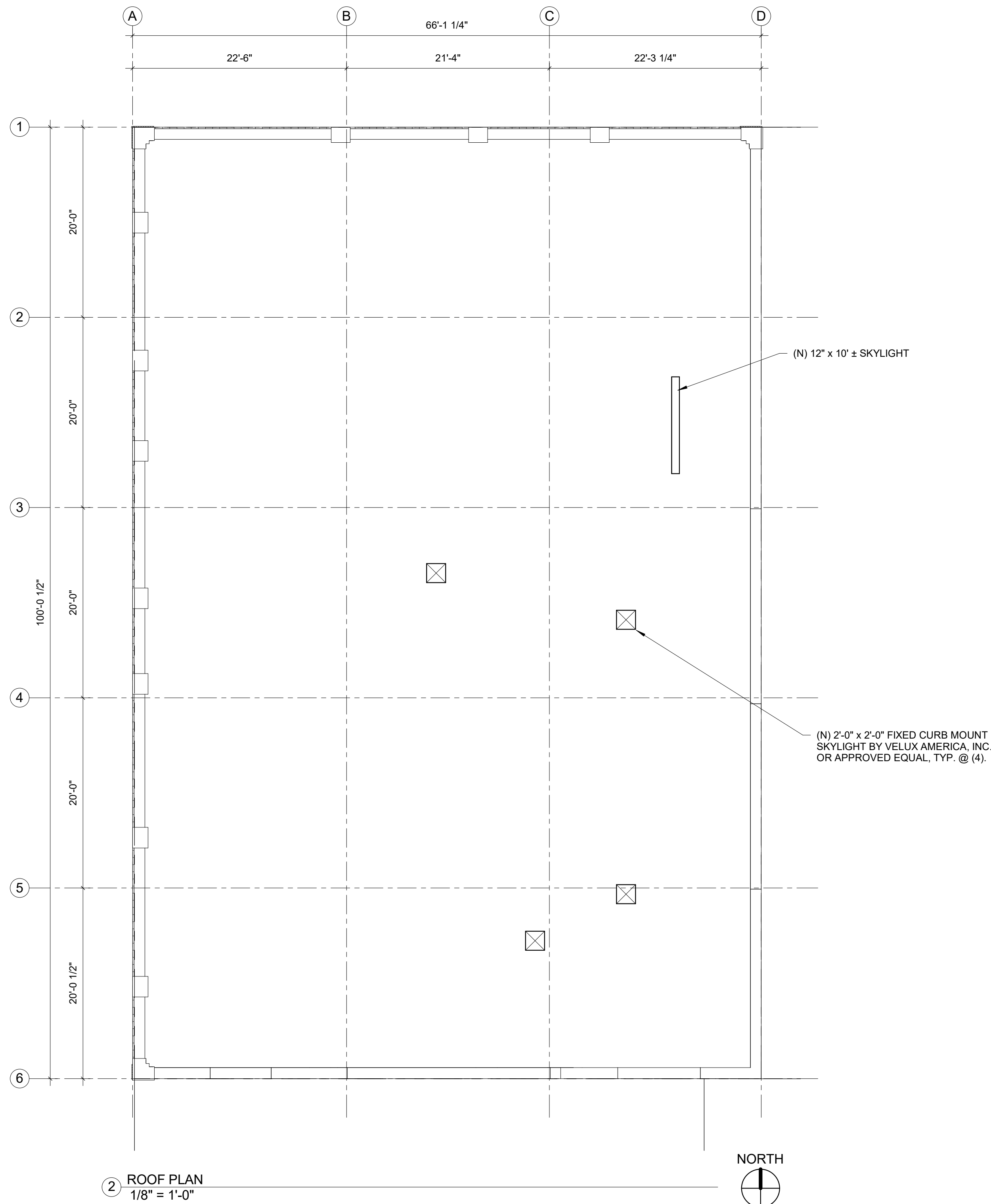
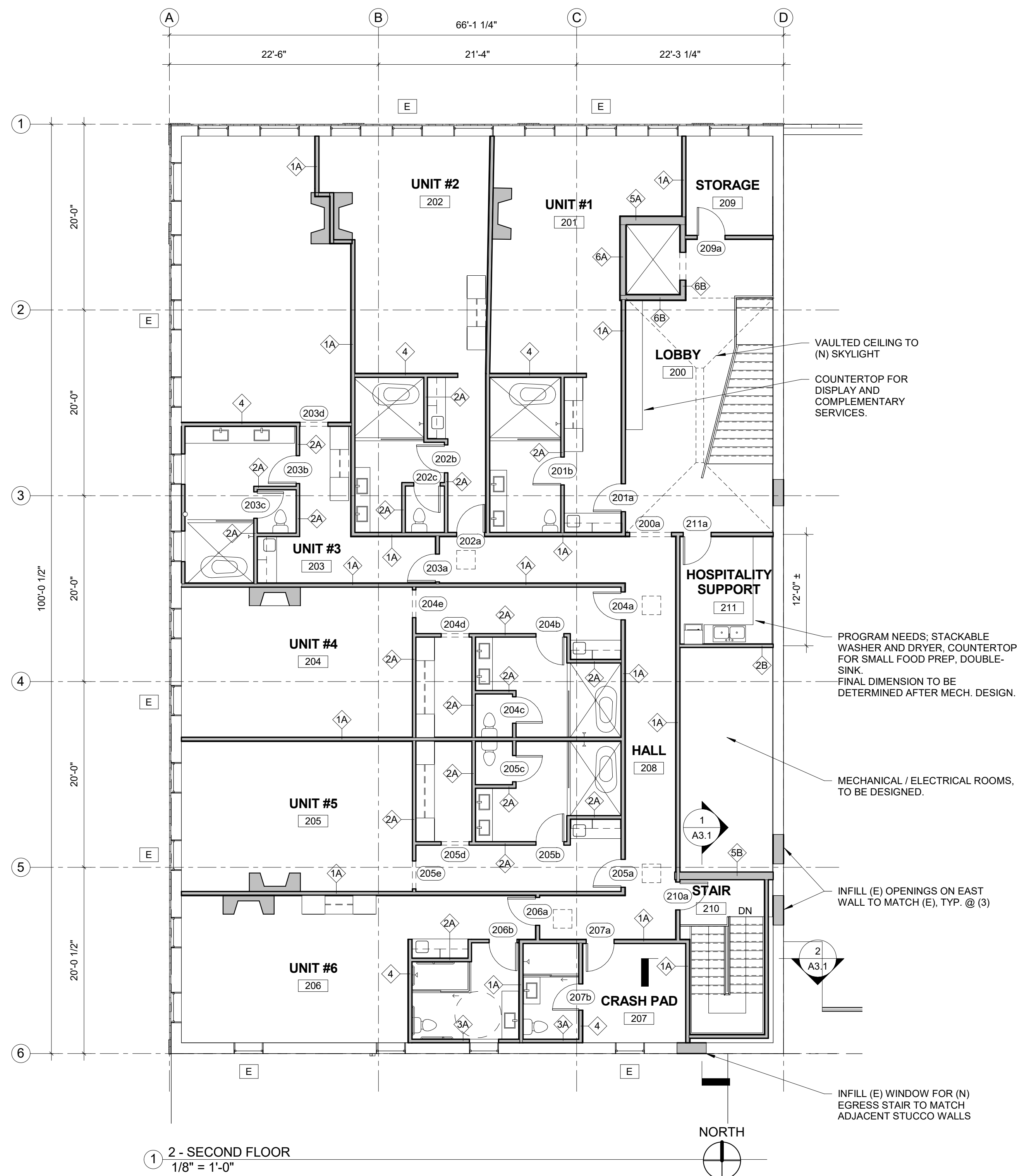
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## A1.2



**NOT FOR CONSTRUCTION**





**PLAN LEGEND**

— (N) WALL  
 — (E) WALL TO REMAIN  
 [E] EGRESS WINDOW

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 McMinnville, OR 97128

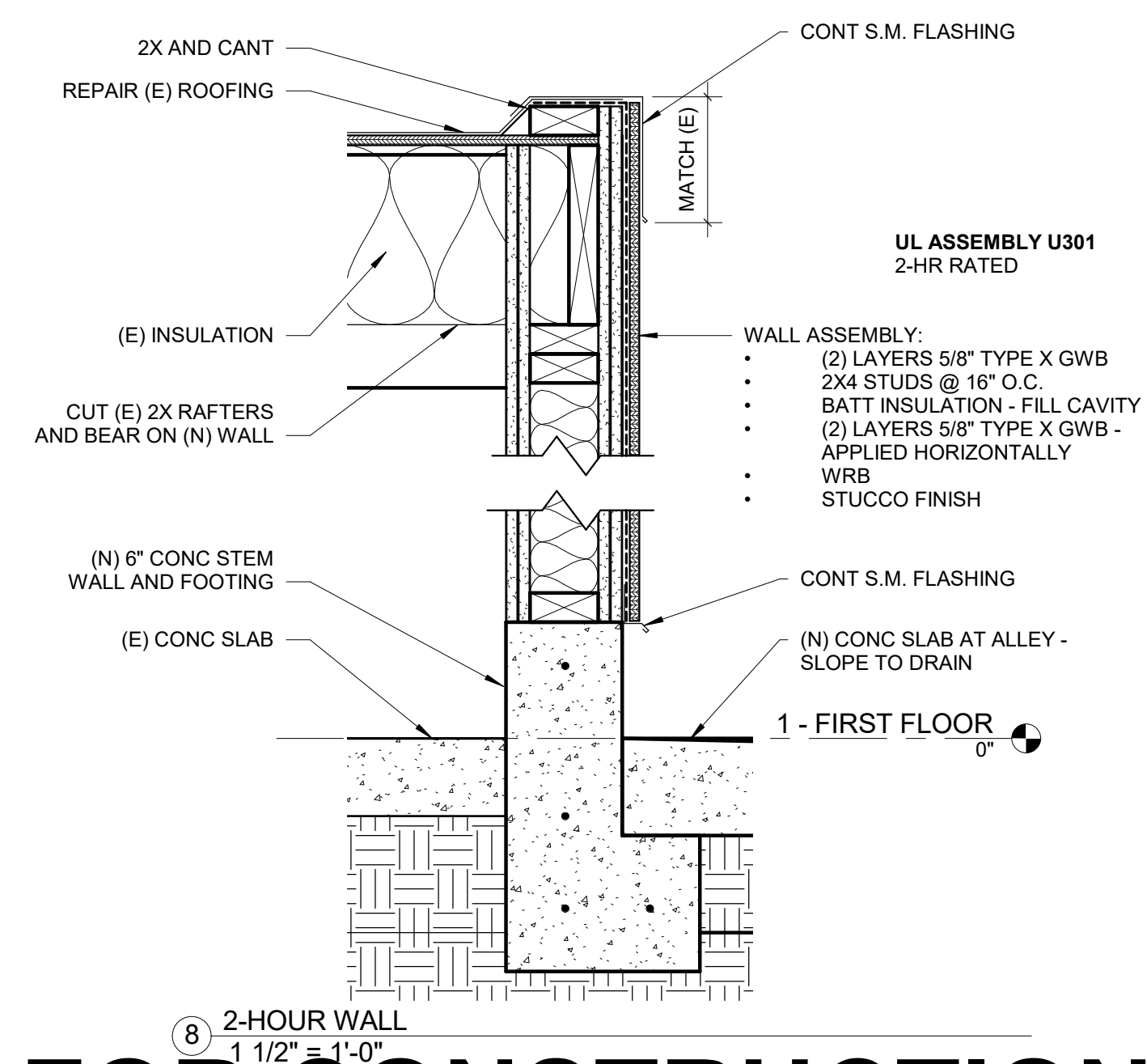
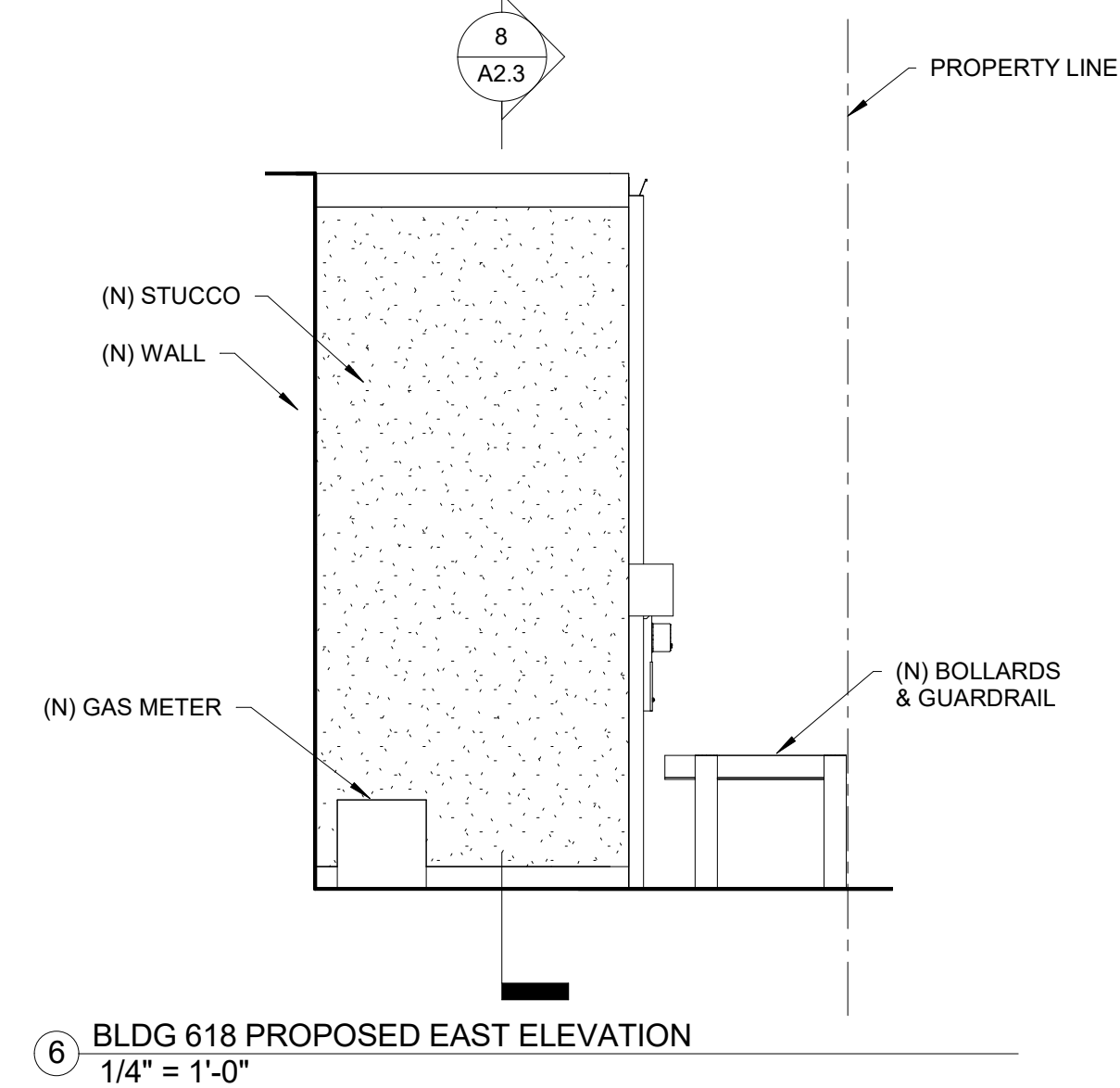
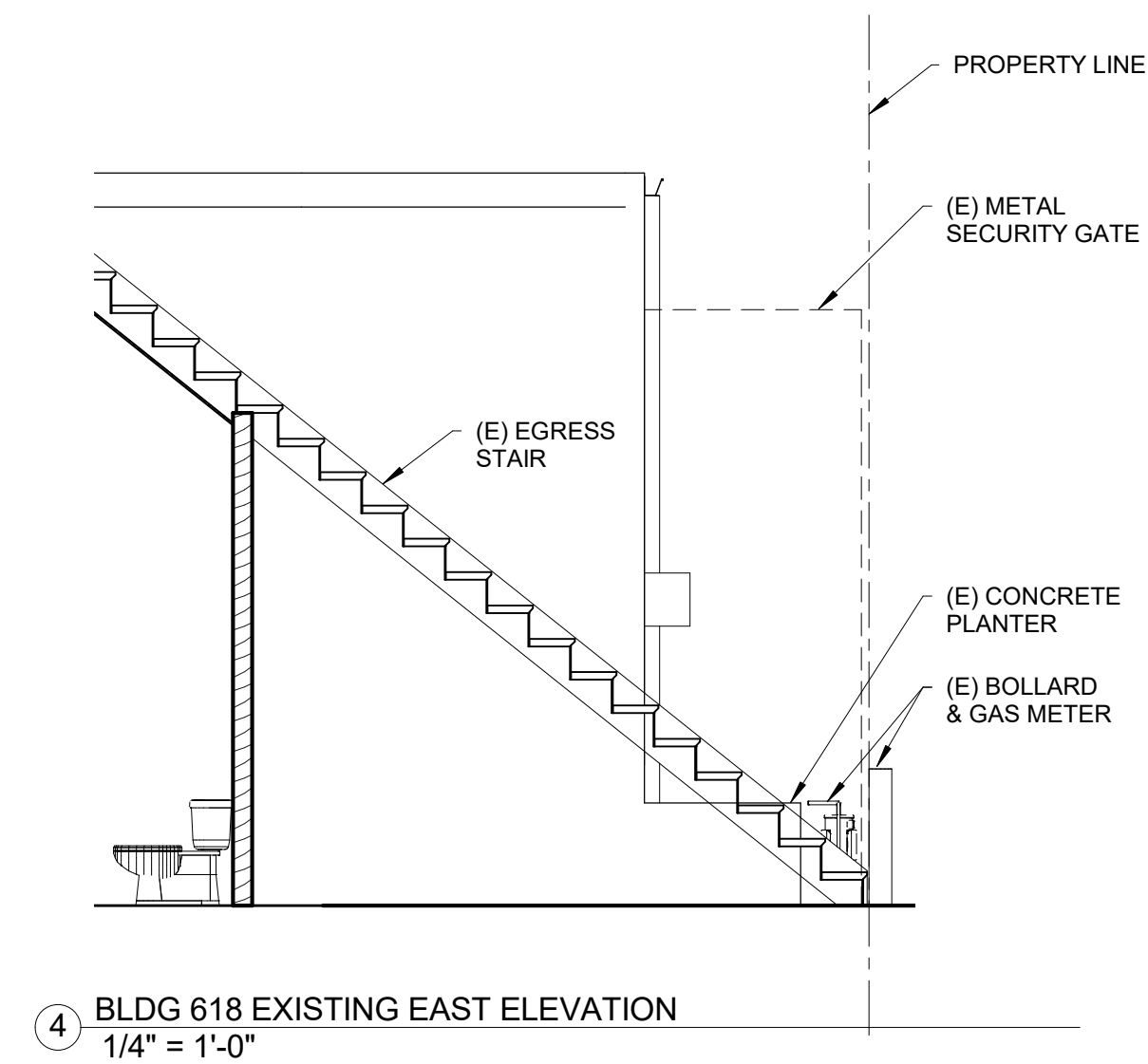
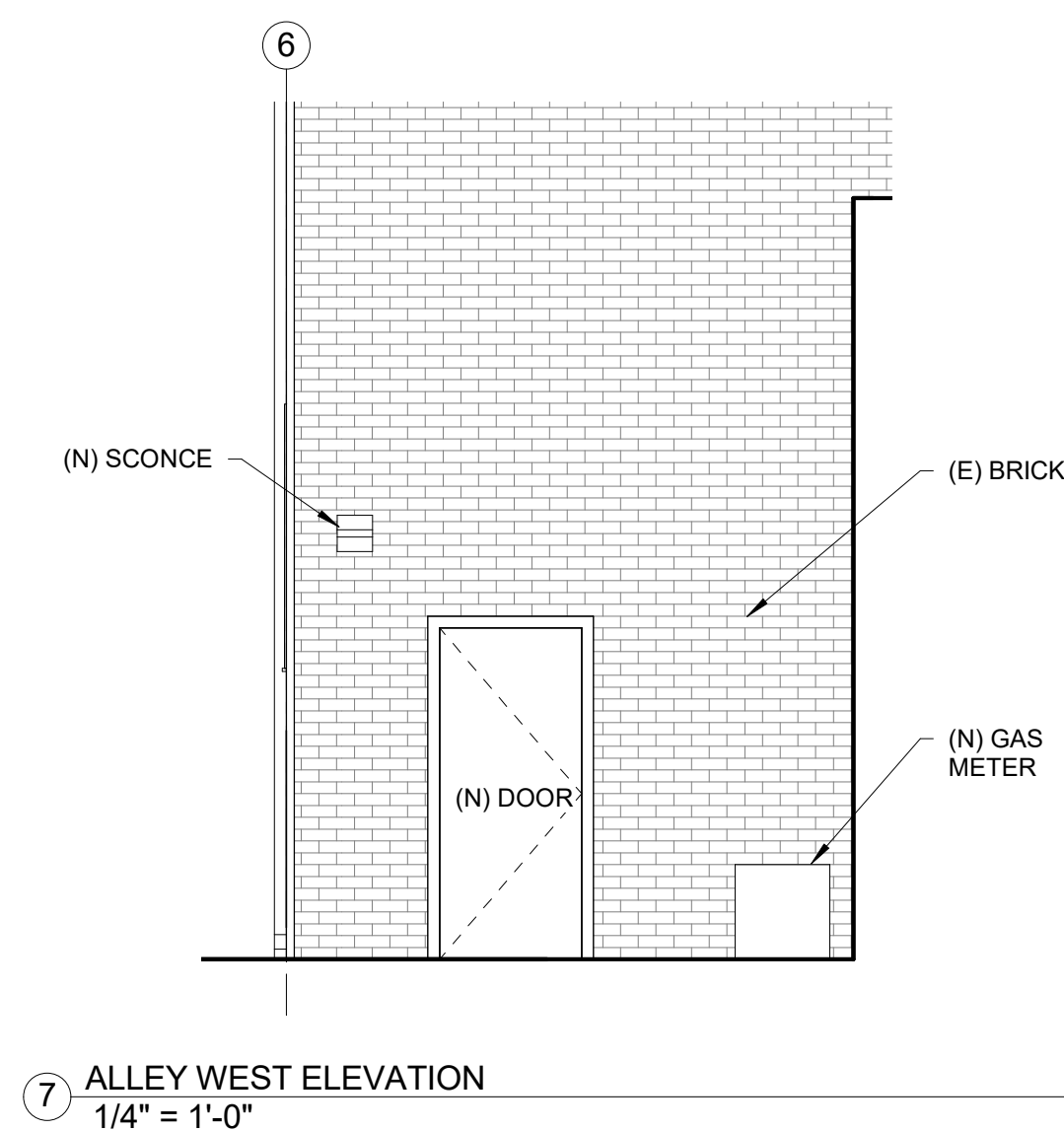
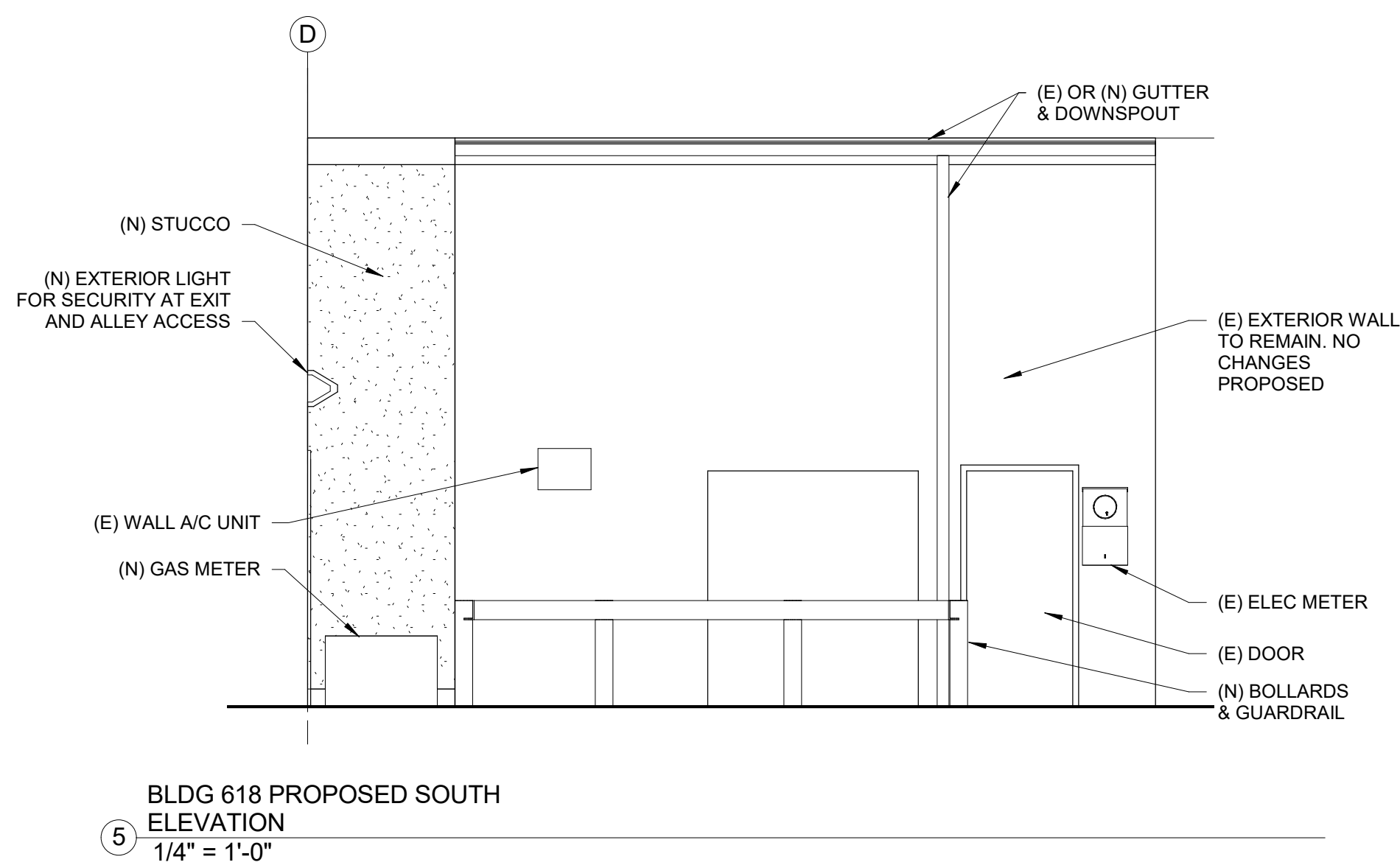
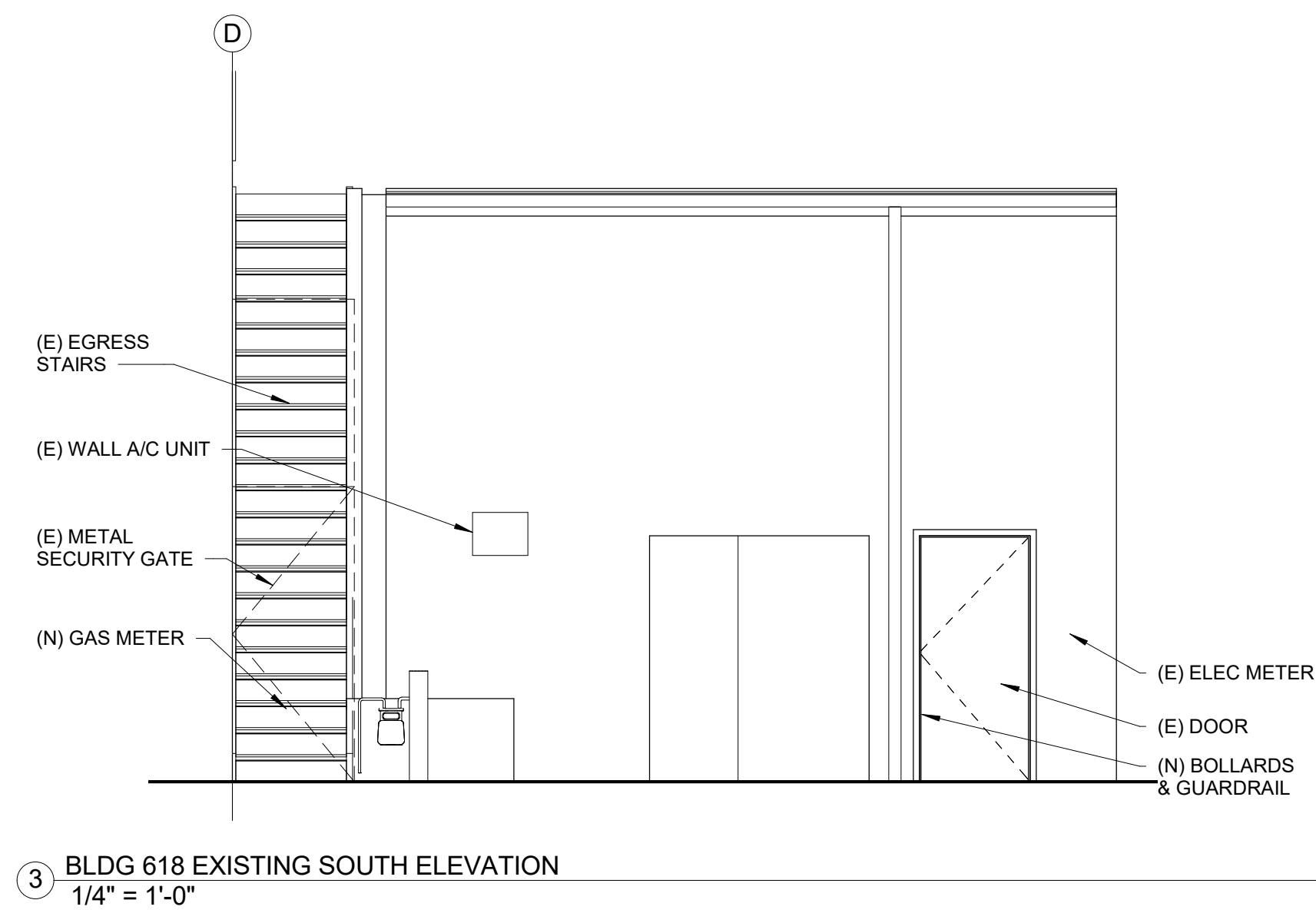
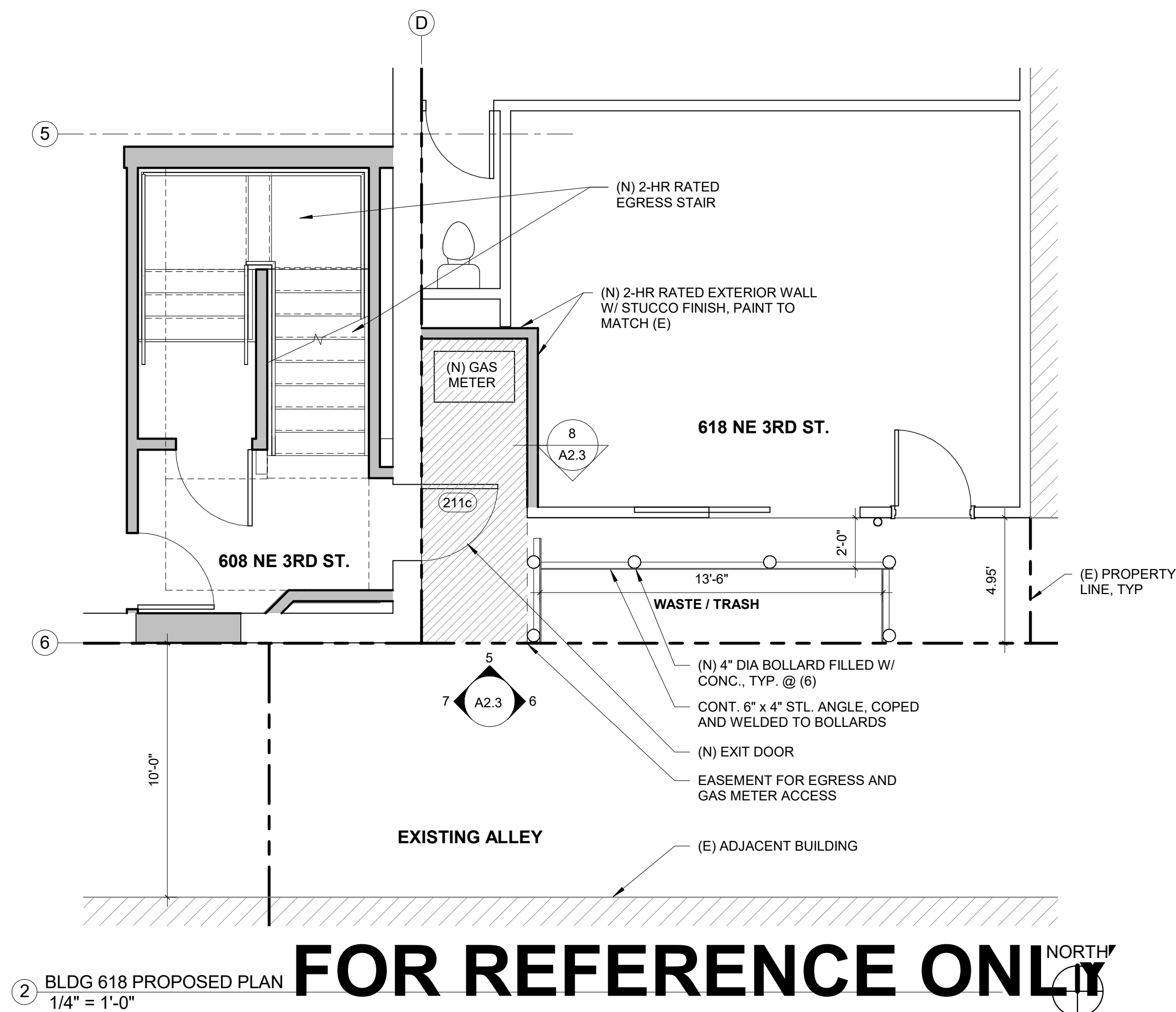
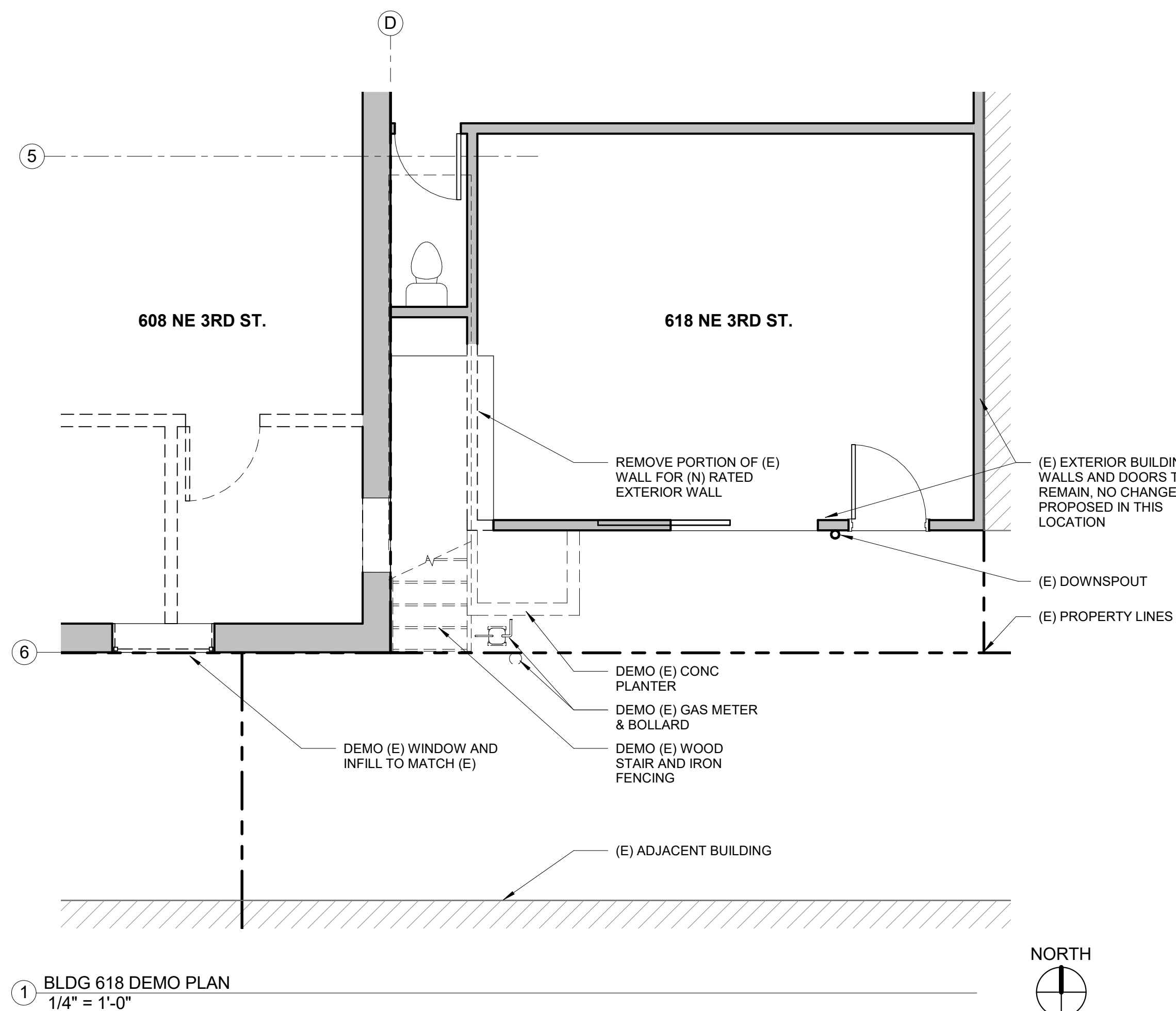
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FLOOR PLANS -  
 PROPOSED

**A2.2**

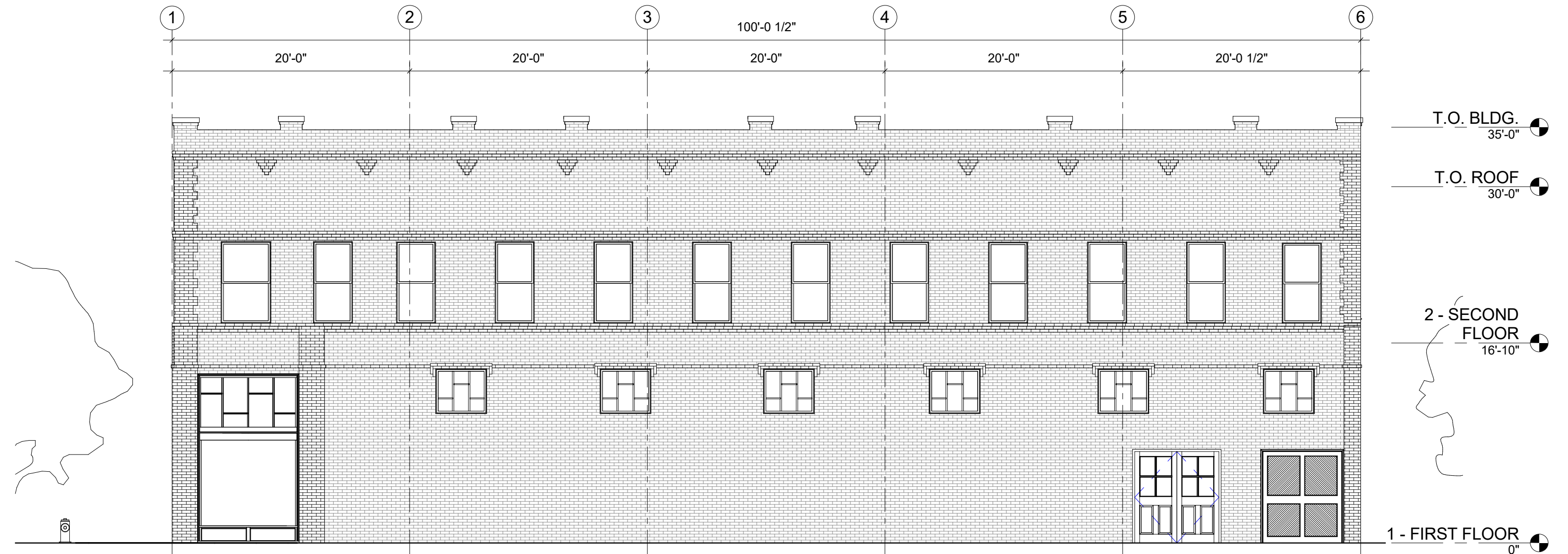


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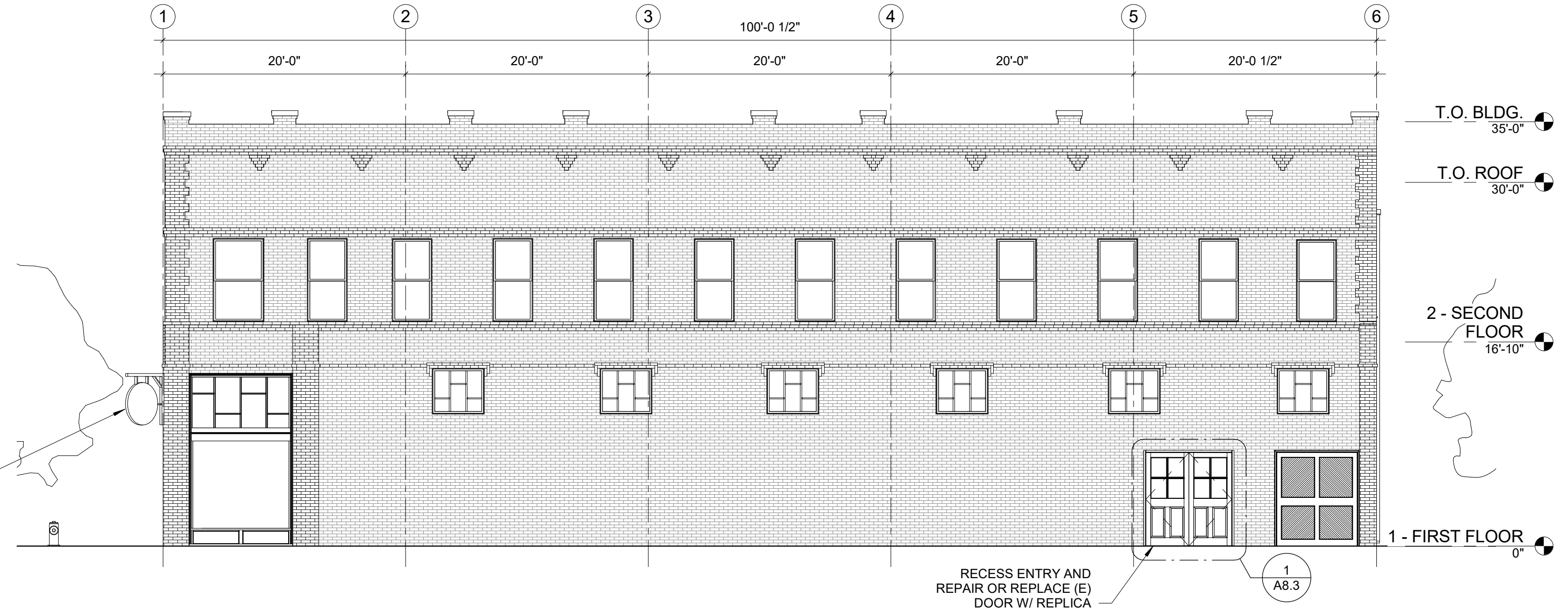
1 NORTH ELEVATION - EXISTING  
1/8" = 1'-0"



2 WEST ELEVATION - EXISTING  
1/8" = 1'-0"



3 NORTH ELEVATION - PROPOSED  
1/8" = 1'-0"

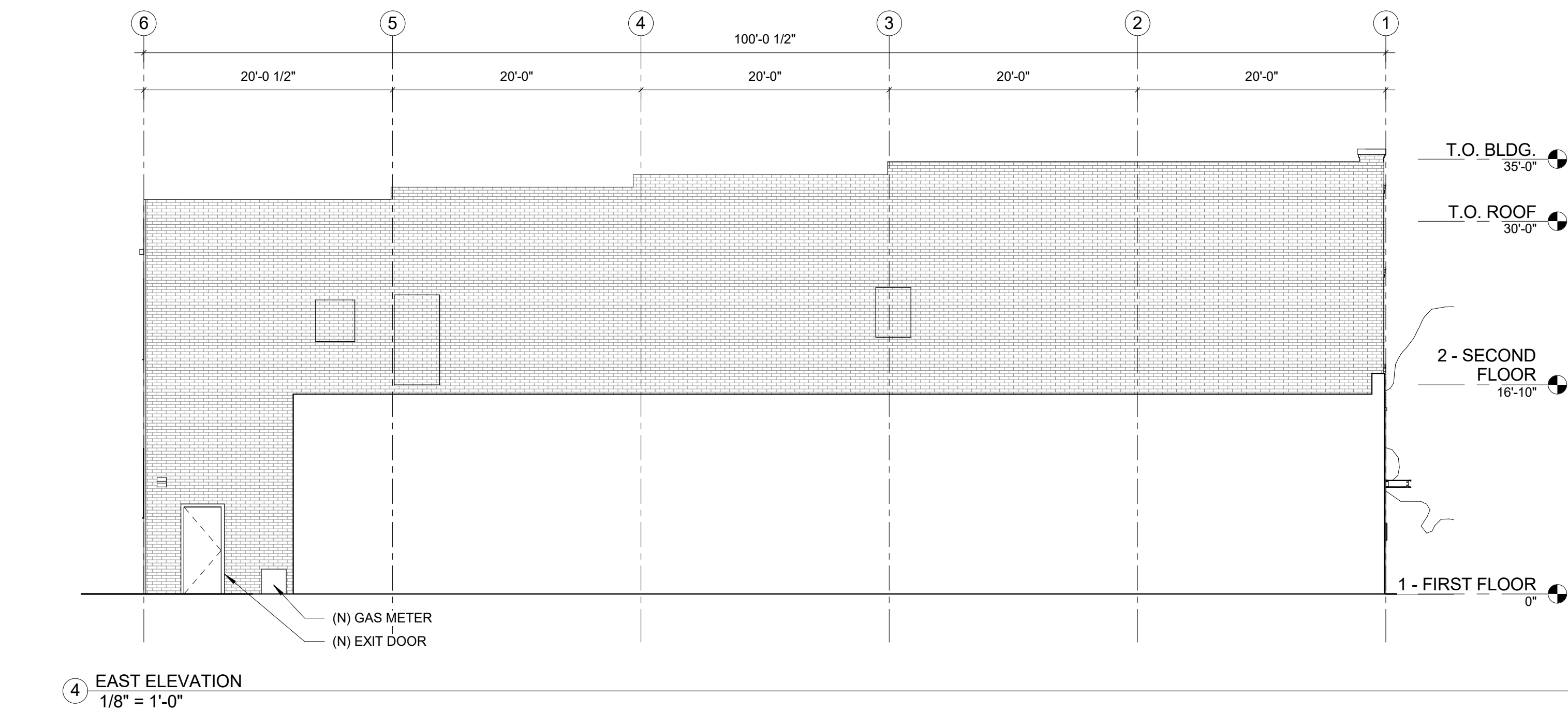
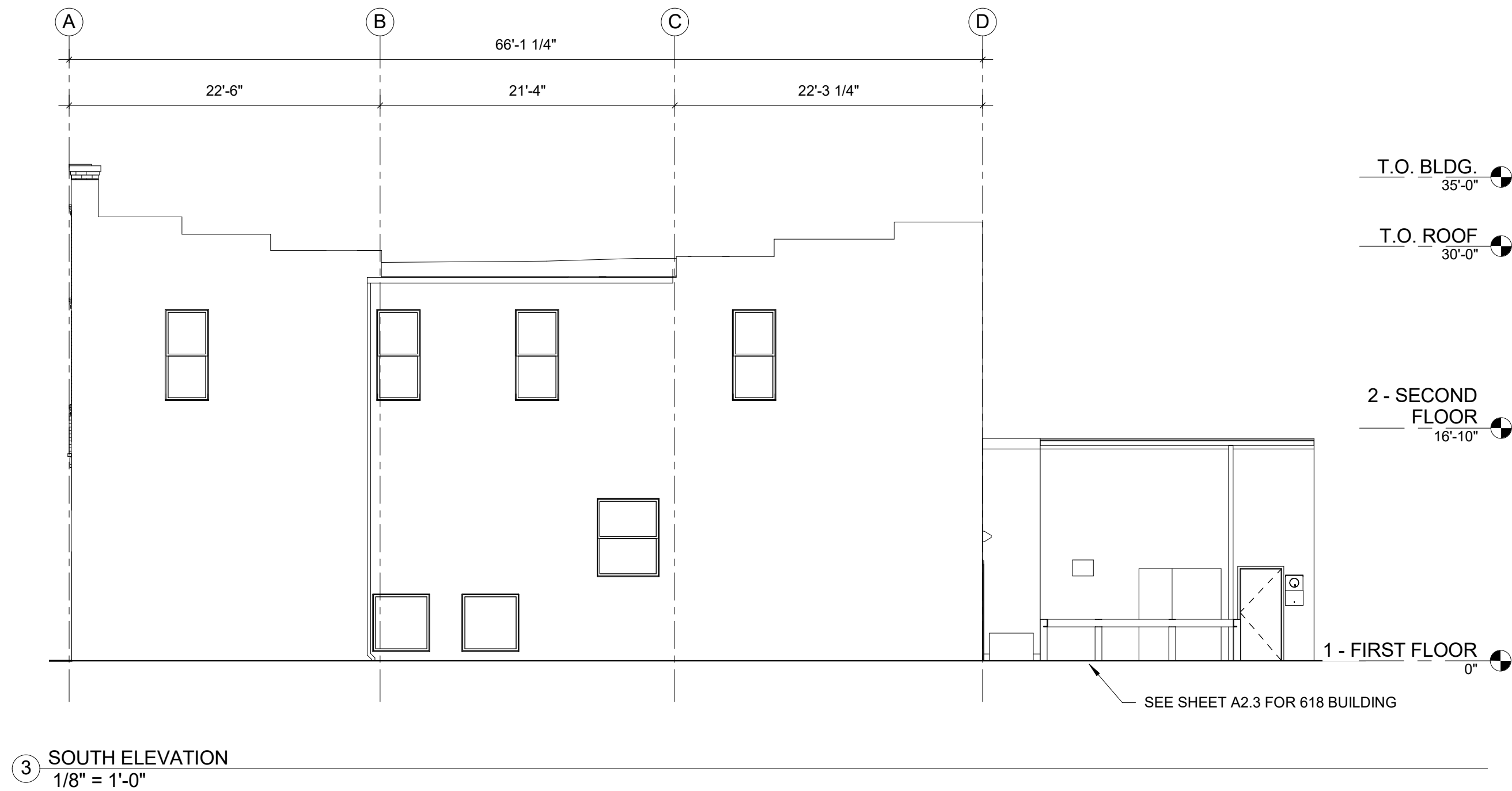
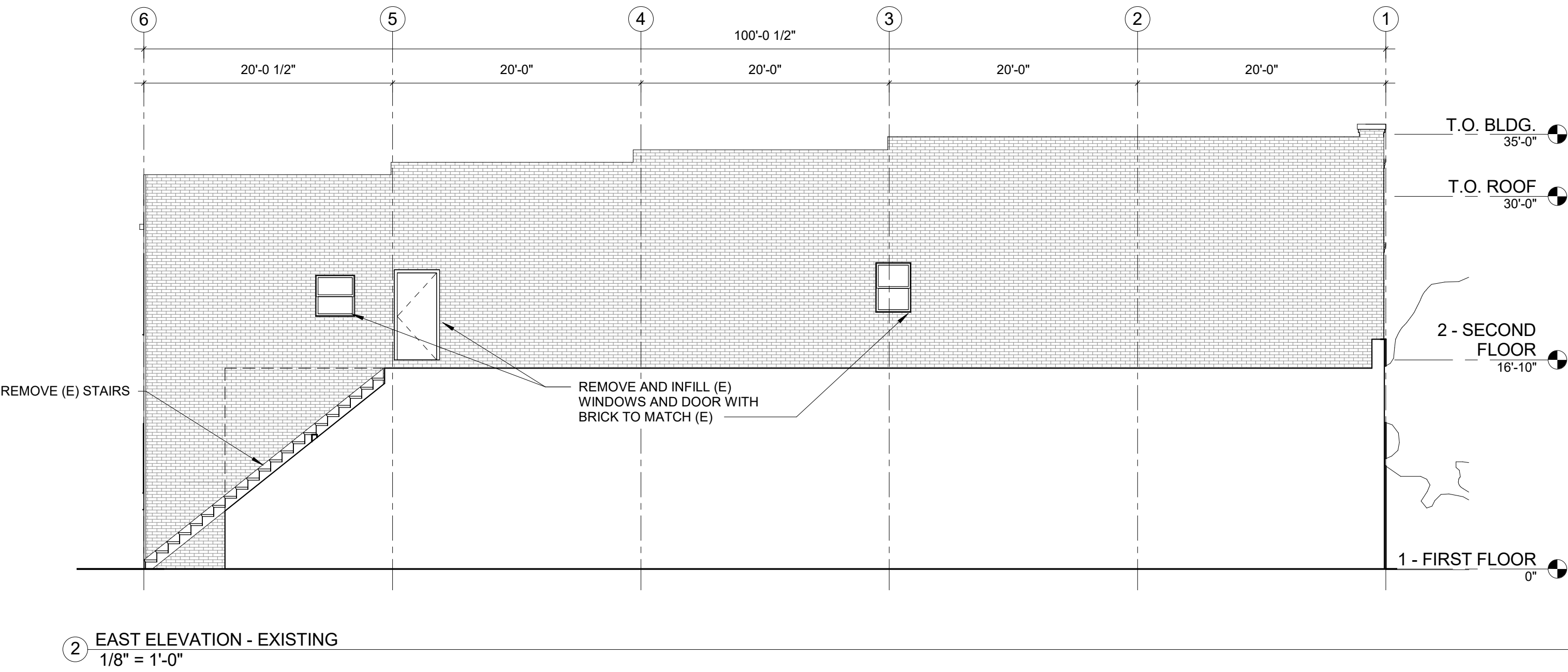
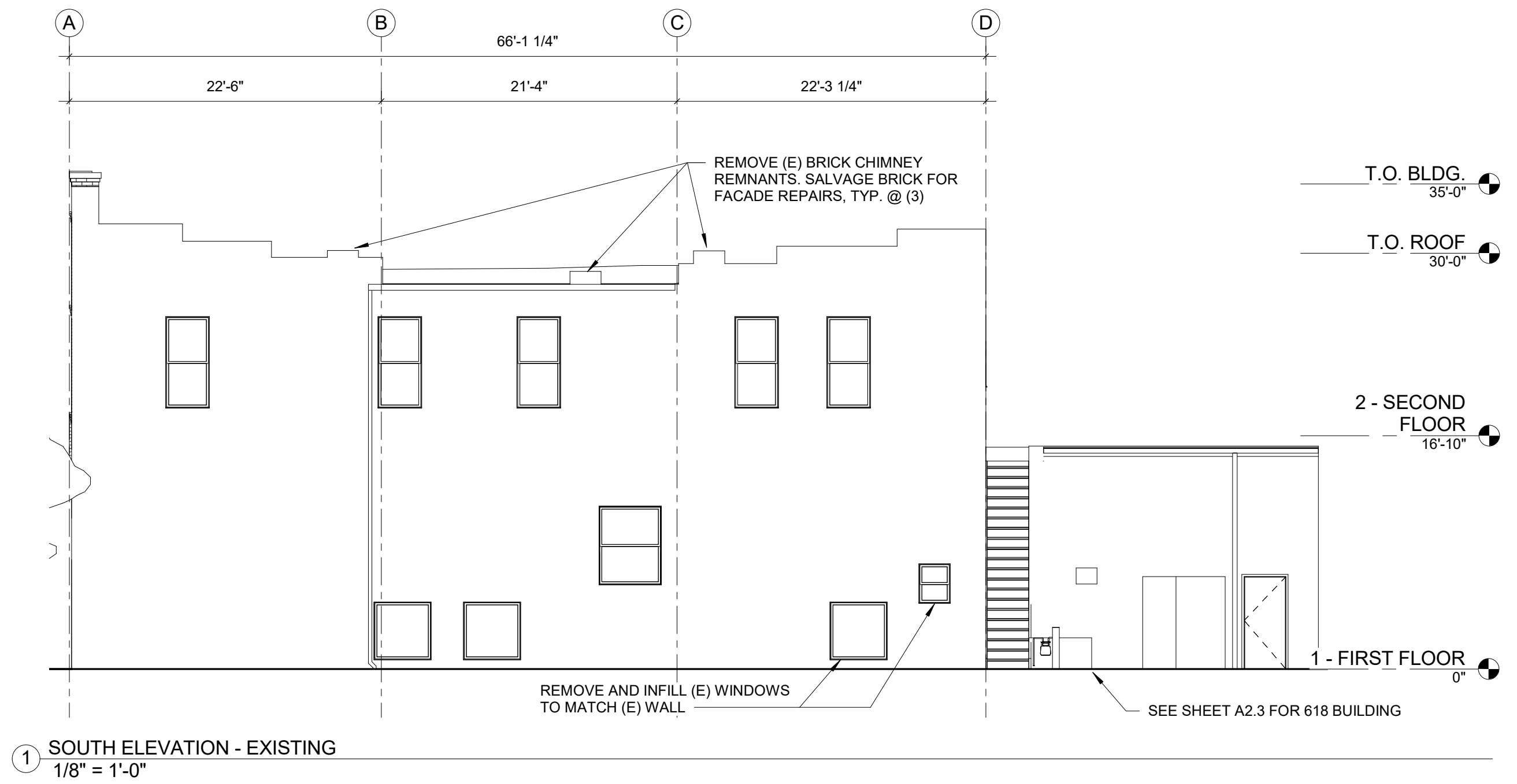


4 WEST ELEVATION - PROPOSED  
1/8" = 1'-0"

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FOR REFERENCE ONLY

NOT FOR CONSTRUCTION

EMA

Ernest R. Munch

Architecture • Urban Planning, LLC

111 S.W. Oak Street, Ste 300 | Portland, Oregon 97204

office (503) 224-1282 | [www.ermunch.com](http://www.ermunch.com)

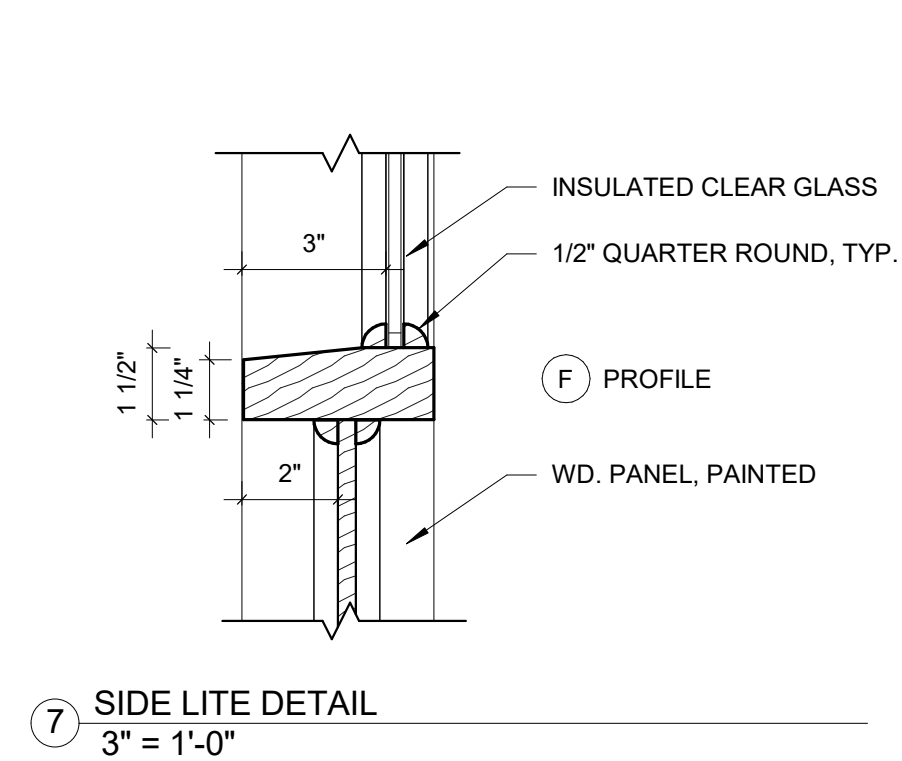
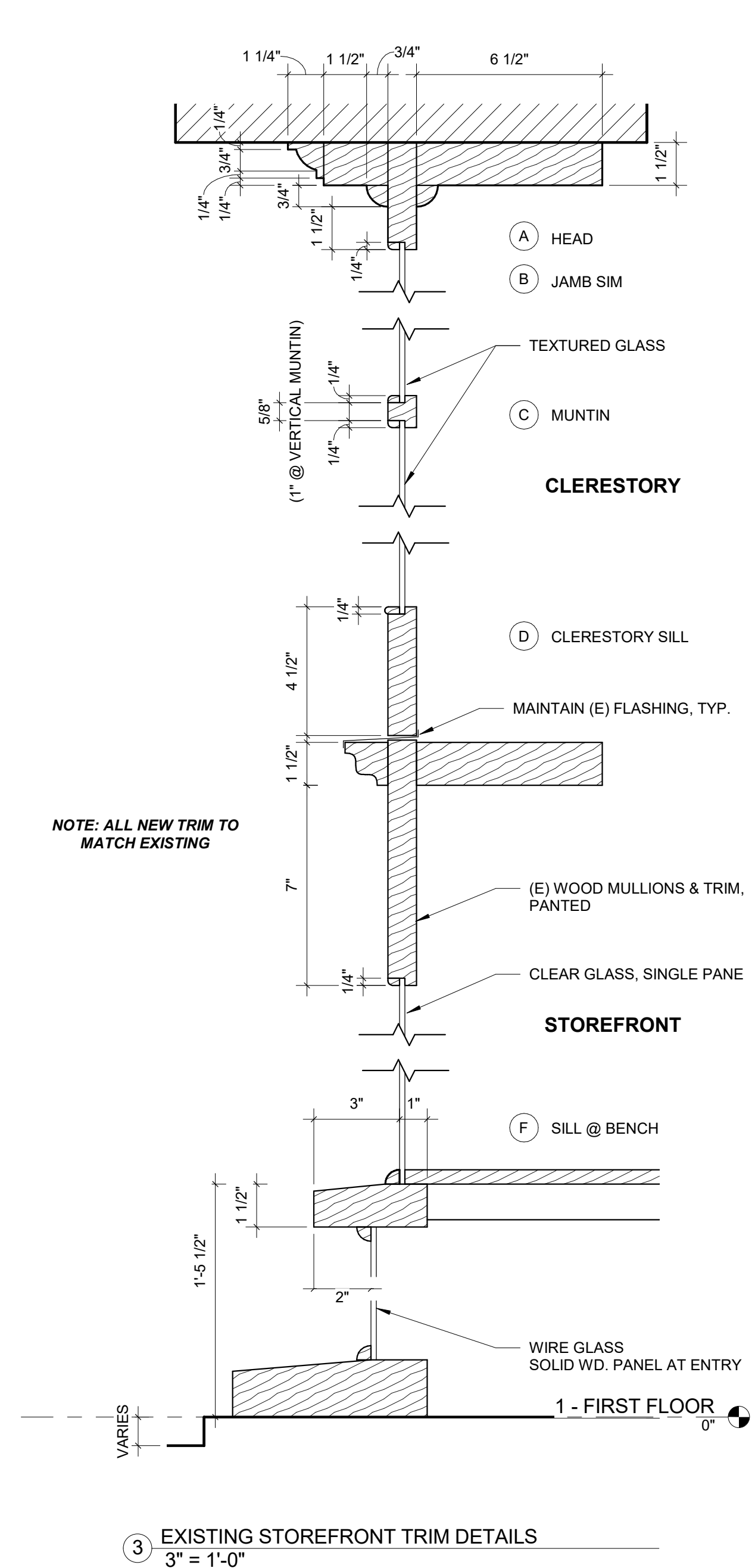
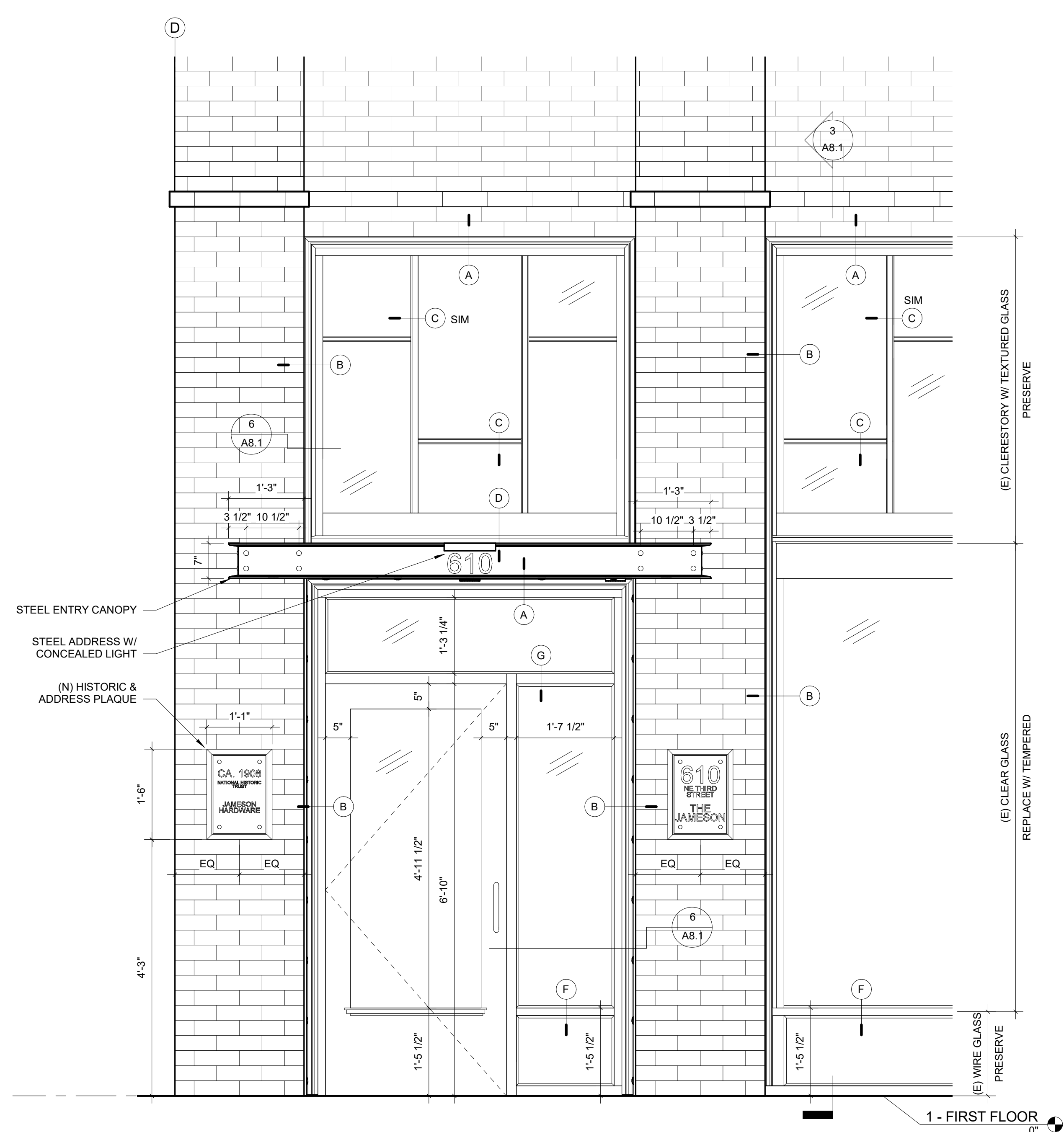
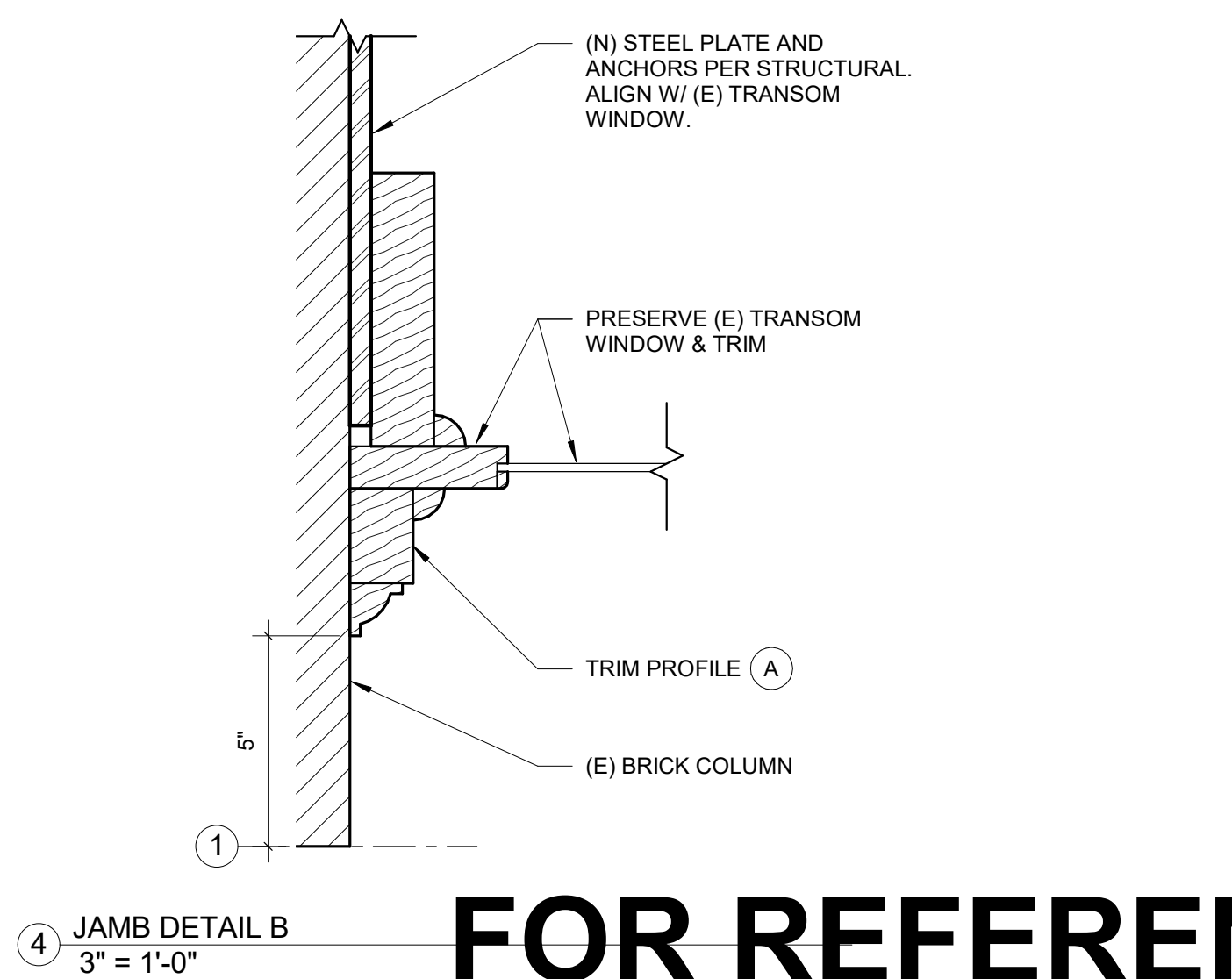
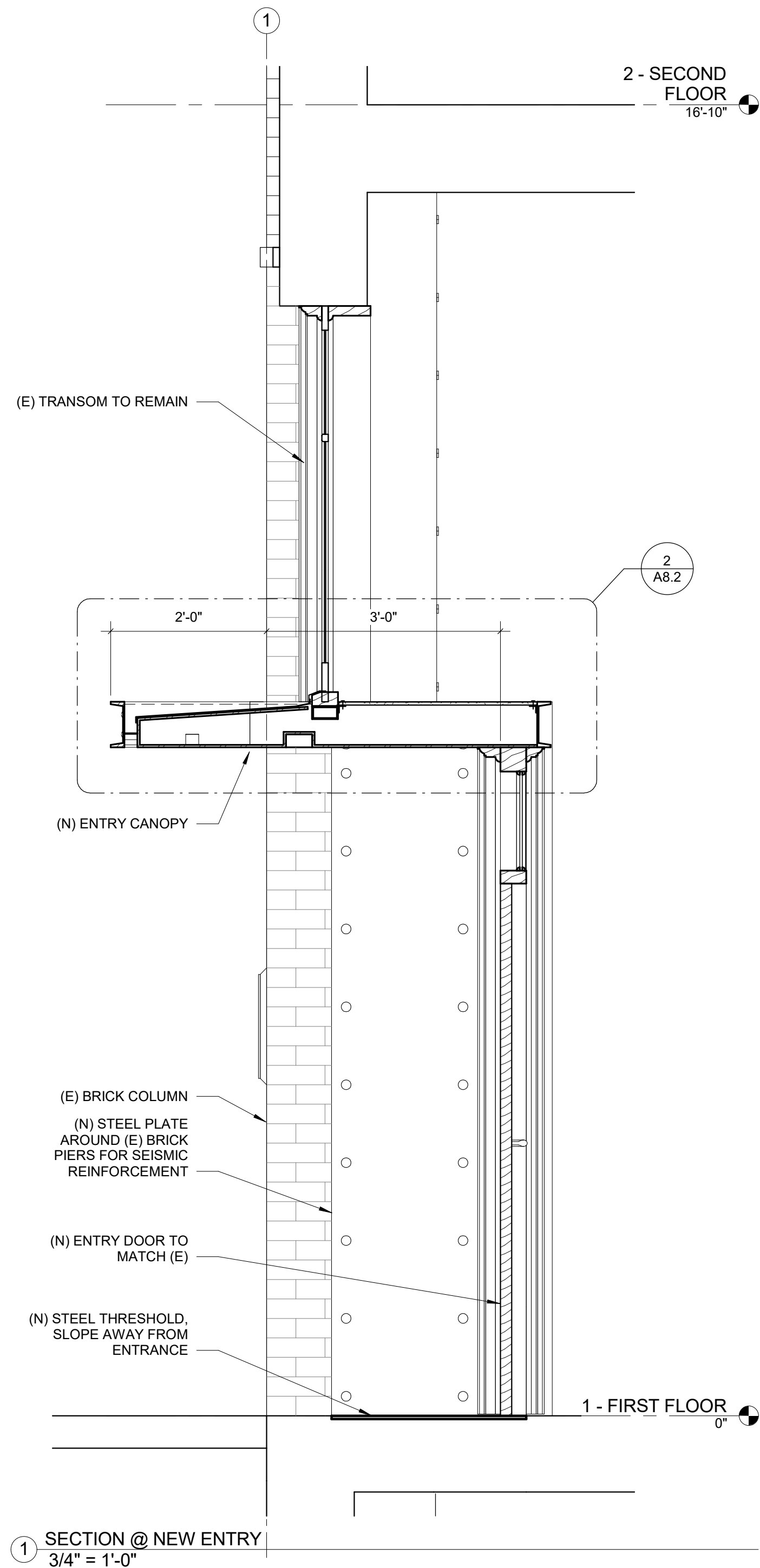
TAYLOR - DALE BLDG

608-610 & 618 NE 3rd Street,  
McMinnville, OR 97128

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EXTERIOR  
ELEVATIONS

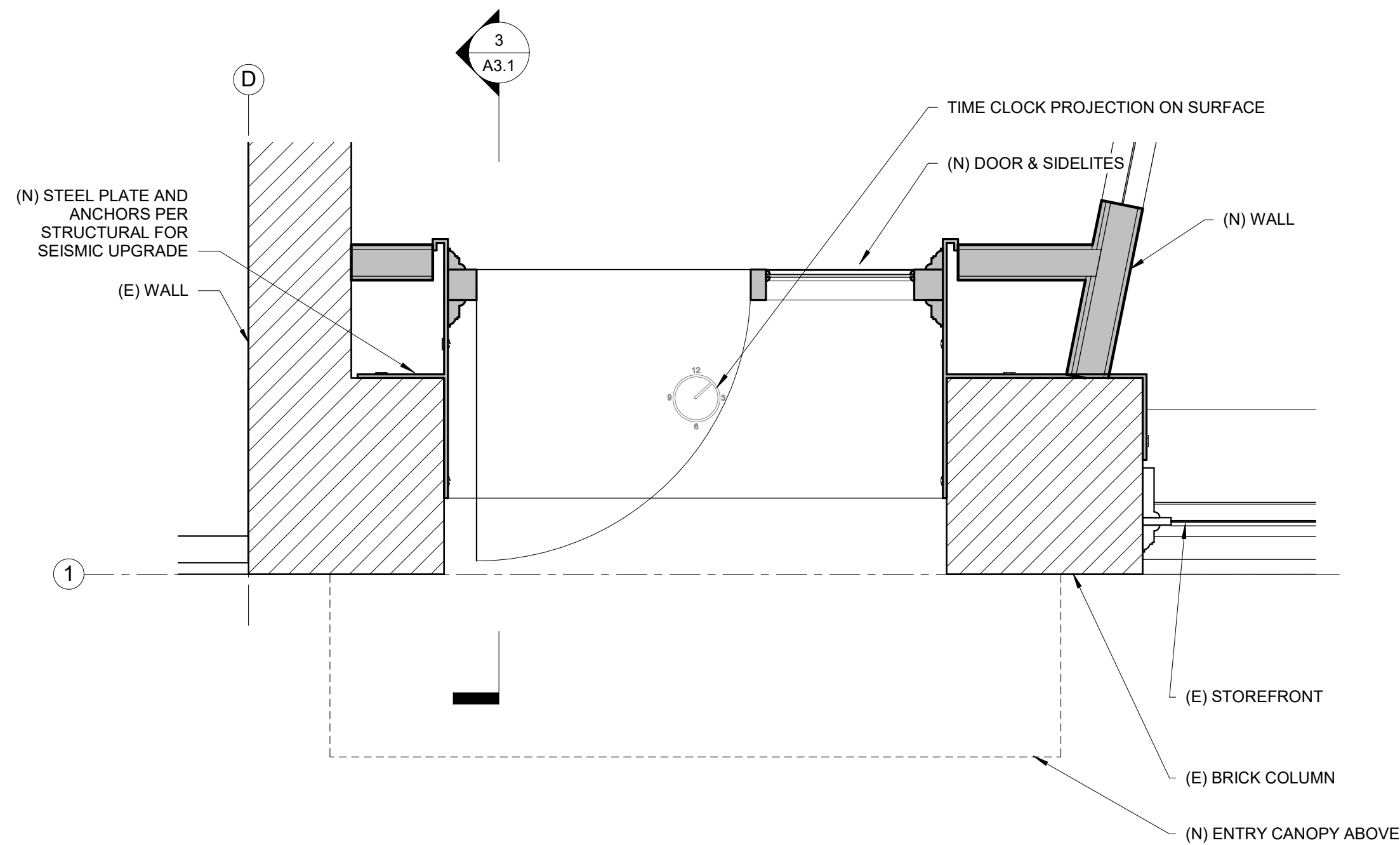
A4.3



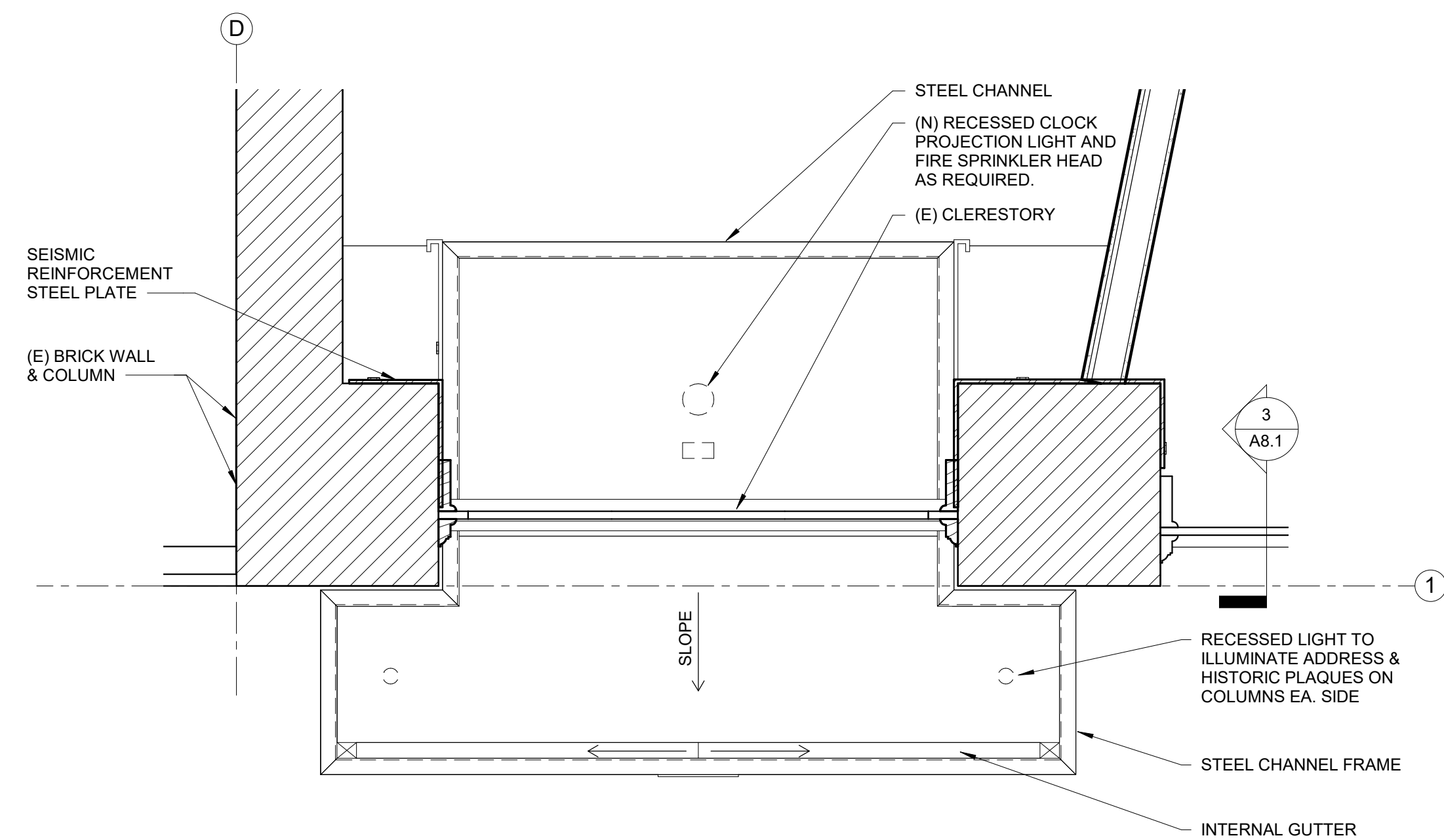
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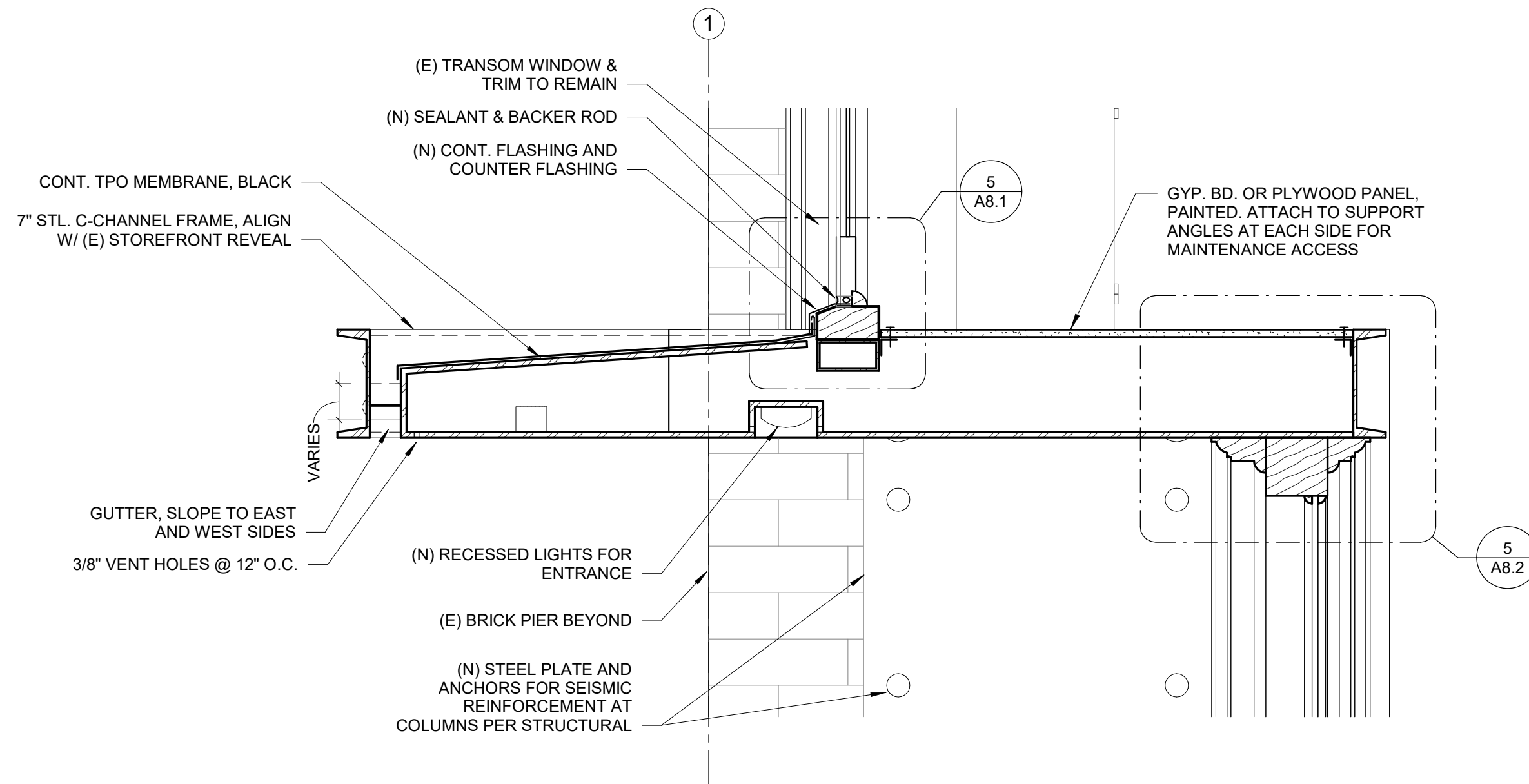
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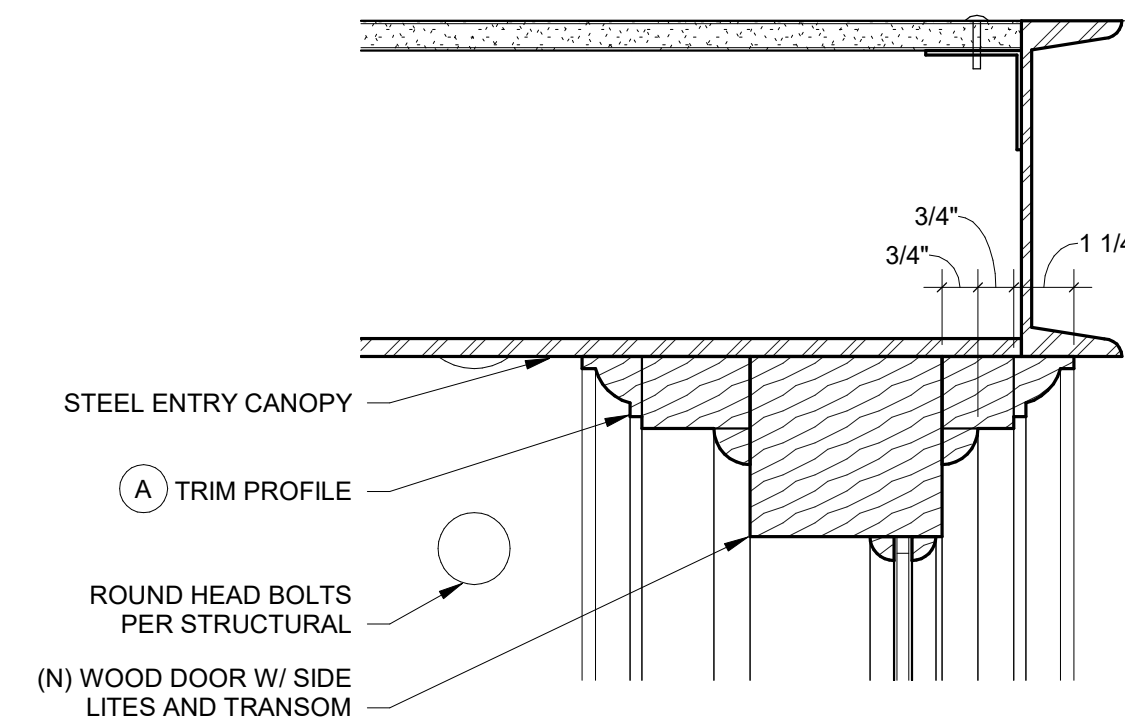
1 ENLARGED PLAN AT ENTRY CANOPY  
3/4" = 1'-0"



3 CANOPY PLAN  
3/4" = 1'-0"



2 CANOPY DETAIL  
1 1/2" = 1'-0"

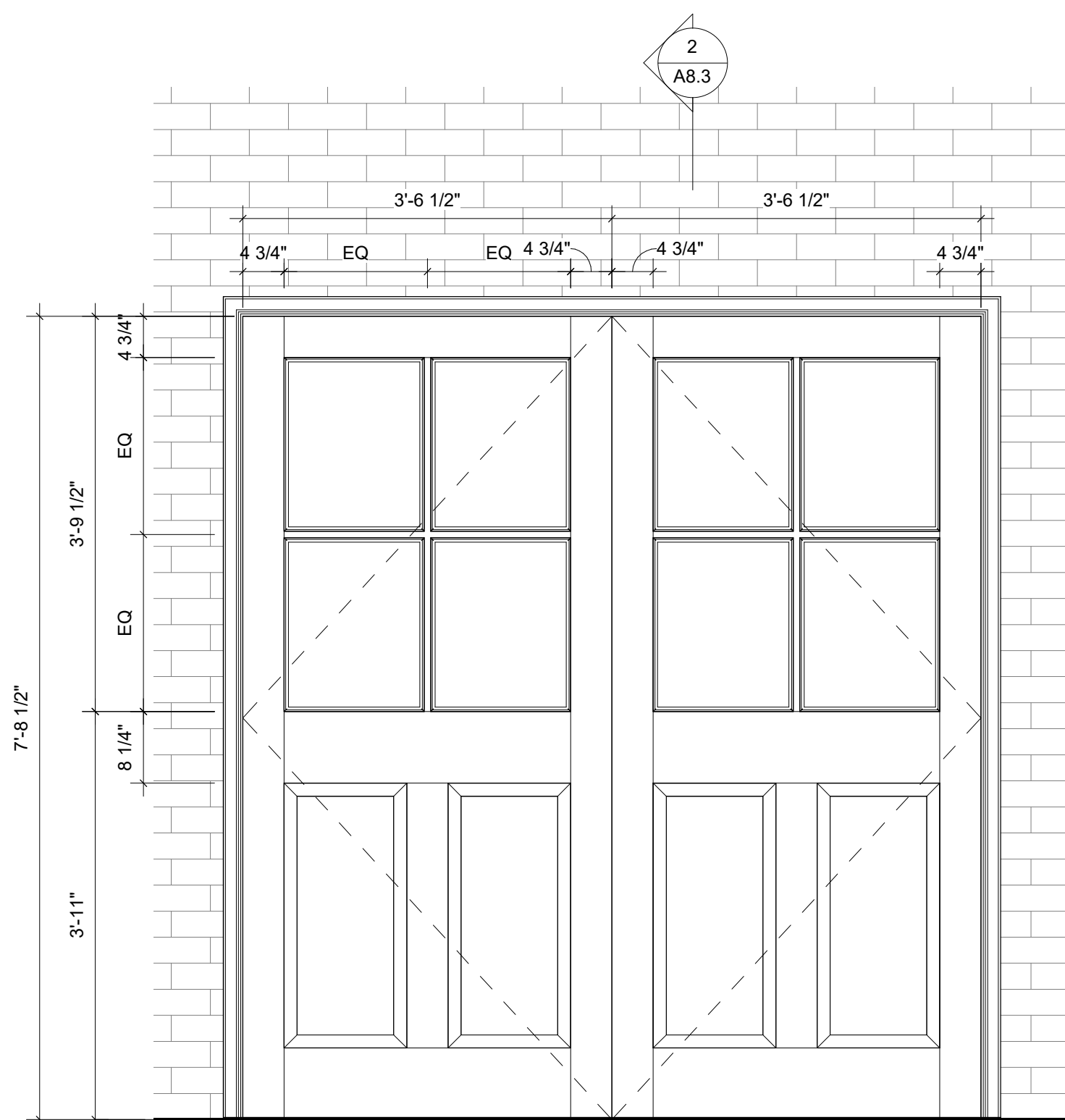


5 DOOR HEADER AND TRANSOM DETAIL  
3" = 1'-0"

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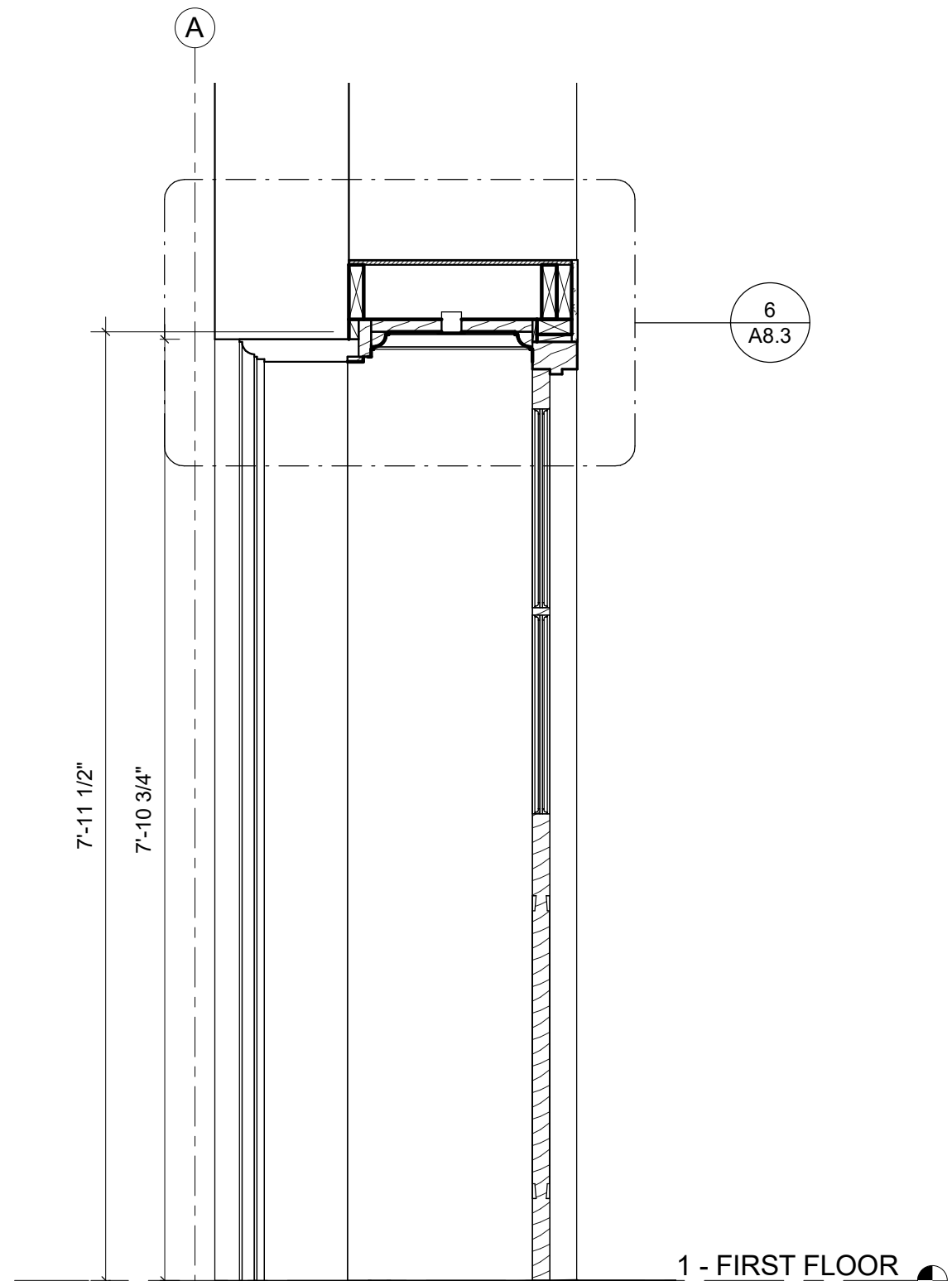
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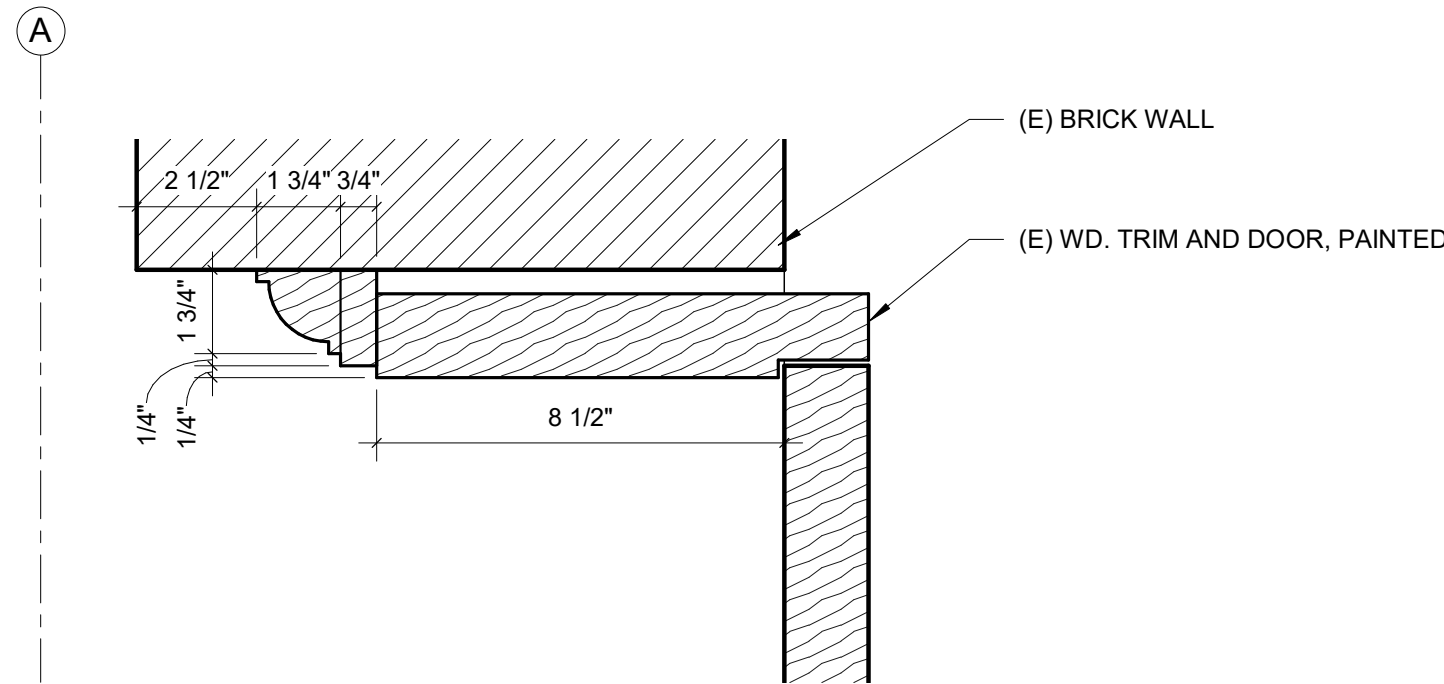


NOTE: REPLACE EXISTING DOUBLE DOOR WITH REPLICA

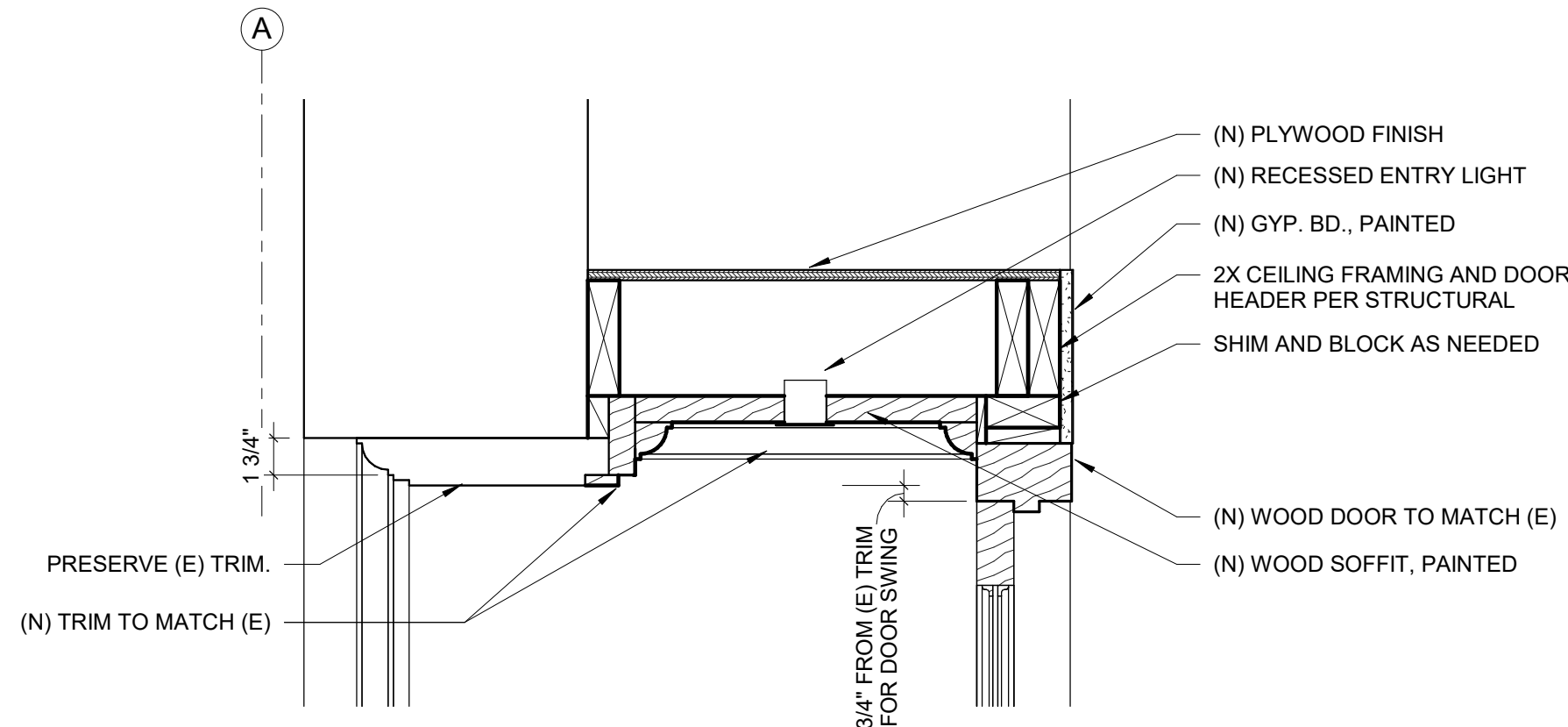
1 ENLARGED WEST DOOR  
3/4" = 1'-0"



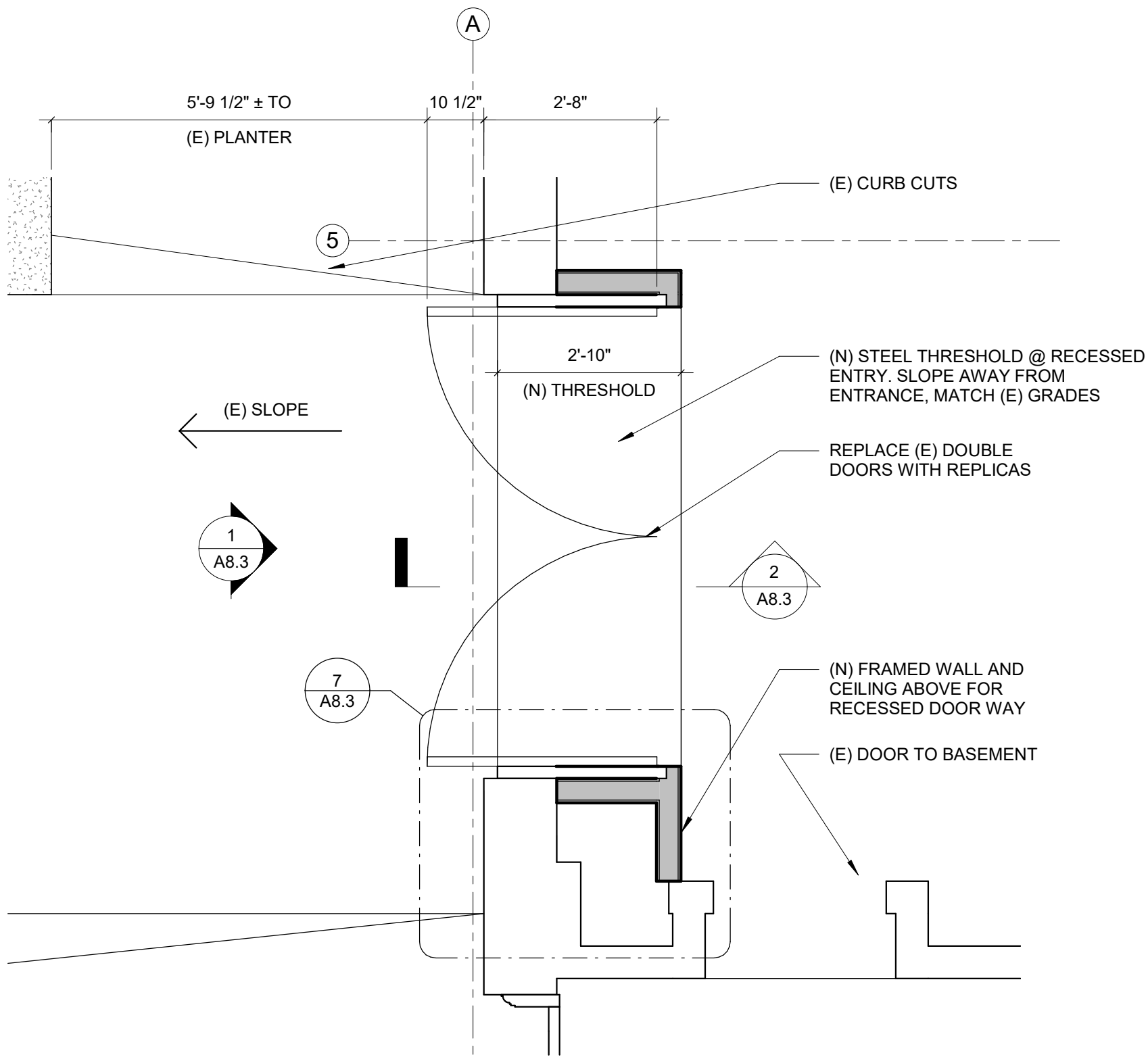
2 SECTION @ (N) RECESSED ENTRY  
3/4" = 1'-0"



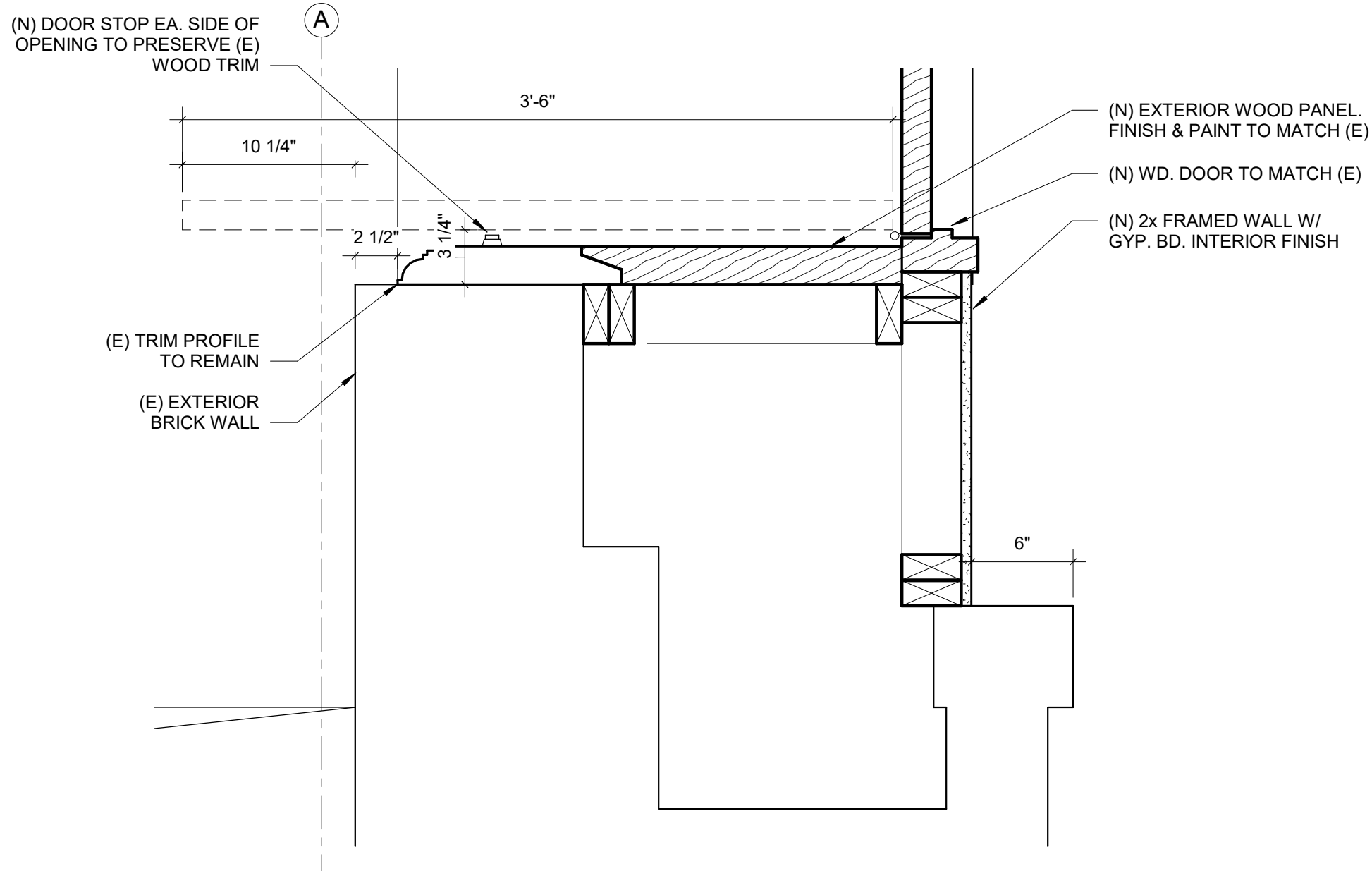
3 EXISTING WEST DOOR TRIM PROFILE  
3" = 1'-0"



6 CEILING @ WEST ENTRY  
1 1/2" = 1'-0"



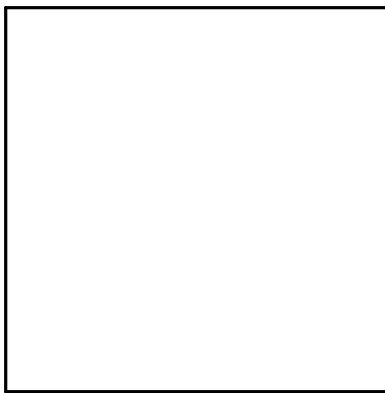
4 ENLARGED PLAN - WEST DOOR  
1/2" = 1'-0"



7 DTL. @ WEST DOOR JAMB  
1 1/2" = 1'-0"

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TAYLOR - DALE BLDG  
608-610 & 618 NE 3rd Street,  
McMinnville, OR 97128

HISTORIC REVIEW

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DETAILS  
A8.3



UPPER IMAGE: NORTH ELEVATION ACROSS NE 3RD STREET  
BOTTOM IMAGE: PROPOSED ENTRANCE TO SECOND LEVEL



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McMinnville, OR 97128

HISTORIC REVIEW

4/6/18

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EXTERIOR  
PERSPECTIVES

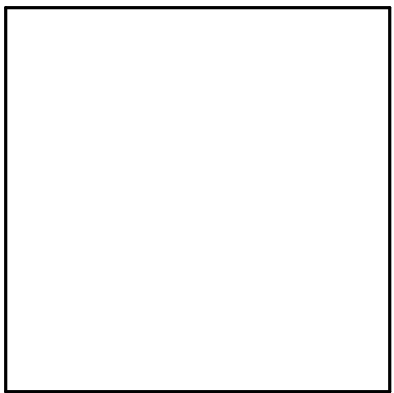
A9.1



UPPER LEFT IMAGE: PERSPECTIVE OF NORTH WEST CORNER  
UPPER RIGHT IMAGE: PROPOSED RECESSED ENTRANCE  
BOTTOM IMAGE: PROPOSED EGRESS STAIR DOOR TO ALLEY AND BOLLARDS FOR SHARED GARBAGE AND RECYCLING

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111 S.W. Oak Street, Ste 300 | Portland, Oregon 97204  
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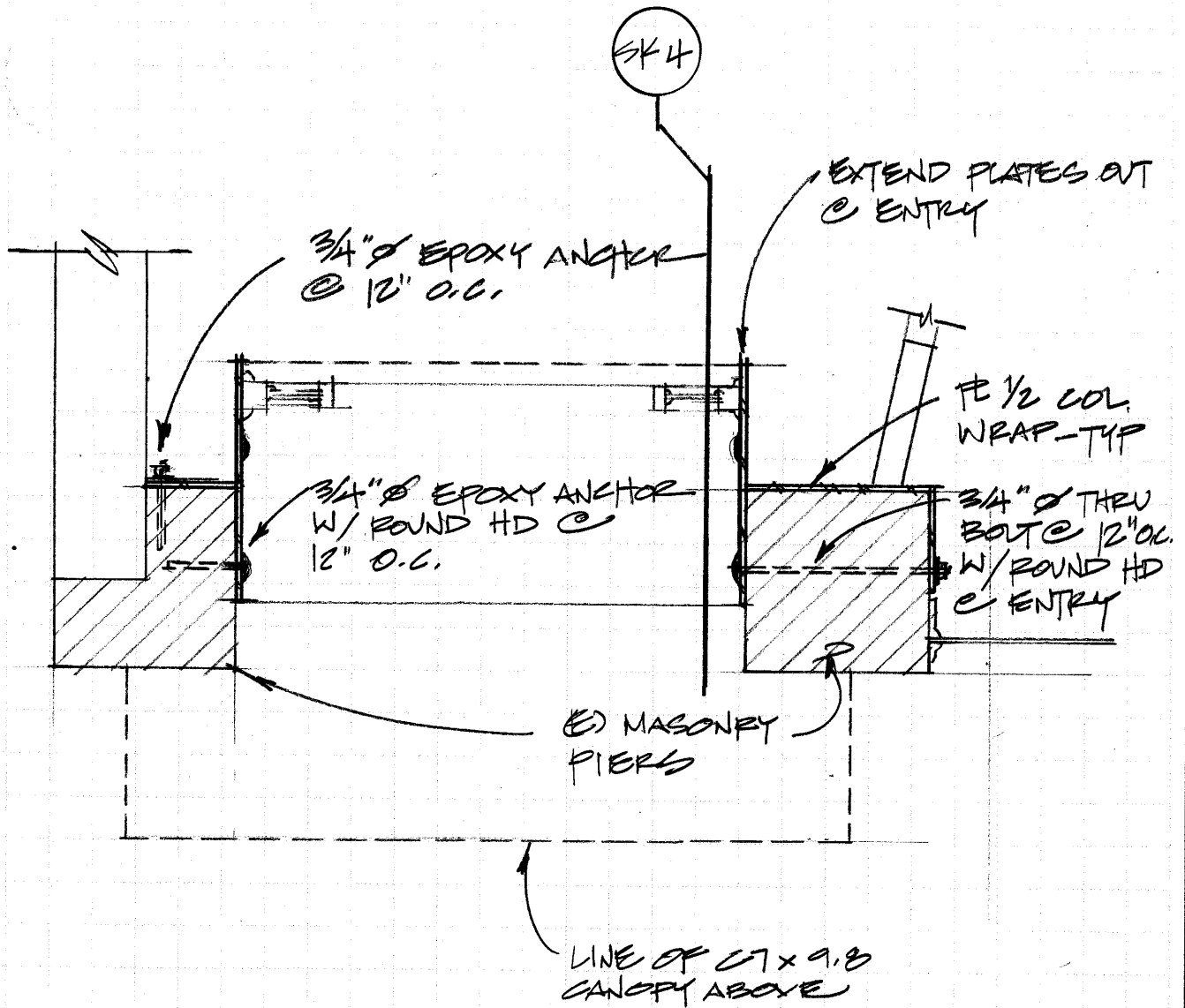
**TAYLOR - DALE BLDG**  
608-610 & 618 NE 3rd Street,  
McMinnville, OR 97128

HISTORIC REVIEW  
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Project: Taylor Dale Building  
608 NE 3<sup>rd</sup> Street  
McMinnville, OR 97128  
Client: EMA

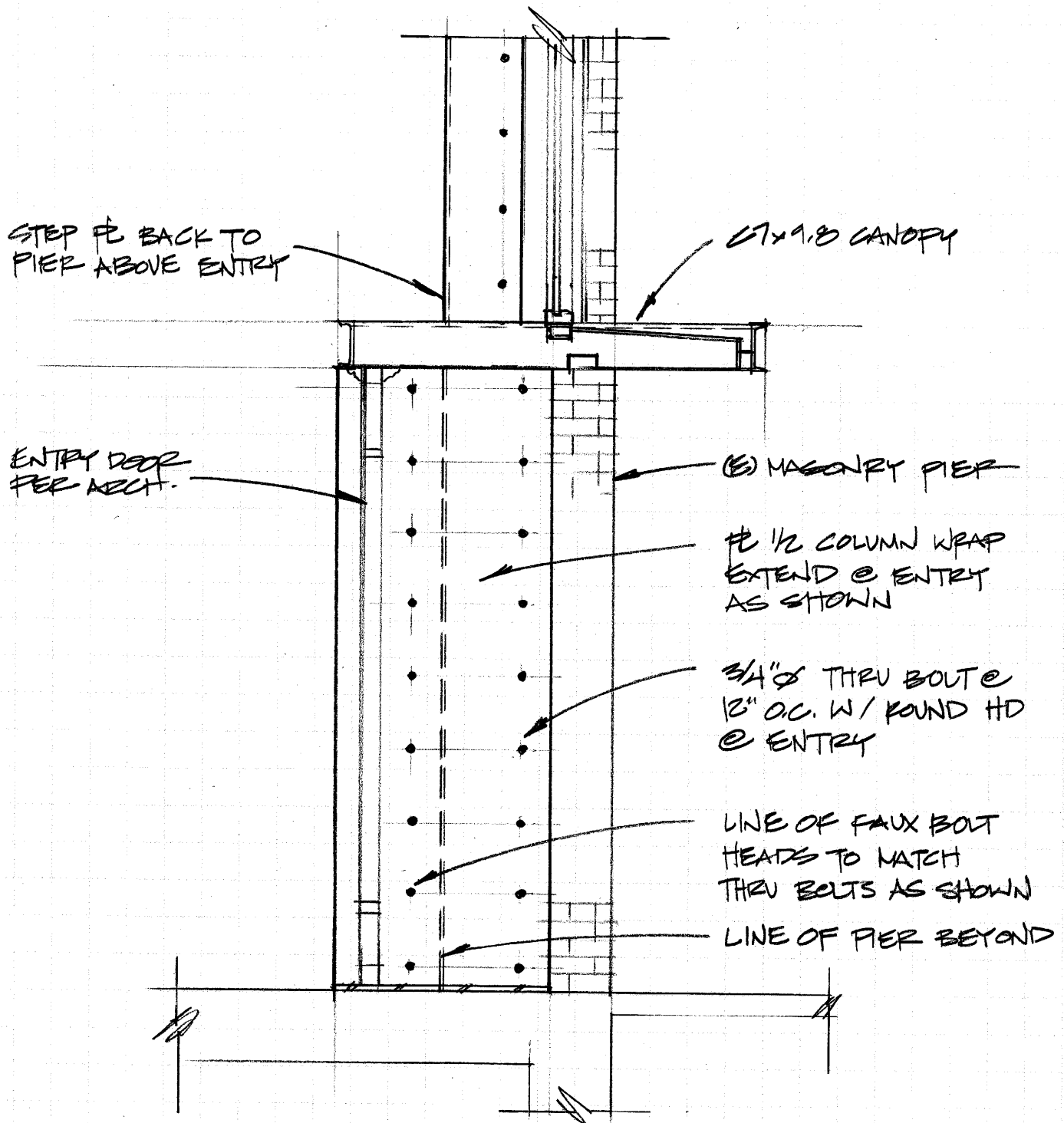
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By: MS  
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SK 3 ENTRY PARTIAL PLAN  
1/2" = 1'-0"

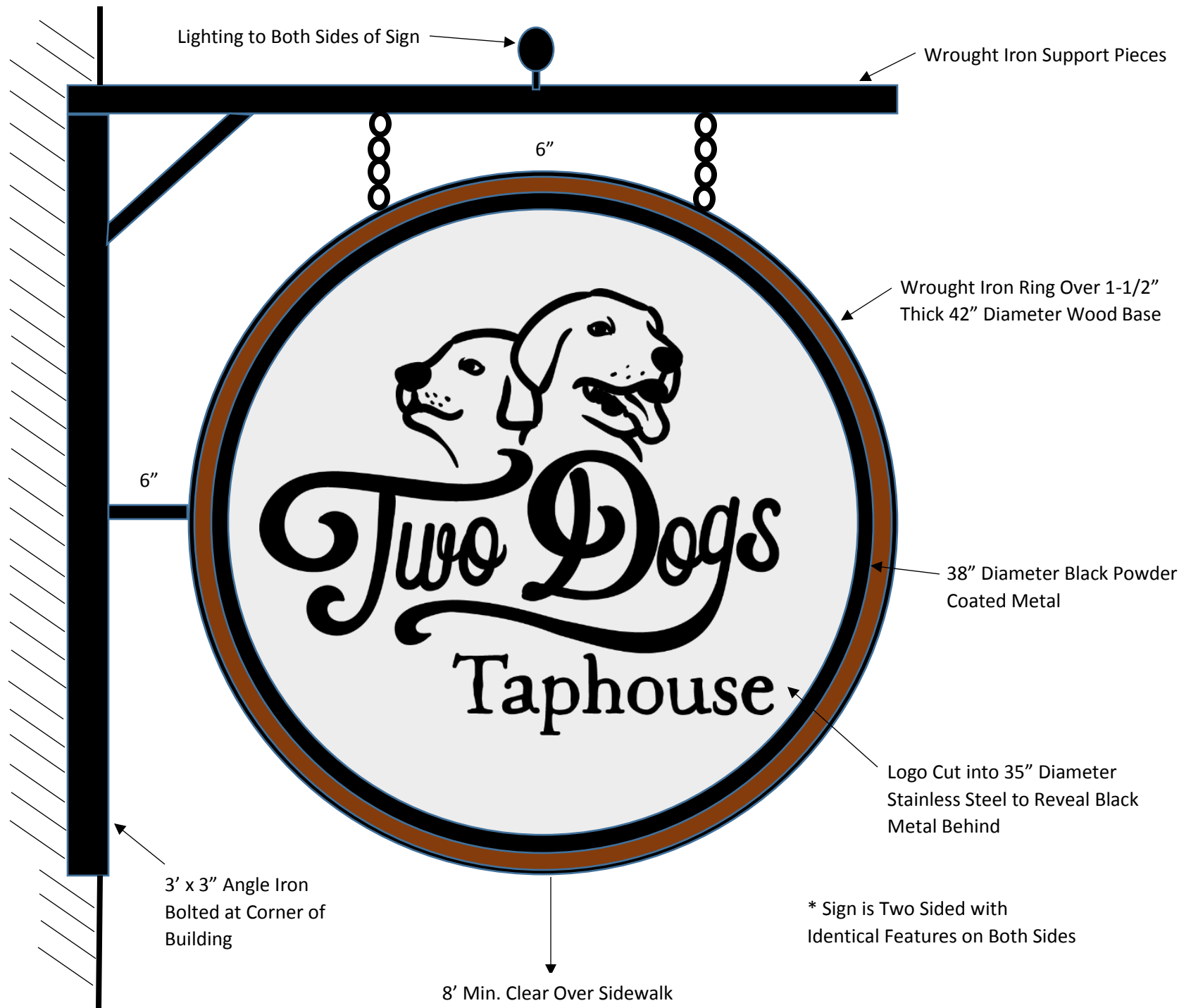
Project: Taylor Dale Building  
608 NE 3<sup>rd</sup> Street  
McMinnville, OR 97128  
Client: EMA

Date: 4/4/18  
Page: ~~SK4~~  
By: ~~VS~~  
Job #: 217267



SK4 ENTRY SECTION  
1/2" = 1'-0"







**CITY OF MCMINNVILLE  
PLANNING DEPARTMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128

503-434-7311

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE ALTERATION OF A HISTORIC LANDMARK AT 608 NE 3<sup>RD</sup> STREET AND LOCATED IN THE DOWNTOWN HISTORIC DISTRICT**

**DOCKET:** HL 3-18

**REQUEST:** The applicant has submitted a Certificate of Approval application to request the alteration of the historic landmark building in the Downtown Historic District, which is listed on the National Register of Historic Places. The resource is also designated as a “Distinctive” historic resource (Resource A866) on the Historic Resources Inventory. The landmark is subject to the Certificate of Approval alteration review process required by Section 17.65.040(A) of the McMinnville City Code.

**LOCATION:** The subject site is located at 608 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.

**ZONING:** The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).

**APPLICANT:** Ernie Munch, on behalf of EMA Architecture, LLC

**STAFF:** Chuck Darnell, Associate Planner

**DATE DEEMED COMPLETE:** April 25, 2018

**DECISION-MAKING BODY:** McMinnville Historic Landmarks Committee

**DATE & TIME:** May 15, 2018. Meeting was held at the Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, OR 97128.

**COMMENTS:** Public notice was provided to owners of properties within 300 feet of the subject site, as required by Section 17.65.070(C) of the McMinnville City Code. The Planning Department did not receive any public testimony prior to the public meeting.

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**Attachments:**

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866

Based on the findings and conclusions, the Historic Landmarks Committee **APPROVES** the alteration of the historic resource at 608 NE 3<sup>rd</sup> Street (Resource A866), **subject to the conditions of approval provided in this document.**

**DECISION: APPROVAL WITH CONDITIONS**

Date: \_\_\_\_\_

Date: \_\_\_\_\_

**APPLICATION SUMMARY:**

The applicants, Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Certificate of Approval application to request the alteration of an existing historic landmark in the Downtown Historic District. The subject property is located at 608 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource relates to the structure itself. The structure is designated as a “Distinctive” historic resource (Resource A866). The building is also located within the Downtown Historic District that is listed on the National Register of Historic Places. The building was classified as a secondary significant contributing property in the historic district. The statement of historical significance and description of the property, as described in the nomination of the Downtown Historic District, is as follows:

This rectangular red and buff brick two-story building is probably the most intact building in the district. It has five chimney-like projections along the parapet on the Third Street façade and five more along the west façade. There are a corbelled buff colored brick cornice, two corbelled brick beltcourses, and simulated quoins all of contrasting buff colored brick. Brick piers at each end of the Third Street façade extend from cornice through to the ground level and end on a raised cement sill plate. Second floor windows are one over one double-hung wood sash on both facades. The east façade is visible above the neighboring building and is plain red brick which exhibits a painted sign “Jameson Hardware Co. Sporting Goods.” The ground floor of the Third Street façade is divided into four bays by four buff brick piers. Wooden transom windows have obscure glass and are multi-paned. There are three storefronts with wood frame plate glass windows and two recessed entrances, one on the east end which leads to the second floor, and one in the center which leads into the hardware store. Original bronze window fasteners connect the plate glass where the windows angle inward towards the doorway. Bulkheads are obscure glass with wood frames and are covered with plywood in two panels flanking the central bay. The Third Street storefront extends around one bay to the west façade. The west façade has six evenly spaced wood frame obscure glass multi-paned windows at the mezzanine level. Each window has projecting buff brick surrounds. There is an original wooden double door and garage door at the south end of the west façade.

The former Jameson Hardware Building was constructed by J.F. Flecher after 1912 and first occupied by R. M. Wade and Company. Later, Evans and Jameson operated their first hardware business in the building. Jameson bought out Evans in 1915, and in 1921, Harold Taylor bought into the business. The four upstairs apartments were occupied by Dr. Wood, the Jamesons, and the librarian, Mrs. Barton. Howard Taylor bought the property in 1932.

Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is considered a historic landmark and/or listed on the National Register of Historic Places as a contributing resource. Since the subject property is both a historic landmark as defined by the McMinnville City Code and classified as secondary significant contributing property by the National Park Service in the National Register of Historic Places McMinnville Downtown Historic District, the Certificate of Approval review is required. The property is also located in the Downtown Design Standards and Guidelines area. Any exterior alterations of the building are subject to the Downtown Design Standards and Guidelines contained in Chapter 17.59 of the McMinnville City Code.

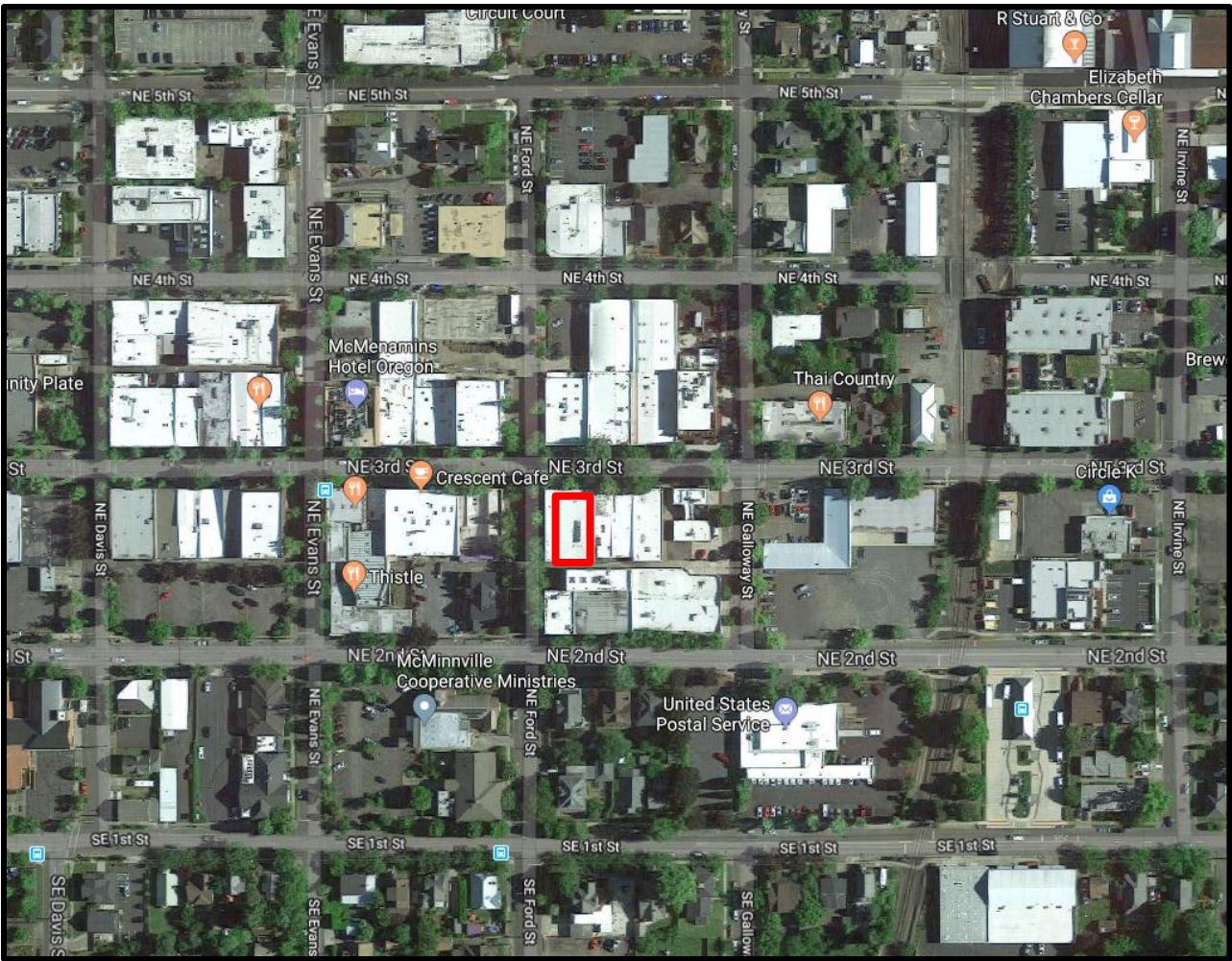
The current location of the historic resource is identified below:

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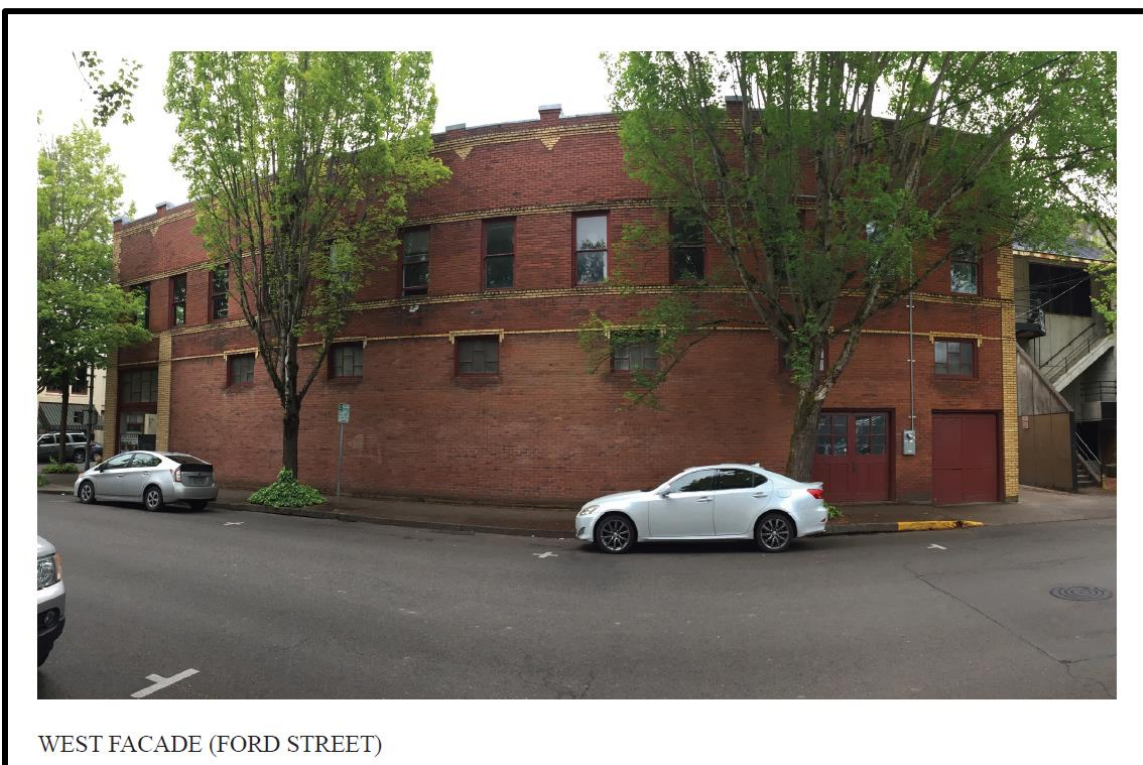
**Attachments:**

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866



The existing primary and street facing facades can be seen below:



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Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866

**CONDITIONS OF APPROVAL**

1. That the applicant provide detailed information on the findings of the evaluation of the existing windows and a more detailed summary of the existing conditions of the windows, and that the Planning Director have the ability to review this information and determine whether the windows are damage beyond repair. If found to be damaged beyond repair, the Planning Director shall have the ability to allow for the second story windows to be replaced with historically compatible and replicated windows, as described in the application narrative.
2. That the distinctive features of the storefront system on the north and west facades described in the National Register of Historic Places nomination, including the original bronze fasteners that connect the plate glass and the wood framing system, be retained and repaired.
3. That the replacement door providing access to the second story be wood to be consistent with the original building materials on the ground floor of the building. The final details of the replacement door shall be reviewed and approved by the Planning Director prior to installation.
4. That all other replacement doors, including the double doors and garage door on the west façade, be wood and be replicated to have the same design as the existing original doors.
5. That the steel structural support within the recessed second story entryway on the northern façade be wrapped in a wooden encasement or wooden trim consistent with the existing wood trim on the ground floor of the building and surrounding the other entryway on the north façade of the building.

**ATTACHMENTS**

1. Certificate of Approval Application (on file with the Planning Department)
2. Historic Resources Inventory Sheet for Resource A866 (on file with the Planning Department)

**COMMENTS**

This matter was not referred to other public agencies for comment.

**FINDINGS OF FACT**

1. Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Certificate of Approval application to request the alteration of a historic landmark in the Downtown Historic District. The subject property is located at 608 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. Notice of the alteration request was provided to property owners within 300 feet of the subject site. The Planning Department did not receive any public testimony prior to the public meeting.
4. A public meeting was held by the Historic Landmarks Committee on May 15, 2018 to review the proposal.

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**Attachments:**

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866

## **CONCLUSIONARY FINDINGS**

### **McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNIVILLE.

Finding: The focus of the comprehensive plan goal is to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to rehabilitate the existing historic building and preserve existing features and materials where possible. The upgrades being proposed to the building will bring the building into compliance with building code and seismic requirements, which will improve the property's value, safety, and structural stability. Therefore, the Comprehensive Plan goal is satisfied by the proposal.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNIVILLE.

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

### **McMinnville's City Code:**

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.65.040 Certificate of Approval Process. A property owner shall obtain a Certificate of Approval from the Historic Landmarks Committee, subject to the procedures listed in Section 17.65.050 and Section 17.65.060 of this chapter, prior to any of the following activities:

- A. The alteration, demolition, or moving of any historic landmark, or any resource that is listed on the National Register for Historic Places;
  - 1. Accessory structures and non-contributing resources within a National Register for Historic Places nomination are excluded from the Certificate of Approval process.
- B. New construction on historical sites on which no structure exists;
- C. The demolition or moving of any historic resource.

Finding: The applicant submitted an application for a Certificate of Approval to request the alteration of the historic landmark, per Section 17.65.040(A), because the resource is classified as a secondary significant contributing property within the Downtown Historic District that is listed on the National Register of Historic Places.

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#### Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866

17.65.060 Exterior Alteration or Remodeling. The property owner shall submit an application for a Certificate of Approval for any exterior alteration to a historic landmark, or any resource that is listed on the National Register for Historic Places. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040 of the McMinnville Zoning Ordinance. The Planning Director shall determine whether the proposed activities constitute an alteration as defined in Section 17.65.020 (A) of this chapter. The Historic Landmarks Committee shall meet within thirty (30) days of the date the application was deemed complete by the Planning Department to review the request. A failure to review within thirty (30) days shall be considered as an approval of the application. Within five (5) working days after a decision has been rendered, the Planning Department shall provide written notice of the decision to all parties who participated.

- A. The Historic Landmarks Committee may approve, approve with conditions, or deny the application.

Finding: The Historic Landmarks Committee, after reviewing the request during a public meeting and offering an opportunity for public testimony, decided to approve the alteration request and Certificate of Approval.

- B. The Historic Landmarks Committee shall base its decision on the following criteria:
  - 1. The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

Finding: The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation ordinance includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to rehabilitate the existing historic building and preserve existing features and materials where possible. The upgrades being proposed to the building will bring the building into compliance with building code and seismic requirements, which will improve the property's value, safety, and structural stability. The proposal will result in a building that can be utilized for commercial or residential uses, which will strengthen the vibrancy and economy of the city and specifically the Downtown Historic District by adding jobs in an existing underutilized building in the downtown core. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation chapter are satisfied by the proposal.

- 2. The following standards and guidelines:
  - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

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Attachments:

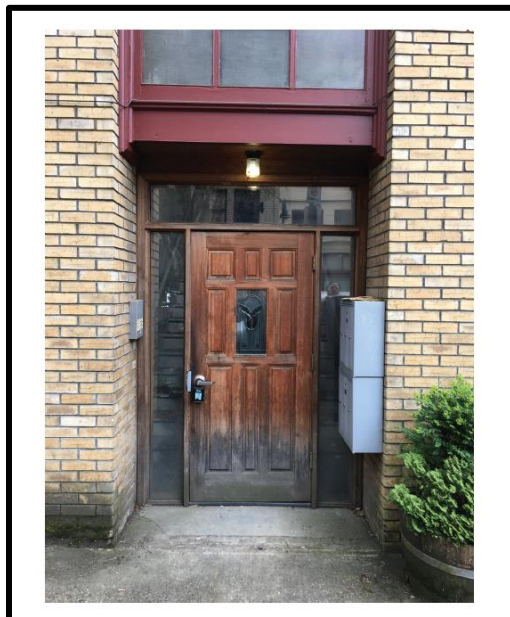
Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866

Finding: The property has historically been used commercially, first as a hardware store and later as a dance studio. The building originally had four apartments on the upper floor, and over time two additional apartments were added. The applicant is proposing to continue to use the ground floor for commercial use, and to renovate the upper floor into short term rental uses. A restaurant is planned for the main floor. The proposed uses can be achieved within the existing building without the loss of distinctive exterior materials, exterior building features, or relationships between the spaces within the building.

The proposed uses of the building do result in the need to provide adequate access to and egress from the spaces. To achieve this and meet building code requirements, the applicant is proposing to further recess the entryway to the second story residential units by an additional 1'3" to allow for the door to not open into the public right-of-way and pedestrian pathway. The existing door is weathered and not wide enough to accommodate ADA access into the residential units. Therefore, the applicant is proposing to replace the existing door with a wider door that provides ADA accessibility through the opening. The interior renovations include the addition of an elevator to provide access to the second story and basement, so the applicant wants to ensure that full ADA accessibility can be achieved. The addition of a wider door will result in the removal of one side light. The entry will retain one of the two existing sidelights and the transom above the door. The additional recess of the entryway will also allow for seismic upgrades to occur with a steel column wrap around the entryway. This steel column wrap feature is proposed to be visible on the interior of the recessed entry, and will cover some of what is currently buff colored brick. The applicant is proposing to carefully mine out the buff colored brick that would be covered, and use that to replace other exterior brick on the north and west facades that is so spalled or cracked that they require replacement. Because steel is not an existing building material on the historic building, a condition of approval has been included to require that the steel structural support within the recessed entryway be wrapped in a wooden encasement or trim consistent with the existing wood trim on the ground floor of the building and surrounding the other entryway on the north façade of the building. A condition of approval has also been included to require that the replacement door providing access to the second story be wood to be consistent with the original building materials on the ground floor of the building.

Photos of the existing second story entry and a rendering of the proposed second story entry are provided below:



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Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866



On the west façade, the applicant is proposing to further recess the existing double doors to allow for those doors to open without projecting into the public right-of-way and pedestrian pathway. These doors also need to be changed from in-swinging to out-swinging in order to provide for egress from the ground floor per the building code, and the additional recessed entry will allow for that to occur within the property line.

A photo of the existing west façade entry and a rendering of the proposed west façade are provided below:



On the alley side of the building, the applicant is proposing to remove the existing exterior staircase that currently provides egress from the second story residential units. The existing staircase is currently located in an undefined easement, and the applicant has identified the following code issues with the current staircase:

1. Egress from one building may not be made through a building of lesser safety. The two-story building at 608 NE 3rd Street will be seismically upgraded and have an automatic sprinkler system installed. The one story building at 618 NE 3rd Street will have neither a sprinkler system, nor a seismic upgrade.

Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866

2. The existing egress route from 608 NE 3rd Street is not protected from the adjacent, non-sprinklered building by a fire rated separation.
3. The wall of 618 NE 3rd Street which flanks the stair should have a 3 hour fire rating.
4. The stair does not comply with the code's maximum riser-height and minimum tread-width requirements.
5. The stair riser-heights vary beyond code tolerances.
6. The stair is too narrow.
7. The handrails do not comply.
8. There is no landing at the bottom of the stair.
9. The security gate in the alley swings out over the public right-of-way.
10. There is insufficient lighting of the egress path.

The proposal to remedy those issues is to remove the exterior staircase, close the three openings on the east façade of the building, construct a new interior staircase that will provide egress from the second story and the basement, and open a new doorway on the southeast corner (alley side) of the building. Brick from the new opening will be used to fill in the three existing openings on the east side, or to replace existing brick in other locations on the north and west facades that is too spalled to repair.

The closing of the three existing openings on the east facade, which include one doorway that opens to the exterior staircase that is proposed to be removed and two windows, is also being completed to provide for a 3-hour fire rated separation between the subject building and the adjacent building.

Photos of the existing east façade, the exterior staircase, and a rendering of the proposed east façade are provided below:



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Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866



The proposed alterations to the exterior of the building will allow for the building to be occupied by modern uses that meet applicable building code requirements. Overall, the proposed alterations will not result in the loss of key architectural features or historically significant details on the exterior of the building. The main portions of the façade, including the historic masonry work and details, will be preserved, as discussed in more detail below.

- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Finding: This criteria describes the need to avoid the replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships. The burden is on the applicant to provide that the historic materials cannot be repaired if they are interested in replacing them. The applicant is proposing to retain the original exterior masonry walls, stating that the existing brick will be cleaned, repaired, and repointed. However, the applicant is also proposing to replace the original storefront window glass and the upper story windows. The existing storefront and mullion system will be retained and cleaned, and new glass panes will be placed within the existing mullion system. A condition of approval has been included to require that the distinctive features of the storefront system described in the National Register of Historic Places nomination, including the original bronze fasteners that connect the plate glass and the wood framing system, be retained and repaired.

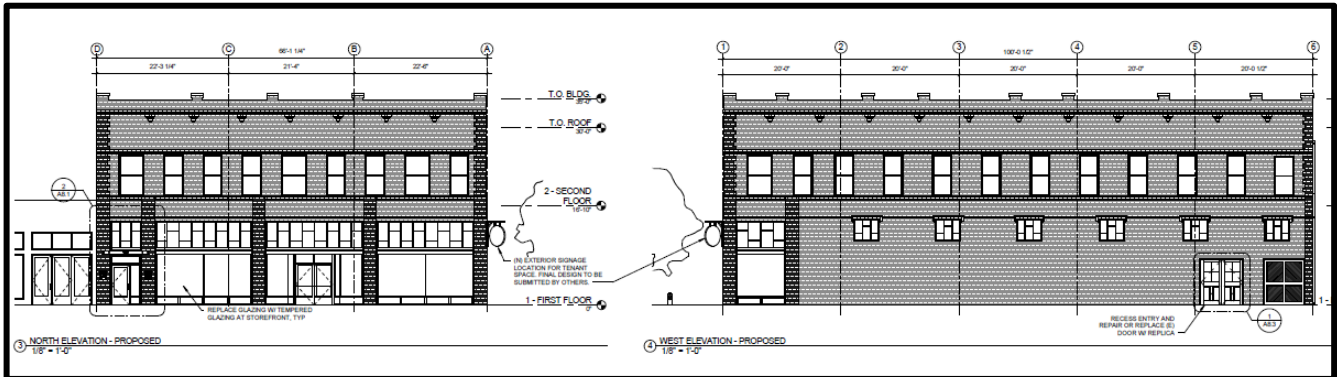
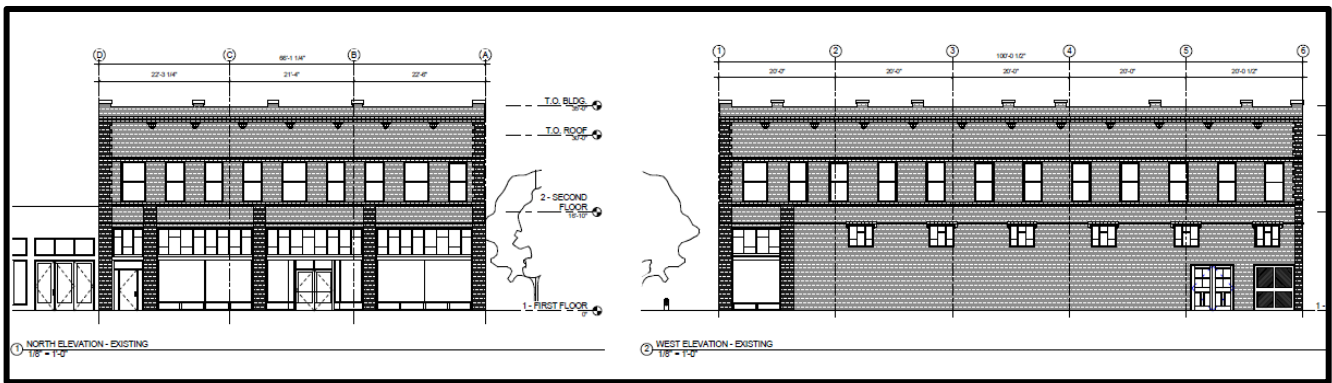
A comparison of the existing elevations and the proposed elevations, along with rendering of the proposed elevations, are provided below to show how the prominent masonry work and details will be retained:

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In addition, the applicant has stated the need to replace the second story windows on the premise that they cannot be repaired. The double-hung wood frame windows on the second story were identified in the historic district nomination as part of the architectural integrity of the building. The applicant needs to demonstrate that they are not reparable or seek to repair and retain them. Since the time of application, the applicant has removed one window in its entirety to further evaluate the window and determine whether repairs are possible, or whether they are so deteriorated that they need to be replaced with exact replicas using the same historic materials. A condition of approval has been included to require that the applicant provide detailed information on the findings of the evaluation and the existing conditions of the windows, and that the Planning Director have the ability to review this information and decide whether the windows can be replaced. If they are found to be too deteriorated to repair, the applicant is proposing to replace the windows on the second floor with exact replicated wooden windows, which will be crafted by a window specialist using an existing window as a template.

Where the original materials or elements are missing or replaced, or where the building code requirements require alterations, the elements used in the replacement will be in keeping with the original materials and character of the building.

- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

Finding: The applicant is proposing to restore existing historic materials and features where possible, including the exterior brick masonry and storefront window and mullion system. The second story windows and ground floor doors are proposed to be replaced due to weathering and an inability to repair

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the existing windows and doors. Where replacement is necessary, the applicant is proposing to replicate the existing windows and doors so that they are physically and visually compatible with the original features.

- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Finding: Much of the existing building features and materials are original, and there have not been many changes to the property that have acquired their own historic significance. A painted sign exists on the east façade, stating “Jameson Hardware Co. Sporting Goods”, and the applicant is proposing to preserve the remains of that painted sign during the brick restoration.

- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

Finding: The distinctive features of the existing building will be retained. Much of the character defining features of the building are in the original storefront window system and the exterior brick work. The existing exterior masonry work includes a corbelled cornice, corbelled brick beltcourses, brick piers running from the cornice through to the ground level, and brick chimney-like projections along the roofline of the north and west facades. All of these features and masonry details will be maintained. The existing red and buff colored brick will also be retained where possible. The masonry will be repointed and relayed if necessary with custom mixed mortar which is visually and physically compatible with the original. The tops of protruding ledges will be repaired and sealed to direct water away from the masonry walls. Where new openings are being proposed on the back side of the building, that brick will be used to replace existing brick that is too spalled to repair. The applicant is also proposing to mine out and use some of the buff colored brick from the recessed entryway to the second story residential units in areas where other buff colored brick is too spalled or cracked to repair. The existing storefront and mullion system, which is also a distinctive feature of the building will be preserved, but with new glass being installed to replace the existing.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Finding: The applicant is proposing to clean the exterior masonry with a mild cleanser and a light power wash before being repaired and repointed. This is consistent with the Secretary of the Interior’s Guidelines for the Preservation of Historic buildings, which specifically states the following as a recommended guideline: “Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.”

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Finding: The applicant has stated that they are not aware of any known archeological resources.

- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

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Finding: The proposed alterations can most closely be considered a “Rehabilitation” of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the Interior’s Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

The applicant is proposing to maintain the most character defining features of the building in the exterior masonry and the existing storefront window mullion system. Where existing materials are deteriorated, replacement is being proposed using the same building materials as exist today on the historic building. Heavily cracked or spalled brick will be replaced, either with brick relocated from other facades of the building where other alterations are proposed in less visible areas, or with like-colored brick to match the existing façade. The second story windows and ground level doors will be replicated with new wood windows and doors, with the windows being crafted by a window specialist using an existing second story window as a template.

Some of the applicable rehabilitation guidelines for treating masonry on historic buildings are provided below:

Recommended Guideline: Identifying, retaining and preserving masonry features that are important in defining the overall historic character of the building (such as walls, brackets, railings, cornices, window and door surrounds, steps, and columns) and decorative ornament and other details, such as tooling and bonding patterns, coatings, and color.

Finding: As mentioned above, the applicant is proposing to clean, repair, and preserve the existing masonry and brick details on the existing historic building, which provide much of the significant character defining features and details of the building.

Recommended Guideline: Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.

Finding: The applicant has stated that the masonry will be cleaned with a mild cleanser and a light power wash before being repaired and repointed.

Recommended Guideline: Repairing masonry by patching, splicing, consolidating, or otherwise reinforcing the masonry using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing parts of masonry features when there are surviving prototypes, such as terra-cotta brackets or stone balusters.

Recommended Guideline: Repairing masonry walls and other masonry features by repointing the mortar joints where there is evidence of deterioration, such as disintegrating mortar, cracks in mortar joints, loose bricks, or damaged plaster on the interior.

Recommended Guideline: Duplicating historic mortar joints in strength, composition, color, and texture when repointing is necessary. In some cases, a lime-based mortar may also be considered when repointing Portland cement mortar because it is more flexible.

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Finding: As mentioned above, the existing masonry will be preserved where possible, and the existing brick will be repointed. A custom mixed mortar which is visually and physically compatible with the original will be used if necessary.

Some of the applicable rehabilitation guidelines for treating windows on historic buildings are provided below:

Recommended Guideline: Evaluating the overall condition of the windows to determine whether more than protection and maintenance, such as repairs to windows and window features, will be necessary.

Recommended Guideline: Replacing in kind an entire window that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered.

Finding: The applicant has removed one window in its entirety to further evaluate the window and determine whether repairs are possible, or whether they are so deteriorated that they need to be replaced with exact replicas using the same historic materials. The applicant should provide detailed information on the findings of the evaluation and the existing conditions of the windows. If they are found to be too deteriorated to repair, the applicant is proposing to replace the windows on the second floor with exact replicated wooden windows, which will be crafted by a window specialist using an existing window as a template.

Some of the applicable rehabilitation guidelines for treating entrances on historic buildings are provided below:

Recommended Guideline: Designing and constructing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the building (i.e., ensuring that the new entrance or porch is clearly subordinate to historic primary entrances or porches).

Recommended Guideline: Identifying, retaining, and preserving entrances and porches and their functional and decorative features that are important in defining the overall historic character of the building. The materials themselves (including masonry, wood, and metal) are significant, as are their features, such as doors, transoms, pilasters, columns, balustrades, stairs, roofs, and projecting canopies.

Not Recommended Guideline: Altering utilitarian or service entrances so they compete visually with the historic primary entrance; increasing their size so that they appear significantly more important; or adding decorative details that cannot be documented to the building or are incompatible with the building's historic character.

Not Recommended Guideline: Cutting new entrances on a primary façade.

Finding: The proposed alterations would maintain the location of and general design of the existing entrances to the building on the north and west facades. The applicant is proposing to further recess two of the entryways, but is doing so to meet building code and egress requirements. The applicant is utilizing existing openings in the west façade to provide egress from the main floor and access to the basement, which will function as utilitarian entrances but will not compete with the historical character of the building as the openings in the façade exist today. The one additional new entrance being

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proposed will be on the alley side of the building in an area that is not prominent and will not detract from the historical character of the primary facades on the north and west of the building.

Some of the applicable rehabilitation guidelines for treating storefronts on historic buildings are provided below:

Recommended Guideline: Identifying, retaining, and preserving storefronts and their functional and decorative features that are important in defining the overall historic character of the building. The storefront materials (including wood, masonry, metals, ceramic tile, clear glass, and pigmented structural glass) and the configuration of the storefront are significant, as are features, such as display windows, base panels, bulkheads, signs, doors, transoms, kick plates, corner posts, piers, and entablatures. The removal of inappropriate, non-historic cladding, false mansard roofs, and other later, non-significant alterations can help reveal the historic character of the storefront.

Finding: As mentioned above, the applicant is proposing to preserve the existing storefront window mullion system. The applicant will be replacing the existing glass, but will do so with clear glass and in the case of the bulkheads and transoms, new glass that is consistent in visual appearance with the existing glass.

Some of the applicable rehabilitation guidelines for code-required work on historic buildings are provided below:

Recommended Guideline: Identifying the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting which may be affected by accessibility code-required work.

Recommended Guideline: Finding solutions to meet accessibility requirements that minimize the impact of any necessary alteration on the historic building, its site, and setting, such as compatible ramps, paths, and lifts.

Recommended Guideline: Complying with life-safety codes (including requirements for impact-resistant glazing, security, and seismic retrofit) in such a manner that the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.

Recommended Guideline: Using existing openings on secondary or less-visible elevations or, if necessary, creating new openings on secondary or less-visible elevations to accommodate second egress requirements.

Finding: As described in more detail above, the majority of the alterations to the exterior of the building being proposed are driven by bringing the building up to current building code requirements. The largest upgrade to the building is the seismic retrofit, which is being completed primarily on the interior of the building to minimize impacts to the historic character of the exterior of the building. Changes that will occur to the exterior of the building have been thoughtfully designed and in some cases occur on less-visible facades, which minimize impacts to the historic character of the building.

3. The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource's preservation or renovation;

Finding: The proposed alteration is reasonable, as the applicant intends to upgrade, but preserve, the existing historic building while making alterations where necessary to meet building code

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requirements and replace materials only where the existing materials have deteriorated beyond repair. The applicant has stated that, for the building to be of economic value to the owner, egress must be improved from all three levels, and the street entrance to the second floor must be improved. The seismic, egress and mechanical systems upgrades and the installation of an automatic sprinkler system are well timed, with the building being empty on all three levels. The investment and added activity should be of value to the historic district as a whole.

4. The value and significance of the historic resource;

Finding: The historic resource is located within the Downtown Historic District that is listed on the National Register of Historic Places, and is classified as a secondary significant contributing property in the historic district. The applicant has argued that the existing classification may be incorrect, and that the building should be classified instead as a primary significant contributing resource in the historic district. However, overall the intent of the proposed alterations and work are on the preservation of character defining historical features, including the exterior masonry and historic storefront window system, and the replacement of deteriorated materials with like materials.

5. The physical condition of the historic resource;

Finding: The existing building is in need of maintenance and some repair to the exterior finishes and details. As described in more detail above, the applicant is proposing to improve the physical condition of the resource, preserving historic features and details where possible, and replacing materials only where the existing materials have deteriorated beyond repair.

17.65.070 Public Notice.

- A. After the adoption of the initial inventory, all new additions, deletions, or changes to the inventory shall comply with subsection (c) of this section.
- B. Any Historic Landmark Committee review of a Certificate of Approval application for a historic resource or landmark shall comply with subsection (c) of this section.
- C. Prior to the meeting, owners of property located within 300 feet of the historic resource under consideration shall be notified of the time and place of the Historic Landmarks Committee meeting and the purpose of the meeting. If reasonable effort has been made to notify an owner, failure of the owner to receive notice shall not impair the validity of the proceedings.

Finding: Notice was provided to property owners located within 300 feet of the historic resource. A copy of the written notice provided to property owners is on file with the Planning Department.

CD:sjs

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**CITY OF MCMINNVILLE  
PLANNING DEPARTMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128

503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE ALTERATION OF A HISTORIC LANDMARK AT 608 NE 3<sup>RD</sup> STREET WITHIN THE DOWNTOWN DESIGN AREA AND ALSO FOR A WAIVER FROM SOME DOWNTOWN DESIGN STANDARDS**

**DOCKET:** DDR 2-18

**REQUEST:** The applicant has submitted a Downtown Design Review application to request the alteration of a historic landmark (Resource A866) in the Downtown Historic District, which is listed on the National Register of Historic Places. The property is located in the downtown design area described in Section 17.59.020 of the McMinnville City Code, and any exterior building alteration is required to follow the Downtown Design Review process required by Section 17.59.030(A) of the McMinnville City Code.

**LOCATION:** The subject site is located at 608 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.

**ZONING:** The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).

**APPLICANT:** Ernie Munch, on behalf of EMA Architecture, LLC

**STAFF:** Chuck Darnell, Associate Planner

**DATE DEEMED COMPLETE:** April 25, 2018

**DECISION-MAKING BODY:** McMinnville Historic Landmarks Committee

**DATE & TIME:** May 15, 2018. Meeting was held at the Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, OR 97128.

**COMMENTS:** Public notice was provided to owners of properties within 300 feet of the subject site, as required by Section 17.59.030(C)(3) of the McMinnville City Code. The Planning Department did not receive any public testimony prior to the public meeting.

Based on the findings and conclusions, the Historic Landmarks Committee **APPROVES** the proposed exterior alterations to the existing building at 608 NE 3<sup>rd</sup> Street and the waiver of certain downtown design standards related to the steel canopy.

**DECISION: APPROVAL**

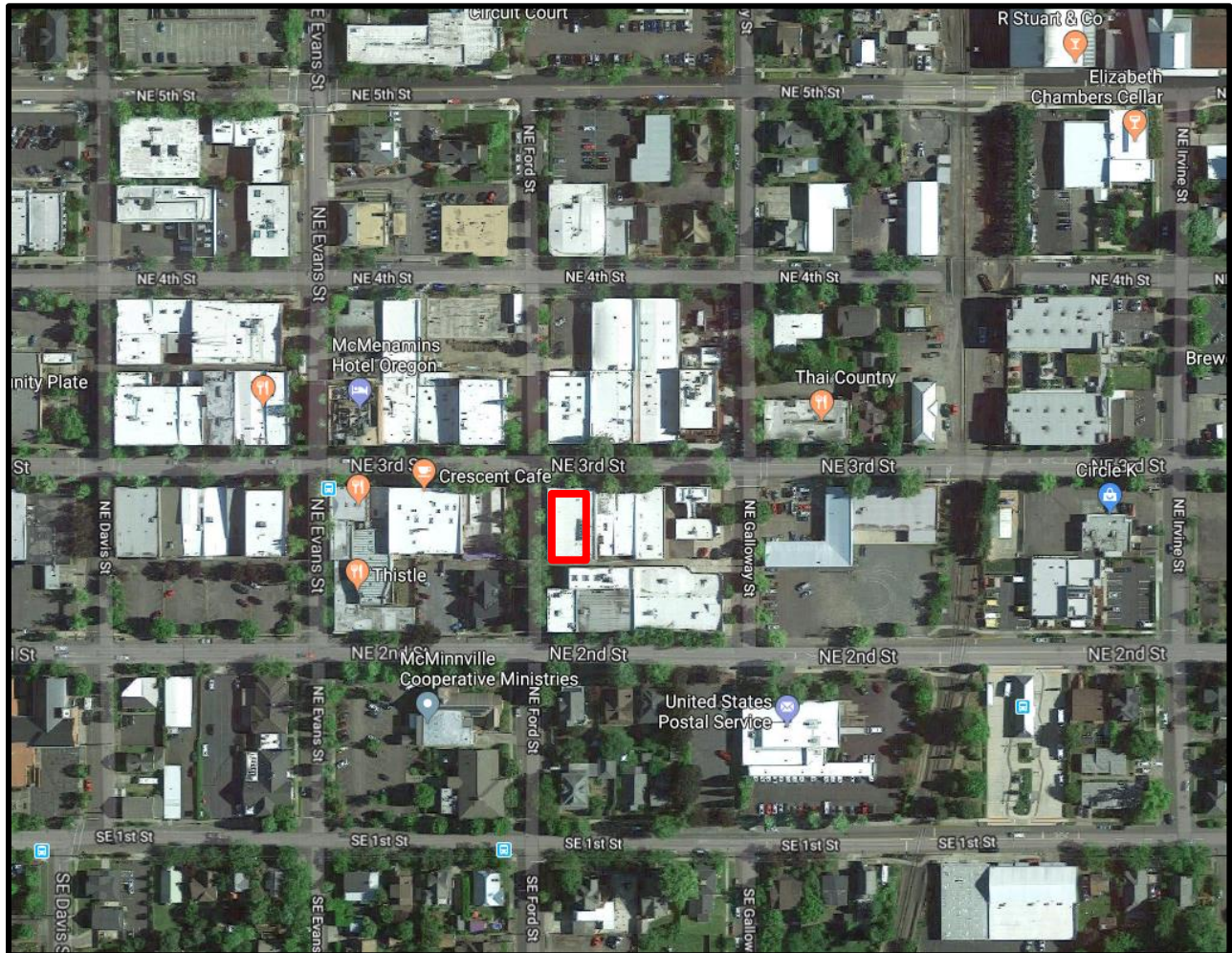
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Date: \_\_\_\_\_

**APPLICATION SUMMARY:**

The applicants, Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Downtown Design Review application to request the alteration of a historic landmark (Resource A866) in the Downtown Historic District and downtown design area, and also for a waiver from certain downtown design standards. The subject property is located at 608 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.

The current location of the historic resource is identified below:

**ATTACHMENTS**

1. Downtown Design Review Application (on file with the Planning Department)

**COMMENTS**

This matter was not referred to other public agencies for comment.

**FINDINGS OF FACT**

1. Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Downtown Design Review application to request the alteration of a historic landmark in the Downtown Historic District and

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Attachment 1 – Downtown Design Review Application

downtown design area, and also for a waiver from certain downtown design standards. The subject property is located at 608 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.

2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. Notice of the downtown design review request was provided to property owners within 300 feet of the subject site. The Planning Department did not receive any public testimony prior to the public meeting.
4. A public meeting was held by the Historic Landmarks Committee on May 15, 2018 to review the proposal.

## **CONCLUSIONARY FINDINGS**

### **McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.

Finding: The focus of the comprehensive plan goal is to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to rehabilitate the existing historic building and preserve existing features and materials where possible. The upgrades being proposed to the building will bring the building into compliance with building code and seismic requirements, which will improve the property's value, safety, and structural stability. Therefore, the Comprehensive Plan goal is satisfied by the proposal.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

**McMinnville's City Code:**

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.59.020      Applicability.

- A. The provisions of this Chapter shall apply to all lands located within the area bounded to the west by Adams Street, to the north by 4<sup>th</sup> Street, to the east by Kirby Street, and to the south by 1<sup>st</sup> Street. Lands immediately adjacent to the west of Adams Street, from 1<sup>st</sup> Street to 4<sup>th</sup> Street, are also subject to the provisions of this Chapter.
- B. The provisions of this ordinance shall apply to the following activities conducted within the above described area:
  - 1. All new building construction;
  - 2. Any exterior building or site alteration; and,
  - 3. All new signage.

Finding: The subject site is located within the downtown design area described in Section 17.59.020(A), and the applicant is proposing exterior alterations to an existing building. Therefore, the provisions of the Downtown Design Standards and Guidelines chapter are applicable to the proposed construction.

17.59.030      Review Process.

- A. An application for any activity subject to the provisions of this ordinance shall be submitted to the Planning Department and shall be subject to the procedures listed in (B) through (E) below.
- B. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The application shall include the following information:
  - 1. The applicant shall submit two (2) copies of the following information:
    - a. A site plan (for new construction or for structural modifications).
    - b. Building and construction drawings.
    - c. Building elevations of all visible sides.
  - 2. The site plan shall include the following information:
    - a. Existing conditions on the site including topography, streetscape, curbcuts, and building condition.
    - b. Details of proposed construction or modification to the existing structure.
    - c. Exterior building elevations for the proposed structure, and also for the adjacent structures.
  - 3. A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
  - 4. Photographs of the subject site and adjacent property.
  - 5. Other information deemed necessary by the Planning Director, or his/her designee, to allow review of the applicant's proposal. The Planning Director, or his/her designee, may also waive the submittal of certain information based upon the character and complexity (or simplicity) of the proposal.
- C. Review Process
  - 1. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The Planning Director shall review the application and determine whether the proposed activity is in compliance with the requirements of this ordinance.
  - 2. The Planning Director may review applications for minor alterations subject to the review criteria stated in Section 17.59.040. The Historic Landmarks Committee shall review applications for major alterations and new construction, subject to the review

criteria stated in Section 17.59.040. It shall be the Planning Director's decision as to whether an alteration is minor or major.

3. Notification shall be provided for the review of applications for major alterations and new construction, subject to the provisions of Section 17.72.110.
  - a. The Historic Landmarks Committee shall meet within 30 (thirty) days of the date the application was deemed complete by the Planning Department. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action on the plans. A failure by the Planning Director or Historic Landmarks Committee, as applicable, to review within 30 (thirty) days shall be considered an approval of the application.
  - b. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity to be in compliance with the provisions of this ordinance, they shall approve the application.
  - c. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity in noncompliance with the provisions of this ordinance, they may deny the application, or approve it with conditions as may be necessary to bring the activity into compliance with this ordinance.

Finding: The applicant submitted an application as required, and the application was reviewed by the Historic Landmarks Committee as it consists of new construction. Notification was provided to property owners within 300 feet of the subject site, which exceeds the notification area required by Section 17.72.110, but was necessary for the proposed project to satisfy the Certificate of Approval application that was submitted concurrently with the Downtown Design Review application.

#### 17.59.040 Review Criteria

- A. In addition to the guidelines and standards contained in this ordinance, the review body shall base their decision to approve, approve with conditions, or deny the application, on the following criteria:
  1. The City's historic preservation policies set forth in the Comprehensive Plan;
  2. If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2); and

Finding: The proposal was found to be consistent with the City's historic preservation policies and goals, as describe in more detail above. Also, the proposal was found to be consistent with the City's historic preservation regulations in Chapter 17.65, as described in the land use decision document associated with Docket HL 3-18, which is on file with the Planning Department.

3. If applicable (waiver request), that all of the following circumstances are found to exist:
  - a. There is demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

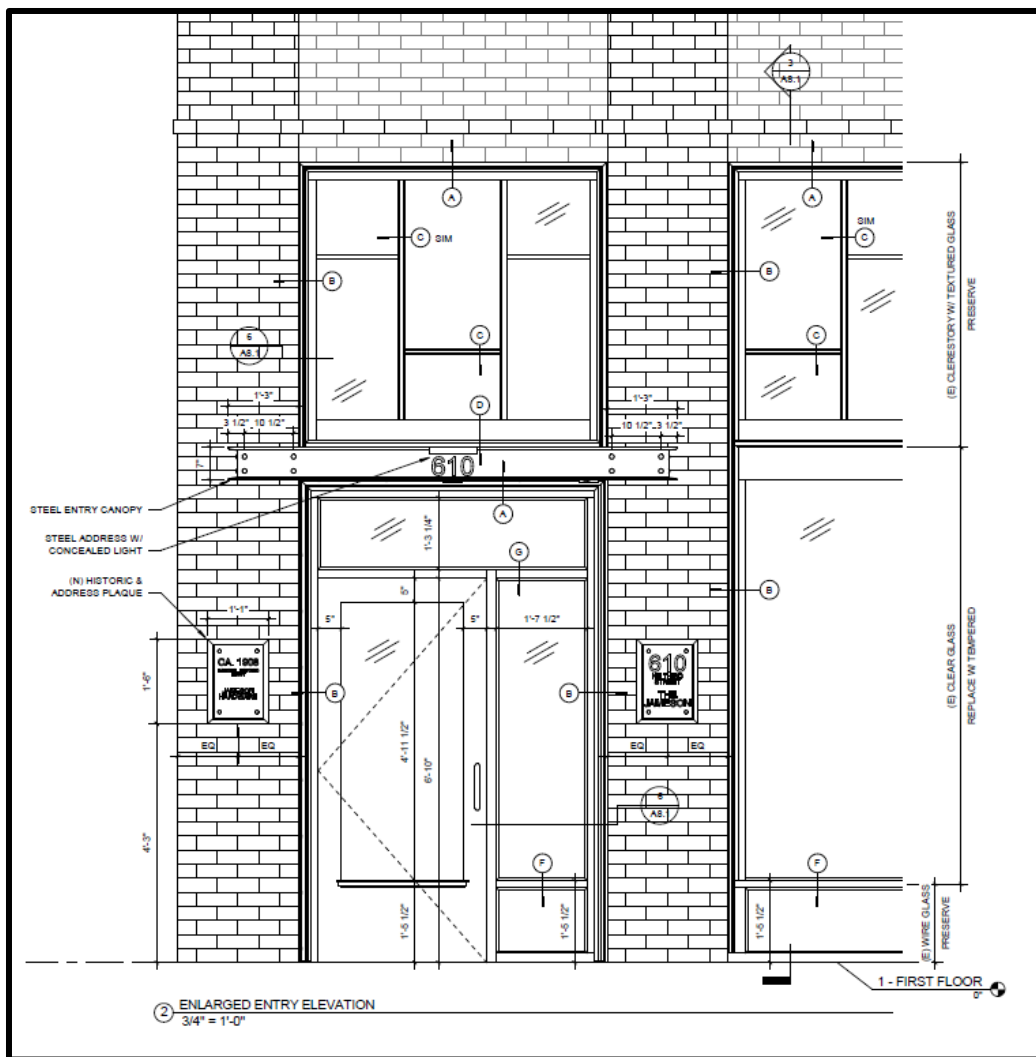
Finding: The applicant has provided an argument that the demonstrable difficulty in meeting the code requirements for the steel awning are relative to the seismic upgrade. The Taylor-Dale building is an unreinforced masonry building and most of the steel added for the seismic upgrade will be added within the interior. The entrance to the second story will be an exception. Half inch steel plates are proposed to strengthen and contain the brick columns flanking the entrance. The steel plate was proposed to be visible on the exterior within the second story entry recess. However, as part of the Certificate of Approval review of the exterior alterations, a condition of approval was included to require that the steel plate be encased with wood trim to match the existing wood building materials on the ground floor of

the existing building. Therefore, the arguments that the steel canopy will match the steel plate around the second story entry are no longer valid.

The applicant has argued that there is a need for the canopy to be steel so that it can blend in to the existing façade and not create a new architectural feature that does not exist on other portions of the main entry façade. A fabric awning would require a larger framing system that may detract from the character defining storefront window system and clerestory windows. The applicant is proposing to use the steel awning because the depth can be held to only seven inches, which allows for installation of lighting, a required sprinkler head, and security equipment. This depth is also the same height as, and aligned with, the horizontal separation between the adjacent storefront and the prismatic clerestory above. This results in the awning not detracting from the character defining features of the building.

A rendering and elevation drawing showing the awning depth and design are provided below:





- b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and

**Finding:** The use of steel for the canopy allows for a durable and welcoming solution which can be mounted directly to the steel needed for the seismic upgrade. The proportions of the building and its defining elements are preserved. The design allows visibility of the building's architectural features, door, transom, clerestory, and pilasters. It respects the proportions of building and rectangular geometry of the street facades. The existing main architectural elements will still be dominant, unifying features of the façade.

The use of steel also allows for the attachment of the canopy to the building without damaging the existing brick face, and allow a 1/2" separation from the brick. A canvas awning would introduce another material and another geometry to this part of the building, and would break with the rectangular composition of the street facing facades. Additional canvas awnings on the northern exposure of this building would not be appropriate and would diminish the transparency of the ground floor façade. The proposed solution will also yield a source of original, matching brick that can be used in the restoration of the street facades.

- c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

Finding: The proposed design which yields a protected area 5'-0" deep by 8'- 0" wide measured at the extension over the sidewalk, is the minimum protection required. By comparison, the ground floor main entrance offers a recess of 7 feet to 8 feet wide by 6'-6" deep and is protected by side walls for the entire depth. The extended canopy width over the sidewalk is held back to allow one side of the flanking pilasters to reach their full height without visual interruption.

17.59.050 Building and Site Design.

A. Building Setback.

1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.
2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

Finding: These standards are not applicable, as the existing building has a zero setback and covers the entire property.

B. Building Design.

1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

Finding: The proposed alterations will not change the buildings original massing or configuration.

2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

Finding: The building currently exceeds 60 feet in width on both street frontages and meets this standard. The proposed alterations will maintain the existing different colored brick piers that act as the original proportional subdivisions.

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include:
  - a. A belt course separating the upper stories from the first floor;
  - b. A bulkhead at the street level;
  - c. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;
  - d. A recessed entry and transom with transparent door; and
  - e. Decorative cornice or cap at the roofline.

Finding: The applicant is proposing to maintain exterior masonry, which includes decorative brick detail work creating a beltcourse between the upper stories and the first floor and a decorative cornice at the roofline. The existing storefront window mullion system will be retained, with new glass panes being installed, but the amount of glazing will stay consistent with the historic building's storefront design. The existing storefront also includes recessed entries and a bulkhead at the Third Street frontage, which is the main entry point into the building.

4. Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

Finding: The proposed alterations will not change the roof lines of the original structure, except that bricks will be taken from the remains of chimneys on the alley, (south), façade to restore a chimney on the street, (west), façade, and improve roof drainage.

5. The primary entrance to a building shall open on to the public right-of-way and should be recessed.

Finding: The original recessed main entrance to the ground floor will remain in its current configuration. The proposed alteration in the northeast corner of the building will increase the recess to provide better protection and to prevent the door from opening over the public right-of-way. The double doors on the west façade will be recessed further to minimize their swing over the sidewalk. The increased recess will provide better protection to the doors and those using them. These doors will provide a secondary entrance and code required egress to and from the ground floor.

6. Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical.

Finding: Replacement windows on the second floor, if found to be required, will match the proportions and recess of the original windows. Other windows and the storefront will remain.

7. The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.

Finding: The scale of the added canopy at the northeast entrance to the second floor is visually compatible with the original architectural character of the building. The metal canopy will have the same thickness, (seven inches) as, and be aligned with, the horizontal separation between the adjacent storefront and the prismatic clerestory above. The canopy will be the painted the same trim color as the existing horizontal band. The structural steel and canopy will have detailing common to the period of the building. The two foot extension over the sidewalk matches the width of the pilasters thus supporting the established scale and proportion of the building. The proportions of the building and its defining elements will be preserved. The design allows visibility of the building's architectural features, door, transom, clerestory, and pilasters. It respects the rectangular geometry of the street facades. The existing, dominate architectural elements will still be unifying features of the façade.

The deeper recess for the double doors in the west elevation will resolve code issues without changing scale or proportion of the building. It supports the design guideline which calls for recessed openings at street entrances. Alterations to the east and south facades will clean up a poor conditions along the alley, at the southeast corner of the building. They will provide a solution to multiple code violations, without depreciating the building's current architectural character. The infills will match the brick and stucco now facing the east and south facades.

8. Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.

Finding: No alterations are planned for the exterior foundation or base of the building.

### C. Building Materials.

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Attachments:

Attachment 1 – Downtown Design Review Application

1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

Finding: The original finishes will be conserved and restored. A steel canopy is proposed at the second story entrance on 3rd Avenue. A similar steel canopy can be found on the Telephone Register building at NE 4th and Davis. That building is registered as a Primary Significant Contributing building. The proposed canopy will be less intrusive, more carefully detailed and, because it is steel, supported without attaching to the brick facing the building. Findings to support the design waiver and allow for the steel canopy are provided above.

2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):
  - a. Wood, vinyl, or aluminum siding;
  - b. Wood, asphalt, or fiberglass shingles;
  - c. Structural ribbed metal panels;
  - d. Corrugated metal panels;
  - e. Plywood sheathing, to include wood paneling such as T-111;
  - f. Plastic sheathing; and
  - g. Reflective or moderate to high grade tinted glass.

Finding: The applicant is not proposing to use any of the listed prohibited exterior building materials.

3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim.

Finding: The existing red and buff colored brick will be maintained. The applicant is proposing to use a neutral dark gray color on the wood trim and steel canopy.

#### 17.59.070 Awnings.

- A. Awnings or similar pedestrian shelters shall be proportionate to the building and shall not obscure the building's architectural details. If transom windows exist, awning placement shall be above or over the transom windows where feasible.

Finding: The proposed canopy will be seven inches tall and project horizontally from the 5'-6" wide recessed entrance to the second floor and project two feet over the sidewalk. Its seven inch height and location will correspond with the band that separated the clearstory windows from the storefront. The design allows for the visibility of both the transom over the door, and the clerestory. Over the sidewalk, the canopy width expands from 5'-6" to 8'-0" by extending fifteen inches over the twenty six inch wide columns. The building's architectural features, door, transom, clerestory, and pilasters will remain the dominant, unifying architectural features.

- B. Awnings shall be placed between pilasters.

Finding: The canopy will project from the 5'-6" wide recess between the two flanking columns. In order to provide more protection at the entrance, the canopy, once over the sidewalk expands to 8'-0" wide by extending fifteen inches over the two, twenty six inch wide columns. The column can still be seen extending from the ground to the second story. Findings to support the design waiver and allow for the canopy to extend over a portion of the flanking columns are provided above.

- C. Where feasible, awnings shall be placed at the same height as those on adjacent buildings in order to maintain a consistent horizontal rhythm along the street front.

Finding: There are no awnings on adjacent buildings. The subject building is north facing and there is no evidence that ever had an awning or canopy.

- D. Awnings should be constructed of soft canvas, fabric, or matte finished vinyl. The use of wood, metal or plastic awnings is prohibited.

Finding: This canopy is proposed to be constructed of metal because it has the capability to extend past the building columns in a thickness that matches the seven inch band separating the storefront and clerestory. Findings to support the design waiver and allow for the steel canopy are provided above.

- E. Awnings may be indirectly illuminated; internal illumination of awnings is prohibited.

Finding: The awning will not be illuminated.

- F. Awning colors shall be of a low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the awning are prohibited.

Finding: The awning will be painted the trim color, a neutral dark gray matching the color of the trim, and the band which exists between the clerestory and storefront windows.

#### 17.59.080 Signs.

- A. The use of flush-mounted signs, flag-mounted signs, window signs, and icon signs are encouraged. Sign materials shall be compatible with materials used in the building.

Finding: Two bronze plaques approximately 1'-1" by 1'-6" will be mounted through the mortar joints of the flanking columns. One will identify the name and address of the accommodations on the second floor. The other will identify the building as a national historic landmark. The building address will also be illuminated at the center of the leading edge of the canopy. A single 42" diameter blade sign at the northwest corner of the building will identify the single business occupying the ground floor. The address of this business will be displayed in the transom over main entrance.

- B. Where two or more businesses occupy the same building, identifying signs should be grouped together to form a single panel.

Finding: Only one business is proposed to occupy the ground floor of the building with this proposal.

- C. Wall signs shall be placed in traditional locations in order to fit within architectural features, such as: above transoms; on cornice fascia boards; or, below cornices. Wall signs shall not exceed the height of the building cornice.

Finding: Two bronze plaques approximately 1'-1" x 1'-6" will be mounted through the mortar joints of the flanking columns. One will identify the name and address of the accommodations on the second floor. The other will identify the building as a national historic landmark. The building address will also be illuminate at the center of the leading edge of the canopy. A single blade sign at the northwest corner of the building will identify the single business occupying the ground floor. The address of this business will be displayed in the transom over main entrance. None of the signs will exceed the height of the building cornice.

- D. For every lineal foot of building frontage, 1.5 square feet of signage may be allowed, to a maximum of 200 square feet.

Finding: The proposed signage is about 10% of the allowed. The signage currently proposed is under 20 square feet. The total frontage on both streets is 166 feet, thus allowing 200 sf of signage.

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Attachments:

Attachment 1 – Downtown Design Review Application

- E. The use of the following are prohibited in the downtown area:
1. Internally-lit signs;
  2. Flashing signs
  3. Pedestal signs and pole-mounted signs;
  4. Portable trailer signs;
  5. Cabinet-type plastic signs;
  6. Billboards of all types and sizes;
  7. Historically incompatible canopies, awnings, and signs;
  8. Signs that move by mechanical, electrical, kinetic or other means; and,
  9. Inflatable signs, including balloons and blimps. (Ord. 4797 §1, 2003).

Finding: None of the prohibited types of signs are being proposed.

CD:sjs

**Historic Resources Survey  
City of McMinnville  
Yamhill County, Oregon**

**Site Information**

**Site Address**

608 NE 3rd St.

**Owner at Time of Survey**

Ethan Dale (Taylor Dale Hardware)

**Map/Tax Lot**

R4421BC10400

**Current Zoning**

C-3

**Special Tax  
Assessment**

Yes @ survey

**Downtown Historic  
District**

Yes

**Subdivision Name**

Rowlands Addition

**Block**

6

**Lot**

**Lot Size**

9,000 sq.ft.

**Quadrant**

NE

**Site Number**

11.27

**Aerial Number**

K-11

**Resource  
Classification**

A

**Resource  
Number**

866

**Historic Significance**

Primary Resource #433

**Historic Information**

**Date of Construction**

1904

**Early Additions/ Remodels**

**Builder/Architect**

Dwight Miller (carpenter)

**Historic Name**

Jameson Hardware

**Original Use**

Hardware &  
Apartments

**Common Name**

Taylor-Dale Hardware

**Present Use**

Hardware

**Condition of Structure**

Excellent

**Comments (at time of Survey)**

**Building Type**

Commercial

**Outbuildings**

None

**Building Style**

**Stories**

2

**Porch**

☐

**Basement**

☒

**Roof Style**

Flat

**Roof Type**

**Moved**

☐

**Demolished**

☐

**Year/Date**

**Permit Number(s)**

11-1-94

**Additions/ Alterations**

2nd Floor Interior Remodel

**Resource Information**

**Recorded By**

Janice Rutherford

**Date**

6-20-1980

**Sources**

Carale Taylor, Interview 6-24-80;  
Photograph, Taylor Collection

Historic Resource Survey  
City of McMinnville  
Yamhill County, Oregon

Statement of historical significance and description of property:

A866 Special Assessment Program

One of the least-changed buildings on the main street, this fine square two-story red brick structure retains its original flavor. It is flat-roofed with projecting chimney. Fenestration is quite regular; the second floor has one-over-one double-hung sash windows and the ground floor has storefront windows superimposed by multi-lighted transoms on the façade (facing north) and square multi-lighted fixed windows on the west elevation. One bay on the façade serves as a stairwell opening. Ornament consists of a simple corbelled brick cornice line, two corbelled brick belt courses, piers from the street to the second floor, simulated quoins, on the second story, and raised window labels, all of contrasting buff-colored brick. The legend "Jameson Hardware Co. Sporting Goods" appears on what is visible of the east elevation. The rear elevation is plain painted brick with irregular fenestration.

The building was erected by J.L. Fletcher in 1904 and occupied by R.M. Wade and Company. Subsequently Evans and Jameson operated and in 1921, Harold Taylor bought into the business. Four apartments upstairs were occupied in the 1920's by Dr. Wood, the Jameson's, and the librarian, Mrs. Barton. In 1932, Harold Taylor assumed ownership of the business. Today it is in the hands of his son-in-law, Ethan Dale.

## Historic Resource No. A866



Photo July 2001



Original 1983 Survey Photo



**City of McMinnville**  
**Planning Department**  
231 NE Fifth Street  
McMinnville, OR 97128  
(503) 434-7311

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

## EXHIBIT 2 - STAFF REPORT

**DATE:** May 15, 2018  
**TO:** Historic Landmarks Committee Members  
**FROM:** Chuck Darnell, Associate Planner  
**SUBJECT:** HL 4-18 / DDR 3-18 – 618 NE 3<sup>rd</sup> Street

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### **Report in Brief:**

This is the consideration of a Certificate of Approval for an alteration to a historic resource located at 618 NE 3<sup>rd</sup> Street. The subject property is listed on the Historic Resources Inventory as a Contributory resource, and is also classified as a primary significant contributing property in the Downtown Historic District that is listed on the National Register of Historic Places.

A Certificate of Approval is a decision issued by the Historic Landmarks Committee to approve the alteration, demolition or moving of a historic resource or landmark.

An alteration is the addition to, removal of, removal from, or physical modification and/or repair of any exterior part or portion of an historic resource that results in a change in design, materials or appearance. Painting, reroofing, and general repairs are not alterations when the new materials and/or colors match those already in use.

Historic resources are any site, structure, building, district, or object that is included on the Historic Resources Inventory.

Section 17.65.060 of the McMinnville City Code provides the criteria for which the Historic Landmarks Committee must make a decision about approving a Certificate of Approval for the exterior alteration of a historic resource.

### **Background:**

The applicant, Ernest Munch of EMA Architecture submitted a Certificate of Approval application to request a demolition of approximately seven square feet (1'-0" x 7'-0") of the southwest corner of the back façade of the building facing the alleyway to accommodate the construction of an interior second-story stairwell egress for the neighboring building – the Taylor Dale building at 608 NE Third Street. The demolition would also include a concrete vault of unknown purpose and contents roughly 3'-8" wide by 4'-6" long by 2'-3" wide. Please see pictures below. The subject property is located at 618 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10402, Section 21BC, T. 4 S., R. 4 W., W.M.

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#### *Attachments:*

*Certificate of Approval (HL 4-18) and Downtown Design Review (DDR 3-18) Applications*  
*Decision Documents for Application HL 4-18 and Application DDR 3-18*  
*Historic Resources Inventory Sheet C866.1*



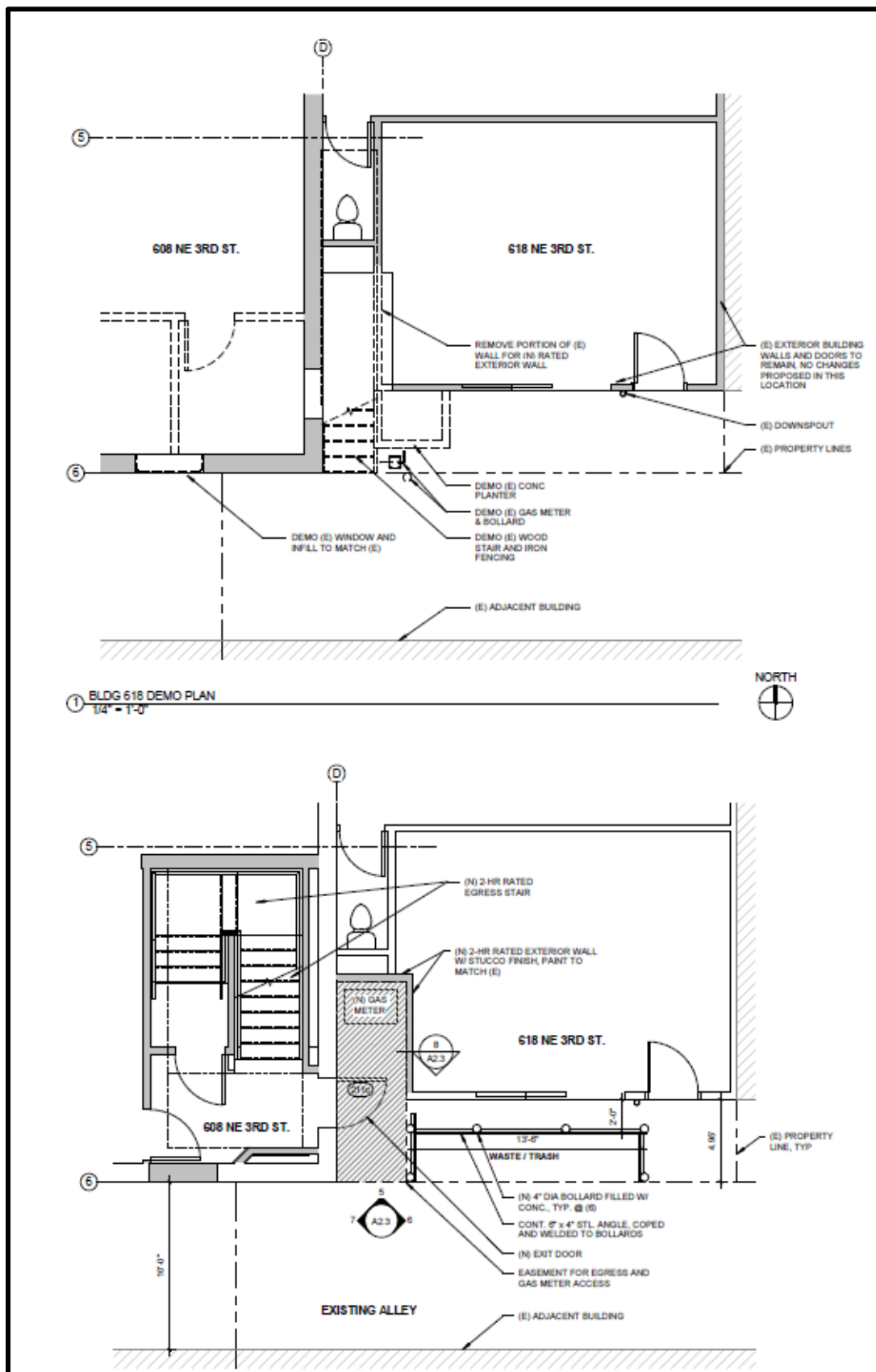
618 NE THIRD STREET

The historic designation for this particular historic resource relates to the structure itself. The structure is designated as a “Contributory” historic resource (Resource C866.1). However, the building is also located within the Downtown Historic District that is listed on the National Register of Historic Places. The building was classified as a primary significant contributing property in the historic district.

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The statement of historical significance and description of the property, as described in the nomination of the Downtown Historic District, is as follows:

This small, rectangular, one-story stucco building has a stepped parapet wall with no ornamentation. There are two storefront bays each with intact wood frame three-light transoms. The easternmost storefront has a wood frame plate glass window with a stucco bulkhead and the westernmost storefront has a wood frame glass door and two wood frame plate glass windows with wood panel bulkheads. Originally, a separate building, this building is now connected internally to the Taylor Dale Building.

Based on Sanborn maps for the area, the building is estimated to have been constructed in 1908.

Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is on the McMinnville Historic Resources Inventory and/or listed on the National Register of Historic Places as a contributing resource. Since the subject property is on the Historic Resources Inventory and classified as a primary significant contributing property, the Certificate of Approval review is required.

In addition, the property is also located in the Downtown Design Standards and Guidelines area. Any exterior alteration of the building and any new additions are subject to the Downtown Design Standards and Guidelines contained in Chapter 17.59 of the McMinnville City Code.

The current location of the historic resource is identified below:

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### **Discussion:**

The applicant is requesting that the Historic Landmarks Committee approve a Certificate of Approval to allow for the alteration of the historic resource, and also approve a Downtown Design Review application to ensure that the proposed alterations and additions are consistent with the Downtown Design Standards and Guidelines. Specifically, the applicant is proposing to remove an existing exterior staircase that currently provides egress from the second story of the Taylor Dale building (at 608 NE 3<sup>rd</sup> Street), demolish a 1' by 7' portion of the subject building at 618 NE 3<sup>rd</sup> Street, and a concrete vault of unknown purpose and contents on the alley side of the subject building. Afterward, the roof of the one-story building would be repaired and two fire-rated walls will be constructed to define the space and enclose the one-story building. The two new walls would be faced with stucco and painted to match the exiting color of the one-story building.

The Historic Landmarks Committee's responsibility regarding this type of application is to hold a public meeting to review the request to alter the structure. Property owner notices were provided to owners of property within 300 feet of the subject site, consistent with Section 17.65.070 of the McMinnville City Code. This also satisfied the property owner notification requirements required for the Downtown Design Review application. During the public meeting, the Historic Landmarks Committee Chair will provide an opportunity for public testimony on the applications.

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## Certificate of Approval Review

In reviewing a request for an alteration of a historic resource, the Historic Landmarks Committee must base its decision on the following criteria, as described in Section 17.65.060(B) of the McMinnville City Code:

- (1) The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation chapter, in Section 17.65.010 of the McMinnville City Code, includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. The proposed alteration does not include any structural or architectural changes to the primary and historically significant façade on the north side (3<sup>rd</sup> Street side) of the building, which will preserve the historic resource's architectural and historical significance. The applicant is also proposing to upgrade the existing building and neighboring building to current building code requirements, which will improve property values. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation are satisfied by the proposal.

- (2) The following standards and guidelines:

- a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

The one-story building at 618 NE 3rd Street was built as an addition to the building at 608 NE 3rd Street. Ownership was separated in 2016 and has recently been rejoined. It currently enjoys a long term tenant who will continue at that location. The two-story Taylor-Dale Building at 608 NE 3rd Street was built, in 1908, as a hardware store on the ground floor with four private apartments on the second floor. Two apartment were added later. This project envisions a full renovation and restoration of the interior. A restaurant, is now planned for the main floor. Six vacation-rentals-by-owner, (VRBO), plus one smaller owner occupied unit are planned for the second floor. The proposed improvement to the egress from the basement and second floor of 608 will make its reuse possible while minimizing disruption to the long term tenant at 618.

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- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

The original inventory of historic resources on the downtown records the value of the street façade of the building at 618 NE 3rd Street but makes no mention of the south, alley elevation. It is apparent that the areas that will be disturbed have been rebuilt several times over the course of the building's history. The area where the proposed action will take place is in need of being cleaned up and brought up to the current life safety code. The reconstruction will be finished with materials that are approved for use in the district. A condition of approval has been included to ensure that the exterior wall be repaired behind the existing concrete vault that is proposed to be removed. Also, a condition of approval has been included to require that, in addition to painting the newly constructed exterior walls, the applicant shall paint the remainder of the existing alley side wall the same color to maintain consistency along the entirety of the alley side wall.

- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

It is apparent that the areas that will be disturbed have been rebuilt several times over the course of the buildings history and no significant historic material will be disturbed. The historic function of providing egress from the second floor of the building at 608 3rd Street will be preserved and brought up to code.

- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

No changes to the property that have acquired historic significance in their own right exist in this area.

- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

No distinctive materials, features, finishes, and construction techniques or examples of craftsmanship characterizing this property exist in this location.

- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

The area of the proposed alteration has been evaluated and found to contain no historic features. The materials used in this location, including plywood and metal siding, are no longer allowed to be used in the district.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The exterior will be cleaned with a mild cleanser and light power wash before being repaired.

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

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The applicant has not provided any information on any potential archeological resources that may be present on the property. However, there are no known archeological resources.

- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

The proposed alterations would need to be considered a “Rehabilitation” of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the Interior’s Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

Even though there are no alterations or changes proposed to the primary and historically significant front façade, the new building walls would only be allowed under the rehabilitation treatment as a new building wall addition. The applicant has stated and provided arguments that the proposed demolition and construction of new building walls are being driven by building code requirements. Some of the applicable rehabilitation guidelines for code-related work on historic buildings, and findings for the guidelines, are provided below:

Recommended Guideline: Identifying the historic building’s character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting which may be affected by accessibility code-required work.

Recommended Guideline: Finding solutions to meet accessibility requirements that minimize the impact of any necessary alteration on the historic building, its site, and setting, such as compatible ramps, paths, and lifts.

Recommended Guideline: Complying with life-safety codes (including requirements for impact-resistant glazing, security, and seismic retrofit) in such a manner that the historic building’s character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.

The proposed alteration and demolition are being completed on the alley side of the historic building, where it has been shown that there is not any significant historical characteristics to preserve. The primary and front façade of the building contains the most character defining historical features, which are documented in the Historic Resources Inventory and the Downtown Historic District nomination form.

- (3) The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource’s preservation or renovation;

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The proposed alteration will allow for the reuse of the two story building at 608 NE 3<sup>rd</sup> Street, while improving the safety and preserving the acknowledged historic value in the primary front façade of the building at 618 NE 3<sup>rd</sup> Street.

(4) The value and significance of the historic resource;

The historic resource is located within the Downtown Historic District that is listed on the National Register of Historic Places, and is classified as a secondary significant contributing property in the historic district. The existing character defining materials and features that were identified in the listing of the property in the historic district, including the stepped parapet roofline and the existing storefront window system, will be preserved and therefore the significance of the historic resource will not be impacted by the proposed demolition.

(5) The physical condition of the historic resource;

In this location, the building is in an unsafe and unattractive condition. The proposal will make it safer and use materials in compliance with the historic guidelines.

### **Downtown Design Review**

In reviewing a request for an alteration or new construction to a building or property in the downtown design area, the Historic Landmarks Committee must base its decision on the design standards and guidelines in Chapter 17.59 (Downtown Design Standards and Guidelines) of the McMinnville City Code, and also on the following review criteria:

- (1) The City's historic preservation policies set forth in the Comprehensive Plan;
- (2) If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2)

The following design standards and guidelines in Chapter 17.59 are applicable to this request:

17.59.050 Building and Site Design.

A. Building Setback.

1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.
2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

The building currently has a zero setback from the NE 3<sup>rd</sup> Street property line. The existing alley side of the building has a slight setback, but this would not be increased with the proposed alterations.

B. Building Design.

1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

The proposed alterations will not drastically change the buildings original massing or configuration. The portion of the building being removed is the minimum possible to achieve the necessary egress from the adjacent building (Taylor Dale building at 608 NE 3<sup>rd</sup> Street).

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*Attachments:*

*Certificate of Approval (HL 4-18) and Downtown Design Review (DDR 3-18) Applications  
Decision Documents for Application HL 4-18 and Application DDR 3-18  
Historic Resources Inventory Sheet C866.1*

2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

This standard is not applicable, as the existing building is not more than sixty feet in width.

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include:
  - a. A belt course separating the upper stories from the first floor;
  - b. A bulkhead at the street level;
  - c. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;
  - d. A recessed entry and transom with transparent door; and
  - e. Decorative cornice or cap at the roofline.

The applicant is proposing to maintain the existing storefront on the primary front façade. There is no storefront system or glazing on the alley side of the property to maintain.

4. Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

Except for the removal of the existing exterior stairway that extends above the roofline, there will be no change to the existing flat roofline of the one story building.

5. The primary entrance to a building shall open on to the public right-of-way and should be recessed.

The applicant is proposing to maintain the existing storefront and primary entrance on the primary front façade. There is no primary entrance on the alley side of the property. Existing openings in the alley side wall will remain.

#### C. Building Materials.

1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

In the area where the new walls will be constructed, they will be finished with stucco, which is an approved exterior building material in the downtown design area.

2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):
  - a. Wood, vinyl, or aluminum siding;
  - b. Wood, asphalt, or fiberglass shingles;
  - c. Structural ribbed metal panels;
  - d. Corrugated metal panels;

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#### Attachments:

Certificate of Approval (HL 4-18) and Downtown Design Review (DDR 3-18) Applications  
 Decision Documents for Application HL 4-18 and Application DDR 3-18  
 Historic Resources Inventory Sheet C866.1

- e. Plywood sheathing, to include wood paneling such as T-111;
- f. Plastic sheathing; and
- g. Reflective or moderate to high grade tinted glass.

The applicant is not proposing to use any of the listed prohibited exterior building materials.

- 3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim.

The applicant is proposing to paint the new walls the same color as the existing front façade of the one story building. A condition of approval has been included to require that the remainder of the alley side wall also be painted this same color to maintain a consistent color along the entirety of the alley side wall.

**Fiscal Impact:**

None.

**Committee Options:**

- 1) **APPROVE** the applications, providing findings of fact for the required demolition review criteria.
- 2) **APPROVE** the applications **WITH CONDITIONS**, providing findings of fact for the required demolition review criteria.
- 3) **DENY** the applications, providing findings of fact for the denial in the motion to deny.

**Recommendation/Suggested Motion:**

Staff recommends that the Historic Landmarks Committee approve the Certificate of Approval application (HL 4-18) with the following conditions:

- 1) That the applicant shall repair the exterior alley side wall behind the location of the existing concrete vault that is proposed to be removed.
- 2) That, in addition to painting the newly constructed exterior walls, the applicant shall paint the remainder of the existing alley side wall the same color to maintain consistency along the entirety of the alley side wall.

Staff also recommends that the Historic Landmarks Committee approve the Downtown Design Review application (DDR 3-18) with no conditions of approval.

**Suggested Motion:**

Staff suggests that the Historic Landmarks Committee make the following motion to approve the Certificate of Approval application:

**THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE CERTIFICATE OF APPROVAL TO ALLOW THE ALTERATION OF THE HISTORIC**

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*Attachments:*

*Certificate of Approval (HL 4-18) and Downtown Design Review (DDR 3-18) Applications  
Decision Documents for Application HL 4-18 and Application DDR 3-18  
Historic Resources Inventory Sheet C866.1*

**RESOURCE AT 618 NE 3<sup>rd</sup> STREET (RESOURCE C866.1) WITH THE CONDITIONS RECOMMENDED BY STAFF.**

Staff also suggests that the Historic Landmarks Committee make the following motion to approve the Downtown Design Review application:

**THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE EXTERIOR DESIGN OF THE HISTORIC RESOURCE AT 618 NE 3<sup>rd</sup> STREET (RESOURCE C866.1).**

CD:sjs

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*Attachments:*

*Certificate of Approval (HL 4-18) and Downtown Design Review (DDR 3-18) Applications  
Decision Documents for Application HL 4-18 and Application DDR 3-18  
Historic Resources Inventory Sheet C866.1*

618 NE 3RD ST

PARTIAL DEMOLITION  
& EXTERIO ALTERATION



**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128  
(503) 434-7311 Office • (503) 474-4955 Fax  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

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**Office Use Only:**

File No. HL 4-13  
Date Received 4-6-13  
Fee \$ 0  
Receipt No. N/A  
Received by CD

## Certificate of Approval (Alteration)

### Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☒ Agent ☐ Other \_\_\_\_\_

Applicant Name EMA Architecture, LLC Phone 503-224-1282

Contact Name Ernest R. Munch Phone \_\_\_\_\_  
(If different than above)

Address 111 SW Oak Street, Suite 300

City, State, Zip Portland, OR 97204

Contact Email ernie@ermunch.com

### Property Owner Information

Property Owner Name Historic Third & Ford, LLC Phone 707-544-4000  
(If different than above)

Contact Name Seth Caillat Phone 707-836-2049

Address 421 Aviation Boulevard

City, State, Zip Santa Rosa, CA 95403

Contact Email seth.caillat@jfwmail.com

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 618 NE Third Street, McMinnville, OR 97128

Assessor Map No. R4421 - BC - ~~10400~~ 10402 Total Site Area 2,998 SF

Subdivision Rowlands Addition Block 6 Lot 3

Comprehensive Plan Designation COMMERCIAL Zoning Designation C-3

1. What is the classification of the historic building? incorrectly classified as primary contributing
2. Architect Name EMA Architecture, LLC Phone \_\_\_\_\_  
(Engineer or Other Designer)  
Contact Name Ernest R Munch Phone 503-224-1282  
Address 111 SW Oak Street, Suite 300  
City, State, Zip Portland, OR 97204  
Contact Email ernie@ermunch.com
3. Contractor Name R&H Construction Phone \_\_\_\_\_  
Contact Name Shane Bliss Phone 503-702-4929  
Address 1530 SW Taylor Street  
City, State, Zip Portland, OR 97205  
Contact Email sbliss@rhconst.com
4. The existing use of the property. Mercantile
5. The intended use of the property. Mercantile
6. Attach a written narrative that describes:
  - A. The proposed project in detail (specific portions of the structure being altered, new features being constructed, etc.);
  - B. How the proposed project meets the applicable Comprehensive Plan policies;
  - C. How the proposed project meets the applicable design standards and guidelines, which are as follows:
    - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
    - b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
    - c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
    - d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
    - e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
    - f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
  - h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
  - i. The proposed project must be consistent with the Guidelines for Historic Preservation as published by the United States Secretary of the Interior;
- D. The reasonableness of the proposed project and a description of the economic use of the historic resource, and how those factors relate to the proposed project;
- E. The current value and significance of the historic resource, and how those factors relate to the proposed project; and
- F. The physical condition of the historic resource, and how the condition relates to the proposed project.


In addition to this completed application, the applicant must provide the following:

- ☒ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the information listed in the information sheet.
- ☒ Architectural drawings, including elevations of the proposed alteration. The elevations shall include descriptions of the proposed finish material.
- ☒ Photographs and/or drawings of the existing structure.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

  
\_\_\_\_\_  
Applicant's Signature

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Property Owner's Signature

  
\_\_\_\_\_  
Date

# Taylor-Dale Hardware Building, 618 NE 3rd Street, McMinnville, OR

Historic Landmark Certificate of Approval Narrative

17 April 2018

## Overview

This one story, wood framed structure was built ca. 1912-1915. It was joined in function and ownership with the 2-story brick building to the west, as the Taylor Dale Hardware Company, until 2016 when it was split into two different ownerships. At that time a 3-hour fire separation was constructed between the two at the ground level.

### **Corrections Needed**

*Note here that the Downtown Historic District National Register Nomination Form mismatches the title blocks and the descriptions of these two buildings. The two-story building at 608 NE 3rd Street on **Lot 4**, was likely built in 1908 and should be listed as the primary contributor. The one-story building at 618 NE 3rd Street on **Lot 3**, likely built 1912-1915, and its contribution to the historic district is clearly as the secondary contributor. This error is also reflected on the adopted map of the district. Both documents should be corrected for the record. While both structures are considered contributing, there is an obvious qualitative difference between the two structures which is the reverse of what is described in the inventory.*

## Context

At the time of separation, the 2-story building at 608 NE 3rd was granted an easement for egress across the roof of the one story building and down a non-code-compliant stair to the public alley behind the two buildings. The easement has no dimension but allowed for the maintenance, reconstruction, and use of the existing stairway. The former McMinnville Building Official pointed out in particular that the stair ended at the ground level with no landing and at a gate which swung out entirely over the public alley. In his mind, this had to be corrected if the upper floor of the 2-story building was to be remodeled. The current McMinnville Building Official recently confirmed this judgement. In addition, the stair has been remodeled several times and a security gate added. It appears to have no historic value.

## Ownership Status

As of 5 April 2018, the two properties have been rejoined under a single ownership. The current occupant of the single story building will likely continue to occupy the building under a multi-year lease agreement.

## Code Issues

1. The existing egress stair from the second floor of 608 NE 3rd Street, is through a dimensionally undefined easement, across the roof of and down a stairway of the adjacent building at 618 NE 3rd Street. It is non-compliant in the following ways:
  - a. Egress from one building may not be made through a building of lesser safety. The two-story building at 608 NE 3rd Street will be seismically upgraded and have an automatic sprinkler system installed. The one story building at 618 NE 3rd Street will have neither a sprinkler system, nor a seismic upgrade.

- b. The existing egress route from 608 NE 3rd Street is not protected from the adjacent, non-sprinklered building by a fire rated separation.
  - c. The wall of 618 NE 3rd Street which flanks the stair should have a 3 hour fire rating.
  - d. The stair does not comply with the code's maximum riser-height and minimum tread-width requirements.
  - e. The stair riser-heights vary beyond code tolerances.
  - f. The stair is too narrow.
  - g. The handrails do not comply.
  - h. There is no landing at the bottom of the stair.
  - i. The door in the security gate swings out over the alley of public right of way.
  - j. There is insufficient lighting of the egress path.
2. The Basement at 608 NE 3rd Street has inadequate egress.

#### **Description of the Proposal in Detail**

To remedy the egress issue, it is proposed to build a stair within southeast corner of the two-story building to connect all three levels. The new egress stair would then exit into the previously described easement and the gas meter would be relocated to gain access to the door and comply with the supplier's location and clearance requirements. The required area is 12'-0" in the north-south direction and 4'-2" in the east-west direction. This will require the demolition of the existing stair, part of the building measuring 1'-0" x 7'-0", and a concrete vault of unknown purpose and contents roughly 3'-8" wide by 4'-6" long by 2'-3" high.

Afterward, the roof of the one-story building would be repaired and two fire-rated walls will be constructed to define the space and enclose the one-story building. The two new walls would be faced with stucco and painted to match the exiting color of the one-story building. A fixture that will supply general lighting will be mounted above and just to the south of the new door to illuminate the trash area described below and recess for the gas meter. A security camera will also be mounted in the same area.

A below grade grease interceptor, serving the planned restaurant, will be located in the 4'-2" clearance area outside the new egress door.

Six 4" diameter by 3'-0" tall bollards will be placed behind the one-story building and joined with a steel angle to define an area for the storage of trash collection bins, and maintain required clear areas 2 feet south of the one-story building and 4'-2" west of the two-story building. The bollards and angle will be painted to match the existing color of the south elevation of the one-story building.

#### **17.65.060(B)(1): How the proposed project meets the application Comprehensive Plan Policies:**

**Goal:** TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNIVILLE.

**Comprehensive Plan Policy:** 15.00 The City of McMinnville shall establish a program for the identification and preservation of significant sites, structures, objects and areas.

**Finding:** The applicant is filing under the program established by the City of McMinnville to preserve significant sites, structures, objects and areas. This proposal will allow for the use of the second floor and basement of the adjoining building at 608 NE 3rd Street

**Comprehensive Plan Policy:** 16.00 The City of McMinnville shall support special assessment programs as well as federal grants-in-aid programs and other similar legislation in an effort to preserve structures, sites, objects, or areas of significance to the City.

**Finding:** The property does not enjoy a special assessment in support of historic preservation. The owner applied for but did not receive a grant to aid the preservation effort.

**Comprehensive Plan Policy:** 17.00 The City of McMinnville shall enact interim measures for protection of historic sites and structures. Those measures are identified in the McMinnville Comprehensive Plan, Volume I, Chapter III.

**Finding:** NA. This program is applying for approval under Chapter 17.59 and 17.65, not under interim measures.

**Comprehensive Plan Policy:** 17.01 The City of McMinnville will, by the time of the first plan update (1985), conduct a thorough study (consistent with the requirements of Statewide Planning Goal No. 5) of the 515 resources included in the 1980 historical survey and the properties VOLUME II Goals and Policies Page 3 listed on the 1976 Inventory of Historical Sites (Figure III-1, Volume I, McMinnville Comprehensive Plan) and place those structures and sites which are found to warrant preservation on a list of historic buildings and places. The City shall also study other buildings and sites which were not included on the 1976 and 1980 inventories and place those so warranted on the list of historic buildings and places. The City shall then adopt a historic preservation ordinance which is consistent with the requirements of Statewide Planning Goal No. 5 and which protects the structures and sites included on the list (as amended by Ord. 4218, Nov. 23, 1982).

**Finding:** NA. This program is applying for approval under Chapter 17.59 and 17.65, not under interim measures.

**17.65.060(B)(1): How the proposed project meets the applicable design standards and guidelines, which are as follows:**

- a) A property will be used as it was historically, or be given a new use that maximized the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

**Finding:** The one-story building at 618 NE 3rd Street was built as an addition to the building at 608 NE 3rd Street. Ownership was separated in 2016 and has recently been rejoined. It currently enjoys a long term tenant who will continue at that location.

The two-story Taylor-Dale Building at 608 NE 3rd Street was built, in 1908, as a hardware store on the ground floor with four private apartments on the second floor. Two apartment were added later. This project envisions a full renovation and restoration of the interior. A restaurant, is now planned for the main floor. Six vacation-rentals-by-owner, (VRBO), plus one smaller owner occupied unit are planned for the second floor.

The proposed improvement to the egress from the basement and second floor of 608 will make its reuse possible while minimizing disruption to the long term tenant at 618.

- b) The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.**

**Finding:** The original inventory of historic resources on the downtown records the value of the street façade of the building at 618 NE 3rd Street but makes no mention of the south, alley elevation. It is apparent that the areas that will be disturbed have been rebuilt several times over the course of the building's history. The area where the proposed action will take place is in need of being cleaned up and brought up to the current life safety code. The reconstruction will be finished with materials that are approved for use in the district.

- c) Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic material and features will be physically and visually compatible, identifiable upon close inspection, and properly documented and preserved for future research.**

**Finding:** It is apparent that the areas that will be disturbed have been rebuilt several times over the course of the buildings history and no significant historic material will be disturbed. The historic function of providing egress from the second floor of the building at 608 3rd Street will be preserved and brought up to code.

- d) Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

**Finding:** NA. No changes to the property that have acquired historic significance in their own right exist in this area.

- e) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

**Finding:** NA. No distinctive materials, features, finishes, and construction techniques or examples of craftsmanship characterizing this property exist in this location.

- f) The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.**

**Finding:** The area of the proposed alteration has been evaluated and found to contain no historic features. The materials used in this location are no longer allowed to be used in the district.

- g) Chemical or physical treatment, if appropriate. Will be undertaken using the gentlest means possible. Treatments that cause damage to historic material will not be used.**

**Finding:** The exterior masonry will be cleaned with a mild cleanser and light power wash before being repaired and repointed.

- h) Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

**Finding:** NA. There are no known archeological resources.

- i) The proposed project must be consistent with the Guidelines for Historic Preservation as published by the United States Secretary of the Interior.**

**Finding:** Years of patchwork abuse will be removed in favor of code compliant construction and materials approved for use in the district. This will allow new uses to occupy the adjacent structure at 608 NE 3rd Street.

**D. The reasonableness of the proposed project and a description of the economic use of the historic resource, and how those factors relate to the proposed project;**

**Finding:** The proposed alteration will allow for the reuse of the two story building at 608 NE 3rd Street, while improving the safety and preserving the acknowledged historic value of the building at 618 NE 3rd street.

**E. The current value and significance of the historic resource, and how those factors relate to the proposed project;**

**Finding:** This building should be listed as a secondary significant contributing resource. The value of the resource is primarily in its 3rd street façade. The proposed alteration will improve the safety of the building, and allow it to contribute to the success of 608 NE 3rd Street

**F. The physical condition of the historic resource, and how the condition relates to the proposed project.**

**Finding:** In this location, the building is in an unsafe and unattractive condition. The proposal will make it safer and use materials in compliance with the historic guidelines.

618 NE 3<sup>RD</sup> ST

PARTIAL DEMOLITION  
AND EXTERIOR ALTERATION



Planning Department  
231 NE Fifth Street • McMinnville, OR 97128  
(503) 434-7311 Office • (503) 474-4955 Fax  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

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File No. DDR 3-18

Date Received 4-6-18

Fee \$0

Receipt No. N/A

Received by CD

## Downtown Design Standards & Guidelines Application

### Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☒ Agent ☐ Other \_\_\_\_\_

Applicant Name EMA Architecture, LLC Phone 503-224-1282

Contact Name Ernest R. Munch Phone \_\_\_\_\_  
(If different than above)

Address 111 SW Oak Street, Suite 300

City, State, Zip Portland, OR 97204

Contact Email ernie@ermunch.com

### Property Owner Information

Property Owner Name Historic Third & Ford, LLC Phone 707-544-4000  
(If different than above)

Contact Name Seth Caillat Phone 707-836-2049

Address 421 Aviation Boulevard

City, State, Zip Santa Rosa, CA 95403

Contact Email seth.caillat@jfwmail.com

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 618 NE Third Street, McMinnville, OR 97128

Assessor Map No. R4 421 - BC - 10400 10402 Total Site Area 2,998 SF

Subdivision Rowlands Addition Block 6 Lot 3

Comprehensive Plan Designation COMMERCIAL Zoning Designation C-3

This request is for a:

☒ **Design Review**

☒ **Design Waiver**

1. Attach a written narrative that describes:

- A. The proposed project in detail, including descriptions of the architectural features and building materials being used;
- B. How the project meets the applicable downtown design standards and guidelines;
- C. How the project meets the historic preservation standards and guidelines (if applicable); and
- D. How the project will fit into the context of the downtown historic district.

2. As part of this application, is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so, explain in detail how the criteria for waiving a standard or guideline as listed in Section 17.59.040(A) have been met (*attach additional pages if necessary*).\_\_\_\_\_

Please see attached narrative.

In addition to this completed application, the applicant must provide the following:

- ☒ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size). For new construction or for structural modifications show the information listed in page one of the information sheet.
- ☒ Building and construction drawings including building elevations of all visible sides.
- ☒ A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
- ☒ Photographs of the subject site and adjacent property.
- ☐ Other information deemed necessary by the Planning Director.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

  
\_\_\_\_\_  
Applicant's Signature

  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Property Owner's Signature

  
\_\_\_\_\_  
Date

## **Taylor-Dale Hardware Building, 618 NE 3rd Street, McMinnville, OR**

17 April 2018

### **Historic Landmark Downtown Design Standards & Guidelines Application Narrative**

#### **A. The proposed project in detail:**

This one story, wood framed structure was built ca. 1912-1915. It was joined in function and ownership with the 2-story brick building to the west as the Taylor Dale Hardware Company until 2016 when it was split into two different ownerships and a 3-hour fire separation was constructed between the two at the ground level.

#### **Context**

At the time of separation, the 2-story building at 608 NE 3rd was granted an easement for egress across the roof of the one story building and down a non-code-compliant stair to the public alley behind the two buildings. The easement has no dimension but allowed for the maintenance, reconstruction, and use of the existing stairway. The former McMinnville Building Official pointed out in particular, that the stair ended at the ground level with no landing and at a gate which swung out entirely over the public alley. In his mind, this had to be corrected if the upper floor of the 2-story building was to be remodeled. The current McMinnville Building Official recently confirmed this judgement. In addition, the stair has been remodeled several times and a security gate added. It appears to have no historic value.

#### **Ownership Status**

As of 5 April 2018, the two properties have been rejoined under a single ownership. The current occupant of the single story building will likely continue to occupy the building under a multi-year lease agreement.

#### **Code Issues**

1. The existing egress stair from the second floor of 608 NE 3rd Street, is through a dimensionally undefined easement, across the roof of and down a stairway of the adjacent building at 618 NE 3rd Street. It is non-compliant in the following ways:
  - a. Egress from one building may not be made through a building of lesser safety. The two-story building at 608 NE 3rd Street will be seismically upgraded and have an automatic sprinkler system installed. The one story building at 618 NE 3rd Street will have neither a sprinkler system, nor a seismic upgrade.
  - b. The existing egress route from 608 NE 3rd Street is not protected from the adjacent, non-sprinklered building by a fire rated separation.
  - c. The wall of 618 NE 3rd Street which flanks the stair should have a 3 hour fire rating.

- d. The stair does not comply with the code's maximum riser-height and minimum tread-width requirements.
- e. The stair riser-heights vary beyond code tolerances.
- f. The stair is too narrow.
- g. The handrails do not comply.
- h. There is no landing at the bottom of the stair.
- i. The door in the security gate in the alley swings out over the public right-of-way.
- j. There is insufficient lighting of the egress path.

2. The Basement at 608 NE 3rd Street has inadequate egress.

### **Solution**

To remedy the egress issue, it is proposed to build an egress stair within the southeast corner of the two-story building which will connect all three of its levels. The new egress stair would then exit into the previously described easement and the gas meter would be relocated to gain access to the door and comply with the supplier's location and clearance requirements. The required area is 12'-0" in the north-south direction and 4'-2" in the east-west direction. This will require the demolition of the existing stair, part of the building measuring 1'-0" by 7'-0", and a concrete vault of unknown purpose and contents roughly 3'-8" wide by 4'-6" long by 2'-3" high.

Afterward, the roof of the one-story building would be repaired and two fire-rated walls will be constructed to define the space and enclose the one-story building. The two new walls would be faced with stucco and painted to match the exiting color of the one-story building. A fixture that will supply general lighting will be mounted above and just to the south of the new door to illuminate the trash area described below and recess for the gas meter. A security camera will also be mounted in the same area.

A below grade grease interceptor, serving the planned restaurant, will be located in the 4'-2" clearance area outside the new egress door.

Six 4" diameter x 3'-0" tall bollards will be placed behind the one-story building and joined with a steel angle to define an area for the storage of trash collection bins, maintain required clear areas 2 feet south the one-story building and 4'-2" west of the two-story building. The bollards and angle will be painted to match the existing color of the south elevation of the one-story building.

**Downtown Design Standards and Guidelines**

**17.59.050 Building and Site Design**

**A. Building Setback.**

1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.
2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

**Finding:** The building currently has a zero setback from the NE 3rd Street property line. The alteration would increase the setback from the rear property line for a frontage of 4'-2". There is no sidewalk on the alley.

**B. Building Design**

1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

**Finding:** An existing non-code-compliant stair will be removed from the rear of the building and the setback increased 7 feet for 4'-2" of the alley frontage. There are no other changes to the massing or configuration.

2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

**Finding:** NA. The building does not exceed 60 feet in length.

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include;
  - A. A belt course separating the upper stories from the first floor;
  - B. A bulkhead at the street level;
  - C. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;
  - D. A recessed entry and transom with transparent door; and
  - E. Decorative cornice or cap at the roofline

**Finding:** NA. There are no storefronts on the rear elevation.

4. **Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.**

**Finding:** Except for the removal of the stair, there should be no changes in the level roofline.

5. **The primary entrance to a building shall open on to the public right-of-way and should be recessed.**

**Finding:** NA. There are no primary entrances to the building off the alley.

6. **Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical**

**Finding:** There are no windows on the south elevation.

7. **The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.**

**Finding:** NA. No building elements will be added.

8. **Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.**

**Finding:** NA. There are no windows on the south facade.

#### **C. Building Materials**

1. **Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.**

**Finding:** In the area of the alteration new fire-rated walls will be constructed and finished with stucco, a material approved for use in the district.

2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):
  - a. Wood, vinyl, or aluminum siding;
  - b. Wood, asphalt, or fiberglass shingles;
  - c. Structural ribbed metal panels;
  - d. Corrugated metal panels
  - e. Plywood sheathing, to include wood paneling such as T-111;
  - f. Plastic sheathing; and
  - g. Reflective or moderate to high grade tinted glass.

**Finding:** NA. None of the above materials are proposed to be used.

3. Exterior building colors shall be of low reflective, subtle, neutral, or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim (Ord. 4749 § 1, 2003)

**Finding:** The new walls and bollards will be painted to match the existing walls.

**17.59.060 Parking**

No parking is under consideration.

**17.59.070 Awnings.**

No awnings are proposed.

**17.59.080 Signs**

No signs are proposed.

**C. How the project meets the Historic Preservation Standards and guidelines**

Refer to the discussion of Section 17.65 in the Historic Landmark Certificate of Approval narrative.

**D. How the project will fit into the context of the Downtown Historic district**

The alteration will better serve the back-alley functions, resolve life safety issues, and present a better appearance in the alley for both buildings, 608 and 618 NE 3rd Street.

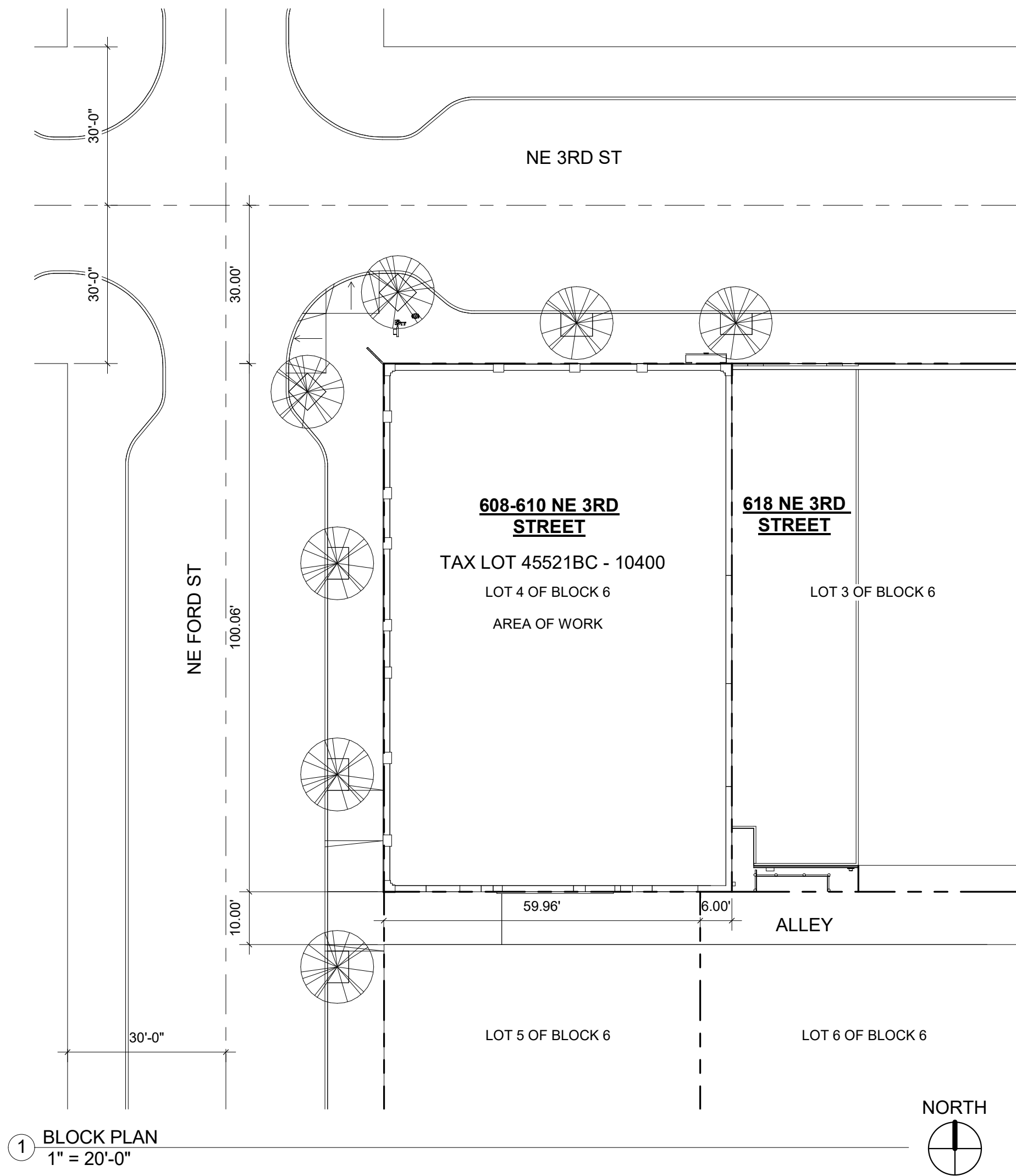


EXISTING EGRESS STAIR AND  
GATE AT ALLEY



EXISTING EGRESS STAIR





# TAYLOR-DALE TENANT IMPROVEMENT HISTORIC REVIEW SUBMITTAL

**OWNER**  
HISTORIC 3RD AND FORD, LLC  
425 AVIATION BLVD.  
SANTA ROSA, CA 95403  
SETH CAILLAT, CONSTRUCTION MANAGER  
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CELL: 707-836-2049

**DESIGN & BUILD GROUP**

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ERICKA EVERETT, PROJECT MANAGER  
EMAIL: ERICKA@ERMUNCH.COM

**CONTRACTOR**  
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**STRUCTURAL ENGINEER**  
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MARSHALL@GRUMMELENGINEERING.COM

**MEP**  
BIDDER DESIGN

**SHEET INDEX**

| SHEET #       | SHEET NAME                    |
|---------------|-------------------------------|
| ARCHITECTURAL |                               |
| A0.0          | COVER                         |
| A1.1          | FLOOR PLANS - EXISTING / DEMO |
| A1.2          | FLOOR PLANS - EXISTING / DEMO |
| A2.1          | FLOOR PLANS - PROPOSED        |
| A2.2          | FLOOR PLANS - PROPOSED        |
| A2.3          | FLOOR PLANS - BLDG 618        |
| A4.2          | EXTERIOR ELEVATIONS           |
| A4.3          | EXTERIOR ELEVATIONS           |
| A8.1          | DETAILS                       |
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| A8.3          | DETAILS                       |
| A9.1          | EXTERIOR PERSPECTIVES         |
| A9.2          | EXTERIOR PERSPECTIVES         |

**EMA** Ernest R. Munch  
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TAYLOR - DALE BLDG

608-610 & 618 NE 3rd Street,  
McMinnville, OR 97128

HISTORIC REVIEW

4/6/18

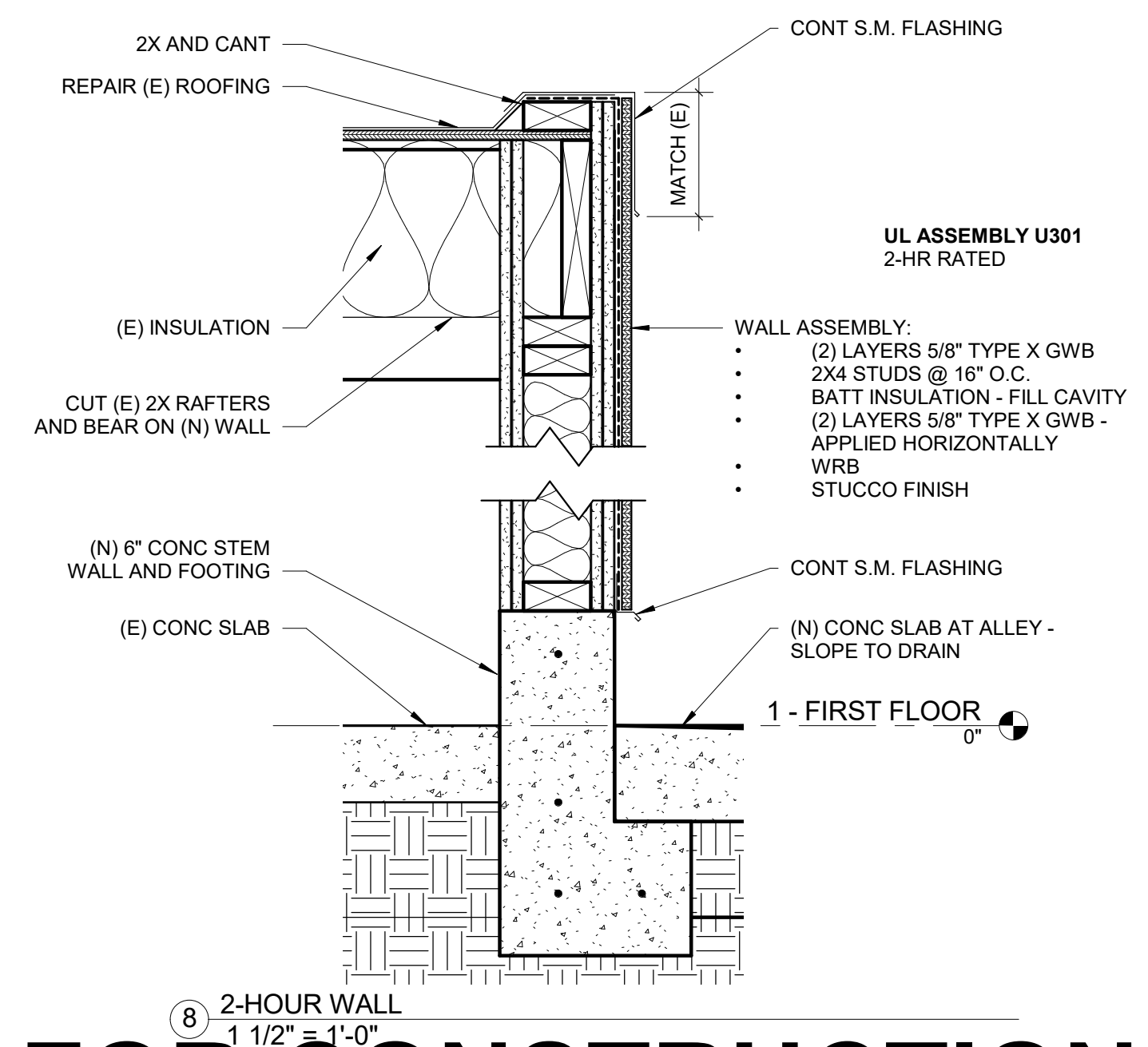
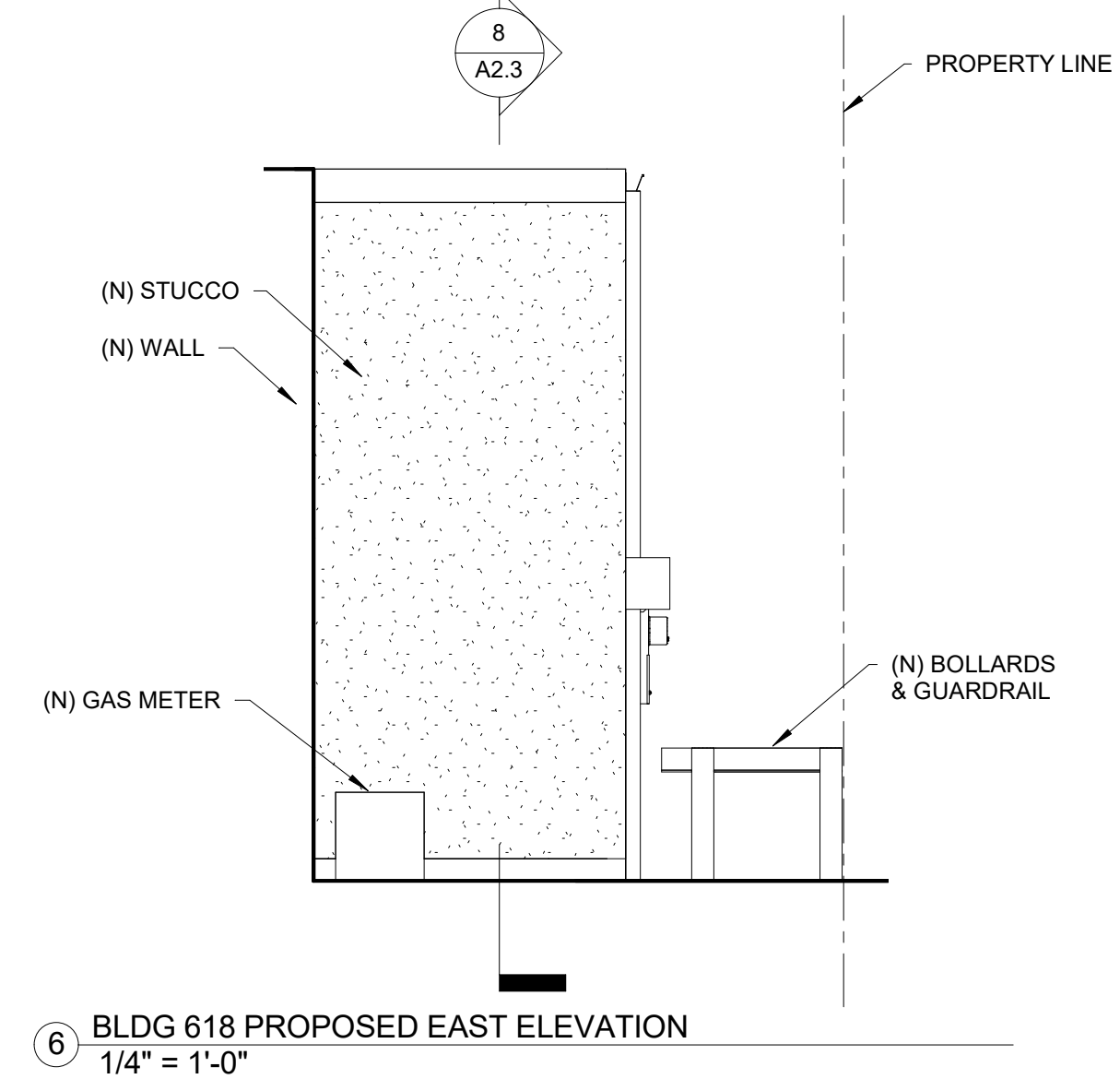
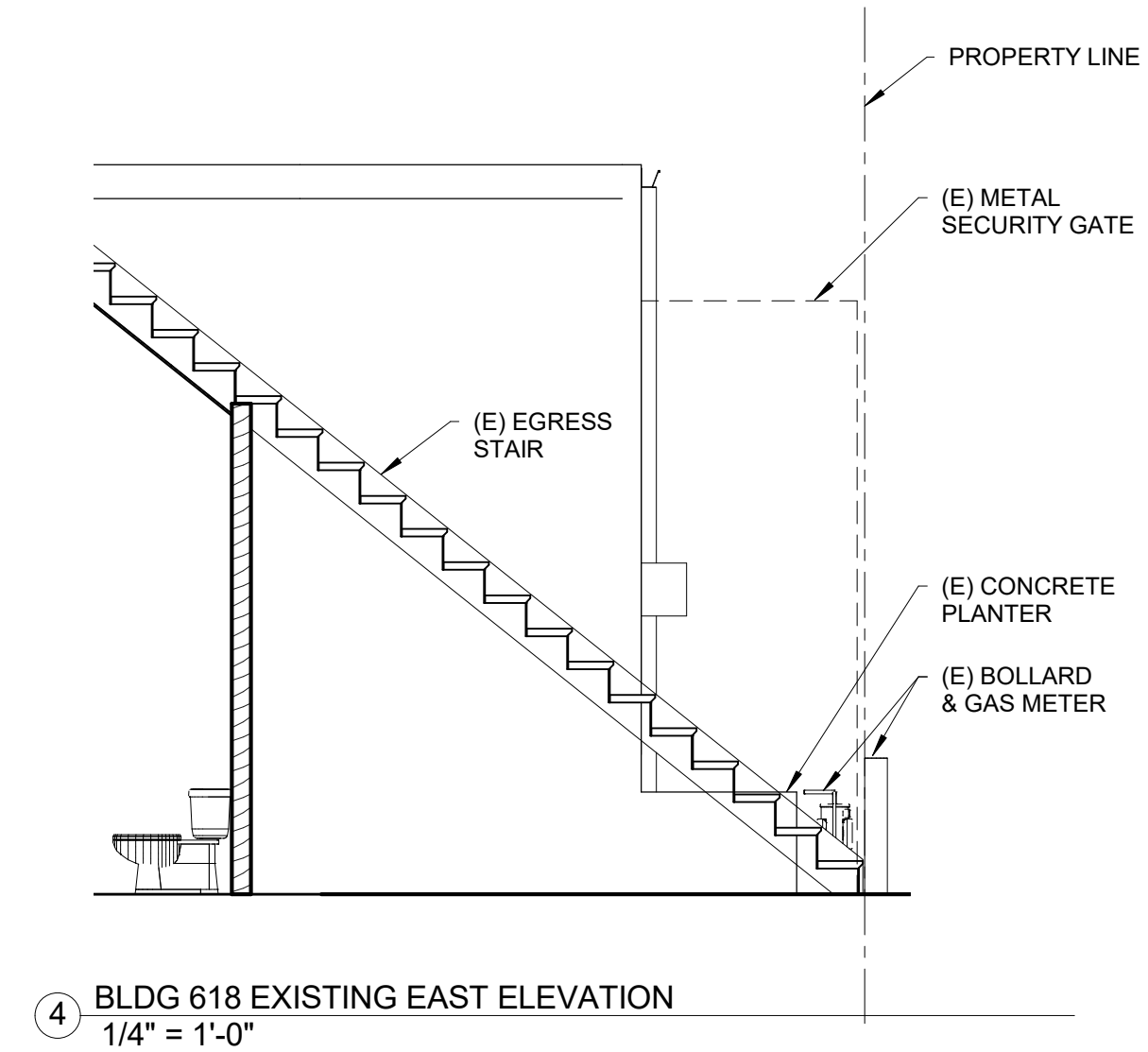
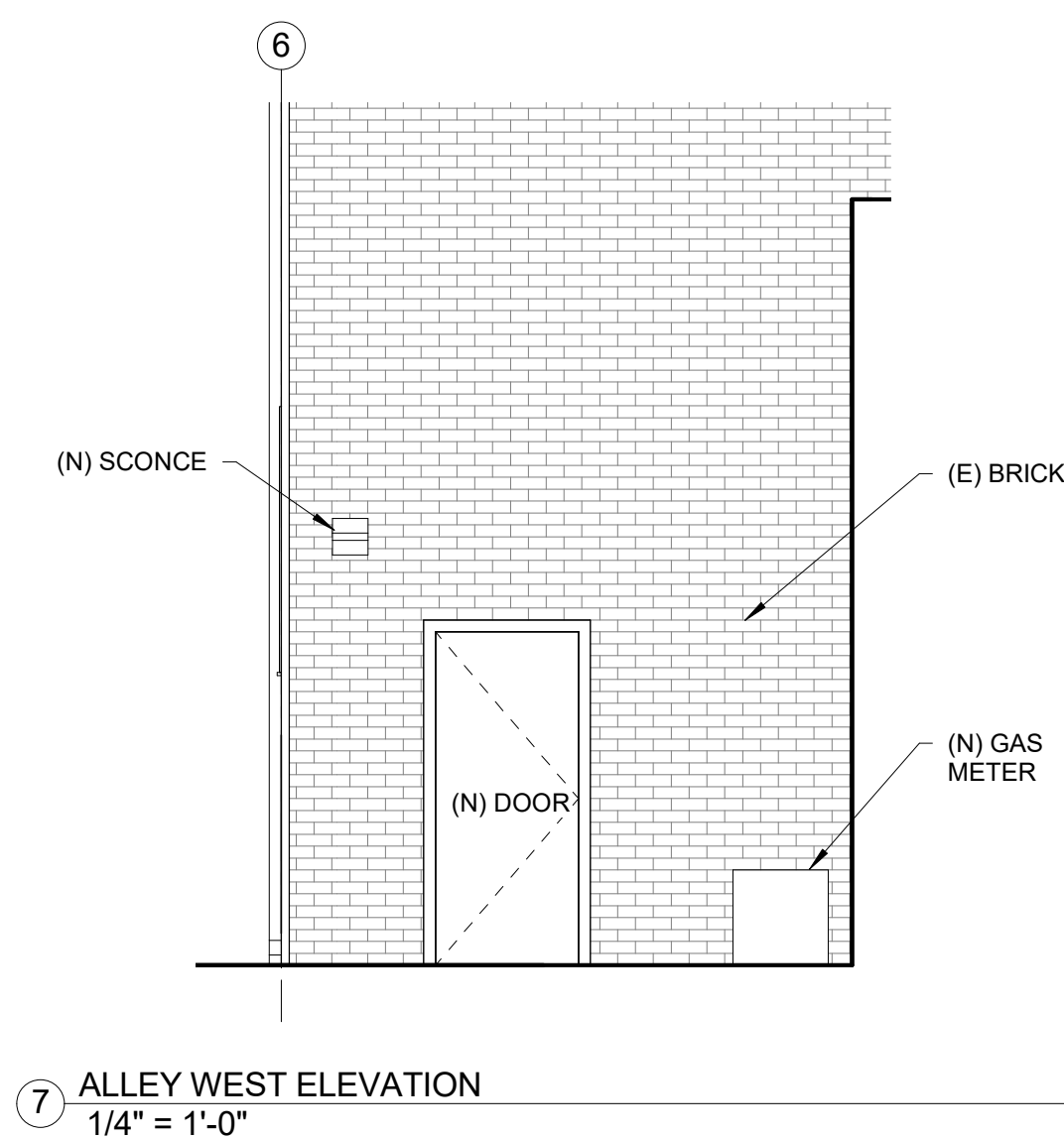
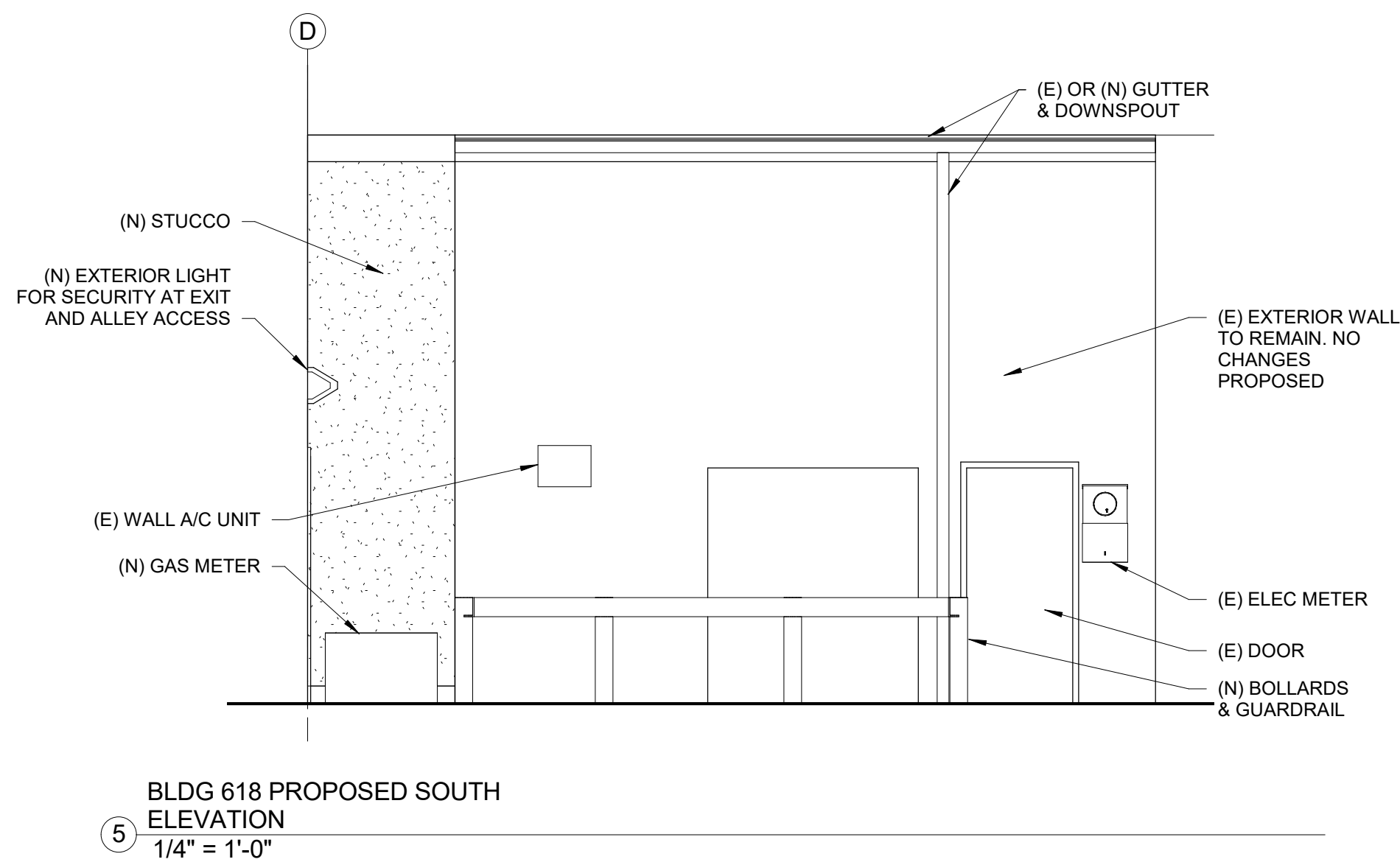
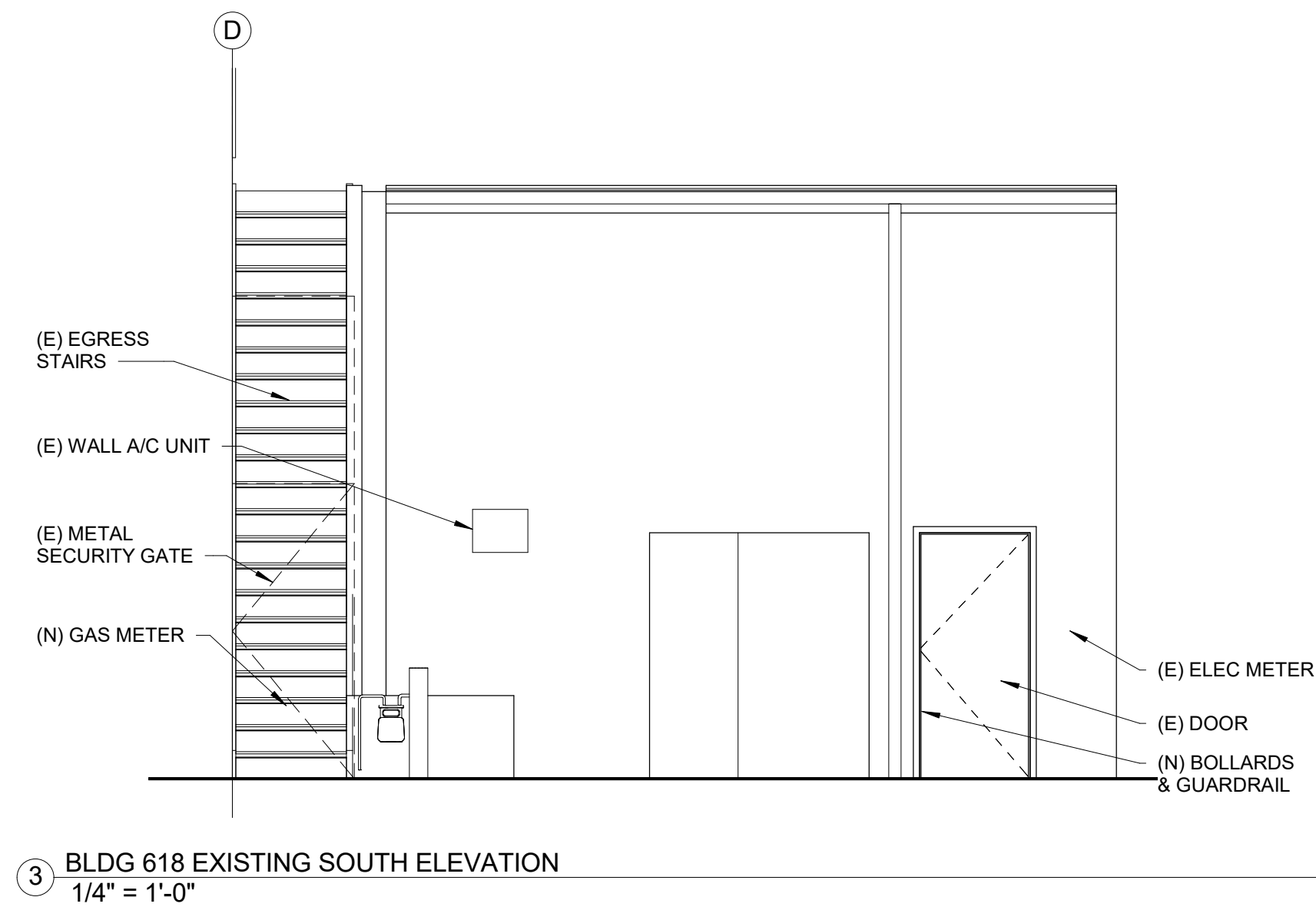
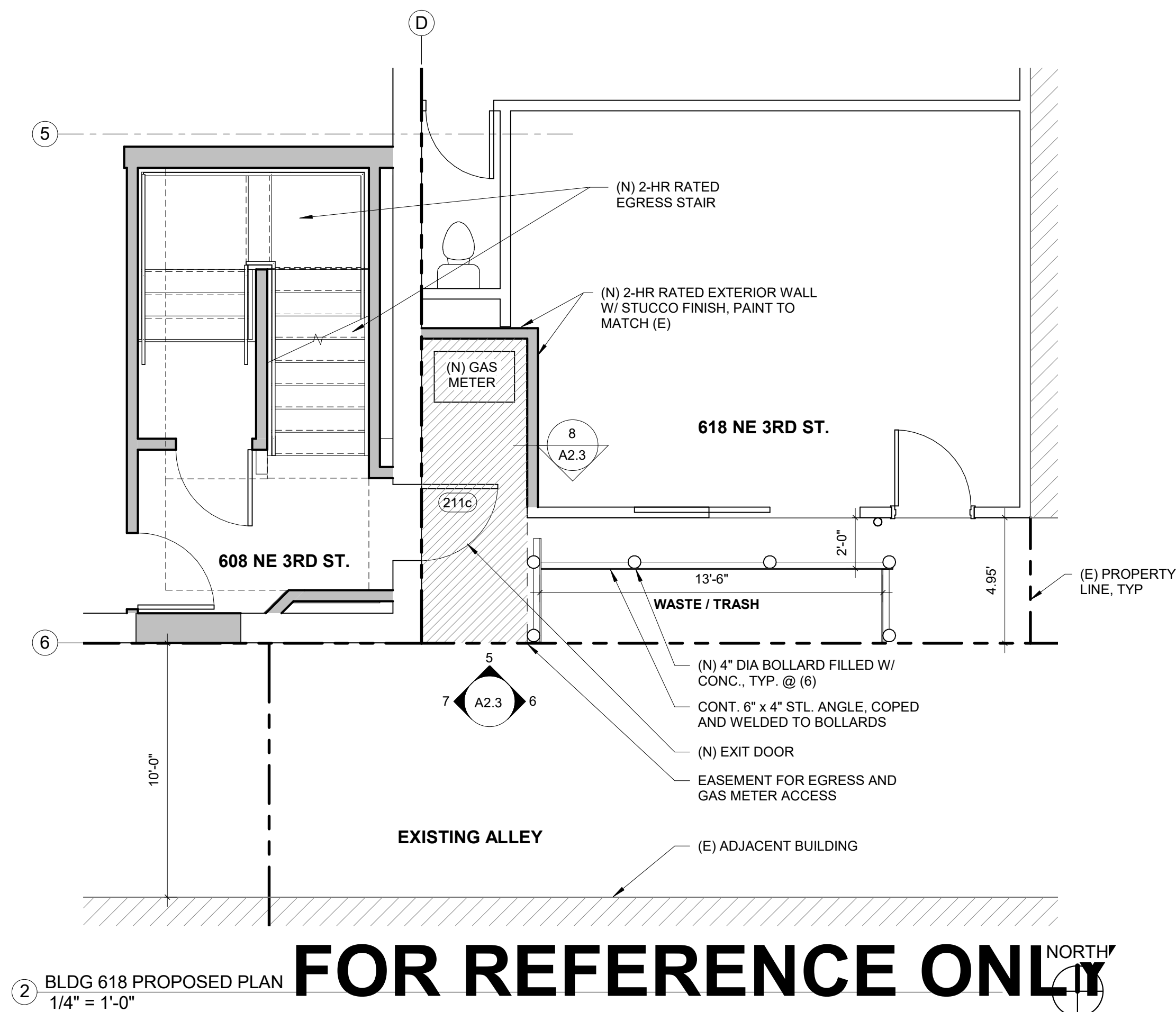
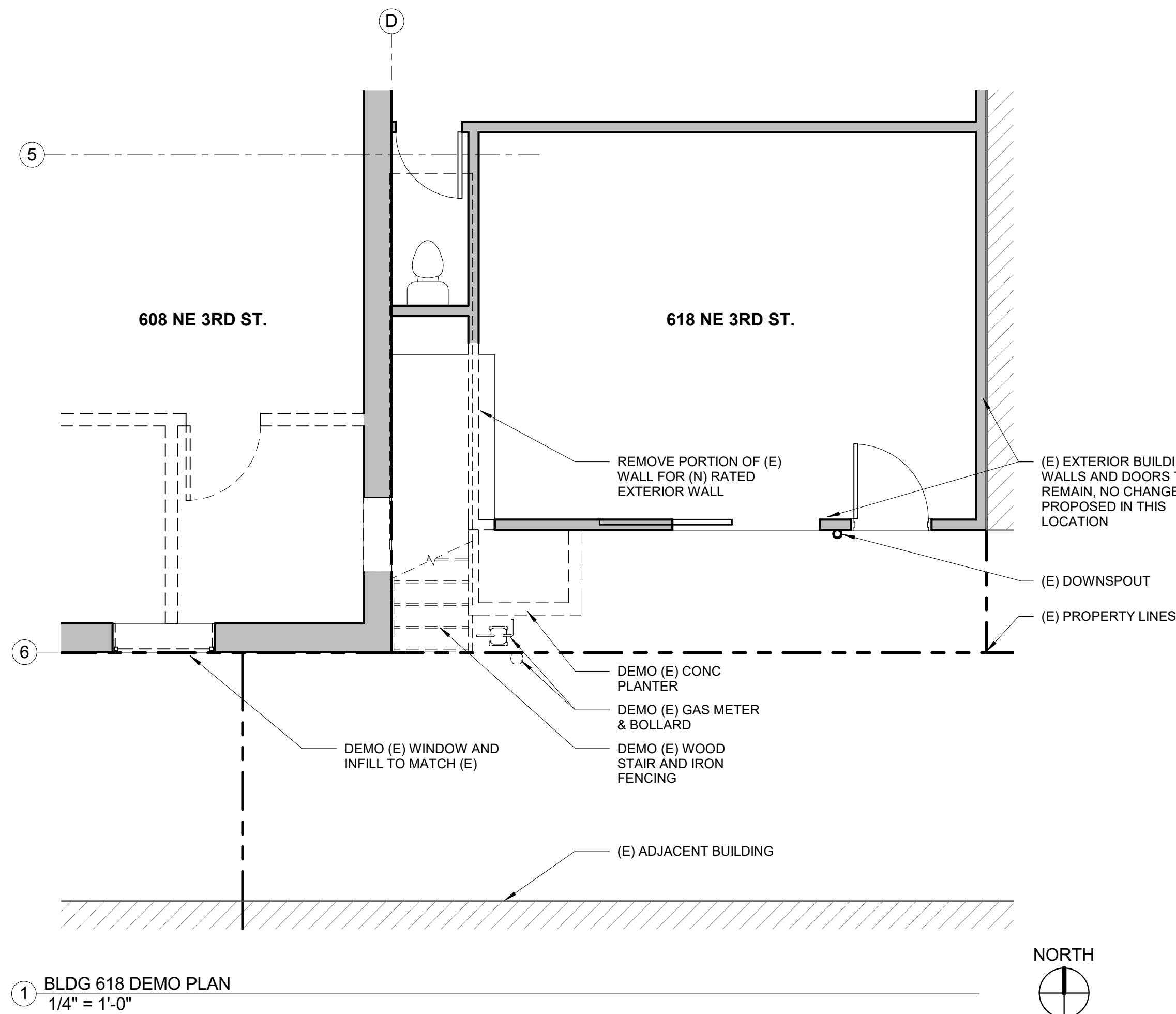
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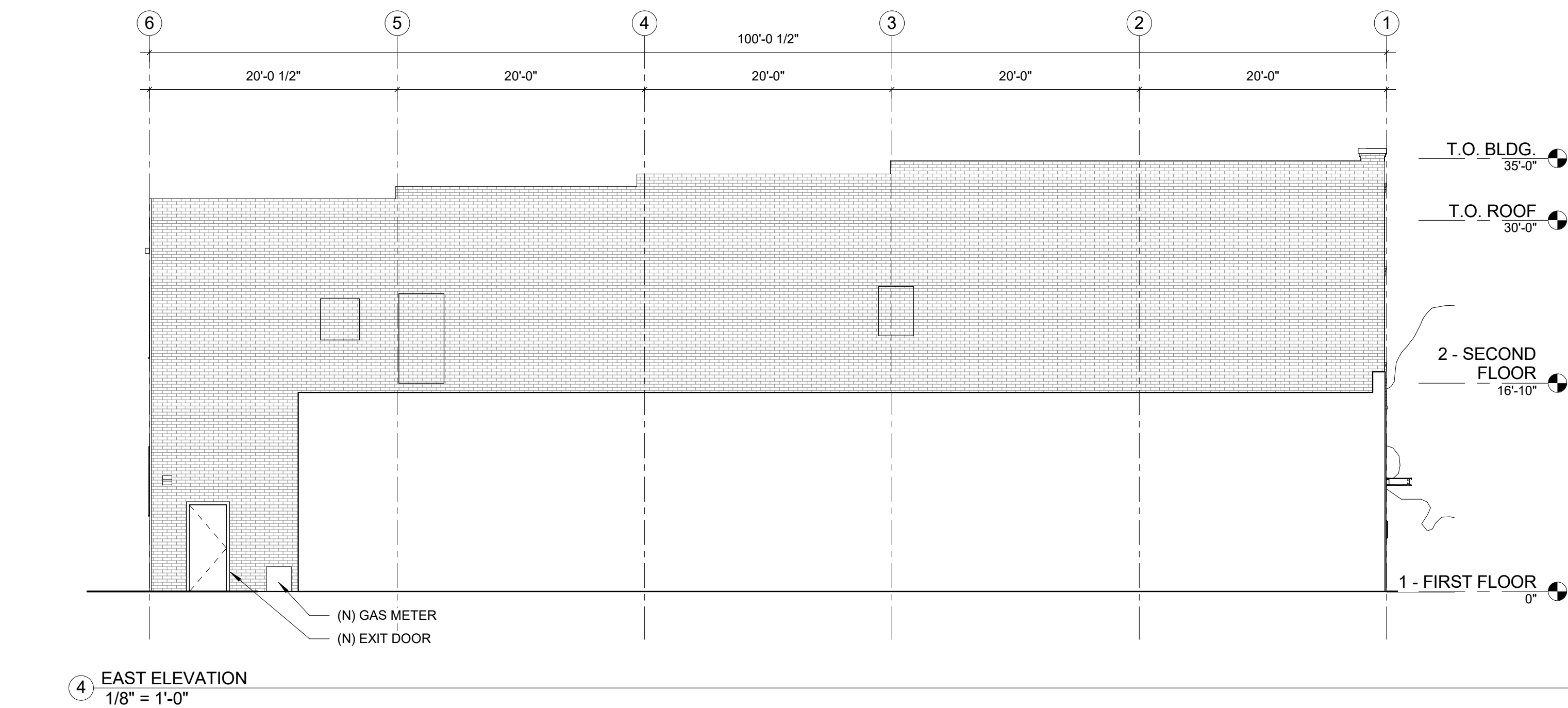
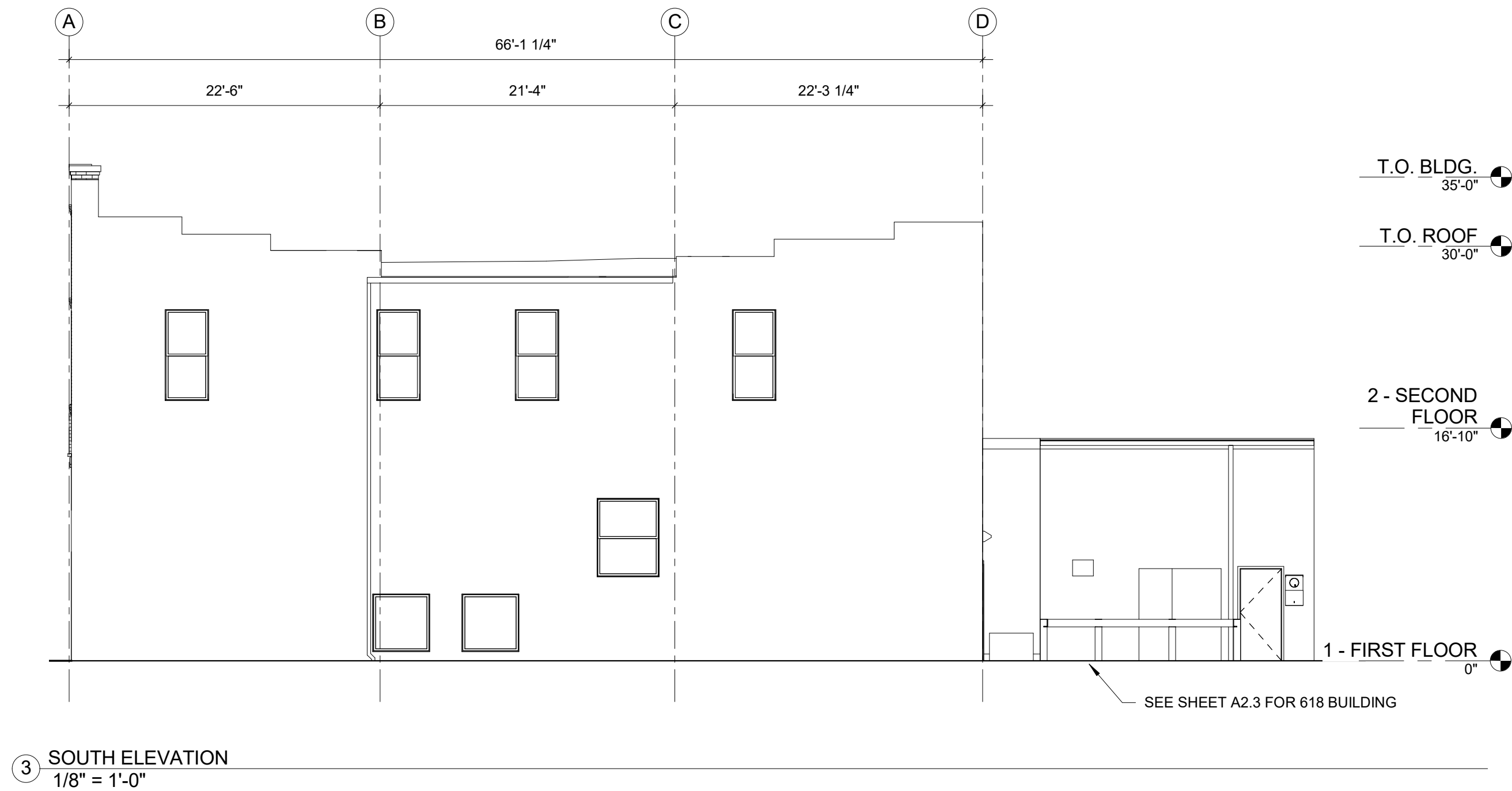
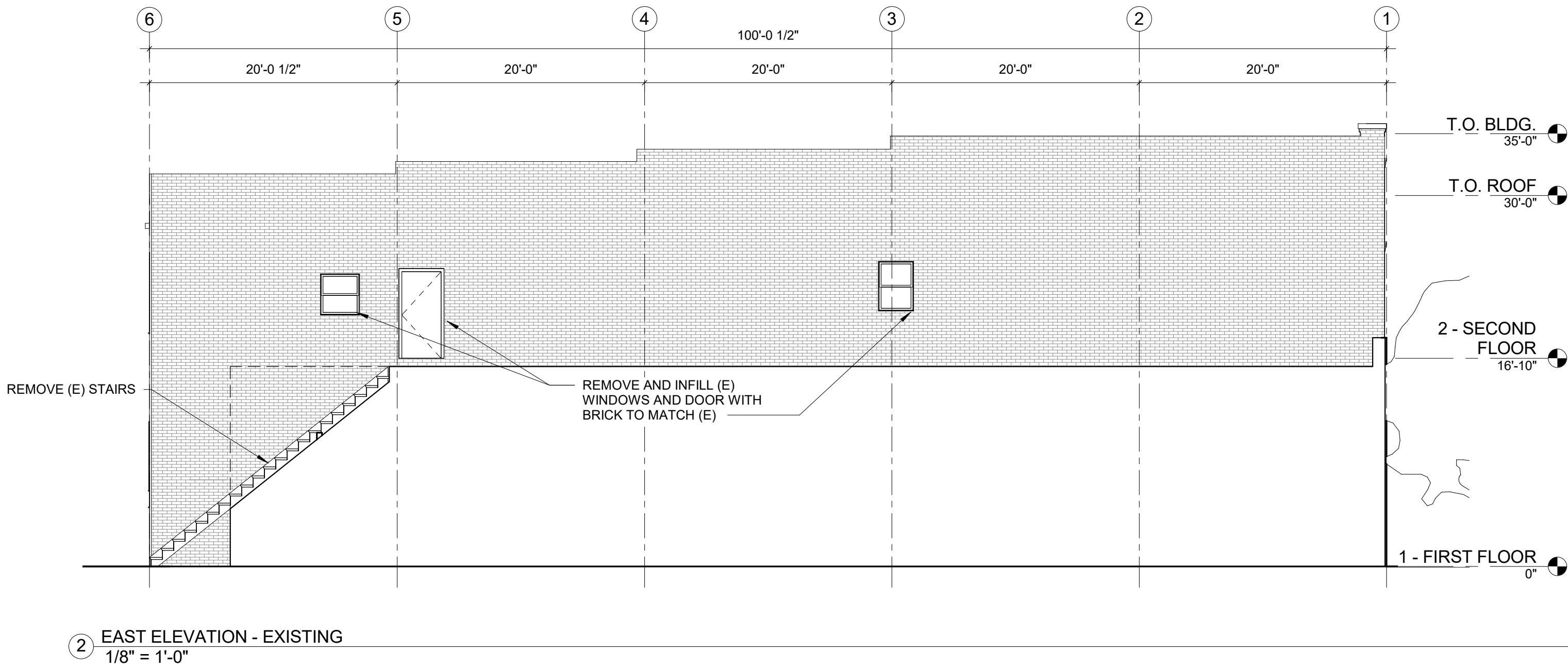
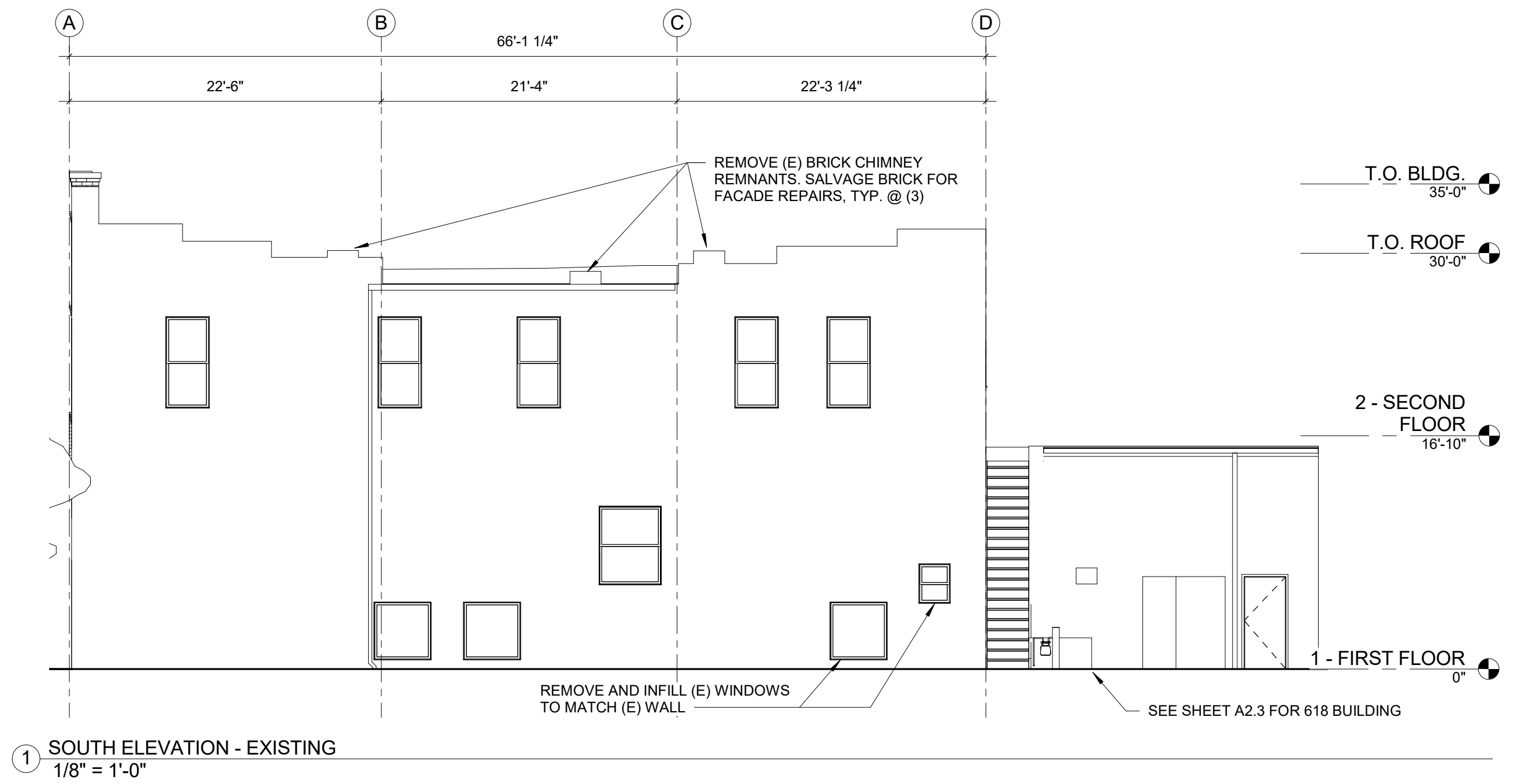
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EMA

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TAYLOR - DALE BLDG

608-610 & 618 NE 3rd Street,  
McMinnville, OR 97128

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EXTERIOR  
ELEVATIONS

A4.3



UPPER LEFT IMAGE: PERSPECTIVE OF NORTH WEST CORNER  
 UPPER RIGHT IMAGE: PROPOSED RECESSED ENTRANCE  
 BOTTOM IMAGE: PROPOSED EGRESS STAIR DOOR TO ALLEY AND BOLLARDS FOR SHARED GARBAGE AND RECYCLING

FOR REFERENCE ONLY

NOT FOR CONSTRUCTION

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 McMinnville, OR 97128

HISTORIC REVIEW

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EXTERIOR PERSPECTIVES

A9.2



**CITY OF MCMINNVILLE  
PLANNING DEPARTMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128

503-434-7311

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE ALTERATION OF A HISTORIC LANDMARK AT 618 NE 3<sup>RD</sup> STREET AND LOCATED IN THE DOWNTOWN HISTORIC DISTRICT**

**DOCKET:** HL 4-18

**REQUEST:** The applicant has submitted a Certificate of Approval application to request the alteration of the historic resource building in the Downtown Historic District, which is listed on the National Register of Historic Places. The resource is also designated as a "Contributory" historic resource (Resource C866.1) on the Historic Resources Inventory. The landmark is subject to the Certificate of Approval alteration review process required by Section 17.65.040(A) of the McMinnville City Code.

**LOCATION:** The subject site is located at 618 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10402, Section 21BC, T. 4 S., R. 4 W., W.M.

**ZONING:** The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).

**APPLICANT:** Ernie Munch, on behalf of EMA Architecture, LLC

**STAFF:** Chuck Darnell, Associate Planner

**DATE DEEMED COMPLETE:** April 25, 2018

**DECISION-MAKING BODY:** McMinnville Historic Landmarks Committee

**DATE & TIME:** May 15, 2018. Meeting was held at the Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, OR 97128.

**COMMENTS:** Public notice was provided to owners of properties within 300 feet of the subject site, as required by Section 17.65.070(C) of the McMinnville City Code. The Planning Department did not receive any public testimony prior to the public meeting.

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**Attachments:**

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1

Based on the findings and conclusions, the Historic Landmarks Committee **APPROVES** the alteration of the historic resource at 618 NE 3<sup>rd</sup> Street (Resource C866.1), **subject to the conditions of approval provided in this document.**

**DECISION: APPROVAL WITH CONDITIONS**

Date: \_\_\_\_\_

Date: \_\_\_\_\_

**APPLICATION SUMMARY:**

The applicants, Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Certificate of Approval application to request the alteration of an existing historic landmark in the Downtown Historic District. The subject property is located at 618 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10402, Section 21BC, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource relates to the structure itself. The structure is designated as a “Contributory” historic resource (Resource C866.1). However, the building is also located within the Downtown Historic District that is listed on the National Register of Historic Places. The building was classified as a primary significant contributing property in the historic district.

The statement of historical significance and description of the property, as described in the nomination of the Downtown Historic District, is as follows:

This small, rectangular, one-story stucco building has a stepped parapet wall with no ornamentation. There are two storefront bays each with intact wood frame three-light transoms. The easternmost storefront has a wood frame plate glass window with a stucco bulkhead and the westernmost storefront has a wood frame glass door and two wood frame plate glass windows with wood panel bulkheads. Originally, a separate building, this building is now connected internally to the Taylor Dale Building.

Based on Sanborn maps for the area, the building is estimated to have been constructed in 1908.

Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is on the McMinnville Historic Resources Inventory and/or listed on the National Register of Historic Places as a contributing resource. Since the subject property is on the Historic Resources Inventory and classified as a primary significant contributing property, the Certificate of Approval review is required.

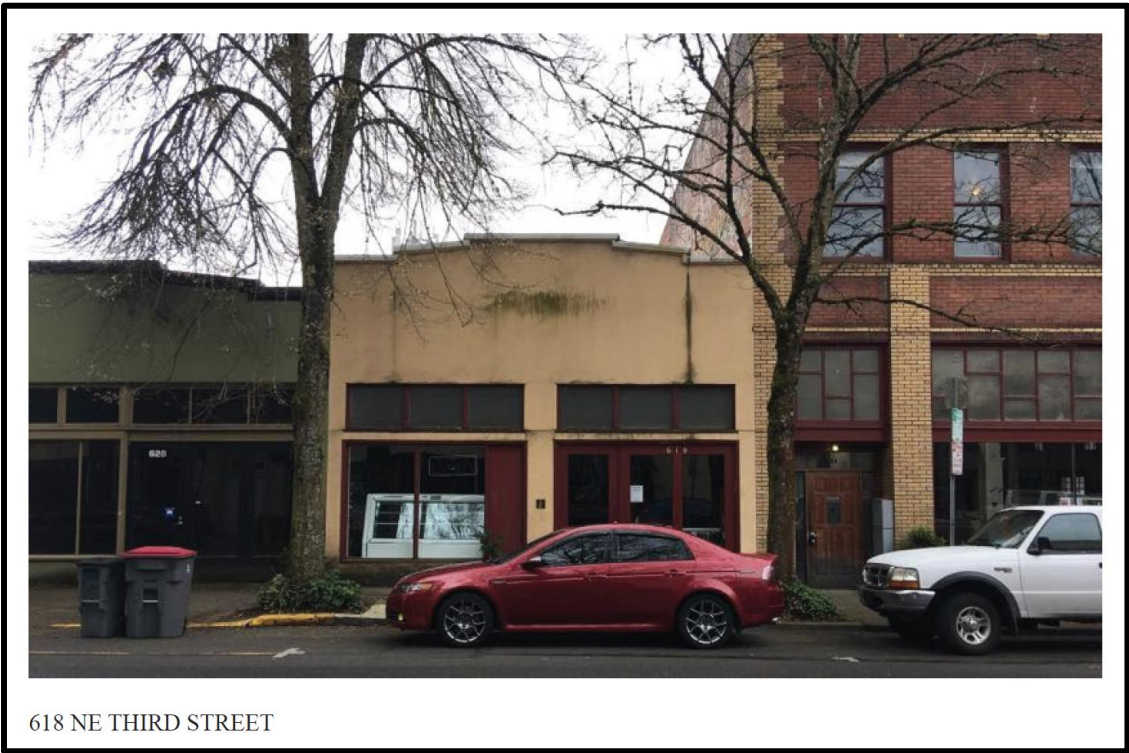
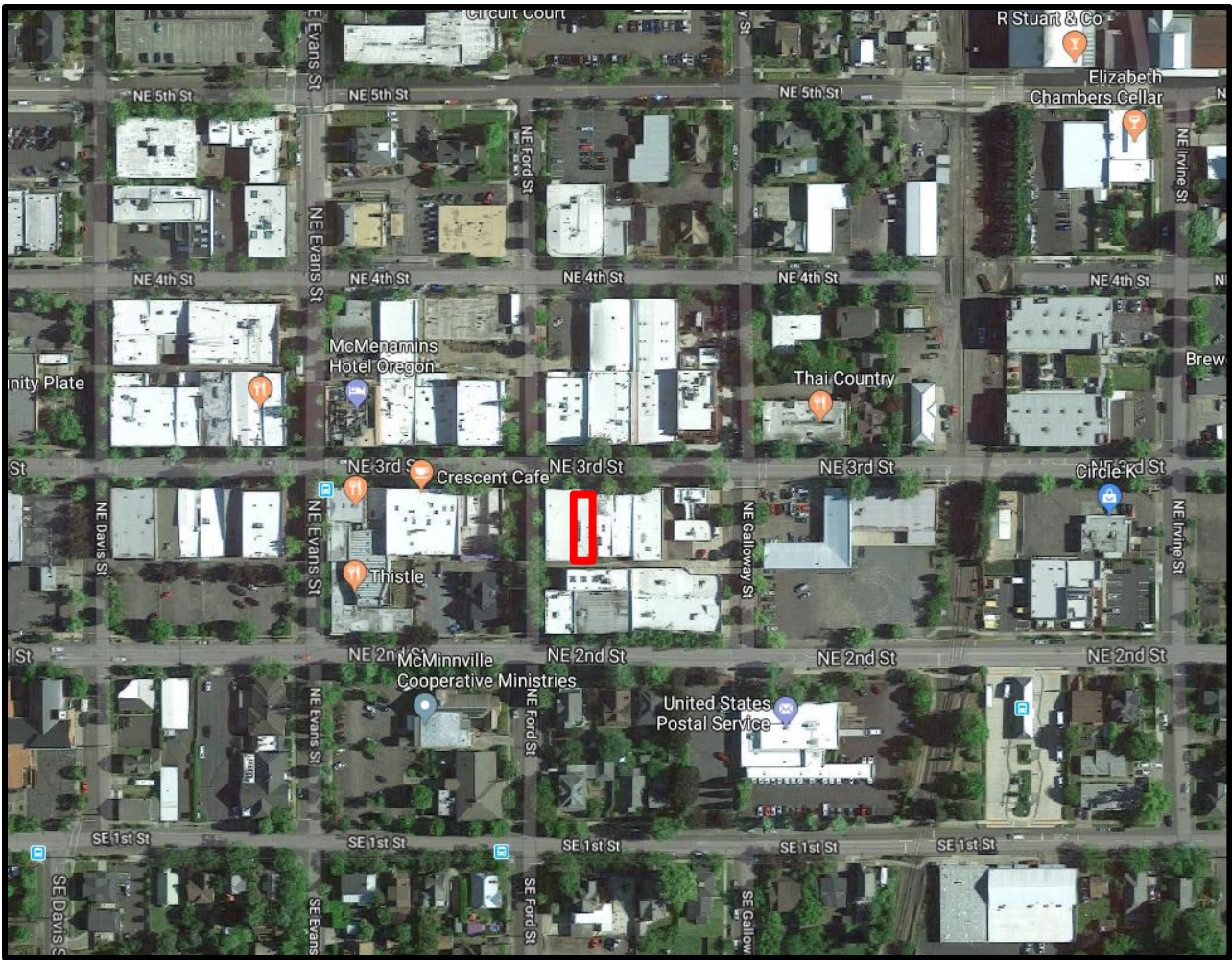
The current location of the historic resource is identified below:

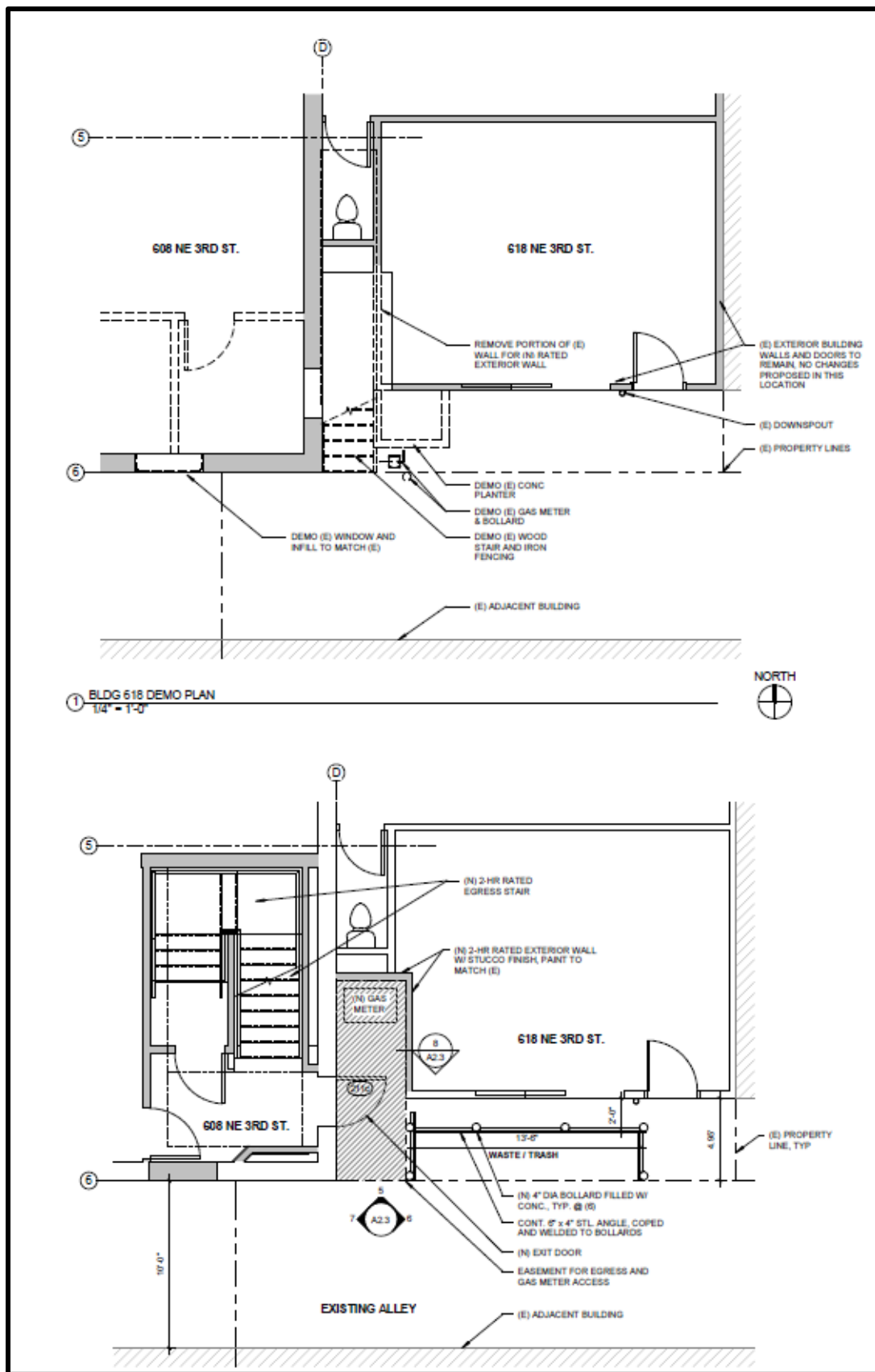
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**Attachments:**

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1





## Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1



Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1

**CONDITIONS OF APPROVAL**

- 1) That the applicant shall repair the exterior alley side wall behind the location of the existing concrete vault that is proposed to be removed.
- 2) That, in addition to painting the newly constructed exterior walls, the applicant shall paint the remainder of the existing alley side wall the same color to maintain consistency along the entirety of the alley side wall.

**ATTACHMENTS**

1. Certificate of Approval Application (on file with the Planning Department)
2. Historic Resources Inventory Sheet for Resource C866.1 (on file with the Planning Department)

**COMMENTS**

This matter was not referred to other public agencies for comment.

**FINDINGS OF FACT**

1. Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Certificate of Approval application to request the alteration of a historic resource in the Downtown Historic District. The subject property is located at 618 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10402, Section 21BC, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. Notice of the alteration request was provided to property owners within 300 feet of the subject site. The Planning Department did not receive any public testimony prior to the public meeting.
4. A public meeting was held by the Historic Landmarks Committee on May 15, 2018 to review the proposal.

---

**Attachments:**

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1

## **CONCLUSIONARY FINDINGS**

### **McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

**GOAL III 2:** TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.

**Finding:** The focus of the comprehensive plan goal is to restore and preserve structures that have special historical or architectural significance. The proposed alteration does not include any structural or architectural changes to the primary and historically significant façade on the north side (3<sup>rd</sup> Street side) of the building, which will preserve the historic resource's architectural and historical significance. The applicant is also proposing to upgrade the existing building and neighboring building to current building code requirements, which will improve property values. Therefore, the Comprehensive Plan goal is satisfied by the proposal.

**GOAL X 1:** TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**Finding:** Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

### **McMinnville's City Code:**

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.65.040 Certificate of Approval Process. A property owner shall obtain a Certificate of Approval from the Historic Landmarks Committee, subject to the procedures listed in Section 17.65.050 and Section 17.65.060 of this chapter, prior to any of the following activities:

- A. The alteration, demolition, or moving of any historic landmark, or any resource that is listed on the National Register for Historic Places;
  - 1. Accessory structures and non-contributing resources within a National Register for Historic Places nomination are excluded from the Certificate of Approval process.
- B. New construction on historical sites on which no structure exists;
- C. The demolition or moving of any historic resource.

**Finding:** The applicant submitted an application for a Certificate of Approval to request the alteration of the historic landmark, per Section 17.65.040(A), because the resource is classified as a primary significant contributing property within the Downtown Historic District that is listed on the National Register of Historic Places.

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Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1

17.65.060 Exterior Alteration or Remodeling. The property owner shall submit an application for a Certificate of Approval for any exterior alteration to a historic landmark, or any resource that is listed on the National Register for Historic Places. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040 of the McMinnville Zoning Ordinance. The Planning Director shall determine whether the proposed activities constitute an alteration as defined in Section 17.65.020 (A) of this chapter. The Historic Landmarks Committee shall meet within thirty (30) days of the date the application was deemed complete by the Planning Department to review the request. A failure to review within thirty (30) days shall be considered as an approval of the application. Within five (5) working days after a decision has been rendered, the Planning Department shall provide written notice of the decision to all parties who participated.

- A. The Historic Landmarks Committee may approve, approve with conditions, or deny the application.

Finding: The Historic Landmarks Committee, after reviewing the request during a public meeting and offering an opportunity for public testimony, decided to approve the alteration request and Certificate of Approval.

- B. The Historic Landmarks Committee shall base its decision on the following criteria:
  - 1. The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

Finding: The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation ordinance includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. The proposed alteration does not include any structural or architectural changes to the primary and historically significant façade on the north side (3<sup>rd</sup> Street side) of the building, which will preserve the historic resource's architectural and historical significance. The applicant is also proposing to upgrade the existing building and neighboring building to current building code requirements, which will improve property values. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation are satisfied by the proposal.

- 2. The following standards and guidelines:
  - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

---

Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1

Finding: The one-story building at 618 NE 3rd Street was built as an addition to the building at 608 NE 3rd Street. Ownership was separated in 2016 and has recently been rejoined. It currently enjoys a long term tenant who will continue at that location. The two-story Taylor-Dale Building at 608 NE 3rd Street was built, in 1908, as a hardware store on the ground floor with four private apartments on the second floor. Two apartment were added later. This project envisions a full renovation and restoration of the interior. A restaurant, is now planned for the main floor. Six vacation-rentals-by-owner, (VRBO), plus one smaller owner occupied unit are planned for the second floor. The proposed improvement to the egress from the basement and second floor of 608 will make its reuse possible while minimizing disruption to the long term tenant at 618.

- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Finding: The original inventory of historic resources on the downtown records the value of the street façade of the building at 618 NE 3rd Street but makes no mention of the south, alley elevation. It is apparent that the areas that will be disturbed have been rebuilt several times over the course of the building's history. The area where the proposed action will take place is in need of being cleaned up and brought up to the current life safety code. The reconstruction will be finished with materials that are approved for use in the district. A condition of approval has been included to ensure that the exterior wall be repaired behind the existing concrete vault that is proposed to be removed. Also, a condition of approval has been included to require that, in addition to painting the newly constructed exterior walls, the applicant shall paint the remainder of the existing alley side wall the same color to maintain consistency along the entirety of the alley side wall.

- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

Finding: It is apparent that the areas that will be disturbed have been rebuilt several times over the course of the buildings history and no significant historic material will be disturbed. The historic function of providing egress from the second floor of the building at 608 3rd Street will be preserved and brought up to code.

- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Finding: No changes to the property that have acquired historic significance in their own right exist in this area.

- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Finding: No distinctive materials, features, finishes, and construction techniques or examples of craftsmanship characterizing this property exist in this location.

- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

---

Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1

Finding: The area of the proposed alteration has been evaluated and found to contain no historic features. The materials used in this location, including plywood and metal siding, are no longer allowed to be used in the district.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Finding: The exterior will be cleaned with a mild cleanser and light power wash before being repaired.

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Finding: The applicant has not provided any information on any potential archeological resources that may be present on the property. However, there are no known archeological resources.

- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

Finding: The proposed alterations would need to be considered a “Rehabilitation” of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the Interior’s Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

Even though there are no alterations or changes proposed to the primary and historically significant front façade, the new building walls would only be allowed under the rehabilitation treatment as a new building wall addition. The applicant has stated and provided arguments that the proposed demolition and construction of new building walls are being driven by building code requirements. Some of the applicable rehabilitation guidelines for code-related work on historic buildings, and findings for the guidelines, are provided below:

Recommended Guideline: Identifying the historic building’s character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting which may be affected by accessibility code-required work.

Recommended Guideline: Finding solutions to meet accessibility requirements that minimize the impact of any necessary alteration on the historic building, its site, and setting, such as compatible ramps, paths, and lifts.

Recommended Guideline: Complying with life-safety codes (including requirements for impact-resistant glazing, security, and seismic retrofit) in such a manner that the historic building’s character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.

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Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1

The proposed alteration and demolition are being completed on the alley side of the historic building, where it has been shown that there is not any significant historical characteristics to preserve. The primary and front façade of the building contains the most character defining historical features, which are documented in the Historic Resources Inventory and the Downtown Historic District nomination form.

3. The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource's preservation or renovation;

Finding: The proposed alteration will allow for the reuse of the two story building at 608 NE 3rd Street, while improving the safety and preserving the acknowledged historic value in the primary front façade of the building at 618 NE 3<sup>rd</sup> Street.

4. The value and significance of the historic resource;

Finding: The historic resource is located within the Downtown Historic District that is listed on the National Register of Historic Places, and is classified as a secondary significant contributing property in the historic district. The existing character defining materials and features that were identified in the listing of the property in the historic district, including the stepped parapet roofline and the existing storefront window system, will be preserved and therefore the significance of the historic resource will not be impacted by the proposed demolition.

5. The physical condition of the historic resource;

Finding: In this location, the building is in an unsafe and unattractive condition. The proposal will make it safer and use materials in compliance with the historic guidelines.

17.65.070 Public Notice.

- A. After the adoption of the initial inventory, all new additions, deletions, or changes to the inventory shall comply with subsection (c) of this section.
- B. Any Historic Landmark Committee review of a Certificate of Approval application for a historic resource or landmark shall comply with subsection (c) of this section.
- C. Prior to the meeting, owners of property located within 300 feet of the historic resource under consideration shall be notified of the time and place of the Historic Landmarks Committee meeting and the purpose of the meeting. If reasonable effort has been made to notify an owner, failure of the owner to receive notice shall not impair the validity of the proceedings.

Finding: Notice was provided to property owners located within 300 feet of the historic resource. A copy of the written notice provided to property owners is on file with the Planning Department.

CD:sjs

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Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource C866.1



**CITY OF MCMINNVILLE  
PLANNING DEPARTMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128

503-434-7311

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE ALTERATION OF A HISTORIC LANDMARK AT 618 NE 3<sup>RD</sup> STREET WITHIN THE DOWNTOWN DESIGN AREA**

**DOCKET:** DDR 3-18

**REQUEST:** The applicant has submitted a Downtown Design Review application to request the alteration of a historic resource (Resource C866.1) in the Downtown Historic District, which is listed on the National Register of Historic Places. The property is located in the downtown design area described in Section 17.59.020 of the McMinnville City Code, and any exterior building alteration is required to follow the Downtown Design Review process required by Section 17.59.030(A) of the McMinnville City Code.

**LOCATION:** The subject site is located at 618 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10402, Section 21BC, T. 4 S., R. 4 W., W.M.

**ZONING:** The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).

**APPLICANT:** Ernie Munch, on behalf of EMA Architecture, LLC

**STAFF:** Chuck Darnell, Associate Planner

**DATE DEEMED COMPLETE:** April 25, 2018

**DECISION-MAKING BODY:** McMinnville Historic Landmarks Committee

**DATE & TIME:** May 15, 2018. Meeting was held at the Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, OR 97128.

**COMMENTS:** Public notice was provided to owners of properties within 300 feet of the subject site, as required by Section 17.59.030(C)(3) of the McMinnville City Code. The Planning Department did not receive any public testimony prior to the public meeting.

## DECISION

Based on the findings and conclusions, the Historic Landmarks Committee **APPROVES** the proposed exterior alterations to the existing building at 618 NE 3<sup>rd</sup> Street and the waiver of certain downtown design standards related to the steel canopy.

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**DECISION: APPROVAL**

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Historic Landmarks Committee: \_\_\_\_\_  
Joan Drabkin, Chair of McMinnville Historic Landmarks Committee

Date: \_\_\_\_\_

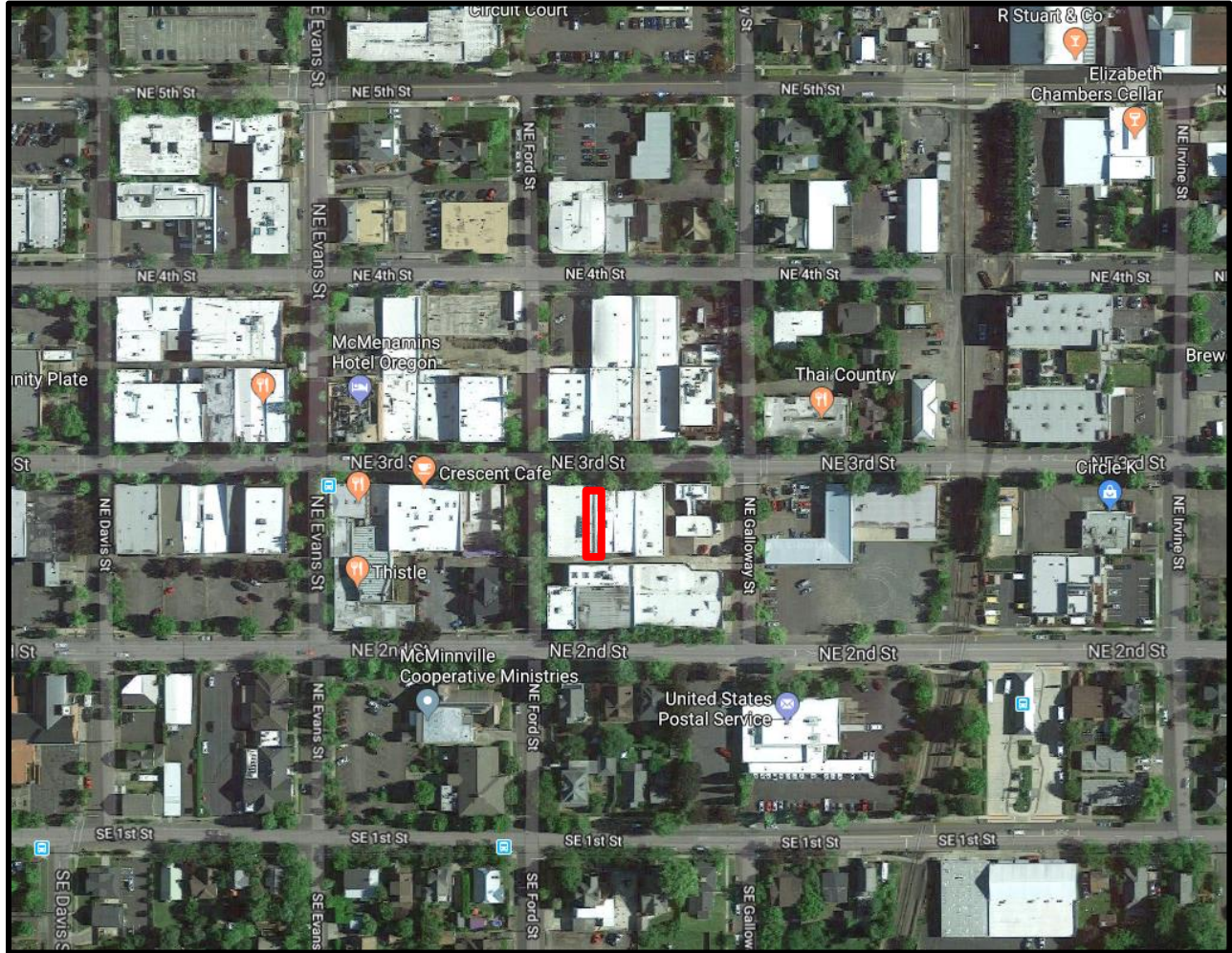
Planning Department: \_\_\_\_\_  
Heather Richards, Planning Director

Date: \_\_\_\_\_

**APPLICATION SUMMARY:**

The applicants, Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Downtown Design Review application to request the alteration of a historic resource (Resource C866.1) in the Downtown Historic District and downtown design area. The subject property is located at 618 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10402, Section 21BC, T. 4 S., R. 4 W., W.M.

The current location of the historic resource is identified below:

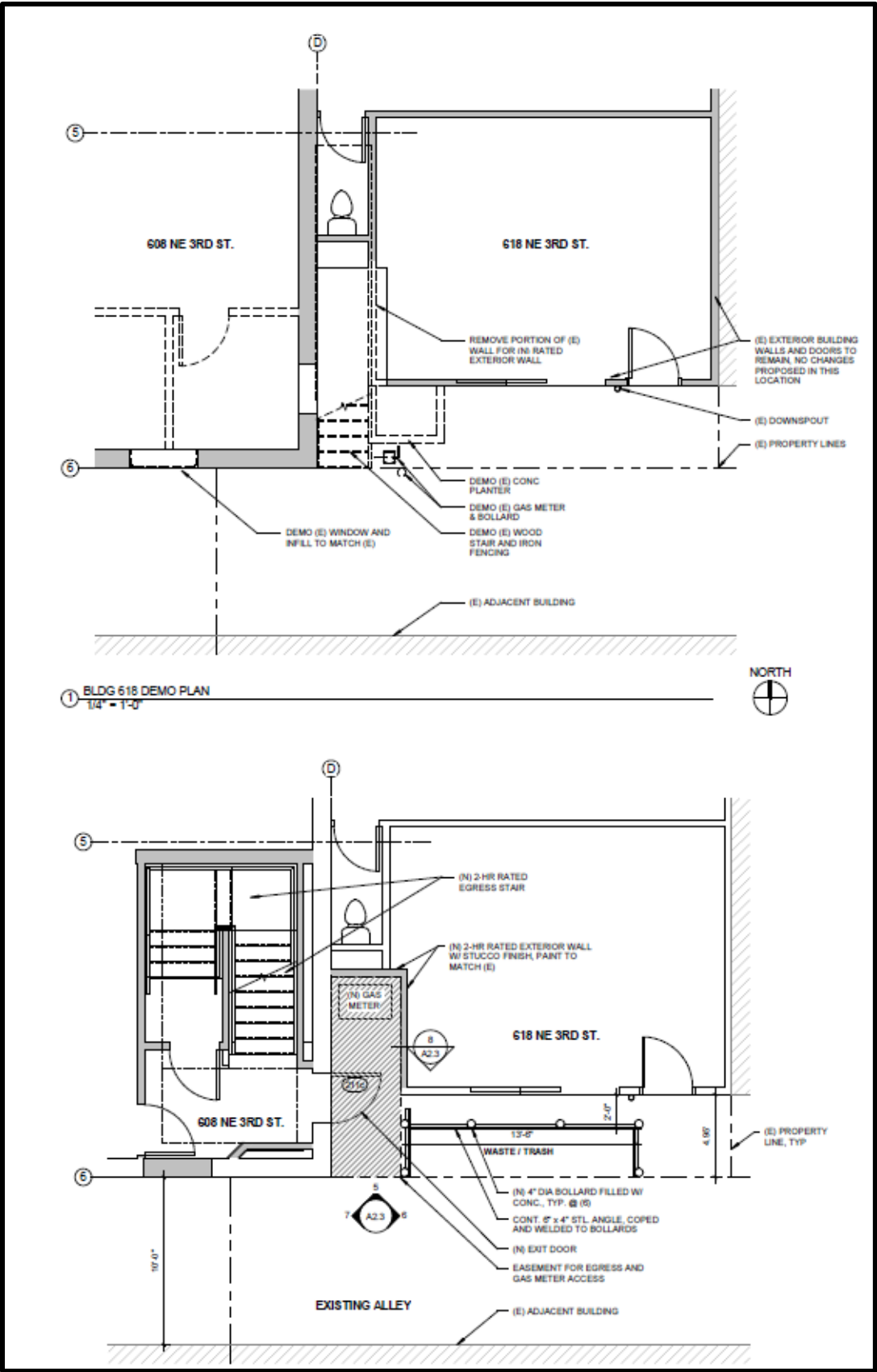


Attachments:

Attachment 1 – Downtown Design Review Application



618 NE THIRD STREET



**ATTACHMENTS**

1. Downtown Design Review Application (on file with the Planning Department)

**COMMENTS**

This matter was not referred to other public agencies for comment.

**FINDINGS OF FACT**

1. Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Downtown Design Review application to request the alteration of a historic resource in the Downtown Historic District and downtown design area. The subject property is located at 618 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10402, Section 21BC, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. Notice of the downtown design review request was provided to property owners within 300 feet of the subject site. The Planning Department did not receive any public testimony prior to the public meeting.
4. A public meeting was held by the Historic Landmarks Committee on May 15, 2018 to review the proposal.

**CONCLUSIONARY FINDINGS****McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.

Finding: The focus of the comprehensive plan goal is to restore and preserve structures that have special historical or architectural significance. The proposed alteration does not include any structural or architectural changes to the primary and historically significant façade on the north side (3<sup>rd</sup> Street side) of the building, which will preserve the historic resource's architectural and historical significance. The applicant is also proposing to upgrade the existing building and neighboring building to current building code requirements, which will improve property values. Therefore, the Comprehensive Plan goal is satisfied by the proposal.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

**McMinnville's City Code:**

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.59.020      Applicability.

- A. The provisions of this Chapter shall apply to all lands located within the area bounded to the west by Adams Street, to the north by 4<sup>th</sup> Street, to the east by Kirby Street, and to the south by 1<sup>st</sup> Street. Lands immediately adjacent to the west of Adams Street, from 1<sup>st</sup> Street to 4<sup>th</sup> Street, are also subject to the provisions of this Chapter.
- B. The provisions of this ordinance shall apply to the following activities conducted within the above described area:
  - 1. All new building construction;
  - 2. Any exterior building or site alteration; and,
  - 3. All new signage.

Finding: The subject site is located within the downtown design area described in Section 17.59.020(A), and the applicant is proposing exterior alterations to an existing building. Therefore, the provisions of the Downtown Design Standards and Guidelines chapter are applicable to the proposed construction.

17.59.030      Review Process.

- A. An application for any activity subject to the provisions of this ordinance shall be submitted to the Planning Department and shall be subject to the procedures listed in (B) through (E) below.
- B. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The application shall include the following information:
  - 1. The applicant shall submit two (2) copies of the following information:
    - a. A site plan (for new construction or for structural modifications).
    - b. Building and construction drawings.
    - c. Building elevations of all visible sides.
  - 2. The site plan shall include the following information:
    - a. Existing conditions on the site including topography, streetscape, curbcuts, and building condition.
    - b. Details of proposed construction or modification to the existing structure.
    - c. Exterior building elevations for the proposed structure, and also for the adjacent structures.
  - 3. A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
  - 4. Photographs of the subject site and adjacent property.
  - 5. Other information deemed necessary by the Planning Director, or his/her designee, to allow review of the applicant's proposal. The Planning Director, or his/her designee, may also waive the submittal of certain information based upon the character and complexity (or simplicity) of the proposal.
- C. Review Process
  - 1. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The Planning Director shall review the application and determine whether the proposed activity is in compliance with the requirements of this ordinance.
  - 2. The Planning Director may review applications for minor alterations subject to the review criteria stated in Section 17.59.040. The Historic Landmarks Committee shall review applications for major alterations and new construction, subject to the review

criteria stated in Section 17.59.040. It shall be the Planning Director's decision as to whether an alteration is minor or major.

3. Notification shall be provided for the review of applications for major alterations and new construction, subject to the provisions of Section 17.72.110.
  - a. The Historic Landmarks Committee shall meet within 30 (thirty) days of the date the application was deemed complete by the Planning Department. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action on the plans. A failure by the Planning Director or Historic Landmarks Committee, as applicable, to review within 30 (thirty) days shall be considered an approval of the application.
  - b. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity to be in compliance with the provisions of this ordinance, they shall approve the application.
  - c. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity in noncompliance with the provisions of this ordinance, they may deny the application, or approve it with conditions as may be necessary to bring the activity into compliance with this ordinance.

Finding: The applicant submitted an application as required, and the application was reviewed by the Historic Landmarks Committee as it consists of new construction. Notification was provided to property owners within 300 feet of the subject site, which exceeds the notification area required by Section 17.72.110, but was necessary for the proposed project to satisfy the Certificate of Approval application that was submitted concurrently with the Downtown Design Review application.

#### 17.59.040 Review Criteria

- A. In addition to the guidelines and standards contained in this ordinance, the review body shall base their decision to approve, approve with conditions, or deny the application, on the following criteria:
  1. The City's historic preservation policies set forth in the Comprehensive Plan;
  2. If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2); and

Finding: The proposal was found to be consistent with the City's historic preservation policies and goals, as describe in more detail above. Also, the proposal was found to be consistent with the City's historic preservation regulations in Chapter 17.65, as described in the land use decision document associated with Docket HL 4-18, which is on file with the Planning Department.

#### 17.59.050 Building and Site Design.

- A. Building Setback.
  1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.
  2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

Finding: The building currently has a zero setback from the NE 3rd Street property line. The existing alley side of the building has a slight setback, but this would not be increased with the proposed alterations.

**B. Building Design.**

1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

Finding: The proposed alterations will not drastically change the buildings original massing or configuration. The portion of the building being removed is the minimum possible to achieve the necessary egress from the adjacent building (Taylor Dale building at 608 NE 3<sup>rd</sup> Street).

2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

Finding: This standard is not applicable, as the existing building is not more than sixty feet in width.

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include:
  - a. A belt course separating the upper stories from the first floor;
  - b. A bulkhead at the street level;
  - c. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;
  - d. A recessed entry and transom with transparent door; and
  - e. Decorative cornice or cap at the roofline.

Finding: The applicant is proposing to maintain the existing storefront on the primary front façade. There is no storefront system or glazing on the alley side of the property to maintain.

4. Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

Finding: Except for the removal of the existing exterior stairway that extends above the roofline, there will be no change to the existing flat roofline of the one story building.

5. The primary entrance to a building shall open on to the public right-of-way and should be recessed.

Finding: The applicant is proposing to maintain the existing storefront and primary entrance on the primary front façade. There is no primary entrance on the alley side of the property. Existing openings in the alley side wall will remain.

**C. Building Materials.**

1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

Finding: In the area where the new walls will be constructed, they will be finished with stucco, which is an approved exterior building material in the downtown design area.

2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):
  - a. Wood, vinyl, or aluminum siding;
  - b. Wood, asphalt, or fiberglass shingles;
  - c. Structural ribbed metal panels;
  - d. Corrugated metal panels;
  - e. Plywood sheathing, to include wood paneling such as T-111;
  - f. Plastic sheathing; and
  - g. Reflective or moderate to high grade tinted glass.

Finding: The applicant is not proposing to use any of the listed prohibited exterior building materials.

3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim.

Finding: The applicant is proposing to paint the new walls the same color as the existing front façade of the one story building. A condition of approval has been included on the Certificate of Approval application to require that the remainder of the alley side wall also be painted this same color to maintain a consistent color along the entirety of the alley side wall.

CD:sjs

Historic Resources Survey  
City of McMinnville  
Yamhill County, Oregon



Site No. 11.28 Aerial Map K-11  
Block 6 Lot 3 & 4  
Addition Rowlands  
Tax Lot 4421BC Tax Lot 10400  
Address 608 E. 3rd  
Common Name ---  
Historic Name ---  
Present Owner Taylor Dale Hardware Co.  
Present Use Storage  
Original Use Commercial  
Builder or Architect Unkown  
Outbuildings none  
Date of Construction c. 1908

-Condition Assessment on Reverse Side-

*C. Dale*

Statement of historical significance and description of property:

This building is a small one story stuccoed commercial structure facing north on Third Street, mid block between Ford and Galloway Streets. The interior shows the rafter supported flat wood roof and some of the walls toward the back appear to be brick. The facade is two bayed. Three lighted transoms superimpose a triple-leafed door and a large window. A parapet screen wall rises to a modified stepped gable. Originally the building was used for an electrical supplies store.

Primary Resource No. 432

Condition of structure:

\_\_\_\_\_ A Excellent

  X   B Good

- \_\_\_\_\_ 1. Slight damage to porch steps.
- \_\_\_\_\_ 2. Small cracks in walls, chimneys.
- \_\_\_\_\_ 3. Broken gutters or downspouts.
- \_\_\_\_\_ 4. In need of paint.

\_\_\_\_\_ C Fair

- \_\_\_\_\_ 1. Holes in walls.
- \_\_\_\_\_ 2. Open cracks.
- \_\_\_\_\_ 3. Missing material in small area.
- \_\_\_\_\_ 4. Rotten sills or frames.
- \_\_\_\_\_ 5. Deep wear on stairs.
- \_\_\_\_\_ 6. Poor or no foundation.

\_\_\_\_\_ D Poor

- \_\_\_\_\_ 1. Sagging walls or roof.
- \_\_\_\_\_ 2. Holes, open cracks, missing material over large areas.
- \_\_\_\_\_ 3. Unrepaired storm or fire damage.

Recorded by Janice Rutherford Date 7/80

Sources Consulted:

Sanborne Maps, McMinville

1902  
1912  
1928



**City of McMinnville**  
**Planning Department**  
231 NE Fifth Street  
McMinnville, OR 97128  
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## EXHIBIT 3 - STAFF REPORT

**DATE:** May 15, 2018  
**TO:** Historic Landmarks Committee Members  
**FROM:** Chuck Darnell, Associate Planner  
**SUBJECT:** HL 6-18 / DDR 5-18 – 620 NE 3<sup>rd</sup> Street

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### **Report in Brief:**

This is the consideration of a Certificate of Approval for a new addition to a historic resource located at 620 NE 3<sup>rd</sup> Street. The subject property is listed on the Historic Resources Inventory as an Environmental resource, and is also classified as a secondary significant contributing property in the Downtown Historic District that is listed on the National Register of Historic Places.

A Certificate of Approval is a decision issued by the Historic Landmarks Committee to approve the alteration, demolition or moving of a historic resource or landmark.

An alteration is the addition to, removal of, removal from, or physical modification and/or repair of any exterior part or portion of an historic resource that results in a change in design, materials or appearance. Painting, reroofing, and general repairs are not alterations when the new materials and/or colors match those already in use.

Historic resources are any site, structure, building, district, or object that is included on the Historic Resources Inventory.

Section 17.65.060 of the McMinnville City Code provides the criteria for which the Historic Landmarks Committee must make a decision about approving a Certificate of Approval for the exterior alteration of a historic resource.

### **Background:**

The applicant, Max de Lavenne on behalf of Bluegate LLC, submitted a Certificate of Approval application to request a second story addition to an existing single story building in the Downtown Historic District. The subject property is located at 620 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10401, Section 21BC, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource relates to the structure itself. The structure is designated as an “Environmental” historic resource (Resource D871). However, the building is also located within the Downtown Historic District that is listed on the National Register of Historic Places. The building was classified as a secondary significant contributing property in the historic district. The

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#### *Attachments:*

*Certificate of Approval (HL 6-18) and Downtown Design Review (DDR 5-18) Applications*  
*Decision Documents for Application HL 6-18 and Application DDR 5-18*  
*Historic Resources Inventory Sheet D871*

statement of historical significance and description of the property, as described in the nomination of the Downtown Historic District, is as follows:

This rectangular one-story stuccoed building has a stepped parapet with a low relief cornice. The transom level has been covered with wood sheathing. Storefront windows and door are wood framed and the bulkheads are stucco. This building is on the same tax lot as the Taylor Dale Hardware store.

Based on Sanborn maps for the area, the building is estimated to have been constructed between 1913 and 1928.

Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is on the McMinnville Historic Resources Inventory and/or listed on the National Register of Historic Places as a contributing resource. Since the subject property is on the Historic Resources Inventory and classified as a secondary significant contributing property, the Certificate of Approval review is required.

In addition, the property is also located in the Downtown Design Standards and Guidelines area. Any exterior alteration of the building and any new additions are subject to the Downtown Design Standards and Guidelines contained in Chapter 17.59 of the McMinnville City Code.

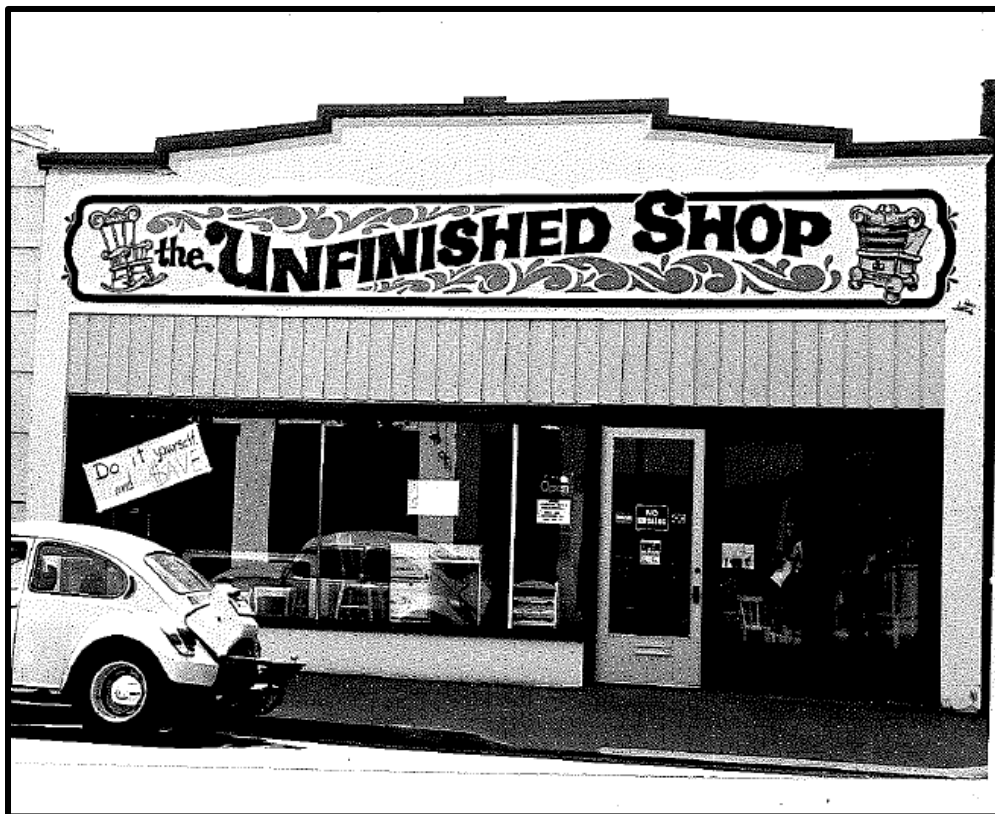
The current location of the historic resource is identified below:



**Attachments:**

Certificate of Approval (HL 6-18) and Downtown Design Review (DDR 5-18) Applications  
Decision Documents for Application HL 6-18 and Application DDR 5-18  
Historic Resources Inventory Sheet D871

An existing photo of the front façade of the subject property, and an image from the Historic Resources Inventory sheet for the subject property, are provided below:



**Attachments:**

Certificate of Approval (HL 6-18) and Downtown Design Review (DDR 5-18) Applications  
Decision Documents for Application HL 6-18 and Application DDR 5-18  
Historic Resources Inventory Sheet D871

**Discussion:**

The applicant is requesting that the Historic Landmarks Committee approve a Certificate of Approval to allow for the alteration of the historic resource, and also approve a Downtown Design Review application to ensure that the proposed alterations and additions are consistent with the Downtown Design Standards and Guidelines. Specifically, the applicant is proposing to complete a structural rehabilitation of the building and add a second story addition to the existing single story building. In addition to the second story addition, the applicant is proposing to add an exit staircase from the new second story on the alley side of the building, and a fence area along the alley to provide for secure access and bicycle storage. The structural rehabilitation will include a complete seismic upgrade of the existing building, the addition of ADA compliant bathrooms and staircases on the interior, and also the updating of the exterior façade colors.

The Historic Landmarks Committee's responsibility regarding this type of application is to hold a public meeting to review the request to alter the structure. Property owner notices were provided to owners of property within 300 feet of the subject site, consistent with Section 17.65.070 of the McMinnville City Code. This also satisfied the property owner notification requirements required for the Downtown Design Review application. During the public meeting, the Historic Landmarks Committee Chair will provide an opportunity for public testimony on the applications.

**Certificate of Approval Review**

In reviewing a request for an alteration of a historic resource, the Historic Landmarks Committee must base its decision on the following criteria, as described in Section 17.65.060(B) of the McMinnville City Code:

- (1) The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation chapter, in Section 17.65.010 of the McMinnville City Code, includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. The proposed alteration does not include any structural or architectural changes to the ground floor façade, which will preserve the historic resource's architectural and historical significance. The applicant is also proposing to upgrade the existing building to current building code requirements, which will improve property values. The introduction of office uses in the downtown area will also strengthen the vibrancy and economy of the city and specifically the Downtown Historic District by adding jobs in an existing underutilized building

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**Attachments:**

*Certificate of Approval (HL 6-18) and Downtown Design Review (DDR 5-18) Applications  
Decision Documents for Application HL 6-18 and Application DDR 5-18  
Historic Resources Inventory Sheet D871*

in the downtown core. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation are satisfied by the proposal.

(2) The following standards and guidelines:

- a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

The property has historically been used commercially, with a variety of different businesses occupying the space. The property was originally connected on the interior to the two buildings to the west, and was associated with the Taylor Dale Hardware store. The interior connection between the adjacent buildings was closed off over time, and the building was separated onto its own legal parcel and tax lot. The proposed use of office space is a new use, but is still commercial in function and will not involve the removal of any distinctive materials or features on the exterior of the building, which satisfies this standard.

- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

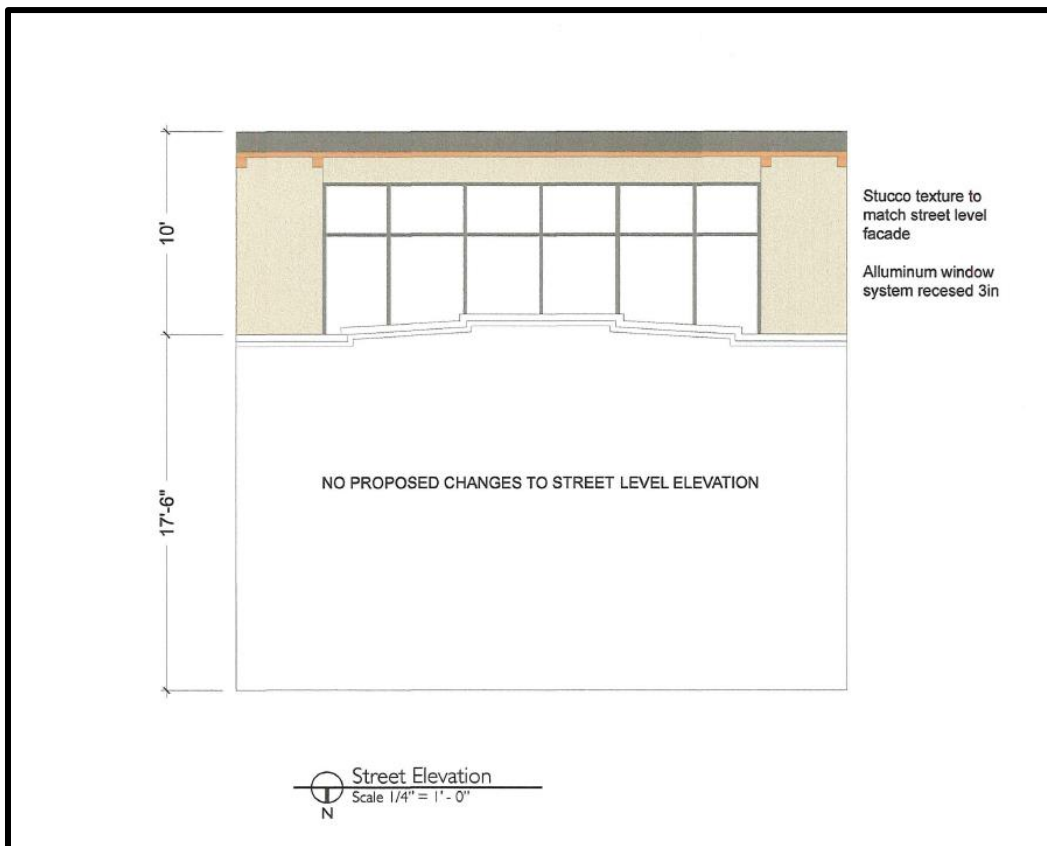
The aspects of the existing building that have the most historic character and significance are the existing stepped parapet roofline and the existing wood storefront window system. These historical characteristics of the property will be retained and preserved, as the applicant is not proposing to alter any of the existing ground floor façade, other than updating the exterior colors. The colors being proposed for the exterior façade are a cream/tan for the main building walls and a charcoal gray color for accents. The applicant chose colors that are subtle earth tones, which is consistent with the colors allowed in the Downtown Design Standards chapter of the McMinnville City Code. The required building code updates and seismic upgrades will not alter the exterior of the building or remove any historic materials or features from the exterior façade of the building. Therefore, the above criteria are satisfied.

A rendering of the proposed second story addition and an elevation drawing, both of which show the preservation of the ground floor façade, are provided below:

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*Attachments:*

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Historic Resources Inventory Sheet D871*



- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The applicant is not proposing to significantly alter any exterior portion of the ground floor façade. The applicant has stated that they will make any necessary repairs to the window frames and cornice in the gentlest means possible. However, there was no detail provided on the exact methods that will be used. A condition of approval is included to require that the window frame be repaired from the interior and that the existing parapet wall be maintained and protected during the construction of the second story addition and patio space. Also, a condition of approval has been included to require that the cleaning and repainting of the stucco on the existing ground floor façade follow the following Guidelines for the Rehabilitation of Historic Buildings:

Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.

Using biodegradable or environmentally-safe cleaning or paint removal products.

Using paint-removal methods that employ a poultice to which paint adheres, when possible, to neatly and safely remove old lead paint.

Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., hand scraping) prior to repainting.

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The applicant has not provided any information on any potential archeological resources that may be present on the property. However, the existing building includes a concrete slab foundation, and the applicant is not proposing to complete any work on the existing foundation that would disturb any potential archeological resources, if they did exist.

- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

The applicant is arguing that their proposed alterations should be considered to be a “Rehabilitation” of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the Interior’s Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

Given the fact that the existing building and ground floor façade, including the existing character-defining features in the stepped parapet wall and wood storefront system, are being protected and maintained, the proposal does satisfy the main requirements of the rehabilitation treatment. Also, the proposed

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construction of a second story addition is allowed under the rehabilitation treatment, which is consistent with the applicant's proposal. The Secretary of the Interior provide a number of Guidelines for Rehabilitating Historic Buildings, including 20 recommended guidelines for how to incorporate a new exterior addition to a historic building. The applicant has provided findings for these guidelines, which are included in their narrative in Exhibit D.

Some of the applicable rehabilitation guidelines for new additions to historic buildings, and findings for the guidelines as provided by the applicant and supported by staff, are provided below:

Recommended Guideline: Placing functions and services required for a new use (including elevators and stairways) in secondary or non-character-defining interior spaces of the historic building rather than constructing a new addition.

The proposed addition will be a second story addition, which will be setback from the front façade of the existing building. A new function of the second story addition will be an exterior staircase providing egress from the space, but that staircase is being added to the alley side of the building which is not the primary character defining façade of the existing building.

Recommended Guideline: Constructing a new addition on a secondary or non-character-defining elevation and limiting its size and scale in relationship to the historic building.

The proposed addition will be constructed near the front façade of the existing building, but will be a second story addition and will be setback 20 feet from the existing ground floor façade. The applicant has argued that this setback will result in the addition not detracting from the character defining stepped parapet wall on the top of the existing ground floor façade. The setback also limits the size and scale of the addition in relationship to the historic building, rather than having the addition extend directly above the existing ground floor façade.

Recommended Guideline: Constructing a new addition that results in the least possible loss of historic materials so that character-defining features are not obscured, damaged, or destroyed.

This guideline is satisfied, as the proposed addition does not result in the loss of any character defining materials or features. The applicant is not proposing to significantly alter any exterior portion of the ground floor façade, other than changing exterior colors, and will retain the existing stepped parapet wall and wood storefront window system.

Recommended Guideline: Designing a new addition that is compatible with the historic building.

Recommended Guideline: Considering the design for related new construction in terms of its relationship to the historic building as well as the historic district and setting.

Recommended Guideline: Considering the design for a new addition in terms of its relationship to the historic building as well as the historic district, neighborhood, and setting.

Recommended Guideline: Ensuring that the addition is stylistically appropriate for the historic building type (e.g., whether it is residential or institutional).

Recommended Guideline: Basing the alignment, rhythm, and size of the window and door openings of the new addition on those of the historic building.

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The exterior of the proposed addition has been designed to be compatible with the historic building. The applicant is proposing to use stucco as the exterior building material to match the exterior building material on the existing building façade. The applicant will also paint both exterior walls and trim materials to be consistent colors, using a subtle, earth tone color palate that is not inconsistent with the colors used on other surrounding buildings in the Downtown Historic District. The applicant is also proposing to replicate the window pattern that exists on the ground floor façade, with taller windows on the floor with a framing piece between smaller windows above the larger windows to replicate the transom window design on the ground floor.

Recommended Guideline: Ensuring that the addition is subordinate and secondary to the historic building and is compatible in massing, scale, materials, relationship of solids to voids, and color.

Recommended Guideline: Designing new construction on a historic site or in a historic setting that it is compatible but differentiated from the historic building or buildings.

Recommended Guideline: Using the same forms, materials, and color range of the historic building in a manner that does not duplicate it, but distinguishes the addition from the original building.

Recommended Guideline: Ensuring that new construction is secondary to the historic building and does not detract from its significance.

The proposed addition will be subordinate to the existing historic building because the addition will be setback 20 feet from the existing ground floor façade, therefore clearly identifying the addition as a later addition and not detracting from the character defining stepped parapet wall on the top of the existing ground floor façade. Also, the addition has been designed more simplistically to ensure that the addition appears to be secondary to the existing historic building and surrounding buildings. Exterior materials on the front façade of the addition will match the existing stucco materials on the historic building, and colors will be updated to be consistent between the existing historic building and the second story addition.

Recommended Guideline: Incorporating a simple, recessed, small-scale hyphen, or connection, to physically and visually separate the addition from the historic building.

Recommended Guideline: Distinguishing the addition from the original building by setting it back from the wall plane of the historic building.

Recommended Guideline: Designing a compatible rooftop addition for a multi-story building, when required for a new use, that is set back at least one full bay from the primary and other highly-visible elevations and that is inconspicuous when viewed from surrounding streets.

Recommended Guideline: Limiting a rooftop addition to one story in height to minimize its visibility and its impact on the historic character of the building.

The proposed addition will be setback 20 feet from the existing ground floor façade, which physically and visually separates the addition from the historic building. The second story will be limited to only one story in height to minimize its visibility. The setback of the second story addition will result in the addition not being visible from the south side of the street and the sidewalk adjacent to the property. The addition will be visible from the opposite side of the street and the sidewalk on the north side of 3<sup>rd</sup> Street, but the setback will result in the addition being easily distinguishable from the historic building.

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Recommended Guideline: Adding a new building to a historic site or property only if the requirements for a new or continuing use cannot be accommodated within the existing structure or structures.

The applicant has stated that their use requires more square footage than what exists in the current building. Additional square footage cannot be accommodated within the existing structure, and the second story addition is the only option to add additional square footage because the building basically covers the entire property.

Recommended Guideline: Locating new construction far enough away from the historic building, when possible, where it will be minimally visible and will not negatively affect the building's character, the site, or setting.

Recommended Guideline: Using site features or land formations, such as trees or sloping terrain, to help minimize the new construction and its impact on the historic building and property.

Recommended Guideline: Designing an addition to a historic building in a densely-built location (such as a downtown commercial district) to appear as a separate building or infill, rather than as an addition. In such a setting, the addition or the infill structure must be compatible with the size and scale of the historic building and surrounding buildings—usually the front elevation of the new building should be in the same plane (i.e., not set back from the historic building). This approach may also provide the opportunity for a larger addition or infill when the façade can be broken up into smaller elements that are consistent with the scale of the historic building and surrounding buildings.

These guidelines are not specifically applicable, as the existing building basically covers the entire lot and there are no site features or land formations to incorporate into the design of the addition. There is no space to add a separate infill building on the property. The 20 foot setback of the second story addition will make the addition less visible and will not detract from the character defining features on the existing historic building.

- (3) The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource's preservation or renovation;

The proposed alteration is reasonable, as the applicant intends to upgrade, but preserve, the existing historic building while adding additional usable square footage in a second story addition. The existing character defining materials and features, including the stepped parapet roofline and the existing wood storefront window system, will be preserved and will protect the public's interest in the historic resources preservation.

- (4) The value and significance of the historic resource;

The historic resource is located within the Downtown Historic District that is listed on the National Register of Historic Places, and is classified as a secondary significant contributing property in the historic district. The existing character defining materials and features that were identified in the listing of the property in the historic district, including the stepped parapet roofline and the existing wood storefront window system, will be preserved and therefore the significance of the historic resource will not be impacted by the proposed addition.

- (5) The physical condition of the historic resource;

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The existing condition of the historic resource is in somewhat poor condition, as there has been some deferred maintenance on the interior of the building. However, the character defining features of the building still remain and have not been removed. The applicant is not proposing any significant alteration of the ground floor façade of the historic resource, other than changing exterior colors. The other upgrades to the building, including building code updates and seismic upgrades, will not impact the historical exterior of the ground floor façade, and the second story addition has been designed to be compatible with the existing historic resource as described in more detail above.

### **Downtown Design Review**

In reviewing a request for an alteration or new construction to a building or property in the downtown design area, the Historic Landmarks Committee must base its decision on the design standards and guidelines in Chapter 17.59 (Downtown Design Standards and Guidelines) of the McMinnville City Code, and also on the following review criteria:

- (1) The City's historic preservation policies set forth in the Comprehensive Plan;
- (2) If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2)

The application for Downtown Design Review was is consistent with both of those review criteria, as described above in the Certificate of Approval review.

The applicant has provided findings for how the proposed addition meets the applicable Downtown Design Standards and Guidelines, which are included in their narrative in Exhibit B. In general, many of the design standards and guidelines are related to the design of the ground floor façade of buildings. As the applicant is not proposing to alter the existing ground floor façade of the building, many of the standards are either already met with the existing design or are not applicable. Overall, staff concurs with the findings provided by the applicant for how the proposed addition complies with the Downtown Design Standards and Guidelines.

Staff offers the following comments and findings on some of the standards that are more applicable to the second story addition:

Section 17.59.50 (B)(1): Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

The massing and configuration of the first level will remain as it exists today, as there are no significant changes proposed to the historic building or the ground floor façade. The second story addition will be similar in massing and configuration to other two-story buildings in the Downtown Historic District. The front of the second story addition will be setback 20 feet from the ground floor façade, and this setback is supported by multiple Secretary of the Interior Guidelines for the Rehabilitation of Historic Buildings, as described in the Certificate of Approval review. The other building walls will be built in the same footprint of the existing historical building, which will maintain the historic zero property line and will mimic the configuration of the existing historic building.

Section 17.59.50 (B)(4): Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

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#### *Attachments:*

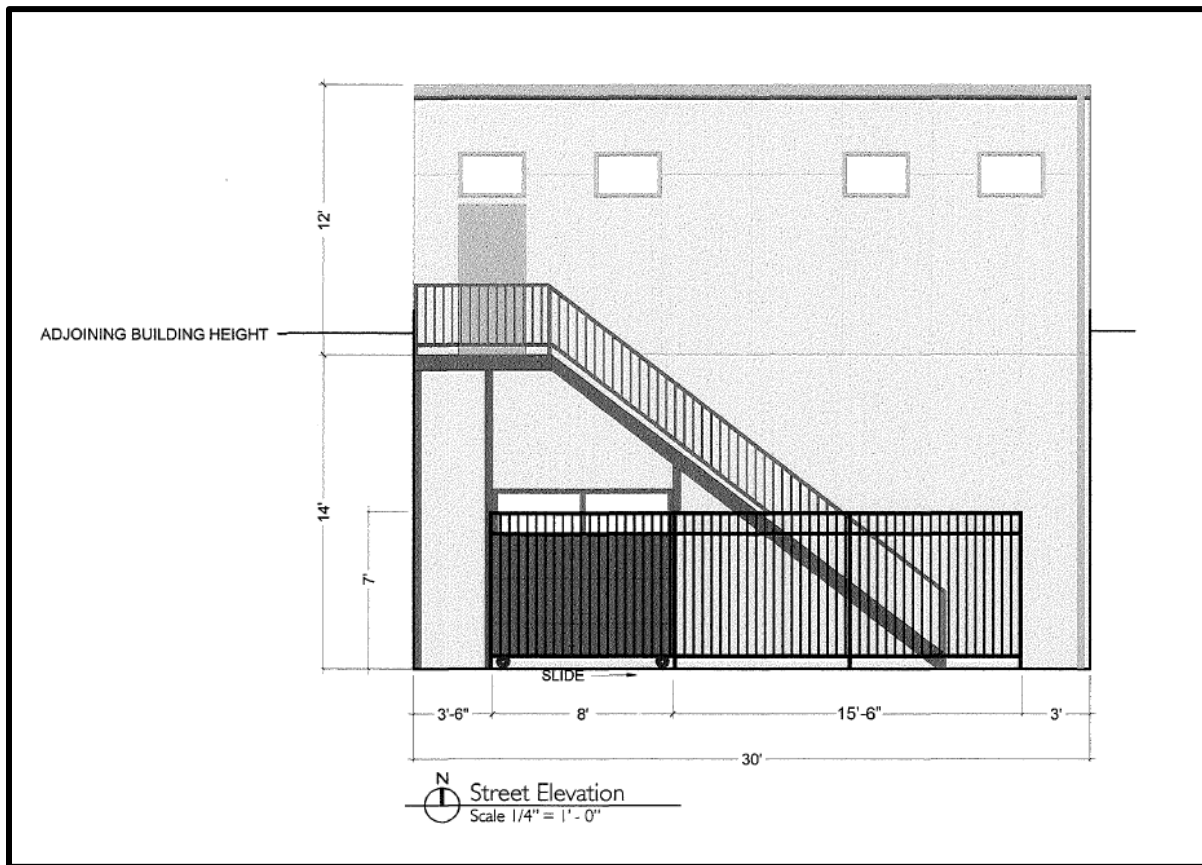
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The building immediately adjacent to the subject site are both one story in height, so there is no specific roofline to match on those buildings. The second story addition has been designed to mimic the flat roofline of other buildings in the Downtown Historic District. The roofline of the second story addition will appear to be flat and a straight line across the front façade from the view point in front of the building. The roof will then slope to the south at a very minimal pitch of  $\frac{1}{4} / 12$ . Together with the setback of the second story addition, this roofline design will be similar to the rooflines of other buildings in the Downtown Historic District.

Section 17.59.50 (C)(1): Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

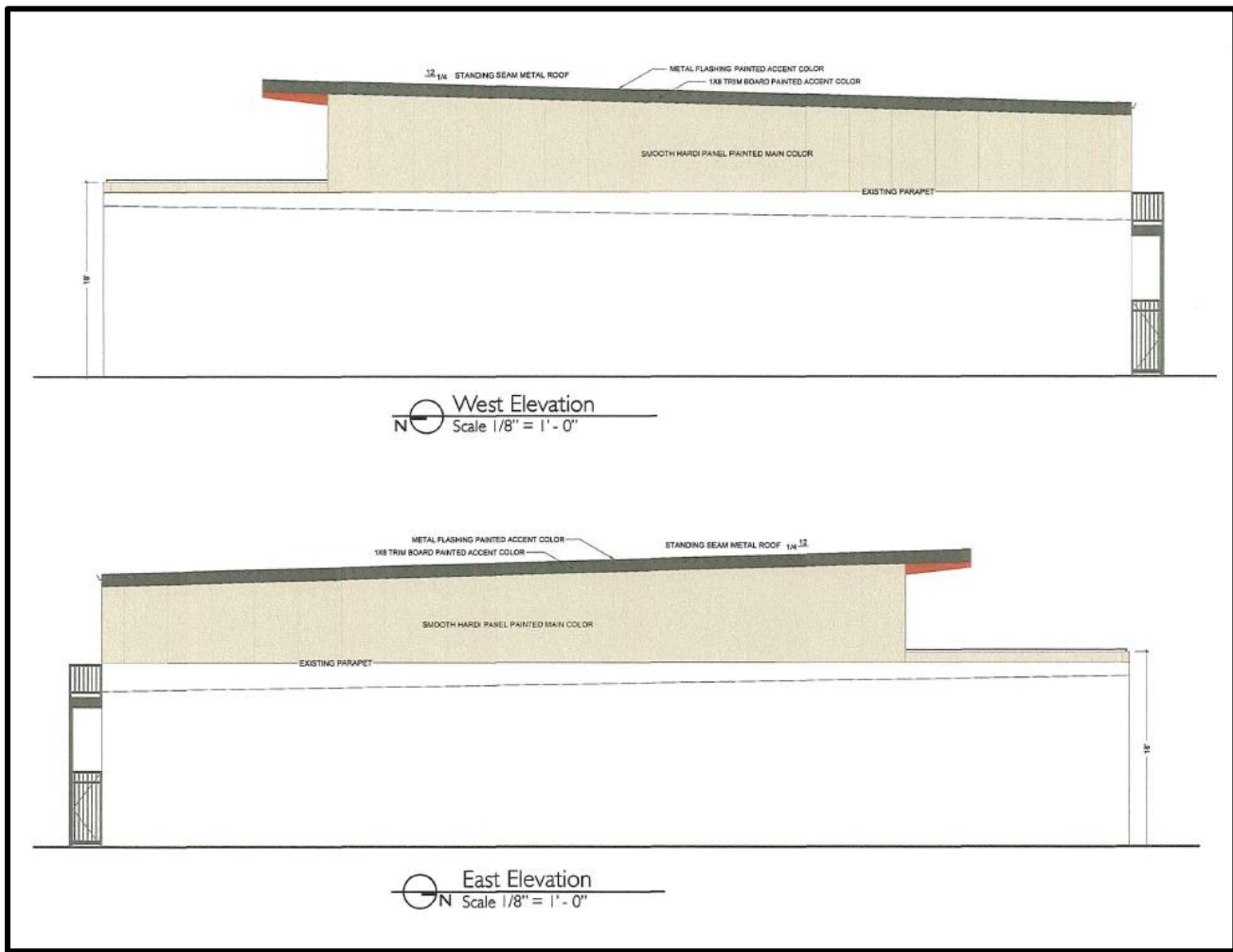
The applicant is proposing to use stucco on the front façade of the second story addition, which is an allowable exterior building material and would be consistent with the stucco that exists on the historic ground floor façade, which will remain unchanged. The applicant is proposing to use hardie panel siding panels on the east, west, and south façades. The hardie panels are a cement-based material that can be painted, which the applicant is proposing to paint the same main building color as the stucco front façades. Cement board siding is not specifically listed as a prohibited exterior building material in Section 17.59.050(C)(2) of the McMinnville City Code, and will look similar to the smooth stucco that is allowed in the downtown area.

Elevation drawings of the non-primary façades are provided below:



**Attachments:**

Certificate of Approval (HL 6-18) and Downtown Design Review (DDR 5-18) Applications  
 Decision Documents for Application HL 6-18 and Application DDR 5-18  
 Historic Resources Inventory Sheet D871

**Fiscal Impact:**

None.

**Committee Options:**

- 1) **APPROVE** the applications, providing findings of fact for the required demolition review criteria.
- 2) **APPROVE** the applications **WITH CONDITIONS**, providing findings of fact for the required demolition review criteria.
- 3) **DENY** the applications, providing findings of fact for the denial in the motion to deny.

**Recommendation/Suggested Motion:**

Staff recommends that the Historic Landmarks Committee approve the Certificate of Approval application (HL 6-18) with the following conditions:

- 1) That the window frame in the storefront be repaired from the interior and that the existing parapet wall be maintained and protected during the construction of the second story addition and patio space.

**Attachments:**

Certificate of Approval (HL 6-18) and Downtown Design Review (DDR 5-18) Applications  
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- 2) That the cleaning and repainting of the stucco on the existing ground floor façade follow the following Secretary of the Interior's Guidelines for the Rehabilitation of Historic Buildings:
  - a. Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.
  - b. Using biodegradable or environmentally-safe cleaning or paint removal products.
  - c. Using paint-removal methods that employ a poultice to which paint adheres, when possible, to neatly and safely remove old lead paint.
  - d. Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., hand scraping) prior to repainting.

Staff also recommends that the Historic Landmarks Committee approve the Downtown Design Review application (DDR 5-18) with no conditions of approval.

**Suggested Motion:**

Staff suggests that the Historic Landmarks Committee make the following motion to approve the Certificate of Approval application:

**THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE CERTIFICATE OF APPROVAL TO ALLOW THE ALTERATION OF THE HISTORIC RESOURCE AT 620 NE 3<sup>rd</sup> STREET (RESOURCE D871) WITH THE CONDITIONS RECOMMENDED BY STAFF.**

Staff also suggests that the Historic Landmarks Committee make the following motion to approve the Downtown Design Review application:

**THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE EXTERIOR DESIGN OF THE HISTORIC RESOURCE AT 620 NE 3<sup>rd</sup> STREET (RESOURCE D871).**

CD:sjs

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*Attachments:*

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Historic Resources Inventory Sheet D871*

**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)**Office Use Only:**File No. HL 6-18Date Received 4-9-18Fee \$0Receipt No. N/AReceived by CD

## Certificate of Approval (Alteration)

**Applicant Information**Applicant is: ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other \_\_\_\_\_Applicant Name Bluegate LLC Phone 310 869 2269Contact Name Max de Lavenne Phone 310 869 2269  
(If different than above)Address 1335 SW Fleishauer LaneCity, State, Zip McMinnville, OR, 97128Contact Email mlavenne@gmail.com**Property Owner Information**Property Owner Name same as above Phone \_\_\_\_\_  
(If different than above)

Contact Name \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_

City, State, Zip \_\_\_\_\_

Contact Email \_\_\_\_\_

**Site Location and Description**

(If metes and bounds description, indicate on separate sheet)

Property Address 620 NE 3rd St, McMinnville, OR 97128Assessor Map No. R4 421BC. 10401. Total Site Area 3000 sqft (100 x 30)Subdivision ROWLAND's ADDITION Block 6 Lot East half of Lot 3Comprehensive Plan Designation Commercial Zoning Designation C3

1. What is the classification of the historic building? Contributory
2. Architect Name NW Tactical Designs Phone \_\_\_\_\_  
(Engineer or Other Designer)  
Contact Name Caleb Roach Phone 971.888.1168  
Address 21880 S Foothills Ave  
City, State, Zip Oregon City, OR, 97045  
Contact Email calebroach@gmail.com
3. Contractor Name Larry Collver Phone 503.435.7769  
Contact Name Larry Collver Phone \_\_\_\_\_  
Address 26099 SW Valley View  
City, State, Zip Sheridan, OR, 97378  
Contact Email collver.cattle@gmail.com
4. The existing use of the property. Vacant
5. The intended use of the property. Office space
6. Attach a written narrative that describes:
  - A. The proposed project in detail (specific portions of the structure being altered, new features being constructed, etc.);
  - B. How the proposed project meets the applicable Comprehensive Plan policies;
  - C. How the proposed project meets the applicable design standards and guidelines, which are as follows:
    - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
    - b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
    - c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
    - d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
    - e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
    - f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- i. The proposed project must be consistent with the Guidelines for Historic Preservation as published by the United States Secretary of the Interior;

- D. The reasonableness of the proposed project and a description of the economic use of the historic resource, and how those factors relate to the proposed project;
- E. The current value and significance of the historic resource, and how those factors relate to the proposed project; and
- F. The physical condition of the historic resource, and how the condition relates to the proposed project.

In addition to this completed application, the applicant must provide the following:

- ☐ *A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the information listed in the information sheet.*
- ☐ *Architectural drawings, including elevations of the proposed alteration. The elevations shall include descriptions of the proposed finish material.*
- ☐ *Photographs and/or drawings of the existing structure.*

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**



Applicant's Signature

4/6/2018

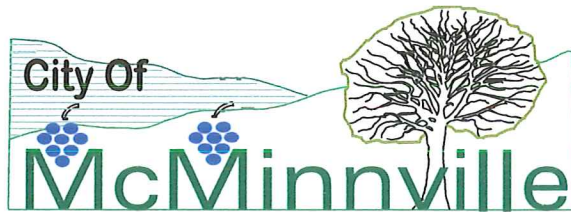
Date



Property Owner's Signature

4/6/2018

Date



**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**Office Use Only:**

File No. DDR 5-18

Date Received 4-9-18

Fee \$0

Receipt No. N/A

Received by CD

## Downtown Design Standards & Guidelines Application

### Applicant Information

Applicant is: ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other \_\_\_\_\_

Applicant Name Bluegate LLC Phone 310 869 2269

Contact Name Max de Lavenne Phone 310 869 2269  
(If different than above)

Address 1335 SW Fleishauer Lane

City, State, Zip McMinnville, OR, 97128

Contact Email mlavenne@gmail.com

### Property Owner Information

Property Owner Name same as above Phone \_\_\_\_\_  
(If different than above)

Contact Name \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_

City, State, Zip \_\_\_\_\_

Contact Email \_\_\_\_\_

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 620 NE 3rd ST, McMinnville, OR 97128

Assessor Map No. R4 421BC - 10401- Total Site Area 3000 sqft (100 x 30)

Subdivision ROWLAND's ADDITION Block 6 Lot East half of Lot 3

Comprehensive Plan Designation Commercial Zoning Designation C3

This request is for a:

☒ **Design Review**

☐ **Design Waiver**

1. Attach a written narrative that describes:

- A. The proposed project in detail, including descriptions of the architectural features and building materials being used;
- B. How the project meets the applicable downtown design standards and guidelines;
- C. How the project meets the historic preservation standards and guidelines (if applicable); and
- D. How the project will fit into the context of the downtown historic district.

2. As part of this application, is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so, explain in detail how the criteria for waiving a standard or guideline as listed in Section 17.59.040(A) have been met (*attach additional pages if necessary*).\_\_\_\_\_

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In addition to this completed application, the applicant must provide the following:

- ☐ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size). For new construction or for structural modifications show the information listed in page one of the information sheet.
- ☐ Building and construction drawings including building elevations of all visible sides.
- ☐ A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
- ☐ Photographs of the subject site and adjacent property.
- ☐ Other information deemed necessary by the Planning Director.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**



Applicant's Signature

4/6/2018

Date



Property Owner's Signature

4/6/2018

Date

## RE: Certificate of Approval Application: HL 6-18

Please find additional narrative for:

- Project Overview (Exhibit A)
- Downtown Design Standards and Guidelines narrative (Exhibit B)
- Guidelines for Historic Preservation narrative (Exhibit C)
- SOI Standards for Rehabilitation for New Exterior Addition (Exhibit D)

### Exhibit A – Project Overview

The overall project is a structural rehabilitation of the building and an addition of a second level with a patio to bring total square footage from 3,000 to 5,000 and be used as office space.

Additions:

- Second level
- Exit staircase to the back-alley side
- Back-alley fence so employees can park bicycles securely, and to keep staircase clear of obstructions.

Alterations:

- Seismic upgrade (inside lower level)
- Updating façade colors (both stucco and wood trim)
- ADA compliant bathrooms
- Staircases inside the building and outside the building

Existing conditions:

Currently, the building is in poor condition. It has been vacant for almost 6 years and has not been maintained for an even longer, indeterminate, period.

Outside: A detailed inspection revealed that the roof needs to be replaced, that the back-alley wall is filled with wood rot (plants are growing off the wood underneath the gutters), that the front window system is filled with wood rot and needs to be addressed, that the top-level cornice has rotted away and the front door needs to be replaced.

Inside: There is no ceiling, the roof is apparent. There is no electrical system, it has been ripped out. The plumbing is in very poor condition and needs to be redone. Bathrooms need to be rebuilt.

Use:

The building will be used for office space; however, the proposed renovation will not alter the historical character of the building, nor will it alter its potential to be used as a retail store in years to come. The proposed construction will add another 2000 sqft of office space on a second level, along with a 1000 sqft of patio space.

## Exhibit B – Downtown Design Standards and Guidelines Narrative

The following are our responses to how the building design complies to the Downtown Design Standards and Guidelines chapter of the McMinnville Zoning Ordinance:

### **Section 17.59.50 (A) – Building Setback**

**Section 17.59.50 (A)(1)** Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.

**Finding:** The building currently meets this requirement and there are no plans to change the setback.

**Section 17.59.50 (A)(2)** Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

**Finding:** N/A – no exceptions requested.

### **Section 17.59.50 (B) – Building Design**

**Section 17.59.50 (B)(1)** Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

**Finding:** The massing and configuration of the first level remains unchanged and is compatible with the adjacent buildings, meeting the configuration criteria.

The upper level exhibits a front patio of 20 ft, which will make the addition retreated from the street. The visual design of the second level is compatible in massing and configuration to the first level and the adjacent buildings.

The building is not located at a street corner or intersection and therefore the two-story height appearance criteria does not apply.

**Section 17.59.50 (B)(2)** Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

**Finding:** not applicable, the building is only 30 ft wide.

**Section 17.59.50 (B)(3)(a)** Storefronts should include a belt course separating the upper stories from the first floor

**Finding:** This requirement is met because the building's storefront remains a one-story building. Because of the proposed 20 ft patio starting behind the existing cornice, there is no upper story to separate from the first floor.

**Section 17.59.50 (B)(3)(b)** Storefronts should include a bulkhead at the street level.

**Finding:** This requirement is met, as there is no change to the facade, refer to Street Elevation.

**Section 17.59.50 (B)(3)(c)** Storefronts should include a minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;

**Finding:** This requirement is met, as there is no change to the facade, refer to the Street Elevation.

**Section 17.59.50 (B)(3)(d)** Storefronts should include a recessed entry and transom with transparent door;

**Finding:** This requirement is not met by the existing building, and no changes to the historic facade are proposed. Building a recessed entrance would require the window system to be modified, new masonry work, a new door system, and new lighting to be installed. This would cost between \$25,000 and \$30,000 and are too much of a financial burden to be included in this project. It will be considered in a possible future façade renovation phase.

**Section 17.59.50 (B)(3)(e)** Storefronts should include a decorative cornice or cap at the roofline.

**Finding:** this requirement is met, as there is no change to the facade. Refer architectural drawings.

**Section 17.59.50 (B)(4):** Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

**Finding:** This requirement is met. Adjacent buildings do not have second stories. The proposed second story roof has a minimal slope of .25/12. The building at 645 NE 3rd St is a downtown comparison.

**Section 17.59.50 (B)(5):** The primary entrance to a building shall open on to the public right-of-way and should be recessed.

**Finding:** This requirement is not met by the existing building, and no changes to the historic facade are proposed. See response to **17.59.50 (B)(3)(d)**

**Section 17.59.50 (B)(6):** Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical.

**Finding:** This requirement is met, both on the first level and the second level. Refer to architectural drawings.

**Section 17.59.50 (B)(7):** The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.

**Finding:**

1. Windows. No changes to the first level storefront are proposed. On the second level, the window system will be visually compatible with the original architectural character of the building with transom windows and same trim. Refer to architectural drawings.
2. Doors. No changes proposed.
3. Transom windows. No changes proposed.



i-Old design



ii-New design

(note green color will be replaced by Sail Cloth matching that of the upper level)

**Section 17.59.50 (B)(8):** Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.

**Finding:** This requirement is met. The building's foundation or base will not be changed.

**Section 17.59.50 (C) – Building Materials**

**Section 17.59.50 (C)(1):** Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

**Finding:** This requirement is met. The existing façade will not be modified. The façade of the second level will also use stucco. The top-level sides and back (east, west and south facing) will be painted Hardi panels which are more durable for the rainy Western Oregon region.

**Section 17.59.50 (C)(2):** The following materials are prohibited for use on visible surfaces (not applicable to residential structure):

- a. Wood, vinyl, or aluminum siding;
- b. Wood, asphalt, or fiberglass shingles;

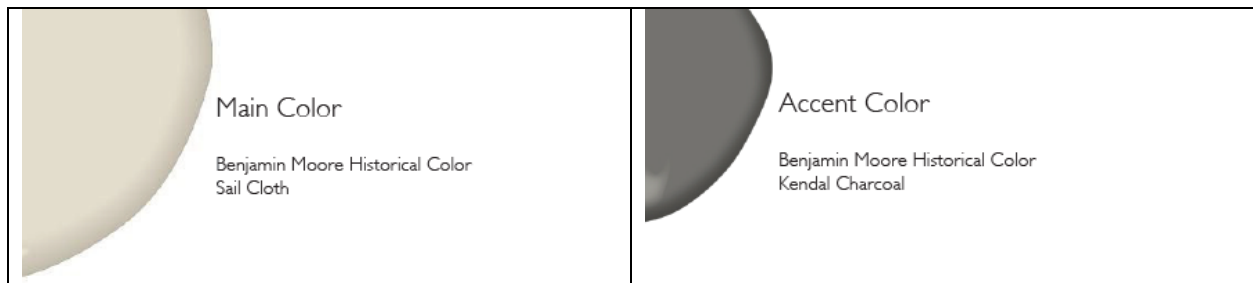
- c. Structural ribbed metal panels;
- d. Corrugated metal panels;
- e. Plywood sheathing, to include wood paneling such as T-111;
- f. Plastic sheathing; and
- g. Reflective or moderate to high grade tinted glass.

**Finding:** this requirement is met because the building will use none of such materials.

**Section 17.59.50 (C)(3):** Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim. (Ord. 4797 §1, 2003).

**Finding:** The requirement is met because the exterior building colors will use:

1. "Sail Cloth" (from Benjamin Moore historical color) as a main color.
2. "Kendal Charcoal" (from Benjamin Moore historical color) as an accent color.



Both are historical colors neutral colors.

#### **Section 17.59.060 - Surface Parking Lots**

This entire requirement section is met. There are no parking lots for this building and no new parking lots are proposed.

#### **Section 17.59.070 - Awnings**

This entire requirement section is met. No awnings exist on the building and no new awnings are proposed.

#### **Section 17.59.080 - Signs.**

This entire requirement section is met. No signs exist on the building and no new signs are proposed.

## Exhibit C – Guidelines for Historic Preservation Narrative

### Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

**Finding:** proposed use as office space is compatible with minimal change to distinctive materials, features, spaces and spatial relationships.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

**Finding:** this requirement is met by retaining the main facade as is.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

**Finding:** this requirement is met by not altering any existing architectural element of the facade.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

**Finding:** There are no change to the façade and so all its character defining features, which are (1) the front stepped parapet roof detail, (2) the stuccoed façade and (3) historic 3 part (transom, display windows and bulkhead) storefront, are left intact.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

**Finding:** This requirement is met, as no changes to the façade are proposed.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

**Finding:** This requirement is met by repairing the existing materials using approved methods.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

**Finding:** repairs to the stucco, window frame and cornice will be made in the gentlest means possible as outlined in the SOI Standards for rehabilitation

**8.** Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

**Finding:** No work planned below existing concrete slab

**9.** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**Finding:** No changes to the façade, beyond patches and repairs. The second story addition meets these requirements by using a historic window layout with a transom level, proportionally compatible height windows and by using compatible siding treatments. The second story addition is stepped back 20ft as to not distract from the historic single story street front.

**10.** New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Finding:** this requirement is met by keeping alterations to the essential form of the building at a minimum the main second story addition does not intersect the historic street facade.

## Exhibit D - SOI Standards for Rehabilitation for New Exterior Addition

**1.** Placing functions and services required for a new use (including elevators and stairways) in secondary or non-character-defining interior spaces of the historic building rather than constructing a new addition.

**Finding:** this requirement is met. We are adding stairs inside the building for the second level access, and a staircase in the back alley which is non character defining

**2.** Constructing a new addition on a secondary or non-character-defining elevation and limiting its size and scale in relationship to the historic building.

**Finding:** this requirement is met by setting the top addition back by 20 ft from the facade

**3.** Constructing a new addition that results in the least possible loss of historic materials so that character-defining features are not obscured, damaged, or destroyed.

**Finding:** this requirement is met because we are not changing anything to the main façade which is the only character defining element of the building.

**4.** Designing a new addition that is compatible with the historic building.

**Finding:** this requirement is met because the new addition façade is using the same stucco material as the lower level façade, the same wall and trim color, and the windows use a compatible layout in proportion with transom level.

**5.** Ensuring that the addition is subordinate and secondary to the historic building and is compatible in massing, scale, materials, relationship of solids to voids, and color.

**Finding:** this requirement is met by setting the top addition back by 20 ft from the facade

**6.** Using the same forms, materials, and color range of the historic building in a manner that does not duplicate it, but distinguishes the addition from the original building.

**Finding:** this requirement is met because the new addition façade is using the same stucco material as the lower level façade, the same wall and trim color, and the windows use a compatible layout in proportion with transom level, it is also set back by 20 ft from the façade and contrasts from the lower historic level by using simplified detailing.

**7.** Basing the alignment, rhythm, and size of the window and door openings of the new addition on those of the historic building.

**Finding:** This requirement is met, as the layout of the windows use a transom level and is compatible in overall layout to that of the lower level.

**8.** Incorporating a simple, recessed, small-scale hyphen, or connection, to physically and visually separate the addition from the historic building.

**Finding:** this requirement is met by setting the top addition back by 20 ft from the façade.

9. Distinguishing the addition from the original building by setting it back from the wall plane of the historic building.

**Finding:** this requirement is met by setting the top addition back by 20 ft from the façade.

10. Ensuring that the addition is stylistically appropriate for the historic building type (e.g., whether it is residential or institutional).

**Finding:** this requirement is met because the building use remains commercial (office space), and the top level is designed with commercial materials and commercial esthetic (large windows and the stucco siding).

11. Considering the design for a new addition in terms of its relationship to the historic building as well as the historic district, neighborhood, and setting.

**Finding:** this requirement is met by setting the top addition back by 20 ft from the façade, because we don't want it to distract from the historic street front. The historic district is really defined by the historic facades on 3<sup>rd</sup> street and the addition setback does not interfere with it. Also, the sides of the second level addition will use the same color of the building, which will help it better blend in its surroundings.

12. Designing a compatible rooftop addition for a multi-story building, when required for a new use, that is set back at least one full bay from the primary and other highly-visible elevations and that is inconspicuous when viewed from surrounding streets.

**Finding:** this requirement is met by setting the top addition back by 20 ft from the façade. Refer to architectural drawing. The high historic façade helps in preventing the second level from being too visible from the street level.

13. Limiting a rooftop addition to one story in height to minimize its visibility and its impact on the historic character of the building.

**Finding:** this requirement is met as we are doing a one level only addition.

14. Adding a new building to a historic site or property only if the requirements for a new or continuing use cannot be accommodated within the existing structure or structures.

**Finding:** we need more square footage and we cannot do so without building a second level addition by going up. There is no other option, as the building covers the entire lot.

15. Locating new construction far enough away from the historic building, when possible, where it will be minimally visible and will not negatively affect the building's character, the site, or setting.

**Finding:** not applicable as the building covers the entire lot. The 20 ft setback accommodates this requirement.

16. Designing new construction on a historic site or in a historic setting that it is compatible but differentiated from the historic building or buildings.

**Finding:** this requirement is met because the new addition is compatible in material, color and style to the lower level, but its simplified modern design will differentiate it from the historic lower level building.

17. Considering the design for related new construction in terms of its relationship to the historic building as well as the historic district and setting.

**Finding:** this requirement is met because the new addition façade is using the same stucco material as the lower level façade, the same wall and trim color, and the windows use a compatible layout in proportion with transom level, it is also set back by 20 ft from the façade and contrasts from the lower historic level by using simplified detailing. These design choices help the addition blend in with the historic building and will not distract from the historic character defining features of the lower level itself.

18. Ensuring that new construction is secondary to the historic building and does not detract from its significance.

**Finding:** this is met. The addition is setback by 20 ft and features a simplified design, both ensuring the addition does not distract from the historic significance of the building.

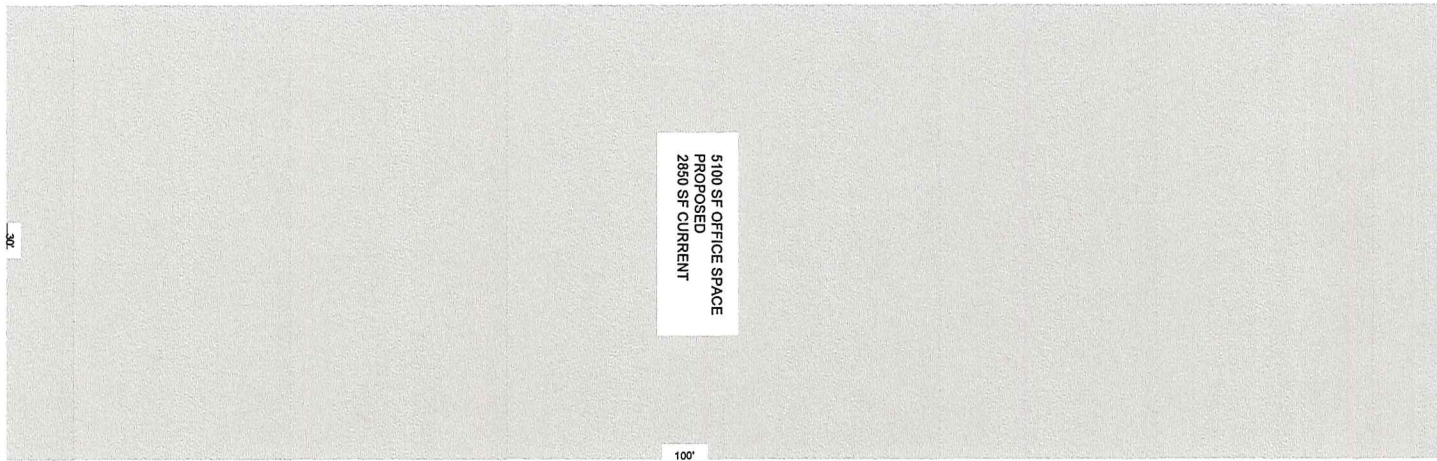
19. Using site features or land formations, such as trees or sloping terrain, to help minimize the new construction and its impact on the historic building and property.

**Finding:** not applicable, as the building occupies the entire lot. The only option to add square footage is by building up.


20. Designing an addition to a historic building in a densely-built location (such as a downtown commercial district) to appear as a separate building or infill, rather than as an addition. In such a setting, the addition or the infill structure must be compatible with the size and scale of the historic building and surrounding buildings—usually the front elevation of the new building should be in the same plane (i.e., not set back from the historic building). This approach may also provide the opportunity for a larger addition or infill when the façade can be broken up into smaller elements that are consistent with the scale of the historic building and surrounding buildings.

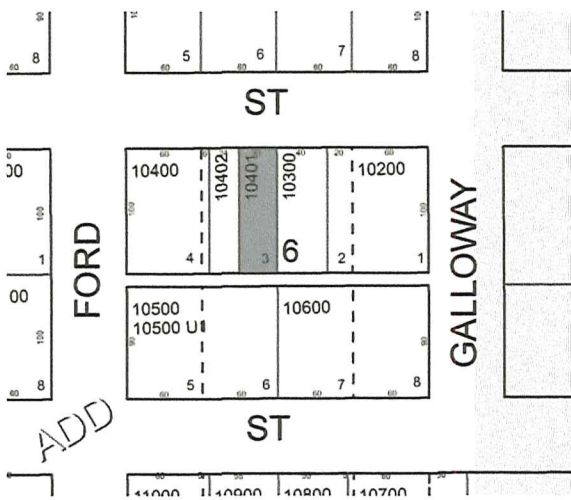
**Finding:** not applicable, as the building occupies the entire lot. The only option to add square footage is by building up.

NE 3RD ST



ADJOINING BUILDING  
PROPERTY LINE  
PROPOSED FIRE ESCAPE ADDITION

 **Site Plan**  
Scale 1/8" = 1' - 0"



RECEIVED

APR 19 2018

COMMUNITY DEVELOPMENT  
CENTER

**NW** TACTICAL  
DESIGNS LLC

Northwest Tactical  
Designs  
21880 S Foothills Ave  
Oregon City, OR 97045  
971.888.1168

**DOYLE ENGINEERING  
INC.**  
24001 NE Ellis Ln  
Newberg OR 97132  
(503)-538-2380

**Owner**  
Bluegate LLC,  
Max de Lavenne  
503 468 4881

**Site Address**  
620 NE 3RD Street,  
McMinnville, OR 97128



## NW TACTICAL DESIGNS<sub>LLC</sub>

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
## Site Address

620 NE 3RD Street,  
McMinnville, OR 97128



Stucco texture to  
match street level  
facade

Aluminum window  
system recessed 3in


**Street Elevation**  
 Scale 1/4" = 1' - 0"

**NW** TACTICAL  
DESIGNS LLC

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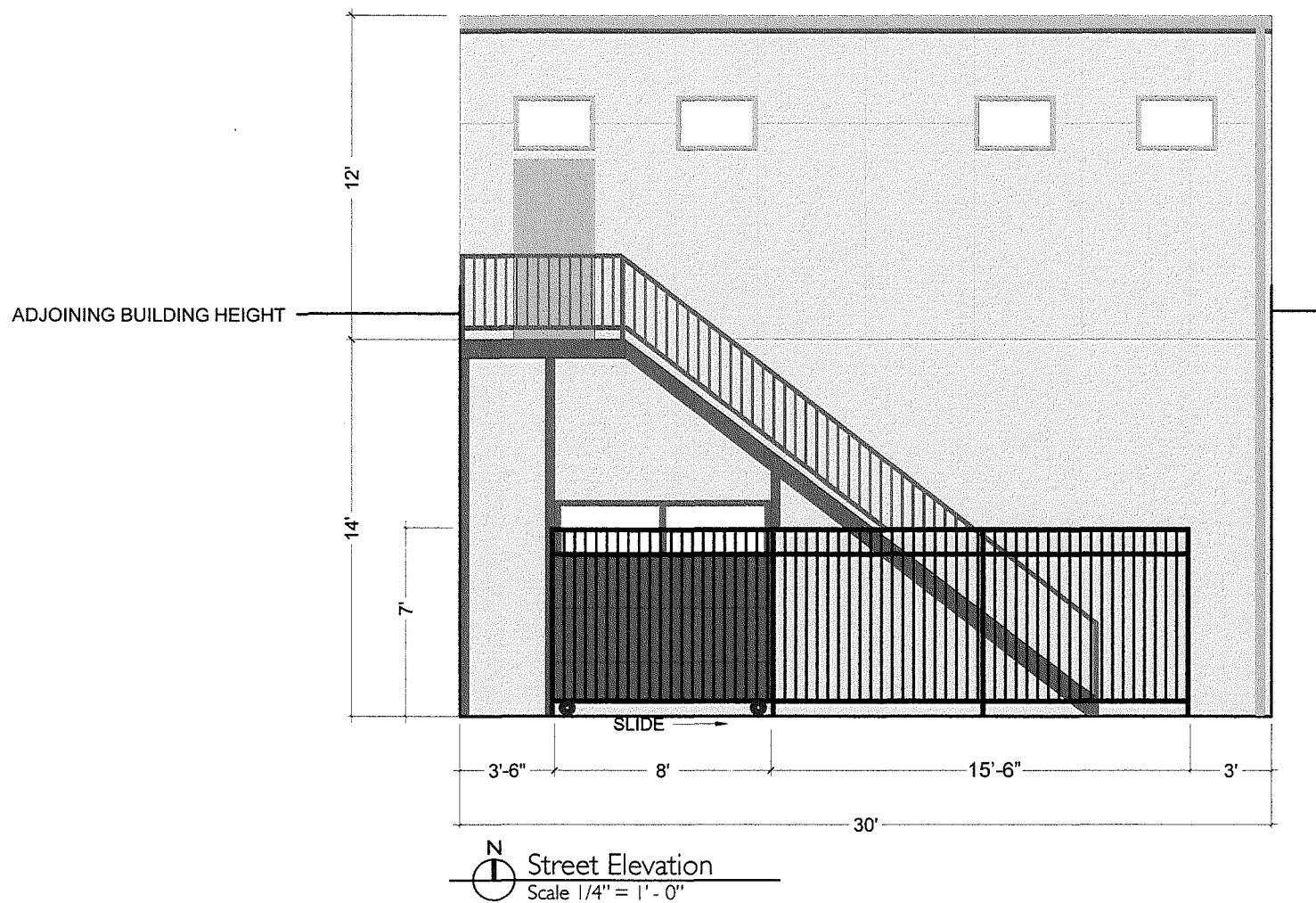
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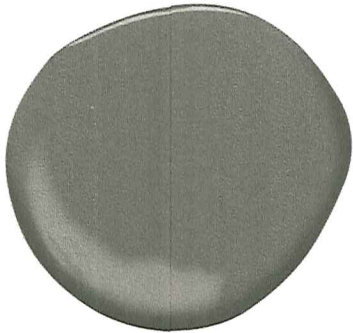
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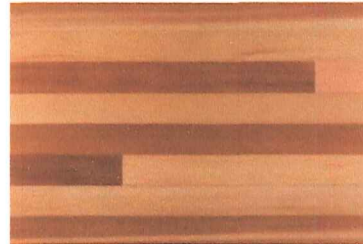
**Site Address**  
620 NE 3RD Street,  
McMinnville, OR 97128





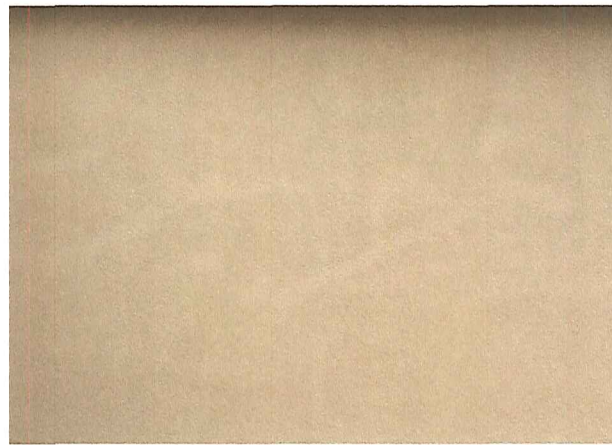
Accent Color

Benjamin Moore Historical Color  
Kendal Charcoal



2nd Story Soffit

Clear Vertical Grain T&G Cedar  
Clear Finish



Siding Material  
Street Facade

Stucco painted main color



Main Color

Benjamin Moore Historical Color  
Sail Cloth



Siding Material Sides  
and Back

Smooth Hardi Panel  
painted main color  
1/4" reveal at joints

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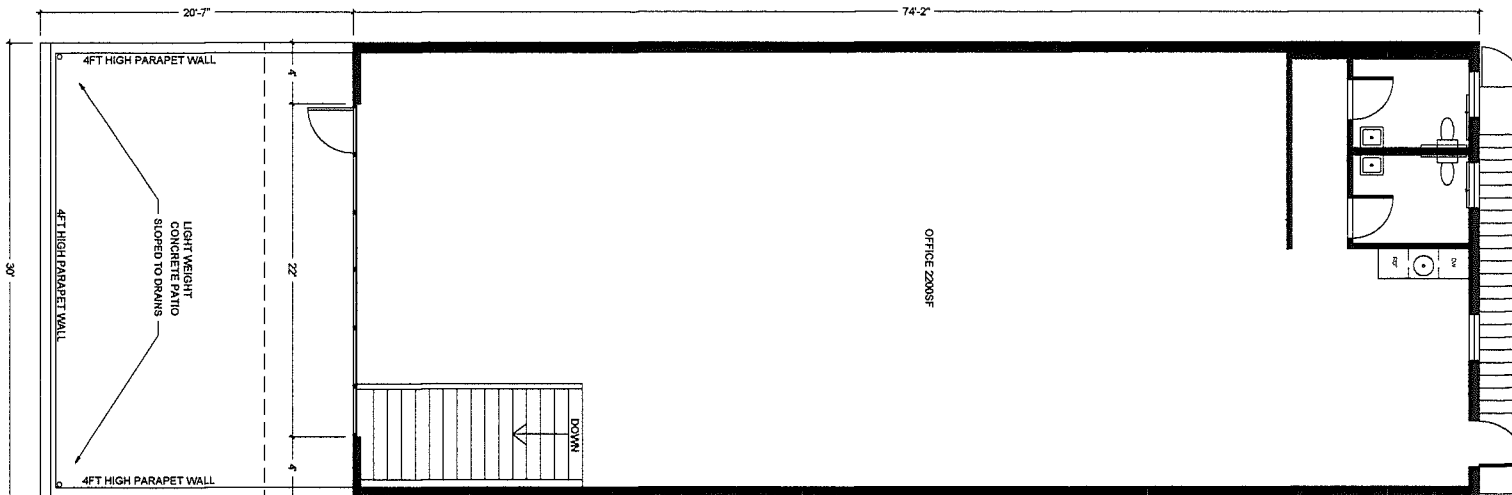
24001 NE Ellis Ln  
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**Owner**  
Bluegate LLC,

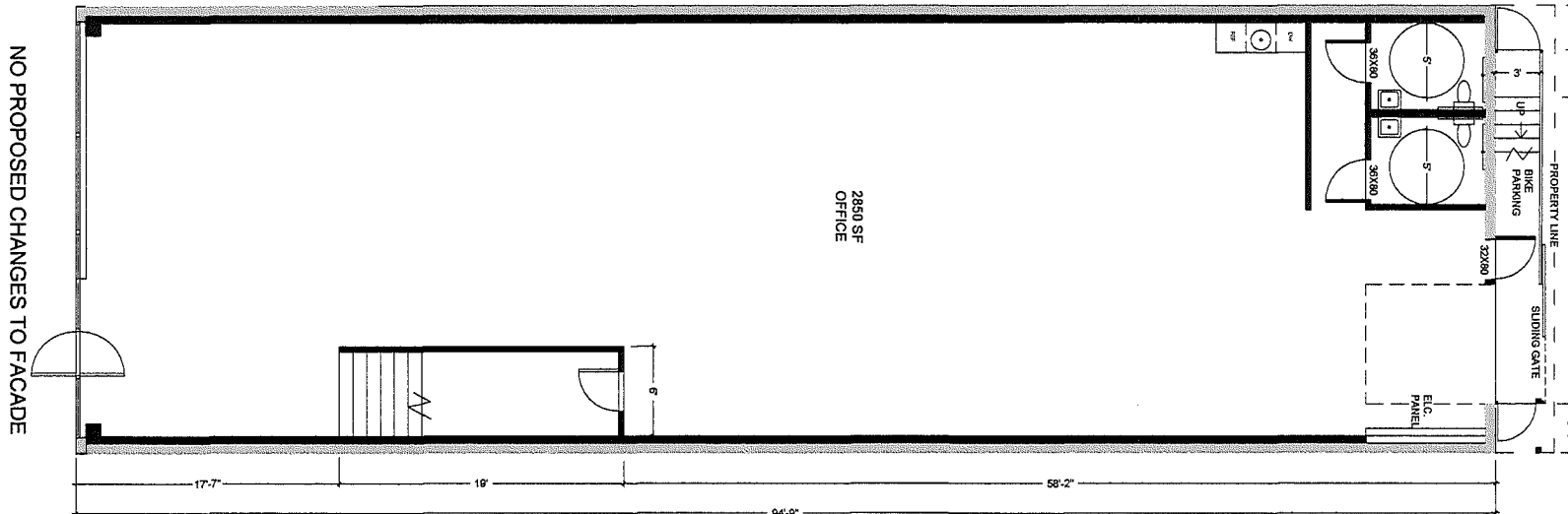
Max de Lavenne  
503 468 4881


**Site Address**

620 NE 3RD Street,  
McMinnville, OR 97128



 Ground floor Plan  
Scale 1/8" = 1' - 0"



 2nd Story floor Plan  
Scale 1/8" = 1' - 0"

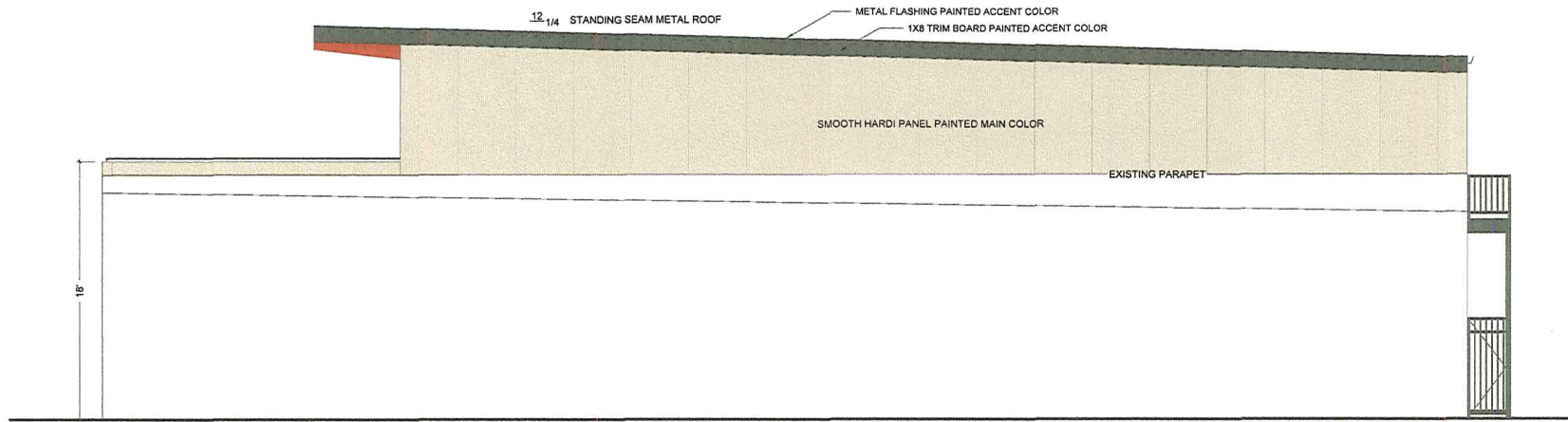
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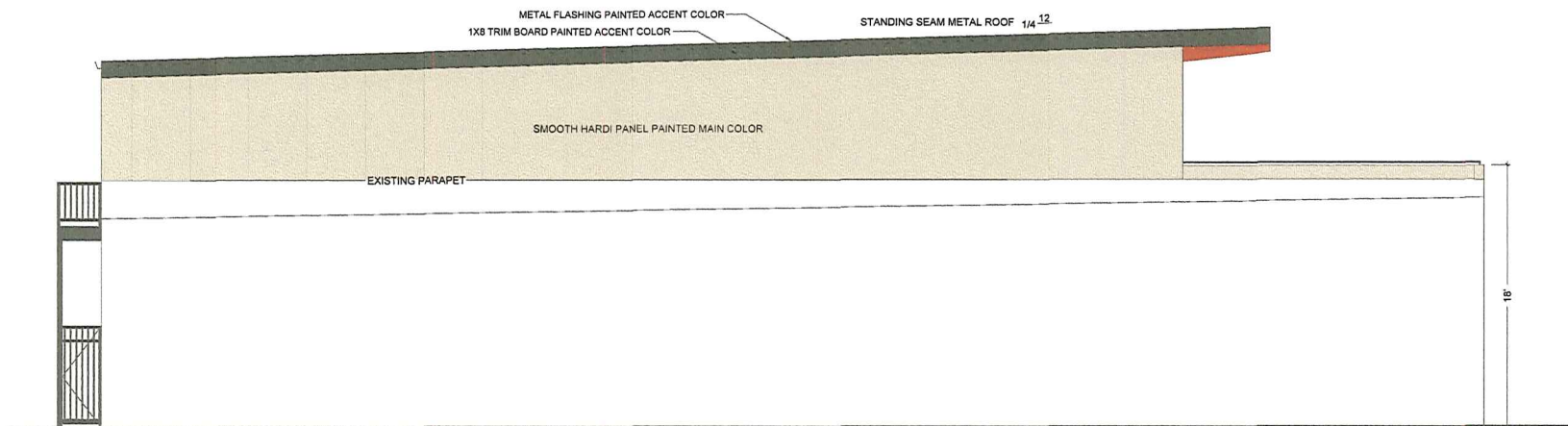
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**Owner**  
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Max de Lavenne  
503 468 4881

**Site Address**  
620 NE 3RD Street,  
McMinnville, OR 97128




**West Elevation**  
 Scale 1/8" = 1' - 0"




**East Elevation**  
 Scale 1/8" = 1' - 0"

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 DESIGNS LLC

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**CITY OF MCMINNVILLE  
PLANNING DEPARTMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128

503-434-7311

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE ALTERATION OF A HISTORIC RESOURCE AT 620 NE 3<sup>RD</sup> STREET AND LOCATED IN THE DOWNTOWN HISTORIC DISTRICT**

**DOCKET:** HL 6-18

**REQUEST:** The applicant has submitted a Certificate of Approval application to request a second story addition to an existing single story building in the Downtown Historic District, which is listed on the National Register of Historic Places. The resource is also designated as an “Environmental” historic resource (Resource D871) on the Historic Resources Inventory. The resource subject to the Certificate of Approval alteration review process required by Section 17.65.040(A) of the McMinnville City Code.

**LOCATION:** The subject site is located at 620 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10401, Section 21BC, T. 4 S., R. 4 W., W.M.

**ZONING:** The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).

**APPLICANT:** Max de Lavenne, on behalf of Bluegate, LLC

**STAFF:** Chuck Darnell, Associate Planner

**DATE DEEMED COMPLETE:** April 27, 2018

**DECISION-MAKING BODY:** McMinnville Historic Landmarks Committee

**DATE & TIME:** May 15, 2018. Meeting was held at the Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, OR 97128.

**COMMENTS:** Public notice was provided to owners of properties within 300 feet of the subject site, as required by Section 17.65.070(C) of the McMinnville City Code. The Planning Department did not receive any public testimony prior to the public meeting.

---

**Attachments:**

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource D871

## DECISION

Based on the findings and conclusions, the Historic Landmarks Committee **APPROVES** the alteration of the historic resource at 620 NE 3<sup>rd</sup> Street (Resource D871), **subject to the conditions of approval provided in this document.**

**DECISION: APPROVAL WITH CONDITIONS**

Historic Landmarks Committee: \_\_\_\_\_  
Joan Drabkin, Chair of McMinnville Historic Landmarks Committee

Date: \_\_\_\_\_

Planning Department: \_\_\_\_\_  
Heather Richards, Planning Director

Date: \_\_\_\_\_

**APPLICATION SUMMARY:**

The applicants, Max de Lavenne on behalf of Bluegate LLC, submitted a Certificate of Approval application to request a second story addition to an existing single story building in the Downtown Historic District. The subject property is located at 620 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10401, Section 21BC, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource relates to the structure itself. The structure is designated as an “Environmental” historic resource (Resource D871). However, the building is also located within the Downtown Historic District that is listed on the National Register of Historic Places. The building was classified as a secondary significant contributing property in the historic district. The statement of historical significance and description of the property, as described in the nomination of the Downtown Historic District, is as follows:

This rectangular one-story stuccoed building has a stepped parapet with a low relief cornice. The transom level has been covered with wood sheathing. Storefront windows and door are wood framed and the bulkheads are stucco. This building is on the same tax lot as the Taylor Dale Hardware store.

Based on Sanborn maps for the area, the building is estimated to have been constructed between 1913 and 1928.

Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is listed on the National Register of Historic Places, as long as the resource is not non-contributing. Since the subject property is classified as secondary significant contributing property, the Certificate of Approval review is required.

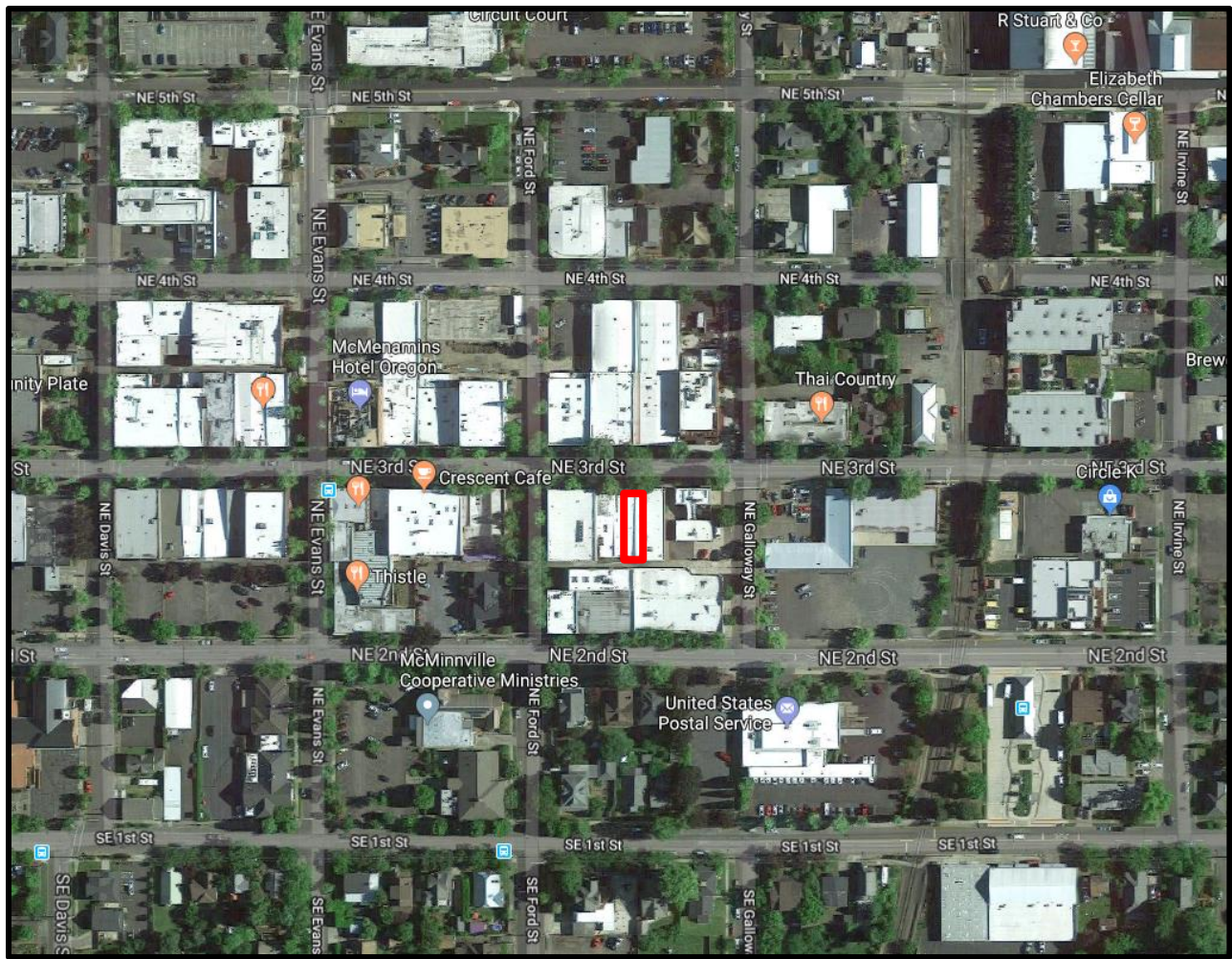
The current location of the historic resource is identified below:

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**Attachments:**

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource D871



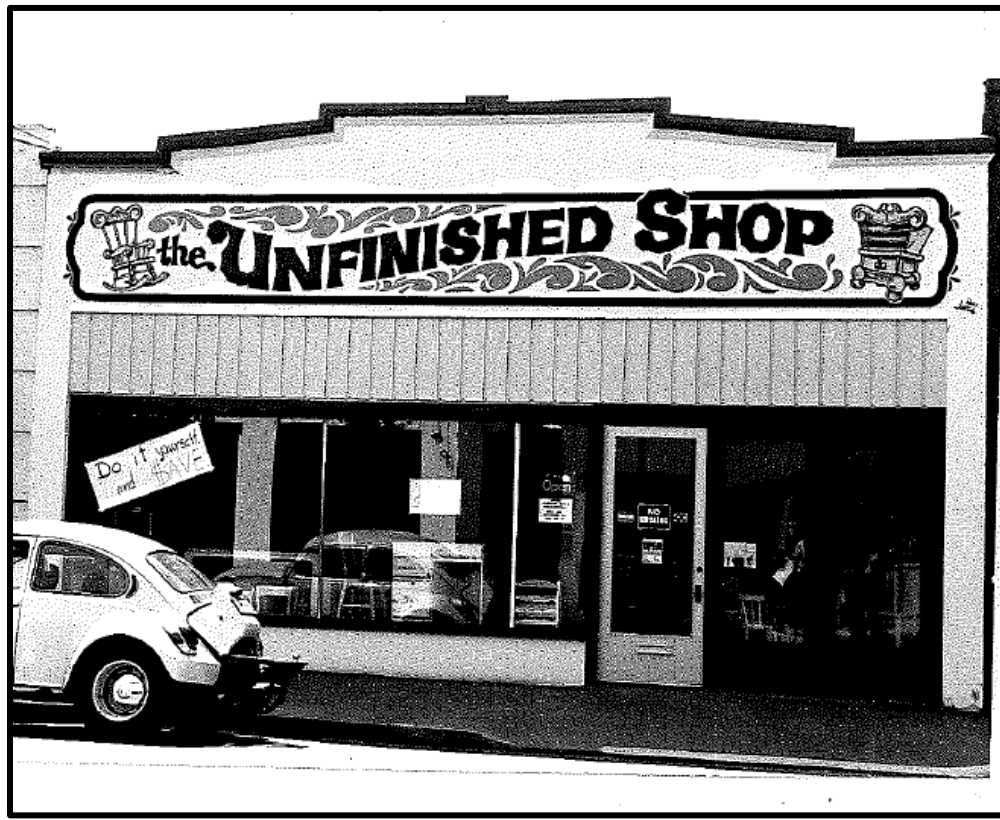
An existing photo of the front façade of the subject property, and an image from the Historic Resources Inventory sheet for the subject property, are provided below:

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Attachments:

Attachment 1 – Certificate of Approval Application

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Attachments:

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**CONDITIONS OF APPROVAL**

- 1) That the window frame in the storefront be repaired from the interior and that the existing parapet wall be maintained and protected during the construction of the second story addition and patio space.
- 2) That the cleaning and repainting of the stucco on the existing ground floor façade follow the following Secretary of the Interior's Guidelines for the Rehabilitation of Historic Buildings:
  - A. Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.
  - B. Using biodegradable or environmentally-safe cleaning or paint removal products.
  - C. Using paint-removal methods that employ a poultice to which paint adheres, when possible, to neatly and safely remove old lead paint.
  - D. Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., hand scraping) prior to repainting.

**ATTACHMENTS**

1. Certificate of Approval Application (on file with the Planning Department)
2. Historic Resources Inventory Sheet for Resource D871 (on file with the Planning Department)

**COMMENTS**

This matter was not referred to other public agencies for comment.

**FINDINGS OF FACT**

1. Max de Lavenne, on behalf of Bluegate LLC, submitted a Certificate of Approval application to request a second story addition to an existing single story building in the Downtown Historic District. The subject property is located at 620 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10401, Section 21BC, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. Notice of the alteration request was provided to property owners within 300 feet of the subject site. The Planning Department did not receive any public testimony prior to the public meeting.
4. A public meeting was held by the Historic Landmarks Committee on May 15, 2018 to review the proposal.

**CONCLUSIONARY FINDINGS****McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

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**GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.**

Finding: The focus of the comprehensive plan goal is to restore and preserve structures that have special historical or architectural significance. The proposed alteration does not include any structural or architectural changes to the ground floor façade, which will preserve the historic resource's architectural and historical significance. The applicant is also proposing to upgrade the existing building to current building code requirements. Therefore, the Comprehensive Plan goal is satisfied by the proposal.

**GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.**

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

### **McMinnville's City Code:**

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.65.040 Certificate of Approval Process. A property owner shall obtain a Certificate of Approval from the Historic Landmarks Committee, subject to the procedures listed in Section 17.65.050 and Section 17.65.060 of this chapter, prior to any of the following activities:

- E. The alteration, demolition, or moving of any historic landmark, or any resource that is listed on the National Register for Historic Places;
  - 1. Accessory structures and non-contributing resources within a National Register for Historic Places nomination are excluded from the Certificate of Approval process.
- F. New construction on historical sites on which no structure exists;
- G. The demolition or moving of any historic resource.

Finding: The applicant submitted an application for a Certificate of Approval to request the alteration of the historic resource, per Section 17.65.040(A), because the resource is classified as a secondary significant contributing property within the Downtown Historic District that is listed on the National Register of Historic Places.

17.65.060 Exterior Alteration or Remodeling. The property owner shall submit an application for a Certificate of Approval for any exterior alteration to a historic landmark, or any resource that is listed on the National Register for Historic Places. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040 of the McMinnville Zoning Ordinance. The Planning Director shall determine whether the proposed activities constitute an alteration as defined in Section 17.65.020 (A) of this chapter. The Historic Landmarks Committee shall meet within thirty (30) days of the date the application was deemed complete by the Planning Department to review the request. A failure to review within thirty (30) days shall be considered as an approval of the application.

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Within five (5) working days after a decision has been rendered, the Planning Department shall provide written notice of the decision to all parties who participated.

- A. The Historic Landmarks Committee may approve, approve with conditions, or deny the application.

Finding: The Historic Landmarks Committee, after reviewing the request during a public meeting and offering an opportunity for public testimony, decided to approve the alteration request and Certificate of Approval.

- B. The Historic Landmarks Committee shall base its decision on the following criteria:
  - 1. The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

Finding: The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation ordinance includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. The proposed alteration does not include any structural or architectural changes to the ground floor façade, which will preserve the historic resource's architectural and historical significance. The applicant is also proposing to upgrade the existing building to current building code requirements, which will improve property values. The introduction of office uses in the downtown area will also strengthen the vibrancy and economy of the city and specifically the Downtown Historic District by adding jobs in an existing underutilized building in the downtown core. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation are satisfied by the proposal.

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2. The following standards and guidelines:
  - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

Finding: The property has historically been used commercially, with a variety of different businesses occupying the space. The property was originally connected on the interior to the two buildings to the west, and was associated with the Taylor Dale Hardware store. The interior connection between the adjacent buildings was closed off over time, and the building was separated onto its own legal parcel and tax lot. The proposed use of office space is a new use, but is still commercial in function and will not involve the removal of any distinctive materials or features on the exterior of the building, which satisfies this standard.

- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

Finding: The aspects of the existing building that have the most historic character and significance are the existing stepped parapet roofline and the existing wood storefront window system. These historical characteristics of the property will be retained and preserved, as the applicant is not proposing to alter any of the existing ground floor façade, other than updating the exterior colors. The colors being proposed for the exterior façade are a cream/tan for the main building walls and a charcoal gray color for accents. The applicant chose colors that are subtle earth tones, which is consistent with the colors allowed in the Downtown Design Standards chapter of the McMinnville City Code. The required building code updates and seismic upgrades will not alter the exterior of the building or remove any historic materials or features from the exterior façade of the building. Therefore, the above criteria are satisfied.

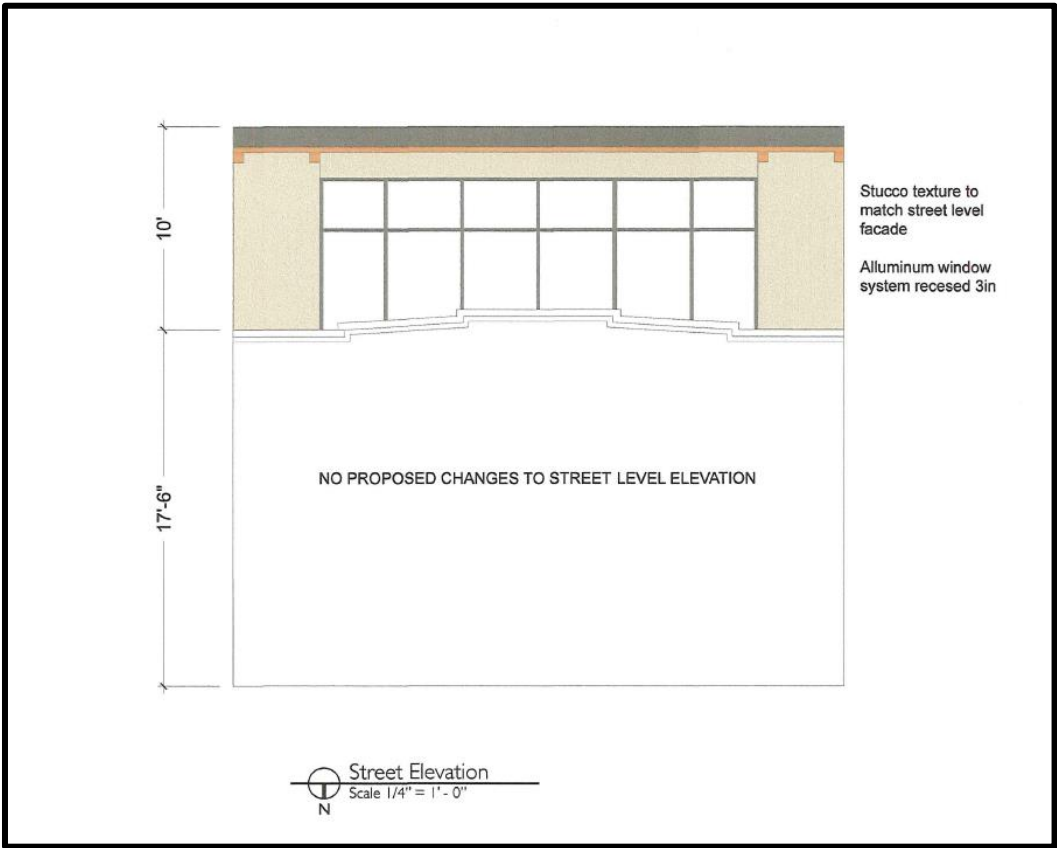
A rendering of the proposed second story addition and an elevation drawing, both of which show the preservation of the ground floor façade, are provided below:

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- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Finding: The applicant is not proposing to significantly alter any exterior portion of the ground floor façade. The applicant has stated that they will make any necessary repairs to the window frames and cornice in the gentlest means possible. However, there was no detail provided on the exact methods that will be used. A condition of approval is included to require that the window frame be repaired from the interior and that the existing parapet wall be maintained and protected during the construction of the second story addition and patio space. Also, a condition of approval has been included to require that the cleaning and repainting of the stucco on the existing ground floor façade follow the following Guidelines for the Rehabilitation of Historic Buildings:

Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.

Using biodegradable or environmentally-safe cleaning or paint removal products.

Using paint-removal methods that employ a poultice to which paint adheres, when possible, to neatly and safely remove old lead paint.

Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., hand scraping) prior to repainting.

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Finding: The applicant has not provided any information on any potential archeological resources that may be present on the property. However, the existing building includes a concrete slab foundation, and the applicant is not proposing to complete any work on the existing foundation that would disturb any potential archeological resources, if they did exist.

- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

Finding: The proposed alterations are found to be considered to be a “Rehabilitation” of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the Interior’s Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

Given the fact that the existing building and ground floor façade, including the existing character-defining features in the stepped parapet wall and wood storefront system, are being protected and maintained, the proposal does satisfy the main requirements of the rehabilitation treatment. Also, the proposed construction of a second story addition is allowed under the rehabilitation treatment, which is

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consistent with the applicant's proposal. The Secretary of the Interior provide a number of Guidelines for Rehabilitating Historic Buildings, including 20 recommended guidelines for how to incorporate a new exterior addition to a historic building.

The applicable rehabilitation guidelines for new additions to historic buildings, and findings for the guidelines, are provided below:

Recommended Guideline: Placing functions and services required for a new use (including elevators and stairways) in secondary or non-character-defining interior spaces of the historic building rather than constructing a new addition.

Finding: The proposed addition will be a second story addition, which will be setback from the front façade of the existing building. A new function of the second story addition will be an exterior staircase providing egress from the space, but that staircase is being added to the alley side of the building which is not the primary character defining façade of the existing building.

Recommended Guideline: Constructing a new addition on a secondary or non-character-defining elevation and limiting its size and scale in relationship to the historic building.

Finding: The proposed addition will be constructed near the front façade of the existing building, but will be a second story addition and will be setback 20 feet from the existing ground floor façade. The applicant has argued that this setback will result in the addition not detracting from the character defining stepped parapet wall on the top of the existing ground floor façade. The setback also limits the size and scale of the addition in relationship to the historic building, rather than having the addition extend directly above the existing ground floor façade.

Recommended Guideline: Constructing a new addition that results in the least possible loss of historic materials so that character-defining features are not obscured, damaged, or destroyed.

Finding: This guideline is satisfied, as the proposed addition does not result in the loss of any character defining materials of features. The applicant is not proposing to significantly alter any exterior portion of the ground floor façade, other than changing exterior colors, and will retain the existing stepped parapet wall and wood storefront window system.

Recommended Guideline: Designing a new addition that is compatible with the historic building.

Recommended Guideline: Considering the design for related new construction in terms of its relationship to the historic building as well as the historic district and setting.

Recommended Guideline: Considering the design for a new addition in terms of its relationship to the historic building as well as the historic district, neighborhood, and setting.

Recommended Guideline: Ensuring that the addition is stylistically appropriate for the historic building type (e.g., whether it is residential or institutional).

Recommended Guideline: Basing the alignment, rhythm, and size of the window and door openings of the new addition on those of the historic building.

Finding: The exterior of the proposed addition has been designed to be compatible with the historic building. The applicant is proposing to use stucco as the exterior building material to match the exterior building material on the existing building façade. The applicant will also paint both exterior walls and trim materials to be consistent colors, using a subtle, earth tone color palate that is not inconsistent with the colors used on other surrounding buildings in the Downtown Historic District. The applicant is also

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proposing to replicate the window pattern that exists on the ground floor façade, with taller windows on the floor with a framing piece between smaller windows above the larger windows to replicate the transom window design on the ground floor.

Recommended Guideline: Ensuring that the addition is subordinate and secondary to the historic building and is compatible in massing, scale, materials, relationship of solids to voids, and color.

Recommended Guideline: Designing new construction on a historic site or in a historic setting that it is compatible but differentiated from the historic building or buildings.

Recommended Guideline: Using the same forms, materials, and color range of the historic building in a manner that does not duplicate it, but distinguishes the addition from the original building.

Recommended Guideline: Ensuring that new construction is secondary to the historic building and does not detract from its significance.

Finding: The proposed addition will be subordinate to the existing historic building because the addition will be setback 20 feet from the existing ground floor façade, therefore clearly identifying the addition as a later addition and not detracting from the character defining stepped parapet wall on the top of the existing ground floor façade. Also, the addition has been designed more simplistically to ensure that the addition appears to be secondary to the existing historic building and surrounding buildings. Exterior materials on the front façade of the addition will match the existing stucco materials on the historic building, and colors will be updated to be consistent between the existing historic building and the second story addition.

Recommended Guideline: Incorporating a simple, recessed, small-scale hyphen, or connection, to physically and visually separate the addition from the historic building.

Recommended Guideline: Distinguishing the addition from the original building by setting it back from the wall plane of the historic building.

Recommended Guideline: Designing a compatible rooftop addition for a multi-story building, when required for a new use, that is set back at least one full bay from the primary and other highly-visible elevations and that is inconspicuous when viewed from surrounding streets.

Recommended Guideline: Limiting a rooftop addition to one story in height to minimize its visibility and its impact on the historic character of the building.

Finding: The proposed addition will be setback 20 feet from the existing ground floor façade, which physically and visually separates the addition from the historic building. The second story will be limited to only one story in height to minimize its visibility. The setback of the second story addition will result in the addition not being visible from the south side of the street and the sidewalk adjacent to the property. The addition will be visible from the opposite side of the street and the sidewalk on the north side of 3<sup>rd</sup> Street, but the setback will result in the addition being easily distinguishable from the historic building.

Recommended Guideline: Adding a new building to a historic site or property only if the requirements for a new or continuing use cannot be accommodated within the existing structure or structures.

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Finding: The applicant has stated that their use requires more square footage than what exists in the current building. Additional square footage cannot be accommodated within the existing structure, and the second story addition is the only option to add additional square footage because the building basically covers the entire property.

Recommended Guideline: Locating new construction far enough away from the historic building, when possible, where it will be minimally visible and will not negatively affect the building's character, the site, or setting.

Recommended Guideline: Using site features or land formations, such as trees or sloping terrain, to help minimize the new construction and its impact on the historic building and property.

Recommended Guideline: Designing an addition to a historic building in a densely-built location (such as a downtown commercial district) to appear as a separate building or infill, rather than as an addition. In such a setting, the addition or the infill structure must be compatible with the size and scale of the historic building and surrounding buildings—usually the front elevation of the new building should be in the same plane (i.e., not set back from the historic building). This approach may also provide the opportunity for a larger addition or infill when the façade can be broken up into smaller elements that are consistent with the scale of the historic building and surrounding buildings.

Finding: These guidelines are not specifically applicable, as the existing building basically covers the entire lot and there are no site features or land formations to incorporate into the design of the addition. There is no space to add a separate infill building on the property. The 20 foot setback of the second story addition will make the addition less visible and will not detract from the character defining features on the existing historic building.

3. The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource's preservation or renovation;

Finding: The proposed alteration is reasonable, as the applicant intends to upgrade, but preserve, the existing historic building while adding additional usable square footage in a second story addition. The existing character defining materials and features, including the stepped parapet roofline and the existing wood storefront window system, will be preserved and will protect the public's interest in the historic resources preservation.

4. The value and significance of the historic resource;

Finding: The historic resource is located within the Downtown Historic District that is listed on the National Register of Historic Places, and is classified as a secondary significant contributing property in the historic district. The existing character defining materials and features that were identified in the listing of the property in the historic district, including the stepped parapet roofline and the existing wood storefront window system, will be preserved and therefore the significance of the historic resource will not be impacted by the proposed addition.

5. The physical condition of the historic resource;

Finding: The existing condition of the historic resource is in somewhat poor condition, as there has been some deferred maintenance on the interior of the building. However, the character defining features of the building still remain and have not been removed. The applicant is not proposing any significant alteration of the ground floor façade of the historic resource, other than changing exterior colors. The other upgrades to the building, including building code updates and seismic upgrades,

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will not impact the historical exterior of the ground floor façade, and the second story addition has been designed to be compatible with the existing historic resource as described in more detail above.

17.65.070 Public Notice.

- A. After the adoption of the initial inventory, all new additions, deletions, or changes to the inventory shall comply with subsection (c) of this section.
- B. Any Historic Landmark Committee review of a Certificate of Approval application for a historic resource or landmark shall comply with subsection (c) of this section.
- C. Prior to the meeting, owners of property located within 300 feet of the historic resource under consideration shall be notified of the time and place of the Historic Landmarks Committee meeting and the purpose of the meeting. If reasonable effort has been made to notify an owner, failure of the owner to receive notice shall not impair the validity of the proceedings.

Finding: Notice was provided to property owners located within 300 feet of the historic resource. A copy of the written notice provided to property owners is on file with the Planning Department.

CD:sjs

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Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource D871



**CITY OF MCMINNVILLE  
PLANNING DEPARTMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128

503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE ALTERATION OF A HISTORIC RESOURCE AT 620 NE 3<sup>RD</sup> STREET AND LOCATED IN THE DOWNTOWN DESIGN AREA**

**DOCKET:** DDR 5-18

**REQUEST:** The applicant has submitted a Downtown Design Review application to request a second story addition to an existing single story building in the Downtown Historic District, which is listed on the National Register of Historic Places. The property is located in the downtown design area described in Section 17.59.020 of the McMinnville City Code, and any new building construction is required to follow the Downtown Design Review process required by Section 17.59.030(A) of the McMinnville City Code.

**LOCATION:** The subject site is located at 620 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10401, Section 21BC, T. 4 S., R. 4 W., W.M.

**ZONING:** The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).

**APPLICANT:** Max de Lavenne, on behalf of Bluegate, LLC

**STAFF:** Chuck Darnell, Associate Planner

**DATE DEEMED COMPLETE:** April 27, 2018

**DECISION-MAKING BODY:** McMinnville Historic Landmarks Committee

**DATE & TIME:** May 15, 2018. Meeting was held at the Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, OR 97128.

**COMMENTS:** Public notice was provided to owners of properties within 300 feet of the subject site, as required by Section 17.59.030(C)(3) of the McMinnville City Code. The Planning Department did not receive any public testimony prior to the public meeting.

Based on the findings and conclusions, the Historic Landmarks Committee **APPROVES** the proposed exterior alterations to the existing building at 620 NE 3<sup>rd</sup> Street.

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**DECISION: APPROVAL**

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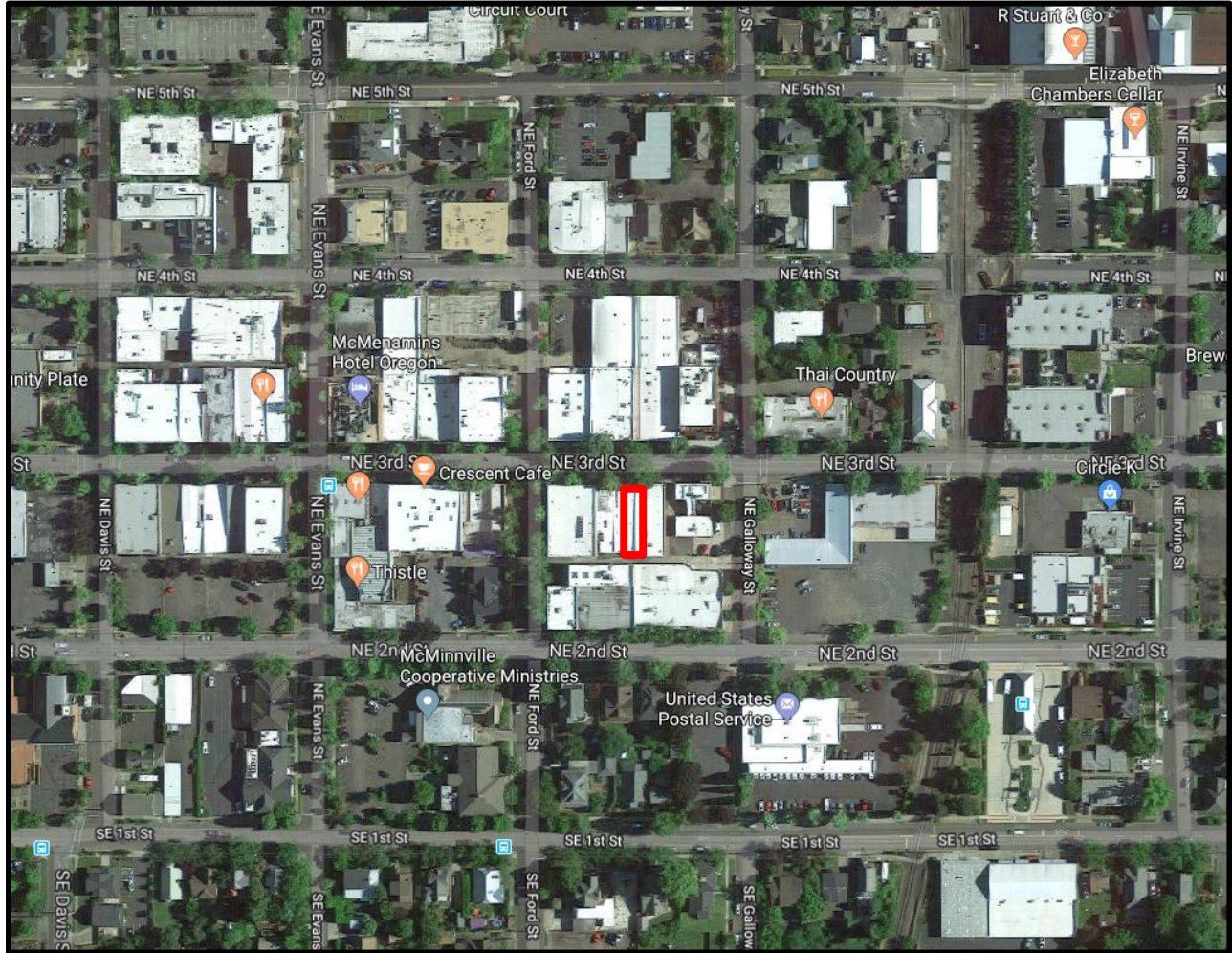
Date: \_\_\_\_\_

Date: \_\_\_\_\_

**APPLICATION SUMMARY:**

The applicants, Max de Lavenne on behalf of Bluegate LLC, submitted a Downtown Design Review application to request a second story addition to an existing single story building in the Downtown Historic District and downtown design area. The subject property is located at 620 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10401, Section 21BC, T. 4 S., R. 4 W., W.M.

The current location of the historic resource is identified below:

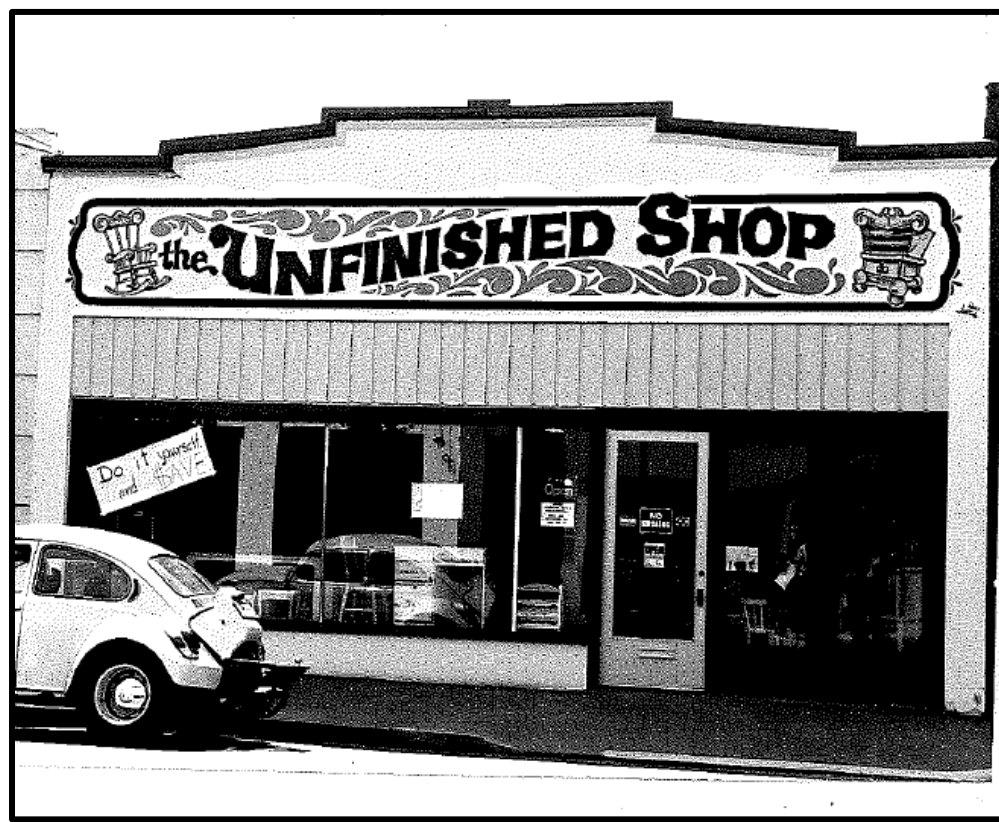


An existing photo of the front façade of the subject property, and an image from the Historic Resources Inventory sheet for the subject property, are provided below:

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Attachments:

Attachment 1 – Downtown Design Review Application



## **ATTACHMENTS**

1. Downtown Design Review Application (on file with the Planning Department)

## **COMMENTS**

Attachments:

Attachment 1 – Downtown Design Review Application

This matter was not referred to other public agencies for comment.

## **FINDINGS OF FACT**

1. Max de Lavenne, on behalf of Bluegate LLC, submitted a Downtown Design Review application to request a second story addition to an existing single story building in the Downtown Historic District and downtown design area. The subject property is located at 620 NE 3<sup>rd</sup> Street, and is more specifically described as Tax Lot 10401, Section 21BC, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. Notice of the downtown design review request was provided to property owners within 300 feet of the subject site. The Planning Department did not receive any public testimony prior to the public meeting.
4. A public meeting was held by the Historic Landmarks Committee on May 15, 2018 to review the proposal.

## **CONCLUSIONARY FINDINGS**

### **McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.

Finding: The focus of the comprehensive plan goal is to restore and preserve structures that have special historical or architectural significance. The proposed alteration does not include any structural or architectural changes to the ground floor façade, which will preserve the historic resource's architectural and historical significance. The applicant is also proposing to upgrade the existing building to current building code requirements. Therefore, the Comprehensive Plan goal is satisfied by the proposal.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

### **McMinnville's City Code:**

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Attachments:

Attachment 1 – Downtown Design Review Application

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.59.020 Applicability.

- A. The provisions of this Chapter shall apply to all lands located within the area bounded to the west by Adams Street, to the north by 4<sup>th</sup> Street, to the east by Kirby Street, and to the south by 1<sup>st</sup> Street. Lands immediately adjacent to the west of Adams Street, from 1<sup>st</sup> Street to 4<sup>th</sup> Street, are also subject to the provisions of this Chapter.
- B. The provisions of this ordinance shall apply to the following activities conducted within the above described area:
  - 1. All new building construction;
  - 2. Any exterior building or site alteration; and,
  - 3. All new signage.

Finding: The subject site is located within the downtown design area described in Section 17.59.020(A), and the applicant is proposing new building construction in a second story addition to an existing building. Therefore, the provisions of the Downtown Design Standards and Guidelines chapter are applicable to the proposed construction.

17.59.030 Review Process.

- A. An application for any activity subject to the provisions of this ordinance shall be submitted to the Planning Department and shall be subject to the procedures listed in (B) through (E) below.
- B. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The application shall include the following information:
  - 1. The applicant shall submit two (2) copies of the following information:
    - a. A site plan (for new construction or for structural modifications).
    - b. Building and construction drawings.
    - c. Building elevations of all visible sides.
  - 2. The site plan shall include the following information:
    - a. Existing conditions on the site including topography, streetscape, curbcuts, and building condition.
    - b. Details of proposed construction or modification to the existing structure.
    - c. Exterior building elevations for the proposed structure, and also for the adjacent structures.
  - 3. A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
  - 4. Photographs of the subject site and adjacent property.
  - 5. Other information deemed necessary by the Planning Director, or his/her designee, to allow review of the applicant's proposal. The Planning Director, or his/her designee, may also waive the submittal of certain information based upon the character and complexity (or simplicity) of the proposal.
- C. Review Process
  - 1. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040. The Planning Director shall review the application and determine whether the proposed activity is in compliance with the requirements of this ordinance.
  - 2. The Planning Director may review applications for minor alterations subject to the review criteria stated in Section 17.59.040. The Historic Landmarks Committee shall review applications for major alterations and new construction, subject to the review criteria stated in Section 17.59.040. It shall be the Planning Director's decision as to whether an alteration is minor or major.

3. Notification shall be provided for the review of applications for major alterations and new construction, subject to the provisions of Section 17.72.110.
  - a. The Historic Landmarks Committee shall meet within 30 (thirty) days of the date the application was deemed complete by the Planning Department. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action on the plans. A failure by the Planning Director or Historic Landmarks Committee, as applicable, to review within 30 (thirty) days shall be considered an approval of the application.
  - b. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity to be in compliance with the provisions of this ordinance, they shall approve the application.
  - c. If the Planning Director or Historic Landmarks Committee, as applicable, finds the proposed activity in noncompliance with the provisions of this ordinance, they may deny the application, or approve it with conditions as may be necessary to bring the activity into compliance with this ordinance.

Finding: The applicant submitted an application as required, and the application was reviewed by the Historic Landmarks Committee as it consists of new construction. Notification was provided to property owners within 300 feet of the subject site, which exceeds the notification area required by Section 17.72.110, but was necessary for the proposed project to satisfy the Certificate of Approval application that was submitted concurrently with the Downtown Design Review application.

#### 17.59.040 Review Criteria

- A. In addition to the guidelines and standards contained in this ordinance, the review body shall base their decision to approve, approve with conditions, or deny the application, on the following criteria:
  1. The City's historic preservation policies set forth in the Comprehensive Plan;
  2. If a structure is designated as a historic landmark on the City's Historic Resources Inventory or is listed on the National Register for Historic Places, the City's historic preservation regulations in Chapter 17.65, and in particular, the standards and guidelines contained in Section 17.65.060(2); and

Finding: The proposal was found to be consistent with the City's historic preservation policies and goals, as describe in more detail above. Also, the proposal was found to be consistent with the City's historic preservation regulations in Chapter 17.65, as described in the land use decision document associated with Docket HL 6-18, which is on file with the Planning Department.

#### 17.59.050 Building and Site Design.

- A. Building Setback.
  1. Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.

Finding: The existing building currently meets this requirement and the proposal does not include any changes to the ground floor façade or the existing building setback.

2. Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

Finding: This standards is not applicable, as there are no requested exceptions to the setback requirements.

#### B. Building Design.

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Attachments:

Attachment 1 – Downtown Design Review Application

1. Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

Finding: The massing and configuration of the first level will remain as it exists today, as there are no significant changes proposed to the historic building or the ground floor façade. The second story addition will be similar in massing and configuration to other two-story buildings in the Downtown Historic District. The front of the second story addition will be setback 20 feet from the ground floor façade, and this setback is supported by multiple Secretary of the Interior Guidelines for the Rehabilitation of Historic Buildings, as described in the Certificate of Approval review. The other building walls will be built in the same footprint of the existing historical building, which will maintain the historic zero property line and will mimic the configuration of the existing historic building.

2. Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

Finding: This standard is not applicable, as the existing building is less than sixty feet in width.

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include:
  - a. A belt course separating the upper stories from the first floor;
  - b. A bulkhead at the street level;
  - c. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;
  - d. A recessed entry and transom with transparent door; and
  - e. Decorative cornice or cap at the roofline.

Finding: The storefront standards are all either met or not applicable, as there are no proposed changes to the existing ground floor façade of the historic building. The primary character defining features, including the stepped parapet wall at the roofline and the wood storefront window system, will remain and be preserved as they exist today.

4. Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

Finding: The building immediately adjacent to the subject site are both one story in height, so there is no specific roofline to match on those buildings. The second story addition has been designed to mimic the flat roofline of other buildings in the Downtown Historic District. The roofline of the second story addition will appear to be flat and a straight line across the front façade from the view point in front of the building. The roof will then slope to the south at a very minimal pitch of  $\frac{1}{4}$  / 12. Together with the setback of the second story addition, this roofline design will be similar to the rooflines of other buildings in the Downtown Historic District.

5. The primary entrance to a building shall open on to the public right-of-way and should be recessed.

Finding: This standard is not applicable. The existing primary entrance opens to the public right-of-way, but is not recessed. However, there are no proposed changes to the existing ground floor façade of the historic building.

6. Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical.

Finding: The proposed design does not include any windows that project from the surface of the outer wall. The new windows proposed on the second story addition will be recessed by three inches, and there are no changes proposed to the existing ground floor façade of the existing building.

7. The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.

Finding: The exterior of the proposed addition has been designed to be compatible with the historic building. The applicant is proposing to use stucco as the exterior building material to match the exterior building material on the existing building façade. The applicant will also paint both exterior walls and trim materials to be consistent colors, using a subtle, earth tone color palate that is not inconsistent with the colors used on other surrounding buildings in the Downtown Historic District. The applicant is also proposing to replicate the window pattern that exists on the ground floor façade, with taller windows on the floor with a framing piece between smaller windows above the larger windows to replicate the transom window design on the ground floor.

8. Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.

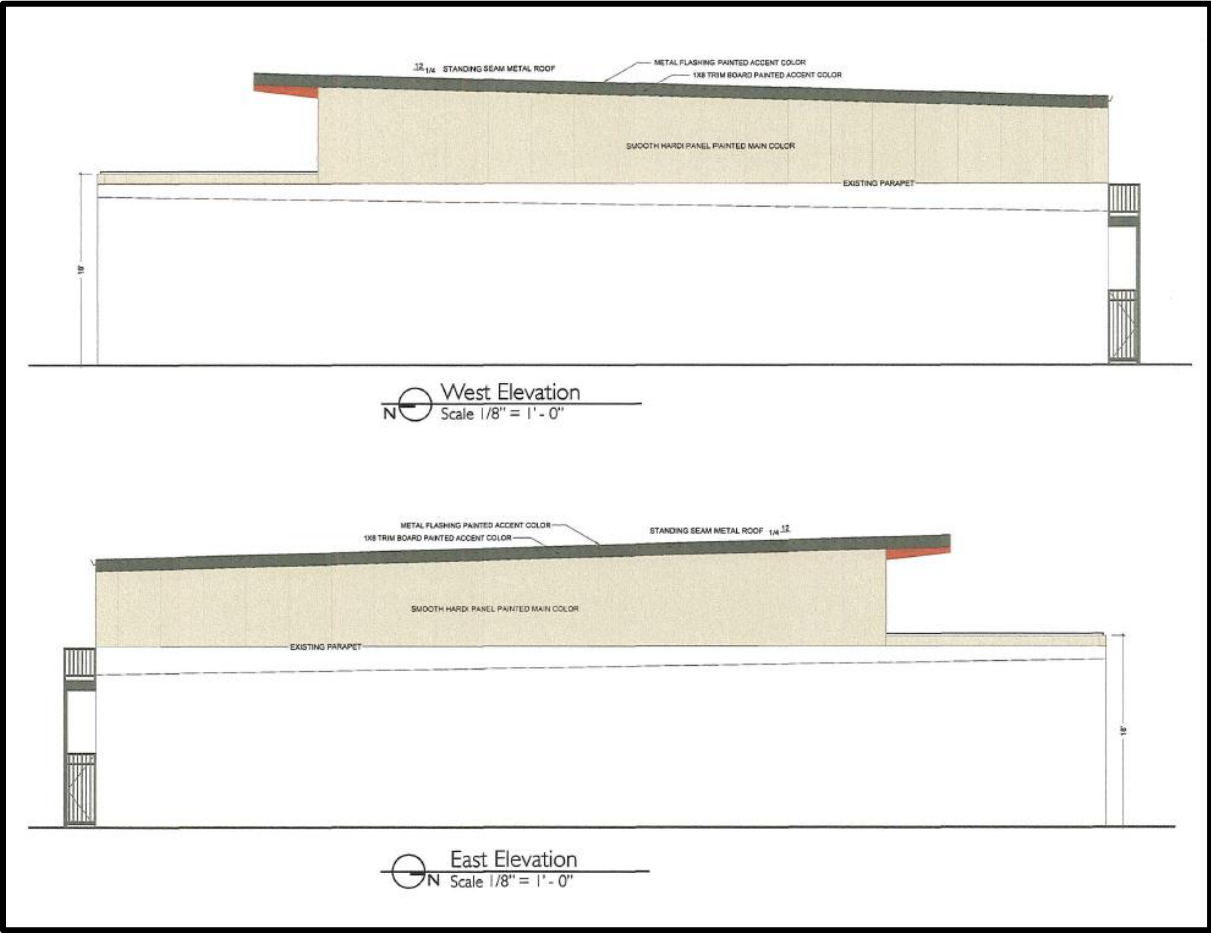
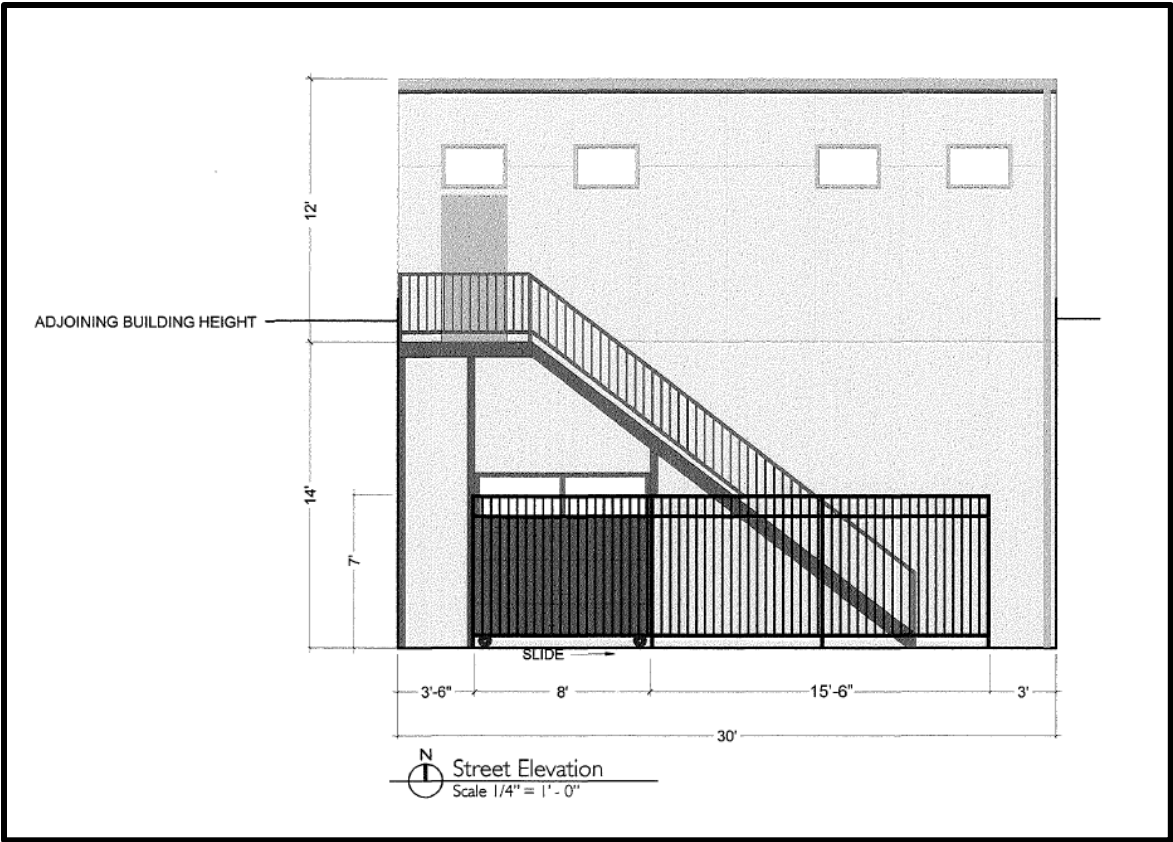
Finding: This standard is satisfied, as there are no proposed changes to the existing ground floor façade of the historic building.

C. Building Materials.

1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

Finding: The applicant is proposing to use stucco on the front façade of the second story addition, which is an allowable exterior building material and would be consistent with the stucco that exists on the historic ground floor façade, which will remain unchanged. The applicant is proposing to use hardie panel siding panels on the east, west, and south facades. The hardie panels are a cement-based material that can be painted, which the applicant is proposing to paint the same main building color as the stucco front facades. Cement board siding is not specifically listed as a prohibited exterior building material in Section 17.59.050(C)(2) of the McMinnville City Code, and will look similar to the smooth stucco that is allowed in the downtown area.

Elevation drawings of the non-primary facades are provided below:



2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):
  - a. Wood, vinyl, or aluminum siding;
  - b. Wood, asphalt, or fiberglass shingles;
  - c. Structural ribbed metal panels;
  - d. Corrugated metal panels;
  - e. Plywood sheathing, to include wood paneling such as T-111;
  - f. Plastic sheathing; and
  - g. Reflective or moderate to high grade tinted glass.

Finding: The applicant is not proposing to use any of the listed prohibited exterior building materials.

3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim.

Finding: The exterior building colors proposed are subtle, neutral, and earth tone colors. The main building wall color will be “Benjamin Moore Historical Color Sail Cloth”, which is a neutral cream or tan color. The building trim and other accents will be painted with “Benjamin Moore Historical Color Kendal Charcoal”, which is a charcoal gray color. The charcoal gray color is darker, but not found to be black or a high intensity color. However, it is proposed only for an accent color on building trim.

CD:sjs

Historic Resources Survey  
City of McMinnville  
Yamhill County, Oregon



Site No. 11.29 Aerial Map K-11 ✓  
Block 6 Lot 2  
Addition Rowlands  
Tax Lot 4421BC Tax Lot 10300  
Address 620 W. 3rd  
Common Name Unfinished Shop  
Historic Name --  
Present Owner Erling & Katherine Thompson  
Present Use Commercial  
Original Use Commercial  
Builder or Architect Unkown  
Outbuildings none  
Date of Construction Between 1912 & 1928  
-Condition Assessment on Reverse Side-

0571

Statement of historical significance and description of property:

Like its neighbor to the west, this one story structure facing north on Third Street has a stepped gable stuccoed facade. Large windows and a door reach across the entire width. From the rear elevation (south) facing the alley, the building appears to be of concrete.

Condition of structure:

\_\_\_\_\_ A Excellent

  X   B Good

- \_\_\_\_\_ 1. Slight damage to porch steps.
- \_\_\_\_\_ 2. Small cracks in walls, chimneys.
- \_\_\_\_\_ 3. Broken gutters or downspouts.
- \_\_\_\_\_ 4. In need of paint.

\_\_\_\_\_ C Fair

- \_\_\_\_\_ 1. Holes in walls.
- \_\_\_\_\_ 2. Open cracks.
- \_\_\_\_\_ 3. Missing material in small area.
- \_\_\_\_\_ 4. Rotten sills or frames.
- \_\_\_\_\_ 5. Deep wear on stairs.
- \_\_\_\_\_ 6. Poor or no foundation.

\_\_\_\_\_ D Poor

- \_\_\_\_\_ 1. Sagging walls or roof.
- \_\_\_\_\_ 2. Holes, open cracks, missing material over large areas.
- \_\_\_\_\_ 3. Unrepaired storm or fire damage.

Recorded by Janice Rutherford Date 7/80

Sources Consulted:

Sanborne Map, McMinnville 1912  
1928