



City of McMinnville
Planning Department
 231 NE Fifth Street
 McMinnville, OR 97128
 (503) 434-7311

www.mcminnvilleoregon.gov

Historic Landmarks Committee
Community Development Center, 231 NE 5th Street
October 22, 2018 3:00 PM

Committee Members	Agenda Items
Joan Drabkin Chair John Mead Mary Beth Branch Mark Cooley Heather Sharfeddin	<ol style="list-style-type: none"> 1. Call to Order 2. Citizen Comments 3. Approval of Minutes None. 4. Action Items <ol style="list-style-type: none"> A. HL 9-18 – Certificate of Approval for Demolition (Exhibit 1) 180 NE 7th Street B. HL 10-18 – Certificate of Approval for Alteration (Exhibit 2) 219 SE Lincoln Street 5. Discussion Items 6. Old/New Business 7. Committee Member Comments 8. Staff Comments 9. Adjournment

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

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EXHIBIT 1 - STAFF REPORT

DATE: October 22, 2018
TO: Historic Landmarks Committee Members
FROM: Chuck Darnell, Senior Planner
SUBJECT: HL 9-18 – Demolition Request – 180 NE 7th Street

Report in Brief:

A request for the demolition of a historic resource that is listed on the Historic Resources Inventory to be reviewed by the Historic Landmarks Committee.

Background:

The applicant, Harold Washington, submitted a Certificate of Approval application to request the demolition of a historic resource that is listed on the Historic Resources Inventory. The subject property is located at 180 NE 7th Street, and is more specifically described as Tax Lot 100, Section 20AD, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource relates to the structure itself. The structure, which was constructed as a single family home but was converted internally into office uses, is located north of the downtown core of McMinnville on the southwest corner of the intersection of NE Baker Street and NE 7th Street. The structure is designated as a “Contributory” historic resource (Resource C334), which is the third tier (out of four tiers) of historic resources on the Historic Resources Inventory. The statement of historical significance and description of the property, as described in the Historic Resources Inventory sheet, is as follows:

This one and a half story bungalow is being remodeled into business offices. One enters the north on red brick steps to a full-width porch which is under the extending roof. Two boxed pillars support the porch overhang on either corner and there is a low railing on either side of the entrance.

The front dormer has three windows and shed roof. The back dormer extends and is flush with the first story wall.

Beveled siding has been used with corner boards. There are roof brackets and exposed rafters.

On the east side, there is a rectangular bay with a shed roof. Fenestration is not regular. Cornice moulding is found on the windows.

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The Historic Resources Inventory sheet for the resource does not include the year of original construction. However, upon further analysis of Sanborn maps for the area, the structure appears to have been constructed sometime between 1912 and 1928.

Chapter 17.65 (Historic Preservation) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to demolish any historic resource.

The current location of the historic resource is identified below (outline of property is approximate):

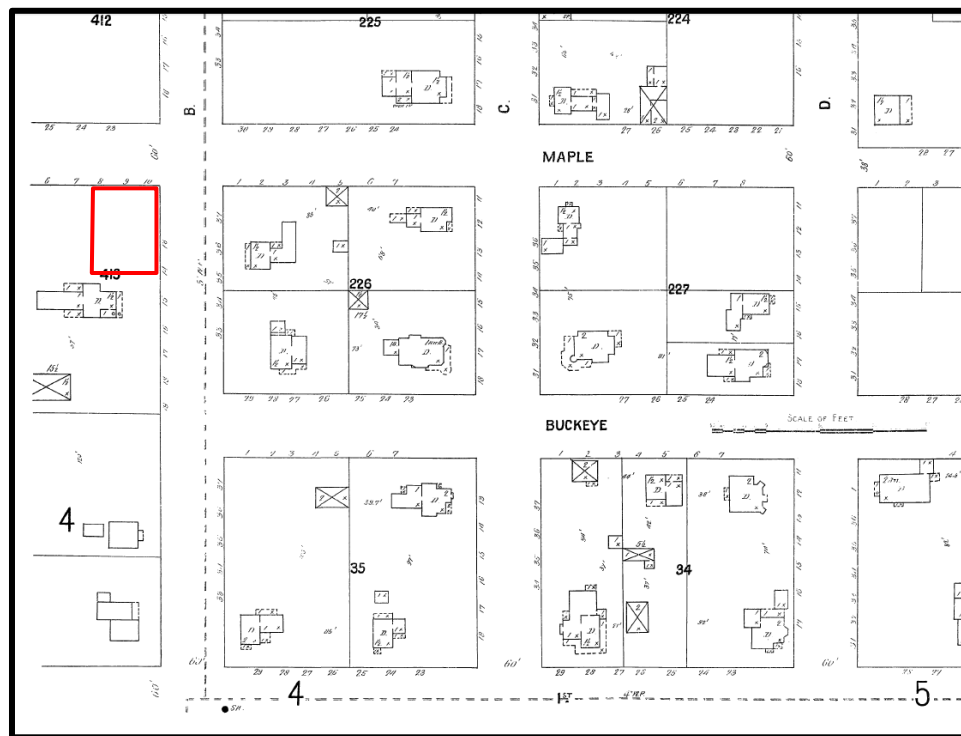


The structure as it exists today can be seen below:

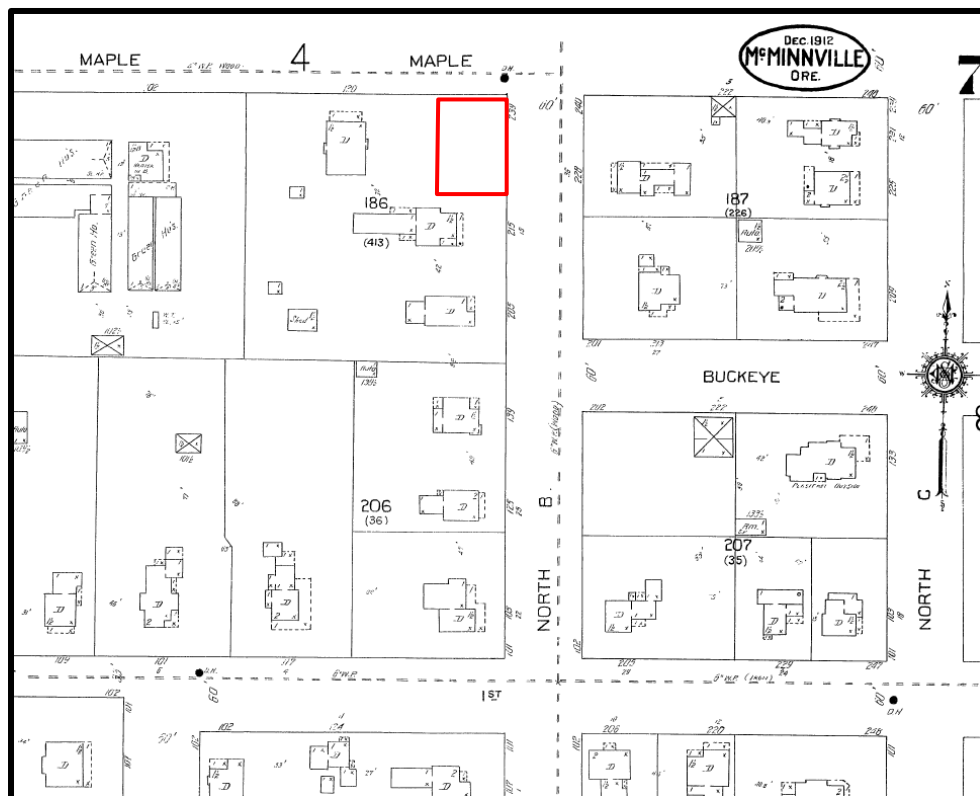


The Sanborn maps showing the property are also identified below (outlines of property are approximate):

1902 Sanborn Map (Sheet 2):

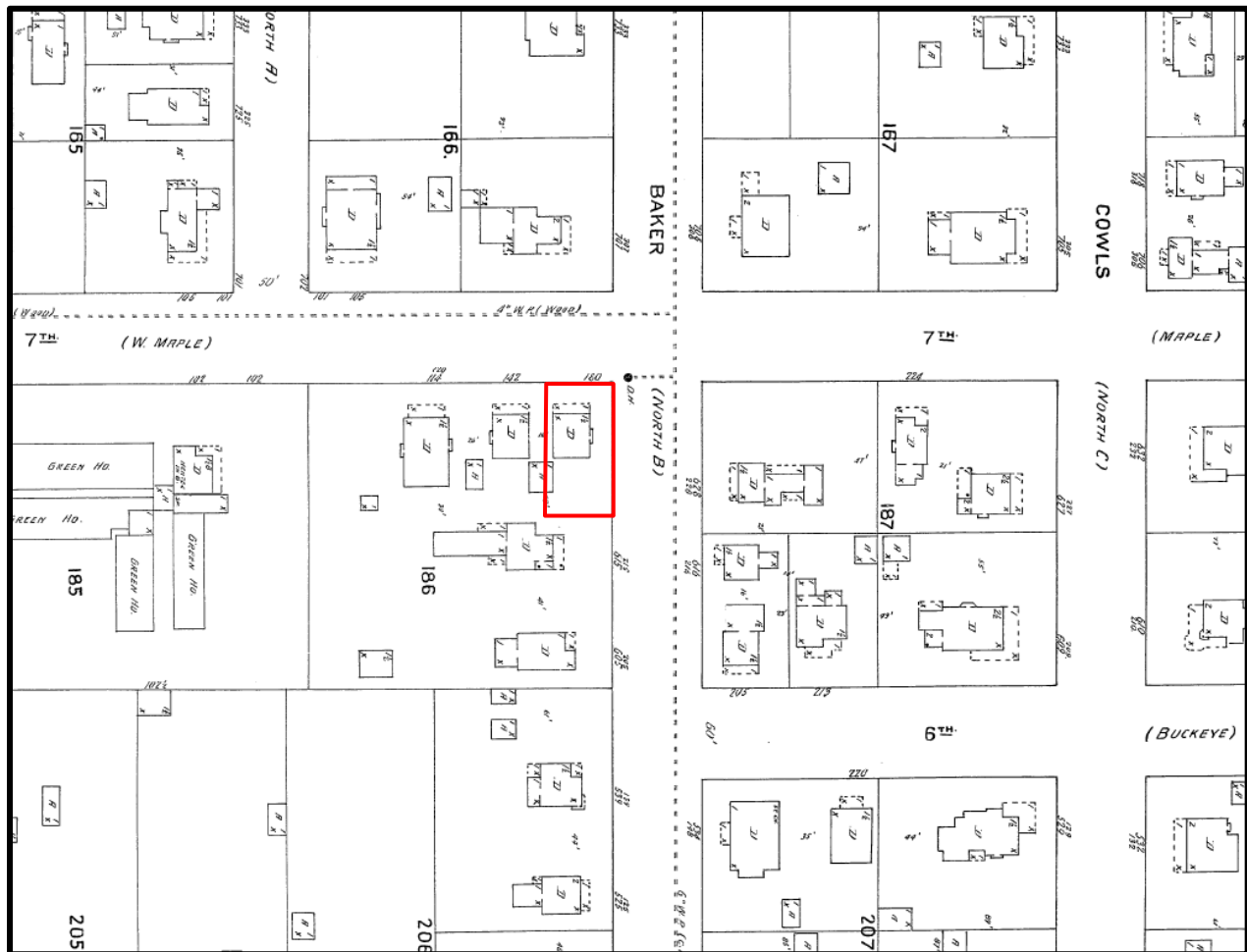


1912 Sanborn Map (Sheet 7):



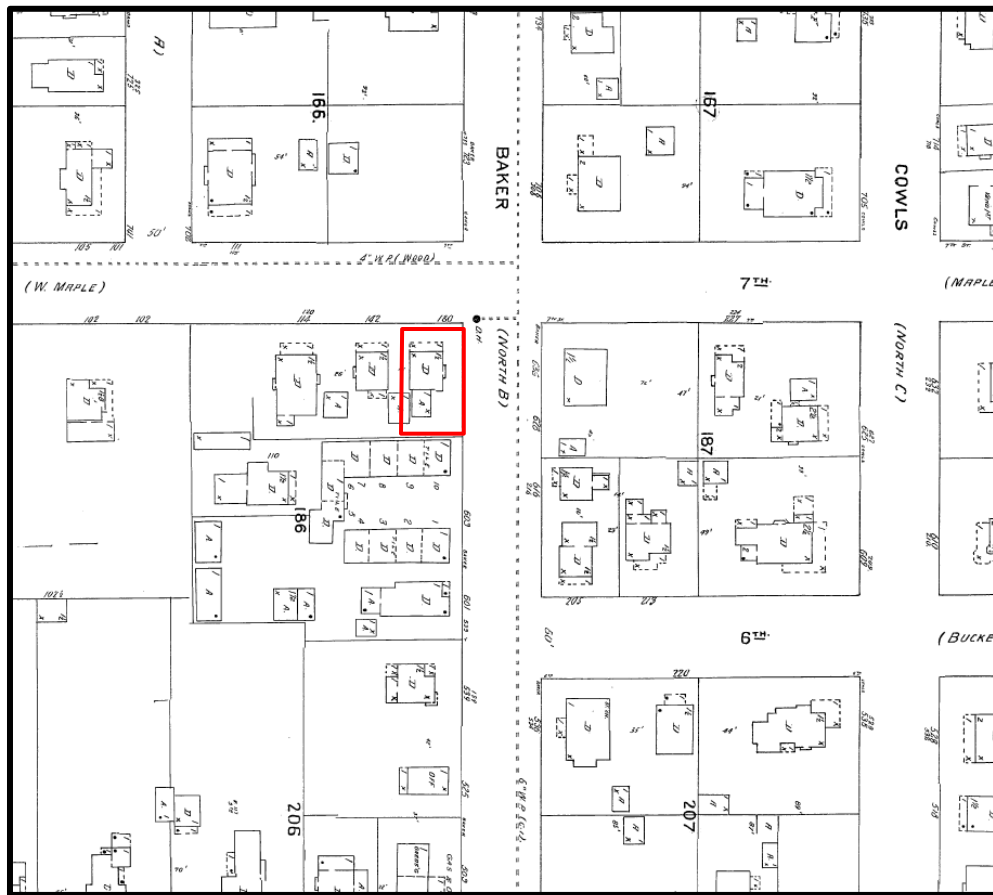
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1928 Sanborn Map (Sheet 10):



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1945 Sanborn Map (Sheet 10):

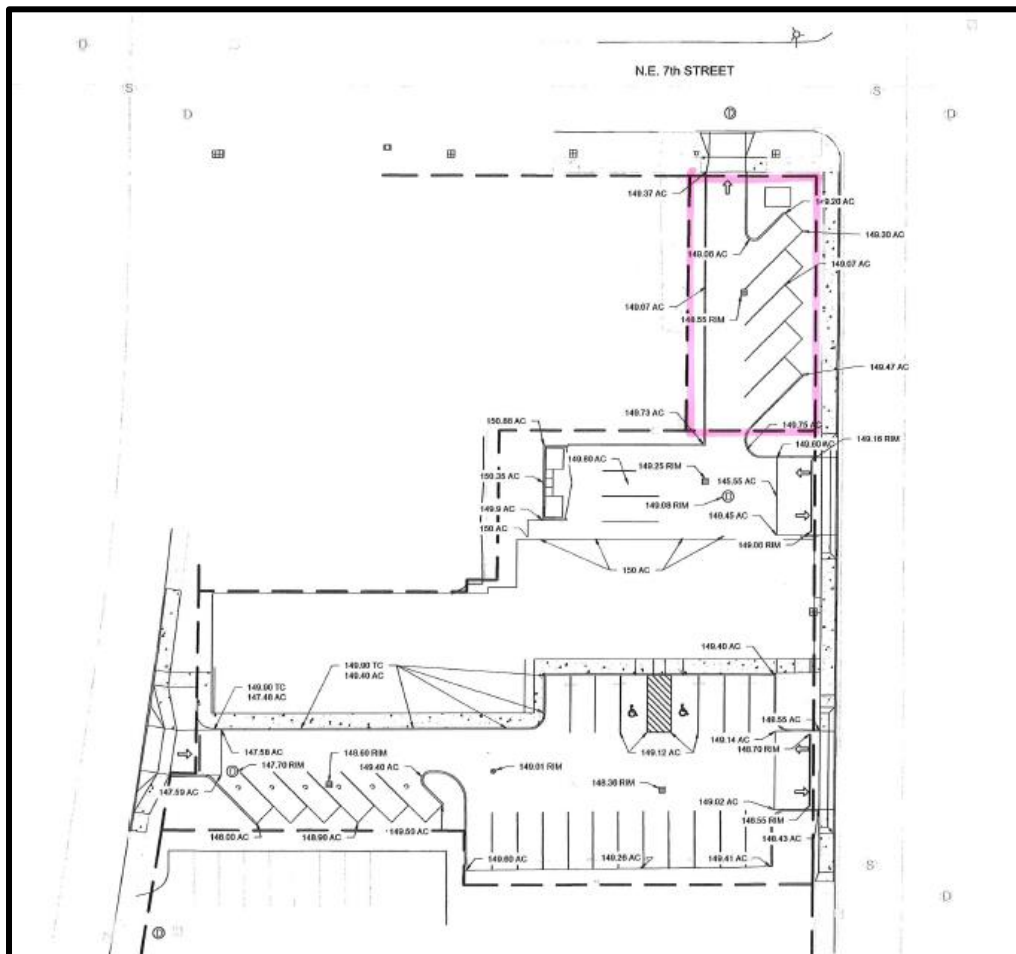


Discussion:

The applicant is requesting that the Historic Landmarks Committee approve the request to demolish the historic resource located on the property. The applicant is the current owner of the property, and intends to redevelop the site with a surface parking lot to provide additional off-street parking for a larger redevelopment project immediately to the south on a separate property. A site plan has been provided by the applicant showing the intended use of the property if the demolition was approved.

The site plan of the proposed use can be seen below:

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The Historic Landmarks Committee's responsibility regarding this type of application is to hold a public meeting to review the request to demolish the structure. This is not a public hearing so it is up to the chairperson of the Historic Landmarks Committee to determine if they want to hear public testimony on the application or not.

In reviewing a request for a demolition of a historic landmark, the Historic Landmarks Committee must base its decision on the following criteria, as described in Section 17.65.050(B) of the McMinnville City Code. It is important to note that the proposal is not required to satisfy every one of the review criteria, but that the Historic Landmarks Committee must base its decision on the multiple review criteria. This requires the Historic Landmarks Committee to determine whether each criteria is met, and then weigh those findings against any criteria that are found not to be met.

- (1) The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation ordinance includes the following:

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- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. A demolition clearly does not meet that intent, so the other demolition review criteria that were established as part of the City's Historic Preservation program must be met in order to approve the demolition. Those will be described in more detail below.

- (2) The economic use of the historic resource and the reasonableness of the proposed action and their relationship to the historic resource preservation or renovation;

The historic resource was originally constructed as a single family home, but in the 1980s was remodeled and converted to commercial office uses. The building was leased out to individual businesses periodically since the time it was converted to office uses. The applicant has provided the most recent property tax information, which show a real market total value of \$204,250 in the 2017 tax year. The real market value of the building on the subject property is shown at \$101,663 in the 2017 tax year. The applicant has stated that the "only economic use of this Historic Resource as it exists today is the fact that it creates a minimal amount of tax income" and that the applicant would be "improving the property values of this property through the demolition of this building and the adjacent ten-plex structure in order to develop the new multi-tenant building and parking lot".

The applicant has also stated in their narrative that "There is no current economic use of the property as it exists today due to the current deterioration of the building as it stands" and that the resource "cannot be reasonably preserved or rennovated (sic)". These statements are based on the condition of the structure and the estimated cost to renovate the structure. The applicant has provided cost estimates for the renovation of the structure, as well as for the demolition of the existing structure and replacement with a similar structure. It should be noted that the cost estimate for the replacement of the structure, and the narrative that speaks to the replacement, assumes that the demolition of the existing structure would be approved. However, the applicant has stated in their application and narrative that they have no intention of replacing the structure, should the demolition request be approved. Their intention, as shown in the "proposed use" site plan, is to construct a surface parking lot with 5 parking spaces that would connect to the surface parking lot on the property to the south (which is proposed to be redeveloped into office use).

Therefore, the cost estimate to renovate the existing structure should be analyzed and considered in terms of the economic use of the historic resource and the reasonableness of the proposed action. The renovation cost estimate provides line item estimates for a variety of work, which totals up to \$517,200. The cost estimate includes another approximate cost of work of between \$510,000 and \$575,000, which may include administrative costs (which were estimated at \$50,000). Some of the larger line items are related to the deteriorated conditions of the existing structure (which are documented in the application and will be discussed in more detail below during the description of the physical condition of the historic resource). Those larger line items include new plumbing (\$62,000), new electrical (\$48,500), installation of new Hardie siding (\$41,000), removal of existing flooring and repair and replacement of flooring as necessary (\$39,500), removal and disposal of existing drywall, lathe and plaster (\$27,000), installation of perforated pipe to improve drainage around the structure (\$26,000), foundation repairs due to dry rot (\$25,000), new drywall (\$24,000), and repair and installation of new subwalls (\$21,000).

It is unclear whether the cost estimates provided assume a renovation that would bring the structure back to commercial building code standards, or if the cost estimates assume renovating the structure to residential building code standards. The type of construction will impact renovation costs, as commercial building code standards could require more extensive improvement. However, the property is zoned C-3, and could be used either for commercial use or other types of uses that are permitted in the C-3 zone such as short term rentals or multiple family dwellings. Those types of uses, while allowed in the C-3 zone, would be required to meet residential building code requirements.

In regards to the use of the property to the south, the applicant has argued that the demolition is required to allow for redevelopment to occur to the south. Specifically, the narrative states that “We propose to remove the existing structure and provide: approved landscaping, additional off street parking and a safer entry/exit for the site address 609 NE Baker Str. directly to the south. There is new construction proposed for 609 NE Baker Str. already in progress. In doing so, this will add to the City’s downtown business appeal as well as additional property tax income as it will enhance the new construction site’s entrance and exit.” It is important to note that these statements relate to the use of the property to the south. However, the review criteria related to economic use and reasonableness of the proposal do not necessarily extend to the property to the south, as that property is not associated with the demolition of the historic resource at 180 NE 7th Street and there are no historic resources on the property to the south. The redevelopment of the property to the south can occur, potentially differently than the property owner currently proposes, without the demolition of the historic resource in question. The Historic Landmarks Committee must consider the economic use of only the historic resource in question at 180 NE 7th Street.

Other items of importance to note in regards to economic use of the property are that the applicant included some statements in their narrative related to zoning, which need to be clarified. The applicant has stated that “a replacement would not be allowed on this property as the current lot does not measure at least 5,000 square feet”. However, the zoning of the property is C-3 (General Commercial), which does not have a minimum lot size for commercial uses, and the most recent use of the existing historic resource was commercial. The applicant also states in the narrative that the “site is not large enough to preserve or accommodate its present zoning”. This statement is unclear, and as noted above, there is no minimum lot size in the C-3 zone. There are also no setback requirements in the C-3 zone that would apply to the property in question, as it is completely surrounded by other C-3 zoned property. If the existing structure were renovated and used as it was most recently (as commercial space or office space), off-street parking requirements would also not be applied (per Section 17.60.060), and so there would be no limitation on the use of the structure. There is also approximately 30 feet on the south side of the property, between the existing building and the south property line, that could be used for off-street parking spaces should they be required for any potential use.

While the cost estimates provided are significant, they do represent the fact that reinvestment in the existing structure could bring it back into usable commercial space. If the structure was preserved and renovated, the historic resource could again provide leasable space for commercial uses or be used for other uses allowed in the C-3 zoning district (such as short term rentals or multifamily housing). There are multiple other properties in the C-3 zone that were originally constructed as single family homes and are currently in the process of being renovated. These properties are located at 309 NE 5th Street (resource C363), 518 NE Cows Street (resource C362), and 435 NE Johnson Street (resource C804). While each of these properties have different characteristics and varying levels of physical condition prior to renovation, it does show that there is likely market demand for and potential economic use of commercially-zoned structures similar to the historic resource in question. Also, in regards to the applicant’s statements about property tax revenue, the renovation of the historic resource would improve the property values and result in increased property tax revenues, as opposed to the demolition of the structure and replacement with a surface parking lot, which would carry very low improvement values for tax assessment purposes.

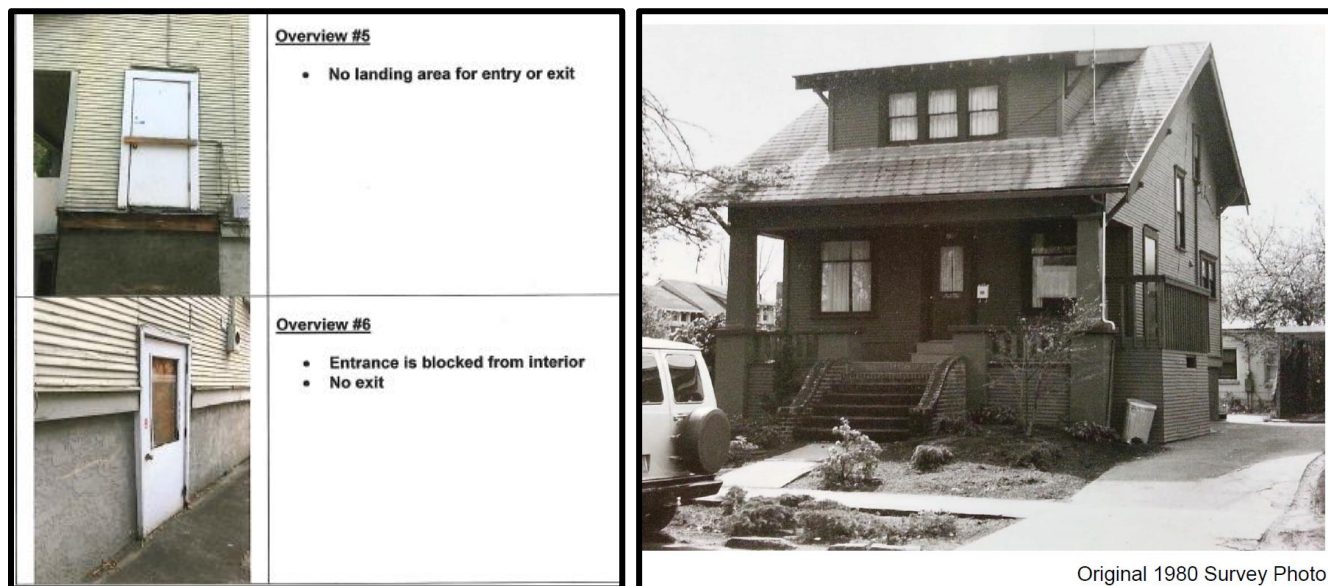
Based on the information provided, staff believes that the Historic Landmarks Committee would need to find that the renovation costs are not economically feasible, given the potential economic use if the structure was renovated, in order for this review criteria to be satisfied. If that finding is made, staff would recommend that the Committee request more than one qualified contractor's estimate of the renovation of the existing structure to ensure that accurate cost estimates are being provided. In doing so, it should also be pointed out that because the historic resource is listed as a contributory resource, the Historic Preservation design standards and guidelines in Section 17.65.060 of the McMinnville City Code would not apply. Therefore, there would not be any specific historic design standards required for building features being repaired and replaced, which could make renovations more cost effective.

(3) The value and significance of the historic resource;

The applicant has stated that the historic resource is “considered Contributory and is not within the downtown core boundary”. Other statements throughout the applicant's findings and narrative related to this review criteria are that the “building is not a unique structure”, “has been modified into a multi-use building and no longer represents its original historical attraction”, “has never been listed as a public building”, and “is NOT listed on the National Registry of Yamhill County”.

While the structure is not listed on the National Register of Historic Places, the structure is listed on the McMinnville Historic Resources Inventory as a contributory resource. Properties that are listed on the Historic Resources Inventory are not identified in any type of document recorded against the property records, but the property owner at the time of listing in 1987 would have been notified of the listing. As the property changed ownership, it becomes a responsibility of the new owner to verify the status of the property with the City of McMinnville Planning Department as part of their due diligence in the purchase of the property.

The structure was already being remodeled into business offices at the time of its listing on the Historic Resources Inventory, and included some of the exterior additions and entrances referred to in the applicant's narrative and shown in the photos, as seen below:



The significant historic and architectural features that were described in the statement of historical significance on the Historic Resources Inventory sheet still exist on the historic resource today. Those include the “red brick steps” leading to the “full-width porch which is under the extending roof”, “boxed

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pillars” on the porch, a “front dormer” with “three windows and shed roof”, a “rectangular bay with a shed roof” on the east side of the structure, a “back dormer” that “extends and is flush with the first story wall”, “beveled siding... with corner boards”, and roof brackets.

The applicant has noted that some of these features have deteriorated or been changed. Wooden handrails have been added to the red brick steps leading to the porch. The applicant has stated that the original pillars on the porch were round, but were boxed in at a later date. The beveled siding is still in place, but is in poor condition. The applicant also noted that the roof brackets as they were described in the Historic Resources Inventory sheet are not actually roof brackets, but are gussets to support the roof. However, these features still exist today and contribute to the character and significance of the historic resource. The boxed pillars existed at the time of the listing of the structure on the Historic Resources Inventory. The roof brackets, or gussets, are still in place and provide the decorative roof bracket feature that is evident on many Craftsman bungalows in McMinnville, even if they are not true, functional roof brackets. The overall form of the structure is still almost entirely the same, including the front dormer with a shed roof, a rectangular bay with a shed roof on the east side of the structure, and the back dormer that extends and is flush with the first story wall.

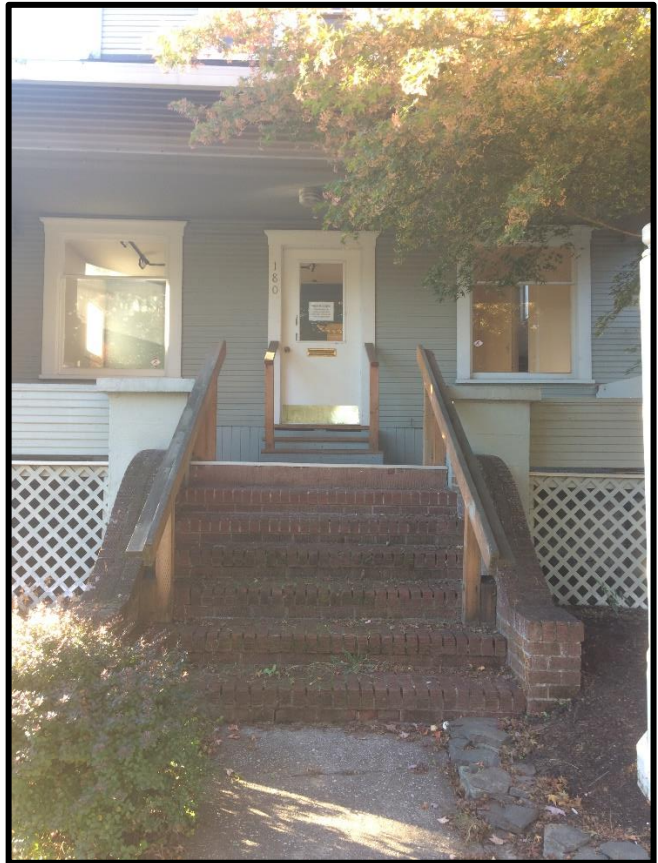
Historic resource as it existed in 1980 and currently (2018):



Original 1980 Survey Photo



Close up views of the existing condition of overall architectural form and historic details including “red brick steps”, “full-width porch which is under the extending roof”, “boxed pillars” on the porch, a “front dormer” with “three windows and shed roof”, a “rectangular bay with a shed roof” on the east side of the structure, and a “back dormer” that “extends and is flush with the first story wall”:





Due to the overall architectural form and more detailed historic features still being in place, staff believes that the demolition proposal does not satisfy this review criteria, as the historic resource still retains much of the significance and historical value that existed at the time the resource was listed on the Historic Resources Inventory.

(4) The physical condition of the historic resource;

The applicant has provided photos serving as evidence of the existing physical condition of the historic resource. The structure has deteriorated due to failure to maintain the exterior and interior of the structure, and there are also some additions and renovations that may have been completed improperly. On the exterior of the structure, photos were provided showing damaged siding, rot damage in some of the wood features in the stairs, porch walls, and doors. Some of the additions to the main structure, such as stairs serving added entries, are in poor condition with wood rot and are separating from the main building. Photo #24 and photo #77 state that the front porch is not connected to the main structure and that the red brick steps are falling away from the porch.

There are also photos that the applicant has provided as evidence of the poor physical condition of the interior of the building. There appears to be mold in many areas in the basement and potential water

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damage in some of the walls and ceilings, which could be the result of improper drainage on the site and around the foundation of the building. Much of the interior of the building has been altered and remodeled in a manner that is not consistent with the historical period of construction and there does not appear to be any original materials on the interior of the building.

While there are issues with the interior of the building, it should be noted that there are no standards in place in the City's Historic Preservation requirements (Chapter 17.65) that require any particular form of construction or design on the interior of a historic resource. The historic resource is also a contributory resource, so there is no requirement that the renovation of the structure meet any Historic Preservation design standards or requirements in Section 17.65.060 of the McMinnville City Code. It is likely that the interior of the building would require a complete remodel with the removal and replacement of much of the building materials and finishes, but most of the work could be completed and still preserve the overall exterior architectural form of the structure that still exists today. Many of the issues on the interior that the applicant describes and shows with photos as being more extensive, such as mold and water damage, could be addressed by, first improving the exterior of the building as described in the renovation cost estimate provided (replacing siding and doors properly and directing water away from the foundation – photo #13 stated that drainage was not connected), and then remodeling the interior of the building. Other exterior improvements that were included in the renovation cost estimate, such as shoring of foundation walls, waterproofing, and installation of perforated pipe would prevent further damage and significantly improve the physical condition of the historic resource. There is also a potential for the additions to the property, such as the stairs from added entries and exits that are separating from the building, being removed and the entries or exits being closed as other renovations occurred.

Staff agrees with the applicant that the physical condition of the historic resources is poor, but the Historic Landmarks Committee could find that the overall architectural form and more detailed historic features that existed at the time the resource was listed on the Historic Resources Inventory are still in place, and that the retention of those characteristics outweighs the fact that the physical condition of some of those features has deteriorated.

(5) Whether the historic resource constitutes a hazard to the safety of the public or its occupants;

The applicant has argued that the historic resource's "physical condition including additions and modifications are a safety hazard as these elements are separating from the original structure" and also that the resource "has become a structural hazard to fire, life and safety". The applicant references the photos of the existing physical condition of the property to support their argument that the physical condition is creating a safety hazard. The applicant did provide evidence from their insurance company, PayneWest Insurance, showing that they will not provide building coverage due to the non-acceptability of the structure due to underwriting guidelines.

The building is currently sitting vacant, so does not constitute a hazard to its occupants. However, the applicant did not provide much findings for how the historic resource constitutes a hazard to the safety of the public. The applicant did state that they have "had to call the police to remove transients numerous times". Other than that issue, which could be addressed with more secure entrances and exits, it is unclear from the materials provided whether the historic resource constitutes an immediate hazard to the safety of the public. If the property owner invested the amount necessary to restore or reconstruct the existing structure, even at a minimum to better secure the structure and stabilize the additions separating from the structure, the potential public safety hazard would no longer exist. Therefore, if the Historic Landmarks Committee finds that the demolition can be approved, staff believes that findings for other review criteria should be better satisfied.

(6) Whether the historic resource is a deterrent to an improvement program of substantial benefit to the City which overrides the public interest in its preservation;

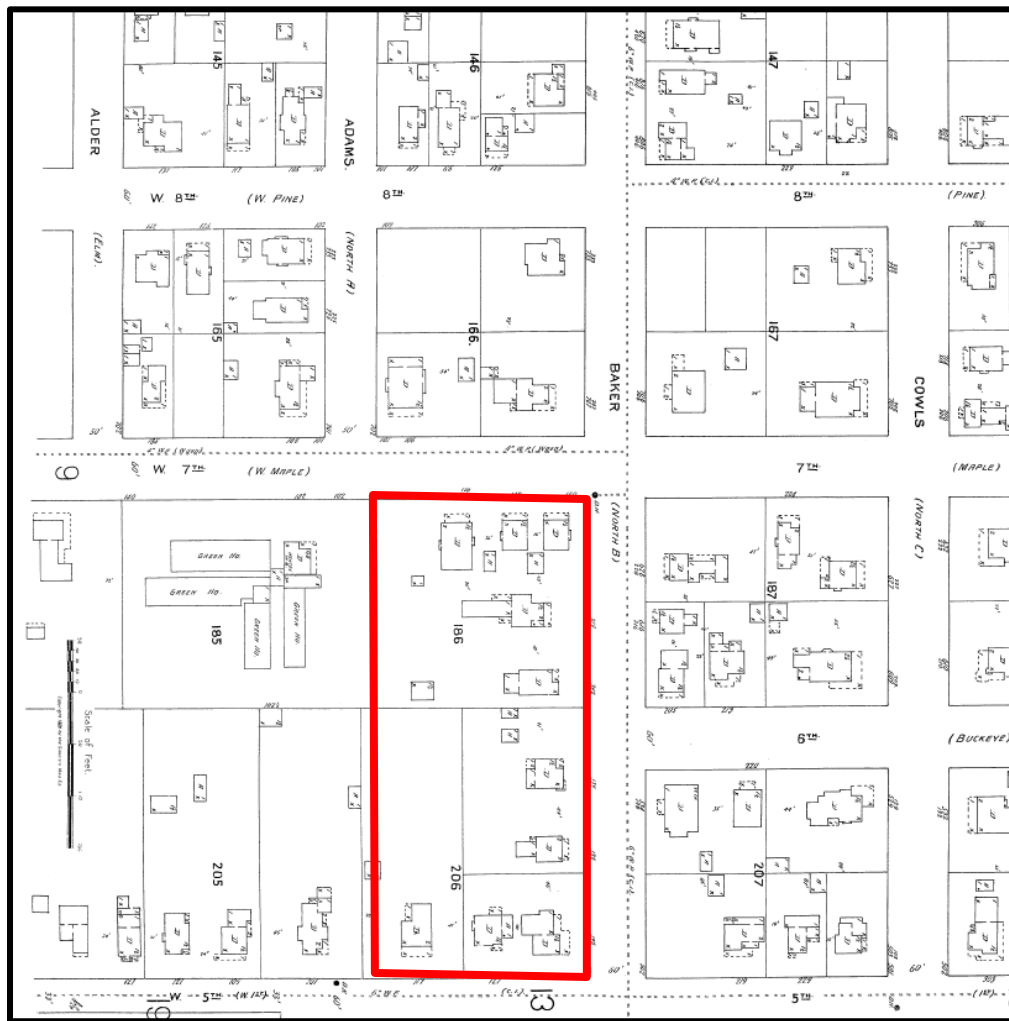
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The historic resource in question is not a deterrent to an improvement program, so this criteria is not applicable.

- (7) Whether retention of the historic resource would cause financial hardship to the owner not outweighed by the public interest in the resource's preservation; and

The applicant has expressed concern that the retention of the historic resource would cause financial hardship. As described in more detail above, the applicant is arguing that the level of investment required for the historic resource to be rehabilitated is not economically feasible. The Historic Landmarks Committee needs to determine whether the public benefit in the retention of the existing structure outweighs the financial hardship that could occur to the owner in the preservation of the historic resource.

As described in more detail above, the historic resource does still retain much of the overall architectural form and historic detailing that existed at the time the structure was listed on the Historic Resources Inventory. Also, the historic resource in question is located in an area that was originally constructed with other residential homes of a particular architectural form and character. The two properties immediately to the west of the subject historic resource, at 142 NE 7th Street and 114 NE 7th Street, are also listed as contributory historic resources on the Historic Resources Inventory (resource numbers C331 and C328, respectively). These historic resources were constructed in the same time period, with the property immediately adjacent to the west, at 142 NE 7th Street, first being shown on the Sanborn maps in 1928, the same year that the historic resource in question was shown. The structure immediately adjacent to the west was also constructed in almost the exact same architectural form as the historic resource proposed to be demolished, with a full-width front porch under an extended roof, pillars supporting each end of the front porch, a front dormer with shed roof and three windows, and a back dormer that is flush with the first story wall. This row of three bungalows with Craftsman architectural form and features, all of which are listed on the Historic Resources Inventory, creates a continuity of historic resources in an area that is void of many other buildings with historic character. From the 1928 Sanborn map, the block that the historic resource in question is located on appears to have previously contained more structures of a similar size as the remaining historic resources on the south side of NE 7th Street. The 1928 Sanborn map can be seen below (outline of the block in question is approximate):



Staff believes that this continuity of existing historic resources creates a public interest in the preservation of the historic resource in question at 180 NE 7th Street. If the Historic Landmarks Committee finds that the existing structure has retained much of its historic significance and value in terms of its architectural form and historic character, as described in the description of the review criteria related to the historic resource's value and significance above, the Committee could find that the resource being preserved would also be in the public interest due to the historic resource's contribution to the historic character of the block on which it is located.

Photos of these historic resources are provided below:



- (8) Whether retention of the historic resource would be in the best interests of a majority of the citizens of the City, as determined by the Historic Landmarks Committee, and, if not, whether the historic resource may be preserved by an alternative means such as through photography, item removal, written description, measured drawings, sound retention or other means of limited or special preservation.

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The applicant has provided various arguments for the demolition of the historic resource, as described in the description of the other review criteria above and in the applicant's narrative. The applicant is requesting that the demolition be approved, in summary, primarily based on the physical condition of the historic resource, the economic feasibility of the proposed renovation, and that the deteriorated condition of the structure has created a safety hazard.

To provide a finding for this review criteria, the Historic Landmarks Committee must determine whether the retention of the historic resource would be in the best interests of a majority of the citizens of the City of McMinnville. The fact that the structure is designated on the Historic Resources Inventory does mean that it provides some benefit to the overall historic character and history of the City of McMinnville. As stated in more detail above, staff believes that the existing historic resource still retains much of the architectural form and historical details that originally resulted in the structure being listed on the Historic Resources Inventory. With reinvestment in the property, the physical condition of the structure can be improved, which would also remove any question of the structure posing a safety hazard. Also, staff noted above that if those improvements occurred, the retention of the historic resource would continue to contribute to the historic character of the street and block that the historic resource is located on.

If the Historic Landmarks Committee agrees with staff's findings on the value and significance of the historic resource, the contribution of the historic resource to the historic character of the surrounding area, and that there would still be economic use of the resource if it was renovated, the Committee could find that the retention of the historic resource is in the best interests of a majority of the citizens of the City of McMinnville.

The Historic Landmarks Committee, if it is decided to approve the demolition request, could require that the applicant provide time for the general public to purchase and move the structure prior to demolition. This would provide an additional opportunity for preservation, should someone with the financial ability to do so have an interest in the preservation of the resource. This has been required of other demolitions of historic resources in the City. Staff has provided suggested conditions of approval related to this, should the Historic Landmarks Committee decide to approve the demolition request.

Fiscal Impact:

None.

Committee Options:

- 1) **APPROVE** the application, providing findings of fact for the required demolition review criteria.
- 2) **APPROVE** the application **WITH CONDITIONS**, providing findings of fact for the required demolition review criteria.
- 3) **DENY** the application, providing findings of fact for the denial in the motion to deny.
- 4) **CONTINUE** the application to a future Historic Landmarks Committee to allow for more information to be provided by the applicant. If continued, the continuation must be date specific.

Recommendation/Suggested Motion:

Based on the information provided, staff agrees with the applicant that the historic resource is in poor physical condition. Staff also agrees with the applicant in that there could be financial implications in retention of the resource due to the level of renovation that would be required to bring the historic resource

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back into compliance. However, staff does not believe that the applicant has provided findings in support of the value and significance of the historic resource, that the structure poses a safety hazard to the public, or that the demolition of the historic resource would be in the best interests of the City.

To summarize the descriptions and arguments provided in the staff report above, staff believes that the existing historic resource still retains much of the architectural form and historical details that originally resulted in the structure being listed on the Historic Resources Inventory. With reinvestment in the property, the physical condition of the structure can be improved, which would also remove any question of the structure posing a safety hazard. Also, staff noted above that if those improvements occurred, the retention of the historic resource would continue to contribute to the historic character of the street and block that the historic resource is located on, which could be found to be in the best interests of the citizens of the City of McMinnville. **Based on these findings for the review criteria in Sections 17.65.050(B)(3), 17.65.050(B)(5), 17.65.050(B)(7), and 17.65.050(B)(8), staff would recommend that the demolition application be denied. Staff has provided a draft decision document providing findings for denial, which is attached to this staff report.**

However, the Historic Landmarks Committee should review the information and arguments provided by the applicant during the public meeting, offer an opportunity for the applicant and the public to provide testimony, and then deliberate and determine whether the review criteria being satisfied by the applicant outweigh those that are not.

The Historic Landmarks Committee could find that the applicant has provided evidence that the structure is in poor physical condition and that the economic use of the structure could be limited due to the level of investment that might be required to renovate the structure. However, if the Historic Landmarks Committee finds the economic use and physical condition criteria to be more influential in the decision on the application, staff would recommend that the Committee, prior to voting on a decision to approve the demolition, first require the applicant to provide more than one qualified bid and contractor's estimate to be sure that the cost estimates to renovate the structure are accurate. It may be that the renovation costs could be much lower, which could influence the Committee's decision on the economic use of the resource and the level of investment required.

If the Historic Landmarks Committee does decide to approve the request for the demolition of the historic resource, staff is suggesting that a delay of the demolition permit be required as a condition of approval to allow for the opportunity to notice that the home is available to be moved or salvaged. A previous precedent for this timeframe on other demolition approvals has been 180 days. However, that specific timeframe is no longer in the code. Staff would suggest a delay timeframe of between 90 and 180 days. Staff is suggesting that the following conditions of approval be included to provide for additional opportunity to preserve the historic resource (with the timeframe amended based on the Historic Landmarks Committee's decision):

- 1) That within 20 (twenty) days of notification of the Historic Landmarks Committee's decision, the applicant shall place notice in the "News-Register" for a period of not less than 90 (ninety) days advertising that the subject structure is available either for relocation, or for salvage of historic items. During the 90-day period following the required advertising period, and prior to issuance of a demolition permit for the residence, asbestos abatement efforts may commence. Evidence of the advertisement shall be provided to the Planning Department prior to the issuance of the demolition permit for the subject structure.
- 2) That issuance of the demolition permit be delayed for 90 (ninety) days from the first day of advertising the subject structure for relocation or salvage.

- 3) That prior to the issuance of the demolition permit for the subject structure, a minimum of 20 (twenty) digital photographs documenting exterior views of the subject structure shall be submitted to the Planning Department.

Suggested Motion:

If the Historic Landmarks Committee decides to deny the request, the following motion could be made:

THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR DENIAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE AND PROVIDED IN THE DECISION DOCUMENT, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE DENIES THE DEMOLITION OF THE HISTORIC RESOURCE AT 180 NE 7th STREET (RESOURCE C334).

If the Historic Landmarks Committee finds that more information is required to make a decision on the application, such as providing additional contractor's estimates, the following motion could be made:

THAT BASED ON THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE CONTINUES THE CERTIFICATE OF APPROVAL APPLICATION FOR THE DEMOLITION OF THE HISTORIC RESOURCE AT 180 NE 7th STREET (RESOURCE C334) TO THE NOVEMBER 28, 2018 HISTORIC LANDMARKS COMMITTEE MEETING TO ALLOW FOR THE APPLICANT TO PROVIDE MORE INFORMATION INCLUDING AT LEAST TWO ADDITIONAL CONTRACTOR'S ESTIMATES OF THE RENOVATION COSTS OF THE HISTORIC RESOURCE.

If the Historic Landmarks Committee decides to approve the request, the following motion could be made:

THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE DEMOLITION OF THE HISTORIC RESOURCE AT 180 NE 7th STREET (RESOURCE C334).

OR

THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE DEMOLITION OF THE HISTORIC RESOURCE AT 180 NE 7th STREET (RESOURCE C334) WITH THE CONDITIONS RELATED TO PROVIDING OPPORTUNITY TO MOVE THE HISTORIC RESOURCE OR SALVAGE HISTORIC FEATURES.

CD:sjs



Planning Department

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

www.mcminnvilleoregon.gov

Office Use Only:

File No. HL 9-18

Date Received 9-5-18

Fee Ø

Receipt No. -

Received by SP

Certificate of Approval (Demolition, Moving or New Construction)

Applicant Information

Applicant is: ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other _____

Applicant Name Harold Washington Phone 503-472-2576

Contact Name _____ Phone 971-237-3730
(If different than above)

Address 19191 SW Peavine Rd.

City, State, Zip McMinnville, OR 97128

Contact Email Harold@onlinemac.com

Property Owner Information

Property Owner Name Same as Above Phone _____
(If different than above)

Contact Name _____ Phone _____

Address _____

City, State, Zip _____

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 180 NE 7th St. McMinnville OR 97128

Assessor Map No. R4 4420 -AD00 -100 Total Site Area 3642 sq ft

Subdivision Baker and Martin Block 13 Lot 1

Comprehensive Plan Designation _____ Zoning Designation C-3 General Commercial

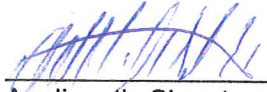
1. What is the classification of the historic building? Unknown C334
2. Architect Name NA Phone _____
(Engineer or Other Designer)
Contact Name _____ Phone _____
Address _____
City, State, Zip _____
Contact Email _____
3. Contractor Name Washington Roofing Company Phone 503-472-7663
Contact Name Harold Washington, Virginia Carlson Phone _____
Address 1700 SW Hwy 18
City, State, Zip McMinnville, OR 97128
Contact Email harold@onlinemac.com
4. The existing use of the property. Vacant-rental
5. The intended use of the property. _____
6. What is the reason(s) for the request (e.g., meet building code requirements, redevelopment, etc.).
Redevelopment and safety for the community.

7. Attach a written narrative that describes:
- A. The proposed project in detail (specific structures to be removed, new buildings being constructed, etc.);
 - B. How the proposed project meets the applicable Comprehensive Plan policies;
 - C. The reasonableness of the proposed project and a description of the economic use of the historic resource, and how those factors relate to the alternative action (preservation of the historic resource);
 - D. The current value and significance of the historic resource, and how those factors relate to the proposed project;
 - E. The physical condition of the historic resource, and how the condition relates to the proposed project;
 - F. Whether the historic resource constitutes a hazard to the safety of the public or its occupants;
 - G. Whether the historic resource is a deterrent to an improvement project of substantial benefit to the City which overrides the public interest in its preservation; and
 - H. Whether retention of the historic resource would be in the best interests of a majority of the citizens of the City.

In addition to this completed application, the applicant must provide the following:

- ☒ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the information listed in the information sheet.
- ☒ If applicable, architectural drawings, including elevations of the proposed demolition or alteration. The elevations shall include descriptions of the proposed finish material.
- ☒ Photographs and/or drawings of the existing structure.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.


Applicant's Signature Harold Washington

9-5-2018
Date


Property Owner's Signature
Schoko Properties, Inc.
Harold Washington

9-5-2018
Date

SEP 18 2018

Chuck Darnell
McMinnville Planning Department, Docket # HL 9-18

COMMUNITY DEVELOPMENT
CENTER

This narrative pertains to the following property:
180 NE 7th Street, McMinnville OR 97128 Tax Lot #:R4420AD00100

There is no current economic use of the property as it exists today due to the current deterioration of the building as it stands. This building, originally a family residence, is a house that sits on the corner of 7th and Baker Streets. In the past, it was also multi-business offices i.e.: barber shop, coin dealer, massage therapist's practice, non-profit office and various other business office space. All of the former have vacated due to the condition of the building.

According to current "Setback Requirements" from City of McMinnville Planning Department, a replacement would not be allowed on this property as the current lot does not measure at least 5,000 square feet. The economic costs to repair and preserve the structure are provided on a separate estimate sheet. We propose to remove the existing structure and provide: approved landscaping, additional off street parking and a safer entry/exit for the site address 609 NE Baker Str. directly to the south. There is new construction proposed for 609 NE Baker Str. already in progress. In doing so, this will add to the City's downtown business appeal as well as additional property tax income as it will enhance the new construction site's entrance and exit.

This site and structure has never been listed as a public building, i.e., City Hall or County Offices, Fire Department, Mayor's Residence, Police Department, Post Office or School. Having spoken with the previous owner, Mr. Cohen, he was never informed that this house is listed as a Historical Resource. As per the "Warranty Deed" dating December 20, 1996, of the sale of property from Delford M. Smith to Cohen & Cohen, LLC, there is nothing stating that this site/structure is listed as a Historical Resource. In the title report prepared by Ticor Title for the sale from Cohen & Cohen, LLC to Schoko Properties, LLC, there is no statement declaring that this site/structure is listed as a Historical Resource. As informed by the City Planning Department this resource is NOT listed on the National Registry of Yamhill County. Retention of this resource will be a hardship due to the amount & cost of repairs in order to bring this building up to ADA and City codes for business use. In order to bring it up to code as a residence, the same issue appears as well as the fact that the original family kitchen and bath(s) have been removed. Its physical condition including additions and modifications are a safety hazard as these elements are separating from the original structure.

The interior of this "one and a half story bungalow" has been remodeled and does not correctly display the original historic features that this structure was originally intended for: single family dwelling. The exterior of the building has not been properly maintained and added onto several times to accommodate the previous owners and uses of this house. Its current historical significance has been diminished by the numerous renovations, however, there are still displays of historic architectural features as described on the C334 inventory sheet. For example: The red brick steps to a full-width porch still exists, however there are wooden handrails inside the low railing on either side of the steps. The two boxed pillars are not the original pillars. The original pillars were round, plywood has been added to "box" the pillars in and currently one of the pillars is failing. The beveled siding is still in place, albeit, severely rotting in numerous places. I expect that the roof has been replaced at least one or two times during its life and is not replaced by the original roofing materials. The roof brackets are not technically roof brackets and do not pertain to the roof. They are installed gussets to give support to the roof barge. There are no exposed rafters the dormers have an open soffit. On the east side, an entrance was dug to the basement and a concrete walk installed which is not original or historically correct. The most economical way to preserve this building is by means of photography, measured drawings or removing and saving the woodwork for display that is deemed historical. Due to the fact that this house has never been publicized on the National Registry, or has not been shown on any of the City's tours of homes, I believe that the public's interest will be better served by adding new business(s) to our downtown core as well as those business(s) adding additional employment therefore adding additional productive tax paying citizens and a higher property tax base for the two properties also resulting in additional taxes paid to the City of McMinnville.

I determined that demolition would be the most cost effective solution from previous building projects I have been involved in. This house is not easily repaired due to the unknown amount and cost of retrofitting that will be required to bring all aspects up to current codes. In my 40 years experience as a roofing and general contractor, I have built and remodeled several homes and buildings for local businesses. In that process, I have received two beautification awards from the McMinnville Downtown Assoc. and much experience. In 1999, I purchased a house on Lafayette Avenue, currently where the business, Pacific Reflex Signs is located. That house being 10 - 15 years younger than 180 NE 7th St., was structurally more sound, yet I was granted permission to demolish it and built it into a positive economic value and a producer of higher property tax income for our City. When I remodeled the property at 105 NE Fourth Street, formerly Ticor Title and currently a law office, the main structure, although, built from different materials was better maintained and therefore did not need to be demolished. However, after tearing into the building, it was discovered that more needed to be repaired. I expect this to be a similar situation. This house being stick frame, there will most likely be dry rot not easily seen until the project gets torn apart. There are too many signs that indicate that there are many places where problems exist. There are drainage issues causing mold in the basement, dry rot throughout, electrical code violations, interior and exterior structural separation, and ceiling and interior wall water stains. See attached photos,

To address your specific questions and requirements:

17.65.050(B)(1)

A. We are improving the property values of this property through the demolition of this building and the adjacent ten-plex structure in order to develop the new multi-tenant building and parking lot, which has been submitted for review.

B. This building is not a unique structure and is only listed as a "contributory" resource and the adjacent home is a mirror duplicate and has been preserved as a single family residence as it was originally designed for.

C. This building has been modified into a multi-use building and no longer represents its original historical attraction. Please refer to our narrative.

D. The building has been long over-due for extensive repairs and is not viable for curb appeal. See attached repair and replacement cost estimates and narrative provided.

E. This building is a burden to us as owners and the City both monetarily and with regard to security, safety and economy. We have had to call the police to remove transients numerous times. The adjacent neighbor has tried to sell their home and has lost several offers. Prospective buyers have turned away due to the condition of this property. They have also called the police to remove transients.

The only economic use of this Historical Resource as it exists today is the fact that it creates a minimal amount of tax income. See attached narrative and attached estimates for repair and replacement.

17.65.050(B)(2)

The Historic Resource that you have deemed "Contributory" (not Significant or Distinctive) cannot be reasonably preserved or renovated. We've compiled two qualified budgets, one for repair and one for replacement. The one for replacement is more cost effective.

(B)(3) This Resource is considered Contributory and is not within the downtown core boundary. See attached map and narrative.

(B)(4) For the physical condition of this Historical Resource please refer to attached photo description documenting the existing conditions.

(B)(5) Our insurance company will not insure this building except for liability. See attached PayneWest letter. There are no occupants, the building is vacant. Please refer to the narrative as to why this resource constitutes a hazard.

(B)(6) We do not believe there is any benefit to the City in preserving this Historical Resource. We would consider that the proposed new multi-tenant building is a substantial benefit to the City and its citizens, which will foster civic pride in beauty and noble accomplishments for our future.

(B)(7) The retention of this Historical Resource is a hardship because it is A: not economically feasible to rehabilitate this building, see narrative. B: It is a detraction to the neighborhood.

(B)(8) We believe the original 1980 "Survey and Photo" is the best alternative means to preserve this Historic Resource as this is the most accurate representation captured. Since then there has been numerous alterations. This building is a liability to the City, its Citizens and the McM PD.

This Historical Resource has lost the quality for which it was originally recognized for.

As for the mold situation, approximately 35% of the structure is affected. The majority being in the basement area, the solution of this situation would be to sub-excavate the entire basement

and install new drainage around the perimeter and then waterproof. See attached cost estimate and detailed photos.

If we were forced to maintain this structure, it would be an undue hardship to renovate the existing structure as the cost of renovation would be approximately 60% greater than a complete replacement.

Documentation of the deterioration and structural hazard was determined by myself and my 40 years of experience. See attached narrative. Along with the uninsurable status of this building qualified by PayneWest Insurance. Please review the analysis of costs to repair the Historical Resource. We propose neither repair or replacement as both are an undue hardship.

As stated in the narrative current "Setback Requirements" from the City of McMinnville Planning Department will not be allowed on this property as the current lot does not measure at least 5,000 square feet required for new construction in this area.

In conclusion, we propose neither repair or replacement of this building.

Landmark Committee's Criteria:

The City's policies (Historic) are to make McMinnville a better place now as well as the future and to remember the past. It is not to stop progress in making our community better.

When moving forward, it is nice to maintain what we have to continue to add value to our community. Do we have a method in which to help home owners maintain these prospective historical resources since they are assets to our community? Too often they have been so modified they no longer maintain the history they once portrayed.

The economic use of this proposed historical resource has not been consistent in the past and does no longer meet any perpetuating history. Therefore, the value of the resource is highly diminished.

The site is not large enough to preserve or accommodate its present zoning. The current physical condition of this resource has deteriorated to almost beyond repair. It has become a structural hazard to fire, life and safety. One of the largest factors, is the amount of mold that has built up in the facility. There has been enough structural change that was not done under permits and in order to begin a renovation process, the main portion of the structure would need to be removed.

There is no benefit in preserving this resource for public interest since it has been allowed to deteriorate to this level and due to the fact that there is no public classification of this building.

Retention of this resource would be cost prohibitive. In estimated costs of this replacement, the amount is in excess of \$300,000.00 if at all possible. The cost of the land, was \$200,000.00 as of January 1, 2018. Total costs of this project would exceed \$500,000.00.

To preserve this resource through photography would be mute because of the fact of so many different additions, renovations and tried improvements, it does not even come close to a historical rendition of the original single family dwelling it was built for.

Proposed project:

- A. To remove existing structure, and replace with an approved parking lot and landscaping.
- B. This will allow for safety and additional parking.
- C. There is no current economic use of this resource due to the lack of ability to use these premises safely. According to current setback requirements a replacement would not be allowed.
- D. There is no current value to this resource because it no longer a credible historical asset.
- E. These premises can no longer be safely occupied. This project will add additional parking for safer entry and exit of the property.
- F. This resource constitutes a hazard as there are many code violations and safety issues.
- G. The proposed parking lot will add value and safety to the proposed commercial building at 609 NE Baker Street and the public that visit it. Retaining this building devalues the surrounding properties.
- H. There is no current or future value for the citizens of our community for the retention of this building.

From: **harold** harold@onlinemac.com
Subject: Fwd: 180 NE 7th Street - McMinnville
Date: September 17, 2018 at 6:37 PM
To: Christine Washington back40@onlinemac.com



Sent from Harold

Begin forwarded message:

From: "Dunckel, Kimberly" <Kim.Dunckel@ticortitle.com>
Date: September 17, 2018 at 4:15:14 PM PDT
To: harold <harold@onlinemac.com>
Subject: 180 NE 7th Street - McMinnville

9/17/2018

To whom it may concern:

In reference to the above property address. We produced a preliminary title report that reflected anything recorded of record. During the search we did not find anything that determined that the property was referenced as a historical structure including searching the Yamhill County Assessors website, which would show any special assessments.

I have 14 years total in title and escrow services. My title officer has over 30 years of title experience.

Please feel free to contact me for further questions.

Sincerely,

Kim Dunckel

For assistance on opening SmartMail – Click the
Blue Link for Job Aids below.

[Help Viewing SmartMail Messages](#)

Please note we have moved!



Kim Dunckel
Senior Escrow Officer
McMinnville Branch Manager
1215 NE Baker Street
McMinnville, OR 97128
t: 503-472-6101
f: 877-334-3008
Kim.Dunckel@ticortitle.com

[HELP Viewing Encrypted Messages](#)



 **YOUR CFPB READINESS PARTNER**
Know Before You Close.



September 18, 2018

To Whom It May Concern
Mcminnville, OR 97128

RE: Property located at 180 NE 7th St, McMinnville, OR 97128

To whom it may concern:

This letter is to confirm that the building located at 180 NE 7th Street, McMinnville, OR 97128, is written with liability coverage only, not structure coverage, through General Star Indemnity Company under policy #IMA323822A. Liability limits are \$1mill per occurrence/\$2mill aggregate. There is no building coverage afforded on this policy due to the non-acceptability of the structure due to underwriting guidelines.

If you have further questions or need additional information, please contact me.

Sincerely,

Nicole N Obrist, CIC, CRIS, CPRIA
PayneWest Insurance
503-565-2227

Tax lot 100

Schoko Properties LLC
180 NE 7th Street
McMinnville, Or 97128

North

Main Floor

2 sinks
1 Toilet

Upper Floor

2 sinks
1 Toilet
1 Bath

Basement

2 sinks
1 Toilet

Basement 59 sq ft

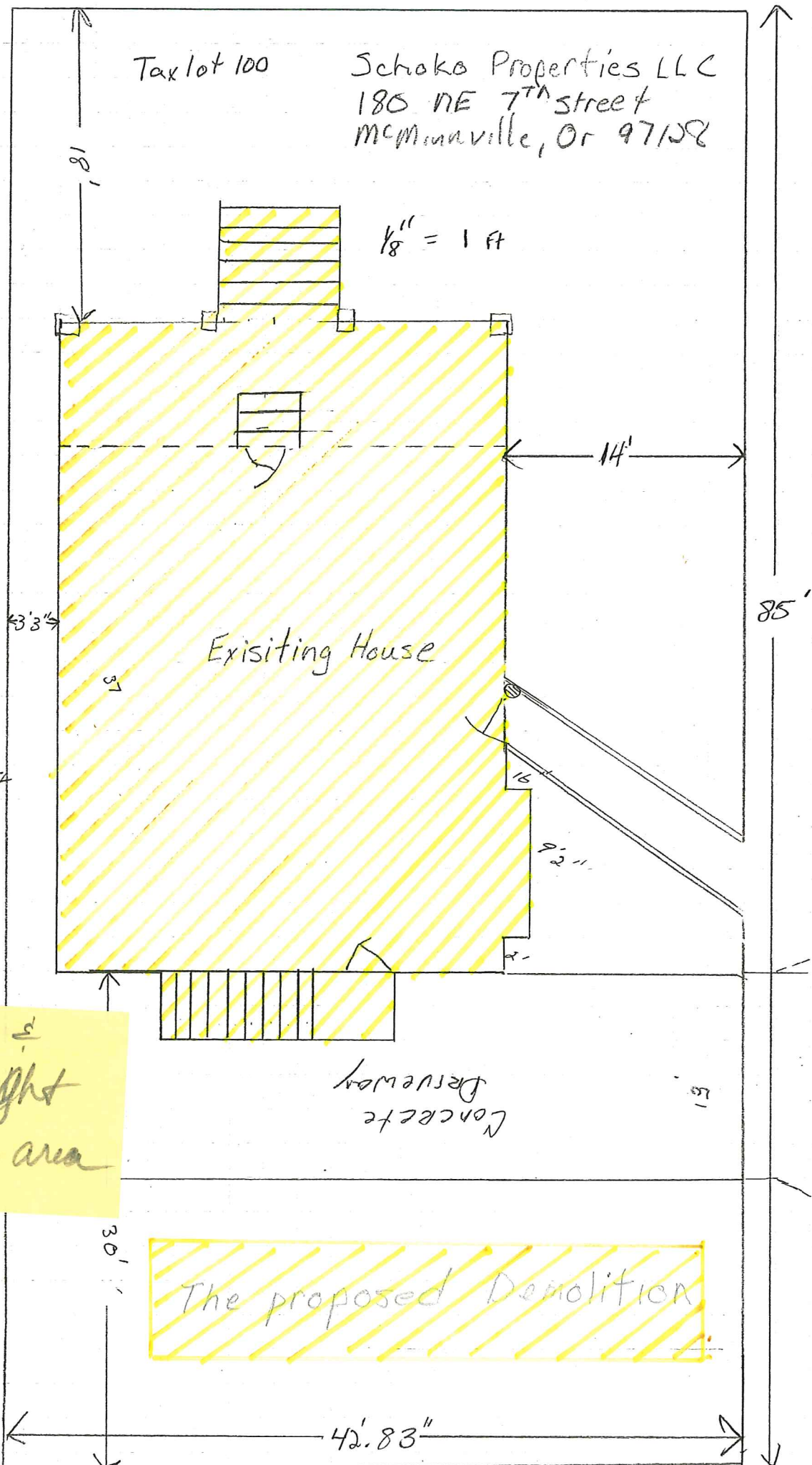
608

Main Floor

696 sq ft

Upper Floor

copy &
highlight
demo area



Tax lot 100

Schoko Properties LLC
180 NE 7th Street
McMinnville, Or 97108

North

Main Floor

2 sinks
1 Toilet

upper Floor

2 sinks
1 Toilet
1 Bath

Basement

2 sinks
1 Toilet

Basement Sq Ft

608

Main Floor

696 sq Ft

upper Floor

650 Sq Ft

Property line

Existing House

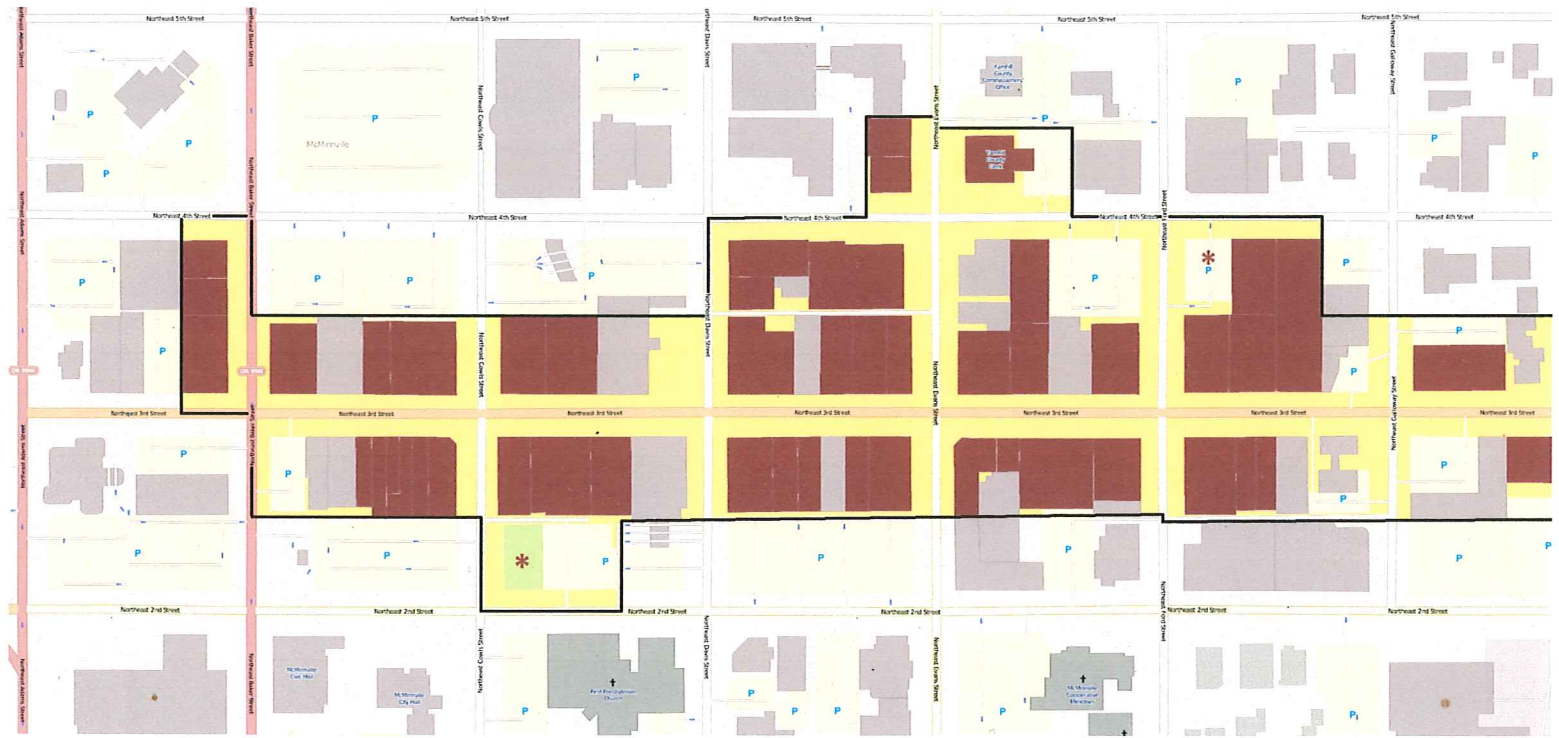
1/8" = 1 ft

14'

85'

NE Baker Street

42' 83"





Washington Roofing Company

1700 SW Hwy 18 • McMinnville OR 97128

Phone 503.472.ROOF • Fax 503.472.3394

Licensed & Bonded, CCB#55201

wrc@onlinemac.com

CONTRACT

Proposal & Acceptance

September 5, 2018

Schoko Properites
19191 SW Peavine Rd.
McMinnville, OR 97128

Harold Washington
971-237-3730
Harold@onlinemac.com

Re: 180 NE 7th St. McMinnville

- Deposit/ Progress Billings
- 2 Year Workmanship Warranty

- **We are not responsible for interior debris or movement of interior items**
- Repairs done at \$92.00 per man hour, plus material
- **Not responsible for satellite/antenna alignment or tuning**

INVESTMENT: Budgetary Proposal for 7th St. Remodel

Approximate Cost \$308,950.00

Demolition and Disposal of Existing Structure	\$17,800.00 +/-
¾ Minus Rock / Compact and Wet	\$ 4,300.00 +/-
Foundation Wall and Slab	\$23,650.00 +/-
Concrete Walkways	\$ 7,180.00 +/-
Flatwork Concrete	\$ 3,950.00 +/-
Framing (labor included)	\$49,000.00 +/-
Trusses	\$ 6,200.00 +/-
Building Wrap (includes waterproofing)	\$24,600.00 +/-
Plumbing and Fixtures	\$42,000.00 +/-
Roof System	\$ 8,370.00 +/-
Windows (single hung)	\$ 9,300.00 +/-
Dry Wall Repair and or Replacement	\$18,800.00 +/-
Electrical Repairs with Code Compliant Replacement/Repairs	\$28,000.00 +/-
Interior Finishes	\$17,110.00 +/-
HVAC Replacement	\$16,900.00 +/-
Interior/Exterior Painting	\$12,800.00 +/-
Porch Trim and Repairs	\$ 3,500.00 +/-
Trim	\$ 4,900.00 +/-
Interior Door Fixtures and Doors (door knobs only)	\$ 3,090.00 +/-
Landscaping	\$ 7,500.00 +/-

Notes:

Maintain an OSHA compliant worksite

Budgetary pricing only; does not include unseen structural issues

Does not include the following:

Architectural

Engineering

Soil Testing

Permits

System Development Charges

Defined scope of work for project once due diligence is complete

WE PROPOSE all material is guaranteed to be as specified. All work is to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications involving extra costs will be executed only upon written orders and/or verbal consent. This will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays that are beyond our control. The Owner is to carry fire, tornado and other necessary insurance. WRC workers are fully covered by Worker's Compensation Insurance:

Please list bid choice(s) and corresponding price _____ Dollars (\$ _____).

Payment to be made as follows: **ONE HALF OF BID AMOUNT REQUIRED DOWN AT SIGNING OF CONTRACT, BALANCE DUE UPON COMPLETION OF THE JOB.**

Any account not paid in full within 30 days of completion of work and/or billing will be charged a late charge of 1½% per month (18% per annum) from date of completion of work and/or billing until paid.

ACCEPTED the above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of acceptance: _____

By: _____

By: _____

Respectfully submitted,
WASHINGTON ROOFING COMPANY

By: _____

This contract may be withdrawn by us if not accepted within 15 days. Washington Roofing Company is entitled to recover its reasonable attorney fees and collection costs incurred in enforcing this agreement, even though no lawsuit is filed. If a lawsuit is filed, the court, including any appellate court, shall set the amount of attorney fees.

Upon acceptance of this contract, your signature will acknowledge receipt of your "Information Notice" & "Consumer Notification"



Washington Roofing Company

1700 SW Hwy 18 • McMinnville OR 97128
Phone 503.472.ROOF • Fax 503.472.3394
Licensed & Bonded, CCB#55201
wrc@onlinemac.com

CONTRACT

Proposal & Acceptance

September 5, 2018

Schoko Properites
19191 SW Peavine Rd.
McMinnville, OR 97128

Harold Washington
971-237-3730
Harold@onlinemac.com

Re: 180 NE 7th St. McMinnville

- Deposit/ Progress Billings
- 2 Year Workmanship Warranty

- **We are not responsible for interior debris or movement of interior items**
- Repairs done at \$92.00 per man hour, plus material
- **Not responsible for satellite/antenna alignment or tuning**

INVESTMENT: Budgetary Proposal for 7th St. Repairs

Approximate Cost \$510,000.00 - \$575,000.00

Shoring - Excavate and expose foundation walls, install shoring	\$16,000.00
Waterproofing - Walls; apply liquid emulsified coating and self-adhering membrane	\$ 6,500.00
Perforated Pipe - install new with fabric and new 1 1/2" round river rock	\$26,000.00
Foundation - Main house foundation repairs (budget could be increased due to unknowns)	\$25,000.00
Concrete - Concrete repairs of flat work and columns at front porch, shore up, remove existing brick at front porch	\$11,000.00
Brick entry - Install new brick to and hand rails to code, remove existing front area deck and install new joist and decking	\$15,500.00
Back Steps - Remove and install new steps per code	\$15,000.00
Siding - Remove and dispose of all siding and window frames	\$ 8,000.00
Siding - Install new Hardie siding and trim, includes wrap	\$41,000.00
Windows - Replace with single hung white frames	\$12,000.00
Subwalls - Repair as necessary, install new shear wall panels to meet code as necessary	\$21,000.00
Paint - Prep exterior building and paint	\$12,800.00
Roof Deck - Remove and dispose of existing roof system, new 1/2" CDX plywood sheathing	\$ 9,500.00
Roof - Install 30 year Architectural Shingles	\$14,500.00
Sump Pump - Install new sump pump and piping to drainage	\$ 3,200.00
Interior - Remove and dispose of existing drywall, lathe and plaster	\$27,000.00
Electrical (excludes fixtures) - Remove and dispose existing electrical. Install new panel, cadet heater, outside lighting, all electrical to meet code	\$48,500.00
Insulation - Install insulation to code	\$18,800.00
Plumbing - Install plumbing and fixtures to code	\$62,000.00
Drywall - Install dry wall	\$24,000.00
Interior Finishes - Remove and install new interior finishes	\$19,500.00
Doors - Remove and install new door and fixtures	\$17,400.00
Interior Paint - Paint using 3 colors	\$ 7,500.00
Flooring - Remove and dispose as necessary, repair and replace as necessary	\$39,500.00
Landscaping - Landscape areas per code	\$ 7,500.00
Concrete Work - Replace current drive and walk way	\$ 8,500.00

Notes:

Repairs are not guaranteed

Maintain an OSHA compliant worksite

Budgetary pricing only; does not include unseen structural issues

Does not include the following:

Architectural

Engineering

Soil Testing

Permits

System Development Charges

Defined scope of work for project once due diligence is complete

Approximate administrative costs; \$50,000.00

**City of McMinnville
Yamhill County, Oregon**

Site Information

Site Address

180 NE 7th Street

Owner at Time of Survey

Steve Dodds, David Hall, Bob Stephenson

Map/Tax Lot

R4420AD00100

Current Zoning

C-3

**Special Tax
Assessment**

No

**Downtown Historic
District**

No

Subdivision Name

Baker & Martin's

Block

13

Lot

1

Lot Size

3,640.55 sqft

Quadrant

NE

Site Number

5.35

Aerial Number

J-10

**Resource
Classification**

C

**Resource
Number**

334

Historic Significance

Secondary Resource No. 83

Historic Information

Date of Construction

between 1912-28

Early Additions/ Remodels

Builder/Architect

Unknown

Historic Name

Original Use

Residence

Common Name

Present Use

Business/Office

Condition of Structure

Excellent

Comments (at time of Survey)

Building Type

Residential

Outbuildings

None

Building Style

Bungalow

Stories

1.5

Porch

☒

Basement

☐

Roof Style

Roof Type

Moved

☐

Demolished

☐

Year/Date

Permit Number(s)

Additions/ Alterations

Resource Information

Recorded By

Marietta Rankin

Date

5-12-1980

Sources

Sanborn, 1912, p. 7; Sanborn, 1929, p. 10

Historic Resource Survey
City of McMinnville
Yamhill County, Oregon

Statement of historical significance and description of property:

C334

This one and a half story bungalow is being remodeled into business offices. One enters the north on red brick steps to a full-width porch which is under the extending roof. Two boxed pillars support the porch overhang on either corner and there is a low railing on either side of the entrance.

The front dormer has three windows and shed roof. The back dormer extends and is flush with the first story wall.

Beveled siding has been used with corner boards. There are roof brackets and exposed rafters.

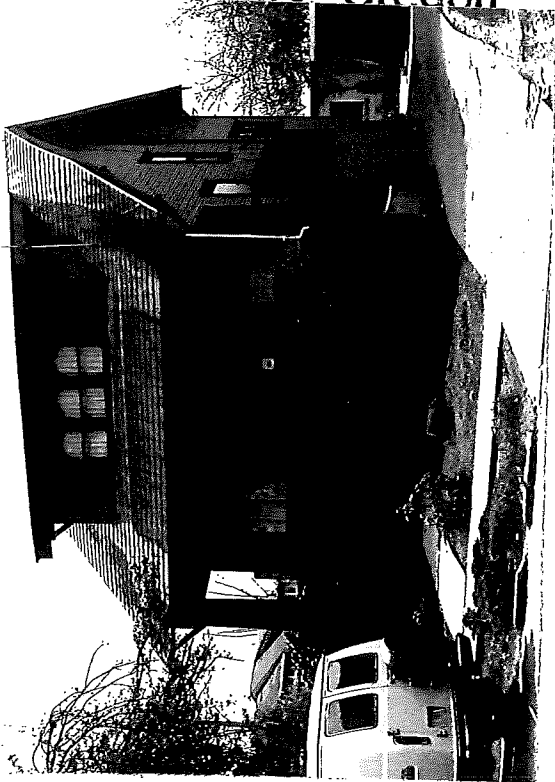
On the east side, there is a rectangular bay with a shed roof. Fenestration is not regular. Cornice moulding is found on the windows.

Historic Resource No. C334



Original 1980 Survey Photo

Historic Resources Survey
City of McMinnville
Yamhill County, Oregon



Site No. 5.35 Aerial Map J - 10
Block 13 Lot 1
Addition Baker Martin
Tax Lot 4420AD 100
Address 180 E. 7th
Common Name --
Historic Name --
Present Owner Steve Dodds, David Hall
and Bob Stephenson
Present Use "Baker Street Business Office"
Original Use Reisdence
Builder or Architect Unknown
Outbuildings Unknown
Date of Construction Between 1912-1928
-Condition Assessment on Reverse Side-

C334

Statement of historical significance and description of property:

This one and a half story bungalow is being remodeled into business offices. One enters the north on red brick steps to a full-width porch which is unere the extending roof. Two boxed illlars support the porch overhang on either corner and there is a low railing on either side of the entrance.

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Beveled siding has been used with corner boards. There are roof brackets and exposed rafters.

On the East side, there is a rectangular bay with a shed roof. Fenestration is not regular. Cornice molding is found on the windows

Condition of structure:

 X A Excellent

 B Good

- 1. Slight damage to porch steps.
- 2. Small cracks in walls, chimneys.
- 3. Broken gutters or downspouts.
- 4. In need of paint.

 C Fair

- 1. Holes in walls.
- 2. Open cracks.
- 3. Missing material in small area.
- 4. Rotten sills or frames.
- 5. Deep wear on stairs.
- 6. Poor or no foundation.

 D Poor

- 1. Sagging walls or roof.
- 2. Holes, open cracks, missing material over large areas.
- 3. Unrepaired storm or fire damage.

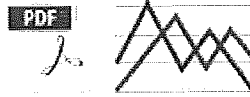
Recorded by Marietta Rankin Date May 12, 1980

Sources Consulted:

Sanborn, 1912, p. 7
" 1928, p. 10

Property Account Summary

8/24/2018



Click image above for more information

Account Number	149716	Property Address	180 NE 7TH ST , MCMINNVILLE, OR 97128
----------------	--------	------------------	---------------------------------------

General Information

Alternate Property #	R4420AD 00100
Property Description	Township 4S Range 4W Section 20 Qtr A QQtr D TaxLot 00100 Lot 1 Block 13 SubdivisionName BAKER AND MARTIN'S SUBDIVISION
Property Category	Land &/or Buildings
Status	Active, Locally Assessed
Tax Code Area	40.51
Remarks	

Tax Rate

Description	Rate
Total Rate	17.0444

Property Characteristics

Neighborhood	NCO5
Land Class Category	201 Comm Improved
Building Class Category	COM: Commercial Property
Change Property Ratio	Commercial

Related Properties

Split Code 706951 starting 01/01/1957 until 12/23/1996
--

Property Values

Value Type	Tax Year 2017	Tax Year 2016	Tax Year 2015	Tax Year 2014	Tax Year 2013
Assessed Value AVR	\$147,166	\$142,880	\$138,720	\$134,681	
Exempt Value EAR	\$95,658				
Taxable Value TVR	\$51,508	\$142,880	\$138,720	\$134,681	
Real Market Land MKLTL	\$102,587	\$102,587	\$102,587	\$102,587	
Real Market Buildings MKITL	\$101,663	\$101,663	\$97,753	\$95,836	
Real Market Total MKTTL	\$204,250	\$204,250	\$200,340	\$198,423	
M5 Market Land MKLND	\$102,587	\$102,587	\$102,587	\$102,587	
M5 Limit SAV M5SAV					
M5 Market Buildings MKIMP	\$101,663	\$101,663	\$97,753	\$95,836	
M50 MAV MAVMK	\$147,166	\$142,880	\$138,720	\$134,681	

Assessed Value Exception					
Market Value Exception					
SA Land (MAVUSe Portion) SAVL					

Active Exemptions

Schools and Child Care (307.145)

Events

Effective Date	Entry Date-Time	Type	Remarks
01/05/2018	01/30/2018 09:02:00	Taxpayer Changed	Property Transfer Filing No.: 251983 01/05/2018 by HENDERSONR
01/05/2018	01/30/2018 09:02:00	Recording Processed	Property Transfer Filing No.: 251983, Warranty Deed, Recording No.: 2018-00306 01/05/2018 by HENDERSONR

Tax Balance

Installments Payable/Paid for Tax Year(Enter 4-digit Year, then Click-Here): 2017

Receipts

Date	Receipt No.	Amount Applied	Amount Due	Tendered	Change
11/16/2017 00:00:00	988342	\$877.92	\$877.92	\$851.58	\$0.00
11/15/2016 00:00:00	848708	\$2,418.65	\$2,418.65	\$2,346.10	
11/13/2015 00:00:00	621864	\$2,359.72	\$2,359.72	\$2,288.93	
11/15/2014 00:00:00	609466	\$2,232.45	\$2,232.45	\$2,165.48	
11/15/2013 00:00:00	335864	\$2,155.74	\$2,155.74	\$2,155.74	

Sales History

Transfer Date	Receipt Date	Recording Number	Sale Amount	Excise Number	Deed Type	Transfer Type	Other Parcels
01/05/2018	01/30/2018	2018-00306	\$200,000.00	251983		S	No
12/23/1996	12/23/1996	1996-20787	\$105,000.00	85141		S	No

Property Details

Living Area Sq Ft	Manf Struct Size	Year Built	Improvement Grade	Stories	Bedrooms	Full Baths	Half Baths

RECORDING REQUESTED BY:



105 NE 4th St
McMinnville, OR 97128

AFTER RECORDING RETURN TO:

Order No.: 471818068006-KD
Harold Washington
Schoko Properties, LLC
19191 SW Peavine Road
McMinnville, OR 97128

SEND TAX STATEMENTS TO:

Schoko Properties, LLC
19191 SW Peavine Road
McMinnville, OR 97128

APN: 149716

Map: R4420AD00100

Yamhill County Official Records		201800306
DMR-DDMR	01/05/2018 03:14:02 PM	
Stn=3 SUTTONS		
2Pgs \$10.00 \$11.00 \$5.00 \$20.00	\$46.00	
I, Brian Van Bergen, County Clerk for Yamhill County, Oregon, certify that the instrument identified herein was recorded in the Clerk records.		
Brian Van Bergen - County Clerk		

SPACE ABOVE THIS LINE FOR RECORDER'S USE

STATUTORY WARRANTY DEED

Cohen & Cohen, Limited Liability Company, an Oregon limited liability company, which acquired title as Cohen & Cohen, LLC, an Oregon limited liability company, Grantor, conveys and warrants to Schoko Properties, LLC, an Oregon limited liability company and Urban Mark, LLC, an Oregon limited liability company, each to an undivided 50% interest, Grantee, the following described real property, free and clear of encumbrances except as specifically set forth below, situated in the County of Yamhill, State of Oregon:

PARCEL 1:

A tract of land in Section 20, Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon, being more particularly described as follows:

Beginning at the Northeast corner of Block 13 of BAKER and MARTIN'S ADDITION to the City of McMinnville in Yamhill County, Oregon, as the same appears and is designated on the recorded plat of said Addition to said City and running thence West on the Northern boundary line of said Block, a distance of 42.83 feet, more or less to the Northeast corner of that tract conveyed to Alfred W. Olund et ux., by Deed recorded June 3, 1954 in Book 173, Page 414, Deed Records; thence South on the Olund East line, a distance of 75 feet; thence East, a distance of 42.83 feet, more or less, to the Eastern boundary line of said Block; thence North on the Easterly boundary line of said Block, a distance of 75 feet to the Place of Beginning.

PARCEL 2:

A tract of land in Section 20, Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon, being more particularly described as follows:

Beginning at a point 15 feet North of the Northeast corner of Lot 8 in Block 13, BAKER and MARTIN'S ADDITION to McMinnville, Yamhill County, Oregon; thence North 10 feet; thence West 42.83 feet to the Southeast corner of the Miller lot; thence South 10 feet; thence East 42.83 feet to the Place of Beginning.

THE TRUE AND ACTUAL CONSIDERATION FOR THIS CONVEYANCE IS TWO HUNDRED THOUSAND AND NO/100 DOLLARS (\$200,000.00). (See ORS 93.030).

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

STATUTORY WARRANTY DEED
(continued)

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Dated: January 5, 2018

Cohen & Cohen, Limited Liability Company

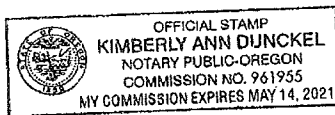
BY: [Signature]
Neil R. Cohen
Managing Member

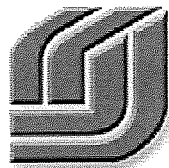
State of Oregon
County of Washington

This instrument was acknowledged before me on January 5, 2018 by Neil R. Cohen, Managing Member of Cohen & Cohen, Limited Liability Company.

[Signature]
Notary Public - State of Oregon

My Commission Expires: May 14, 2021





TICOR TITLE™

Property Profile Report

Client Name:

Kim Dunckel - Ticor Title

Today's Date:

08/24/2018

Owner Name:

Schoko Properties LLC

Urban Mark LLC

Property Address:

180 NE 7th St

McMinnville OR 97128 4908

Reference Number:

149716

Account Number:

R4420AD00100

Eight Ticor Mid-Valley locations to serve you:

220 SW 6th Ave Albany, OR 97321 541.926.2111	400 SW 4th St Ste 100 Corvallis, OR 97330 541.757.1466	289 E Ellendale Ave, Ste 504 Dallas, OR 97338 503.917.6005	52 E Airport Rd Lebanon, OR 97355 541.258.2813	1215 NE Baker St McMinnville, OR 97128 503.472.6101	315 Commercial St SE, Ste 150 Salem, OR 97301 503.585.1881	115 N College St STE 200 Newberg, OR 97132 503.542.1400	206 N 1st St Silverton, OR 97381 503.873.5305
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This title information has been furnished, without charge, in conformance with guidelines approved by the State of Oregon Insurance Commissioner. The Insurance Division cautions that indiscriminate use only benefiting intermediaries will not be permitted. No liability is assumed for any errors in this record.

The information compiled in this report(s) was imported from a vendor-provided database source. Although the information is deemed reliable and every effort has been taken to correct data imperfections, Ticor Title cannot be held responsible for any inaccuracies.

TITLE AND ESCROW SERVICES

www.TicorMidValley.com

For all your customer service needs: MVCS@TicorTitle.com

Transfer Record(s) Found For: R4420AD00100

Recording Date:	01/05/2018	Sale Price:	\$200,000.00	Loan Amount:	\$199,000.00
Grantee Name:	SCHOKO PROPERTIES LLC	Closing Title Co.:	TICOR TITLE INSURANCE CO.	Mortgage Loan Type:	
Grantor Name:	COHEN & COHEN LLC			Mortgage Rate Type:	
Recorder Document #:	0000000307 0000000306			Lender:	COHEN & COHEN LLC
Document Type:	Warranty Deed			Morgage 2 Loan Amt:	
				Morgage 2 Loan Type:	
				Morgage 2 Rate Type:	
				Morgage 2 Lender:	

**Parcel Information**

Parcel #: R4420AD00100
Account: 149716
Related:
Site Address: 180 NE 7th St
 McMinnville OR 97128 - 4908
Owner: Schoko Properties LLC
Owner2: Urban Mark LLC
Owner Address: 19191 SW Peavine Rd
 McMinnville OR 97128 - 8327
Twn/Range/Section: 04S / 04W / 20 / NE
Parcel Size: 0.08 Acres (3,642 SqFt)
Plat/Subdivision: Baker And Martin's Subdivision
Lot: 1
Block: 13
Map Page/Grid: 770-H5
Census Tract/Block: 030801 / 2075
Waterfront:

Assessment Information

Market Value Land: \$102,587.00
Market Value Impr: \$101,663.00
Market Value Total: \$204,250.00
Assessed Value: \$147,166.00

Tax Information

Levy Code Area: 40.51
Levy Rate: 17.0444
Tax Year: 2017
Annual Tax: \$877.92

Exemption Description:**Legal**

Township 4S Range 4W Section 20 Qtr A QQtr D TaxLot 00100 Lot 1
 Block 13 SubdivisionName BAKER AND MARTIN'S SUBDIVISION

Land

Cnty Land Use: 201 - Commercial - Improved (typical of class)
Land Use Std: CMSC - COMMERCIAL MISCELLANEOUS
Neighborhood: NCO5
Watershed: Yamhill River

Cnty Bldg Use: 0
Zoning: C-3 - General Commercial
Recreation:
School District: 40

Improvement

Year Built: 0	Attic Fin/Unfin: 0 SqFt / 0 SqFt	Fireplace: 0
Bedrooms: 0	Total Baths: 0.00	Full/Half Baths: 0 / 0
Bldg Fin: 0 SqFt	Bsmt Fin/Unfin: 0 SqFt / 0 SqFt	Garage: 0 SqFt
1st Floor: 0 SqFt	2nd Floor: 0 SqFt	

Transfer Information

Rec. Date: 1/5/2018	Sale Price: \$200,000.00	Doc Num: 2018-306	Doc Type: Warranty Deed
Owner: SCHOKO PROPERTIES LLC		Grantor: COHEN & COHEN LLC	
Orig. Loan Amt: \$199,000.00		Title Co: TICOR TITLE INSURANCE CO.	
Finance Type:	Loan Type:	Lender: COHEN & COHEN LLC	

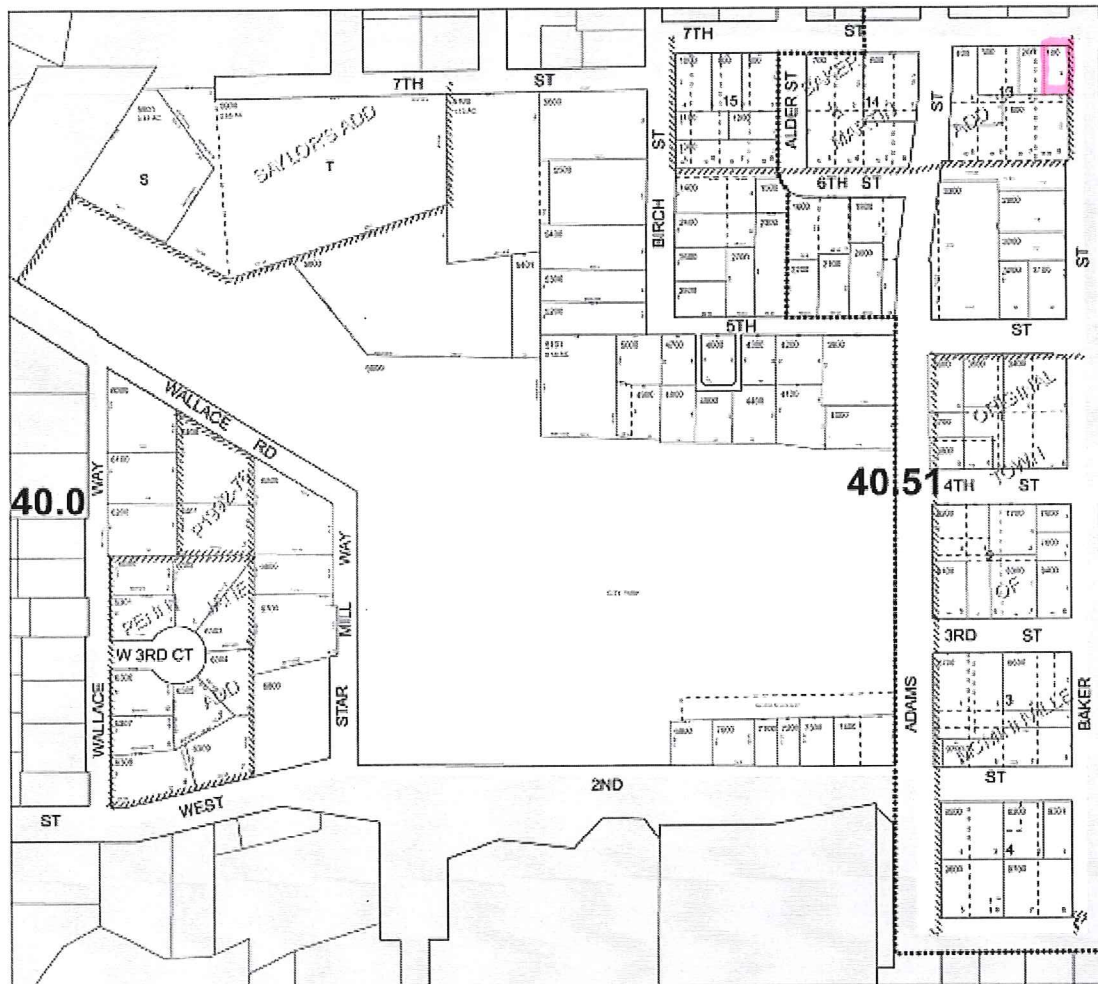
Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

4 4 20AD



ASSESSMENT & TAX
CARTOGRAPHY

S.E. 1/4 N.E. 1/4 SEC. 20 T.4S. R.4W. W.M.
YAMHILL COUNTY OREGON
1" = 100'

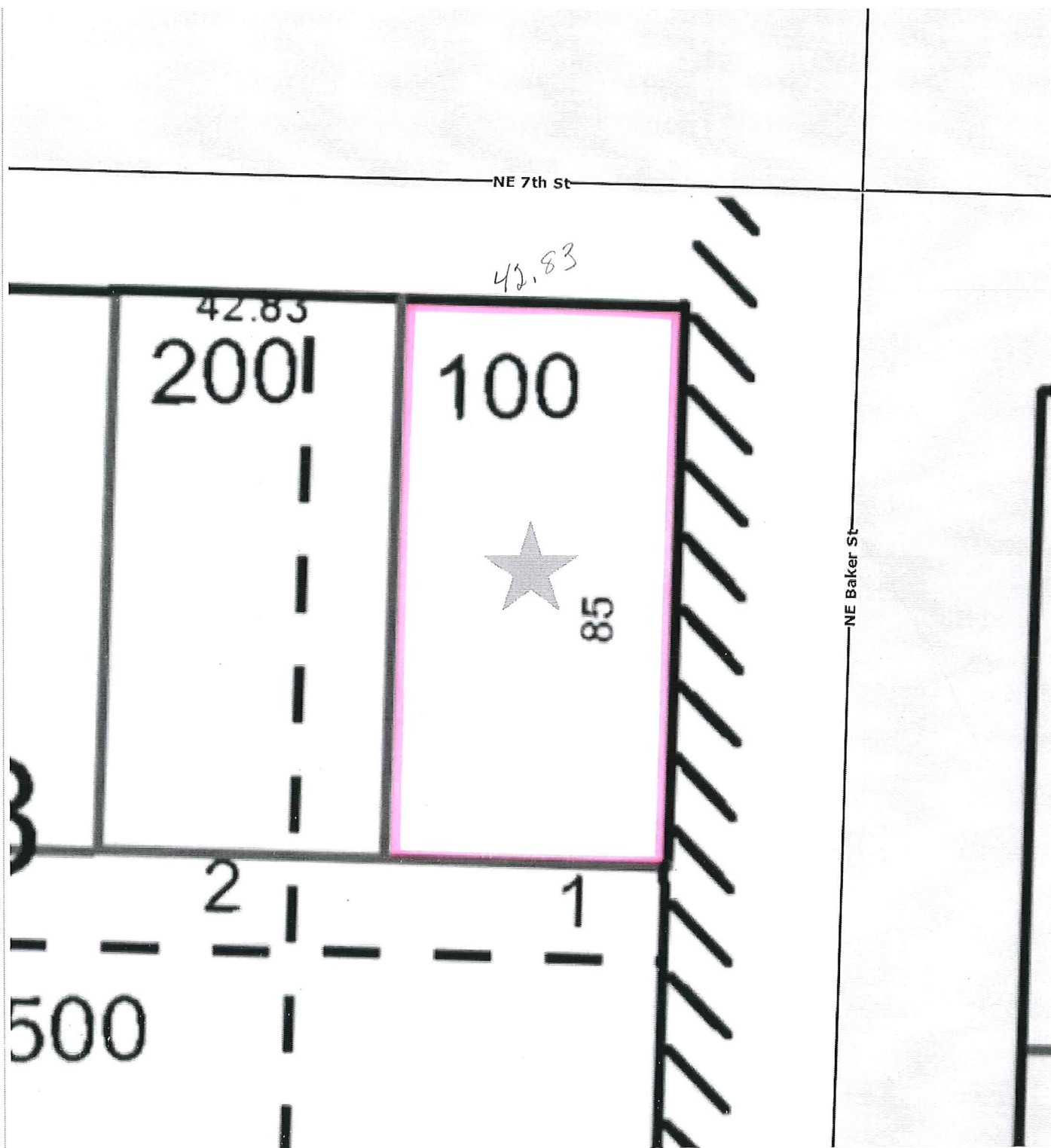


CANCELLED LOTS
9000
9100
9200
9300
9400
9500
9600
9700
9800
9900
10000
10100
10200
10300
10400
10500
10600
10700
10800
10900
11000

DATE PRINTED: 4/8/2017

This product is for Assessment and Taxation (A&T) purposes only
and is not for use in any other legal or engineering
application. For more information, please contact the County Assessor's Office.

4 4 20AD



TICOR TITLE™

Parcel ID: R4420AD00100

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.



TICOR TITLE™

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TICOR TITLE™

Parcel ID: R4420AD00100

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Overview #1

- Extensive rot damage



Overview #2

- Extensive rot damage



Overview #3

- Blocked with untreated wood
- Extensive rot damage



Overview #4

- Extensive rot damage



Overview #5

- No landing area for entry or exit



Overview #6

- Entrance is blocked from interior
- No exit



Overview #7

- Back entrance is not connected to main structure



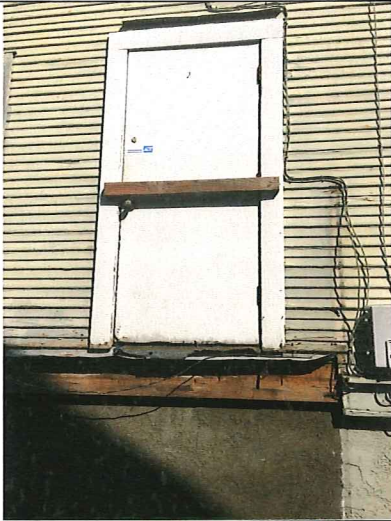
Overview #8

- Overview of side entrance
- Electrical not compliant



Overview #9

- Poor siding installation
- Extensive repairs needed
- Improper repairs made



Overview #10

- Doorway not accessible and blocked from interior



Overview #11

- Extensive rot damage



Overview #12

- Overview of concrete walk/driveway



Overview #13

- Drainage not connected



Overview #14

- Moisture coming through wall



Overview #15

- Door is completely rotted

**Overview #16**

- Improperly installed siding shows no flashing

**Overview #17**

- Stairs not connected to structure

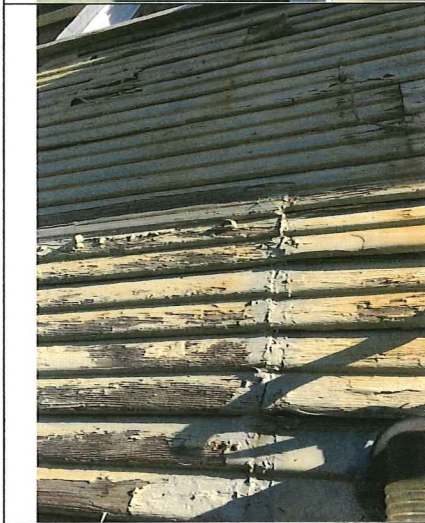
**Overview #18**

- Extensive rot damage



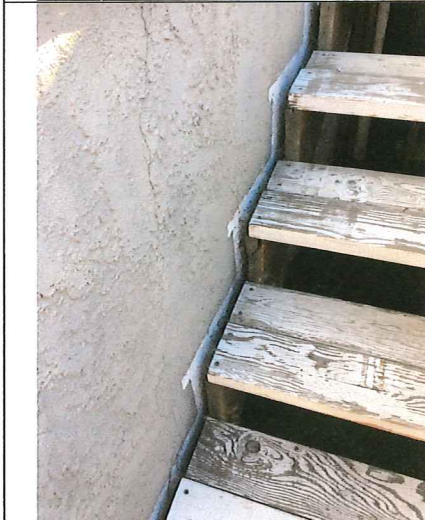
Overview #19

- Door installed not to specifications



Overview #20

- Improper siding repair



Overview #21

- Stairs not connected to structure

**Overview #22**




- No waterproofing of structure is in place

**Overview #23**

- Concrete is sunken

**Overview #24**

- Extensive rot damage
- Front porch not connected to structure

	<p><u>Overview #25</u></p> <ul style="list-style-type: none"> • Overview of concrete walkway
	<p><u>Overview #26</u></p> <ul style="list-style-type: none"> • Overview of front entrance • Rails not connected • Extensive rot damage
	<p><u>Overview #27</u></p> <ul style="list-style-type: none"> • No address displayed



Overview #28

- **Missing wall**



Overview #29

- **View of existing lath and plaster**



Overview #30

- **Fixtures not original**

**Overview #31**

- Not ADA compliant
- Fixtures not original

**Overview #32**

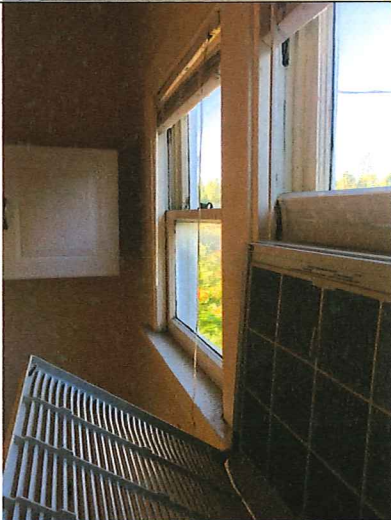
- Signs of structural damage

**Overview #33**

- One of many issues that do not meet code

**Overview #34**




- Overview of printer room

**Overview #35**

- Windows are sealed shut
- Cabinets are not originals

**Overview #36**

- Walls are not original
- Door has no landing

	<p><u>Overview #37</u></p> <ul style="list-style-type: none">• Stairway not to code
	<p><u>Overview #38</u></p> <ul style="list-style-type: none">• Stairway not to code
	<p><u>Overview #39</u></p> <ul style="list-style-type: none">• Not original cabinets

**Overview #40**

- Not original fixtures

**Overview #41**

- Extensive rot damage to all window frames

**Overview #42**

- Cabinets or sink not original
- Extensive water damage



Overview #43

- Exposed electrical throughout
- Electrical not compliant



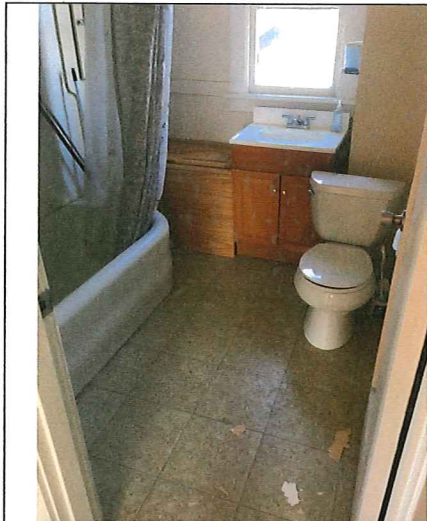
Overview #44

- Hardwood (fir) flooring



Overview #45

- Multiple doors not original

**Overview #46**

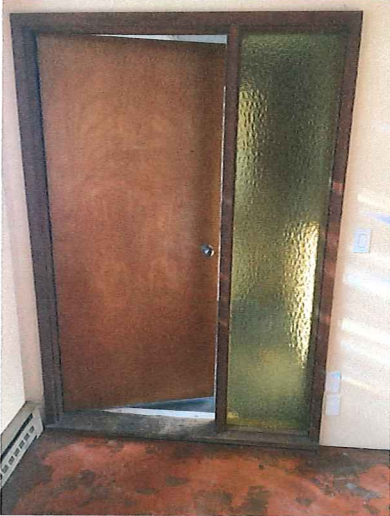
- Not ADA compliant
- Cabinets are not original

**Overview #47**

- Front column is not original

**Overview #48**

- Porch wall missing
- Plywood columns not compliant



Overview #49

- Door not original



Overview #50

- Window not original



Overview #51

- Stairway with no destination

**Overview #52**


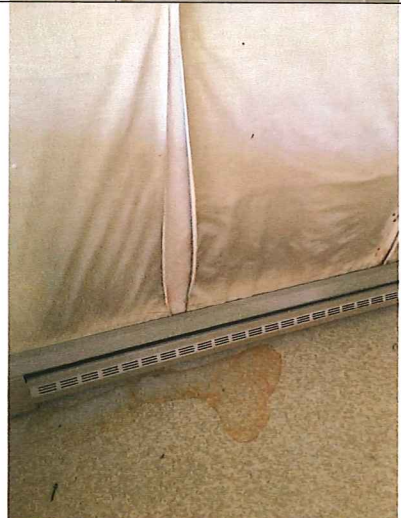

- Entry to basement
- No basement exit
- T-bar ceiling panels

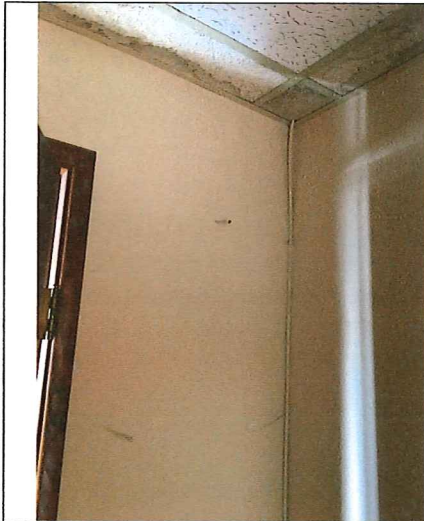
**Overview #53**

- Non-load bearing wall in basement

**Overview #54**

- Electrical panel will need additional space

	<p><u>Overview #55</u></p> <ul style="list-style-type: none">• Mold behind wall paper
	<p><u>Overview #56</u></p> <ul style="list-style-type: none">• Water damage behind wall paper
	<p><u>Overview #57</u></p> <ul style="list-style-type: none">• Closet mold has traveled under carpet







Overview #58

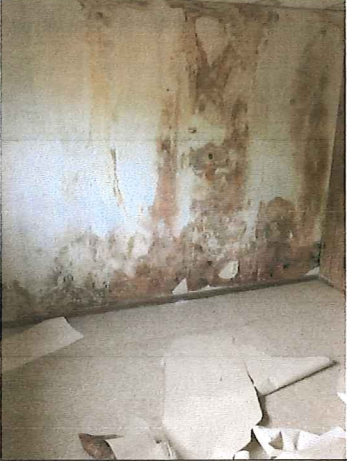



- **Water damage from improper siding installation**


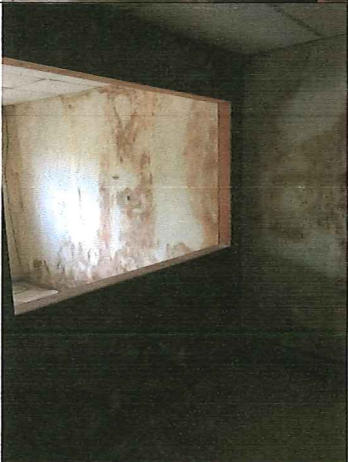








Overview #59

- **Mold and water damage due to improper water proofing**

	<p><u>Overview #60</u></p> <ul style="list-style-type: none">• Chicken wire over gusset at gable board
	<p><u>Overview #61</u></p> <ul style="list-style-type: none">• Mold behind ^{plastic} plaster wall paper
	<p><u>Overview #62</u></p> <ul style="list-style-type: none">• Mold on dry east wall
	<p><u>Overview #63</u></p> <ul style="list-style-type: none">• Mold covers entire south wall

	<p><u>Overview #64</u></p> <ul style="list-style-type: none">• Mold covers entire south wall
	<p><u>Overview #65</u></p> <ul style="list-style-type: none">• Mold on west wall
	<p><u>Overview #66</u></p> <ul style="list-style-type: none">• Mold on west wall
	<p><u>Overview #67</u></p> <ul style="list-style-type: none">• Mold behind plastic wall paper

	<p><u>Overview #68</u></p> <ul style="list-style-type: none">• Mold on inside closet
	<p><u>Overview #69</u></p> <ul style="list-style-type: none">• Mold on south wall
	<p><u>Overview #70</u></p> <ul style="list-style-type: none">• Leak in basement ceiling
	<p><u>Overview #71</u></p> <ul style="list-style-type: none">• Leakage on west ceiling

	<p><u>Overview #72</u></p> <ul style="list-style-type: none">• Leakage above hot water heater
	<p><u>Overview #73</u></p> <ul style="list-style-type: none">• Mold on inside wall in middle of house
	<p><u>Overview #74</u></p> <ul style="list-style-type: none">• Mold on south wall
	<p><u>Overview #75</u></p> <ul style="list-style-type: none">• Dry rot on front porch

	<p><u>Overview #76</u></p> <ul style="list-style-type: none">• Pillar is not touching concrete post base and is also not level
	<p><u>Overview #77</u></p> <ul style="list-style-type: none">• Steps are falling away from porch that is also falling away from house
	<p><u>Overview #78</u></p> <ul style="list-style-type: none">• Chicken wire on gusset holding gable and board
	<p><u>Overview #79</u></p> <ul style="list-style-type: none">• Chicken wire on gusset holding gable end and board at dormer

	<p><u>Overview #80</u></p> <ul style="list-style-type: none">• Holes in foundation where windows were installed have no structural support
	<p><u>Overview #81</u></p> <ul style="list-style-type: none">• Driveway is 13' wide and has trip hazards
	<p><u>Overview #82</u></p> <ul style="list-style-type: none">• Access to basement is not original• Stairs protrude onto concrete driveway



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

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DECISION, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE DEMOLITION OF A HISTORIC RESOURCE AT 180 NE 7th STREET

DOCKET: HL 9-18

REQUEST: The applicant has submitted a Certificate of Approval application to request the demolition of a historic resource that is listed on the Historic Resources Inventory.

LOCATION: The subject site is located 180 NE 7th Street, and is more specifically described as Tax Lot 100, Section 20AD, T. 4 S., R. 4 W., W.M.

ZONING: The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).

APPLICANT: Harold Washington (applicant and owner)

STAFF: Chuck Darnell, Senior Planner

DATE DEEMED COMPLETE: October 2, 2018

DECISION-MAKING BODY: McMinnville Historic Landmarks Committee

DATE & TIME: October 22, 2018. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128.

PROCEDURE: The structure proposed to be demolished is designated as a "Contributory" historic resource (Resource C334), and is therefore subject to the Certificate of Approval demolition review process required by Section 17.65.050 of the McMinnville City Code.

CRITERIA: The applicable criteria are in Section 17.65.050(B) of the McMinnville City Code.

APPEAL: The decision may be appealed to the Planning Commission within 15 days of the date the decision is mailed as specified in Section 17.65.080(A) of the McMinnville City Code.

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Fire Department, Police Department, Engineering Department, Building Department, Parks Department, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County Public Works; Yamhill County Planning Department; Frontier Communications;

Attachments:
Attachment 1 – Certificate of Approval Application

Comcast; and Northwest Natural Gas. Their comments are provided in this exhibit.

DECISION

Based on the findings and conclusions, the Historic Landmarks Committee **DENIES** the demolition of the historic resource at 180NE 7th Street (Resource C334).

DECISION: DENIAL

Historic Landmarks Committee: _____
Joan Drabkin, Chair

Date: _____

Planning Staff: _____
Chuck Darnell, Senior Planner

Date: _____

Planning Department: _____
Heather Richards, Planning Director

Date: _____

Attachments:
Attachment 1 – Certificate of Approval Application

APPLICATION SUMMARY:

The applicant, Harold Washington, submitted a Certificate of Approval application to request the demolition of a historic resource that is listed on the Historic Resources Inventory. The subject property is located at 180 NE 7th Street, and is more specifically described as Tax Lot 100, Section 20AD, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource relates to the structure itself. The structure, which was constructed as a single family home but was converted internally into office uses, is located north of the downtown core of McMinnville on the southwest corner of the intersection of NE Baker Street and NE 7th Street. The structure is designated as a “Contributory” historic resource (Resource C334), which is the third tier (out of four tiers) of historic resources on the Historic Resources Inventory. The statement of historical significance and description of the property, as described in the Historic Resources Inventory sheet, is as follows:

This one and a half story bungalow is being remodeled into business offices. One enters the north on red brick steps to a full-width porch which is under the extending roof. Two boxed pillars support the porch overhang on either corner and there is a low railing on either side of the entrance.

The front dormer has three windows and shed roof. The back dormer extends and is flush with the first story wall.

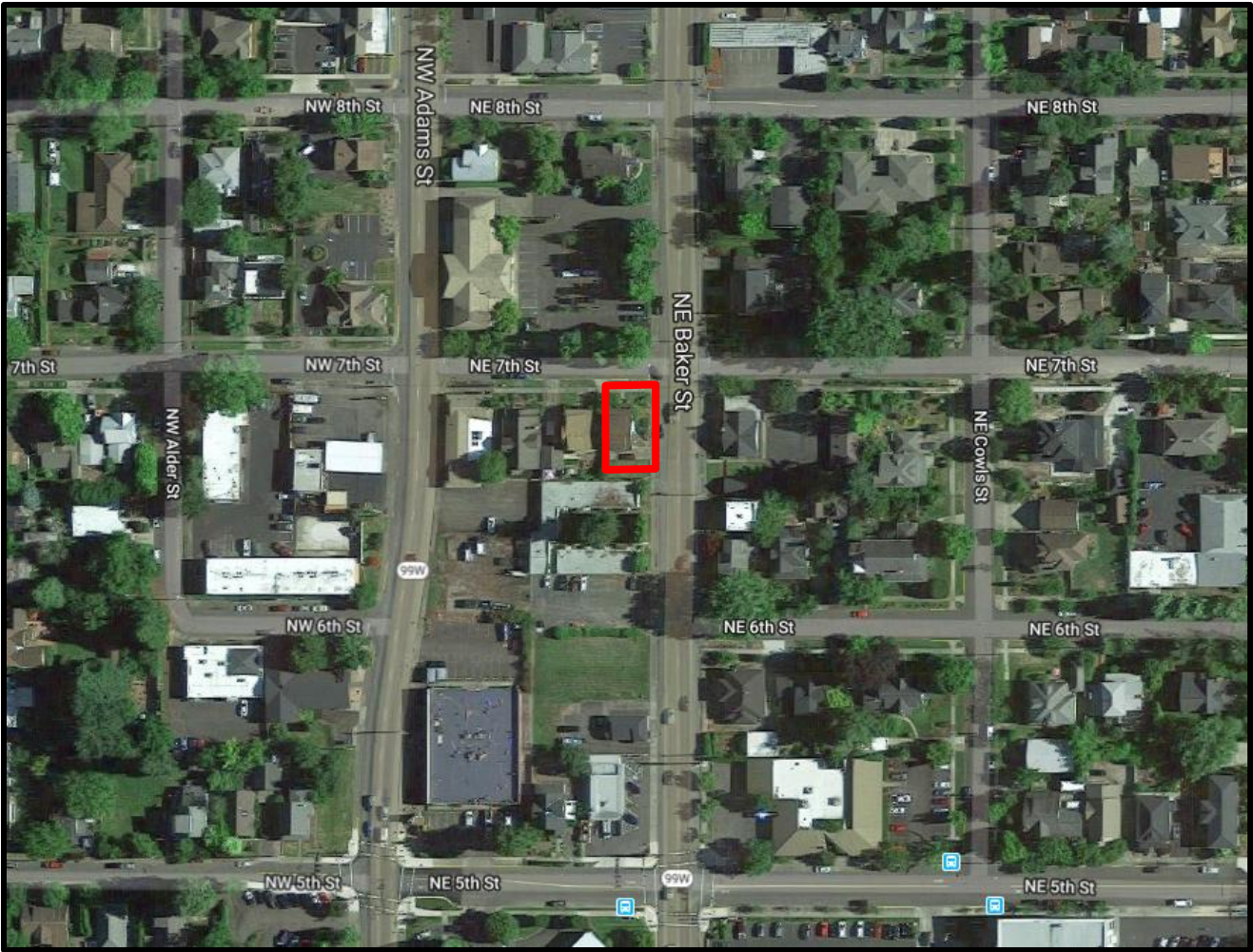
Beveled siding has been used with corner boards. There are roof brackets and exposed rafters.

On the east side, there is a rectangular bay with a shed roof. Fenestration is not regular. Cornice moulding is found on the windows.

The Historic Resources Inventory sheet for the resource does not include the year of original construction. However, upon further analysis of Sanborn maps for the area, the structure appears to have been constructed sometime between 1912 and 1928.

Chapter 17.65 (Historic Preservation) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to demolish any historic resource.

The current location of the historic resource is identified below (outline of property is approximate):

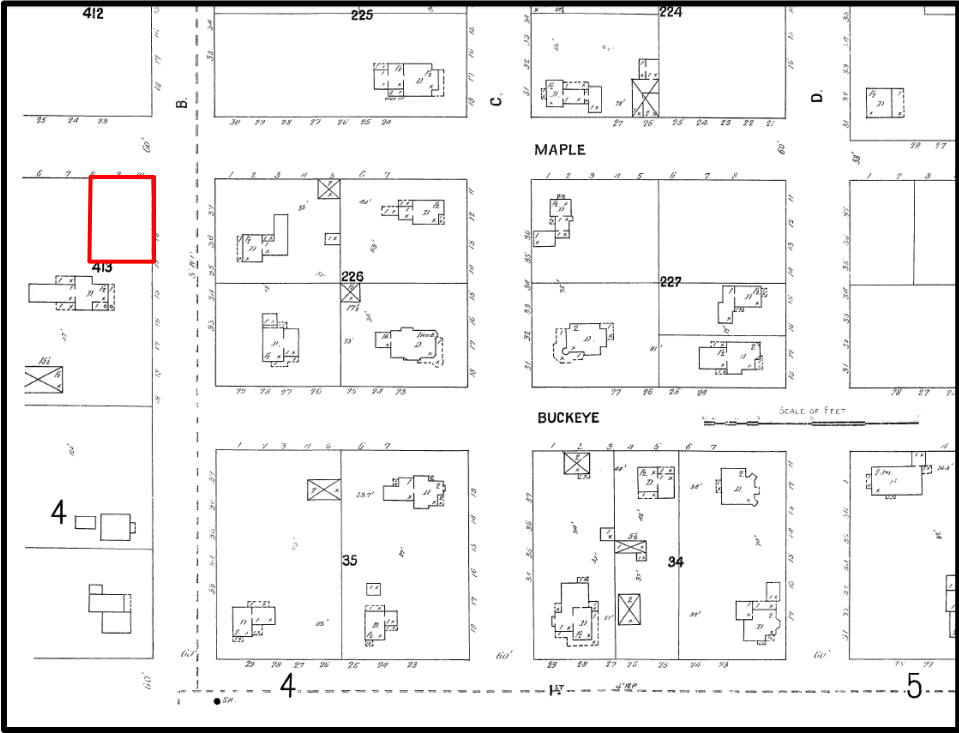


The structure as it exists today can be seen below:

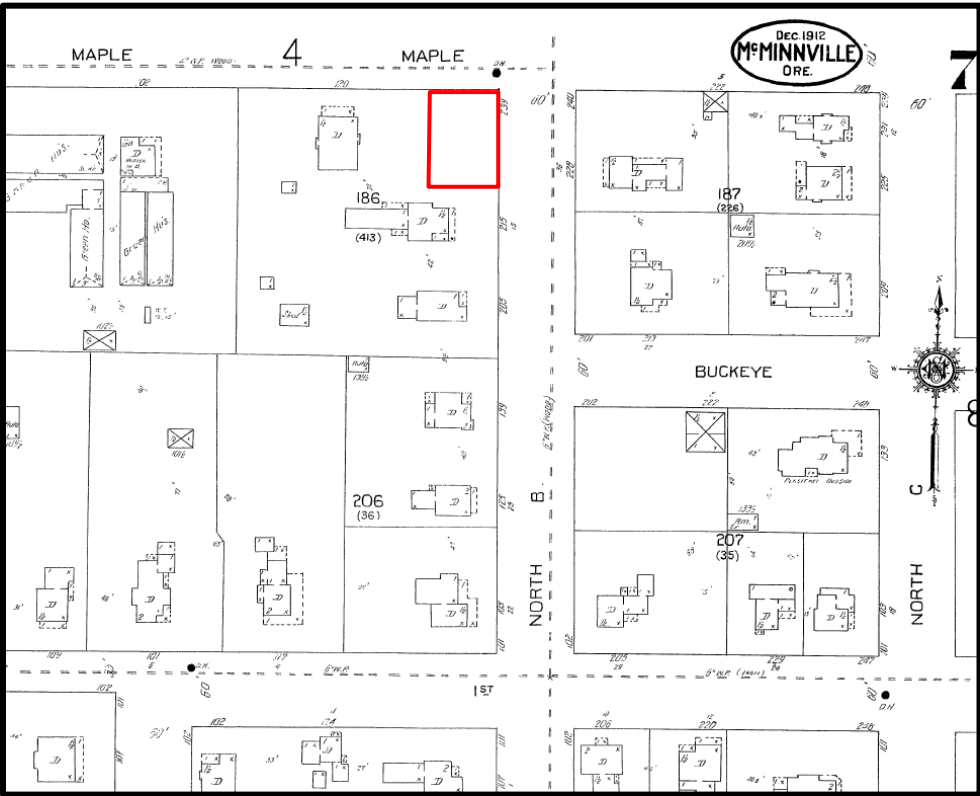


The Sanborn maps showing the property are also identified below (outlines of property are approximate):

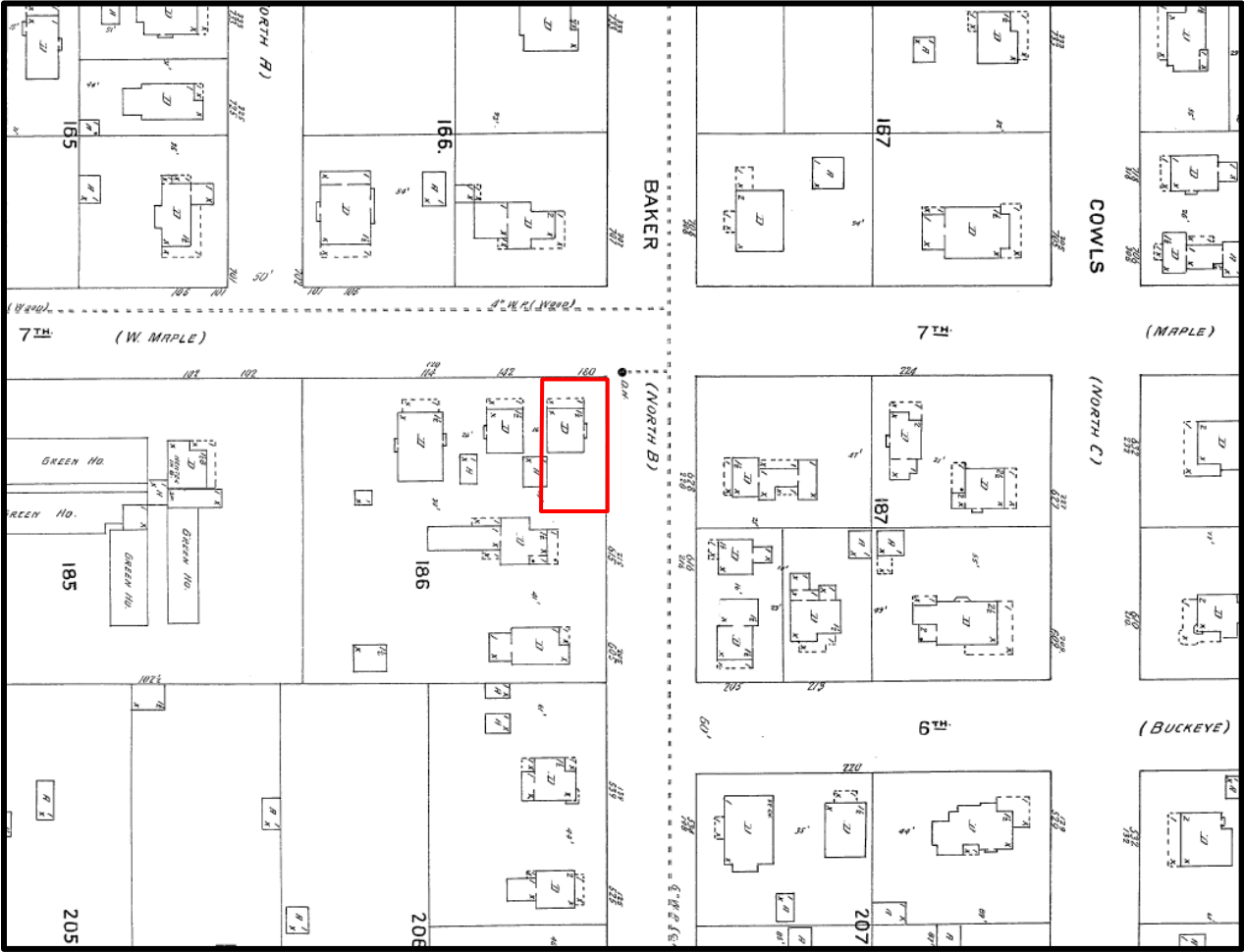
1902 Sanborn Map (Sheet 2):



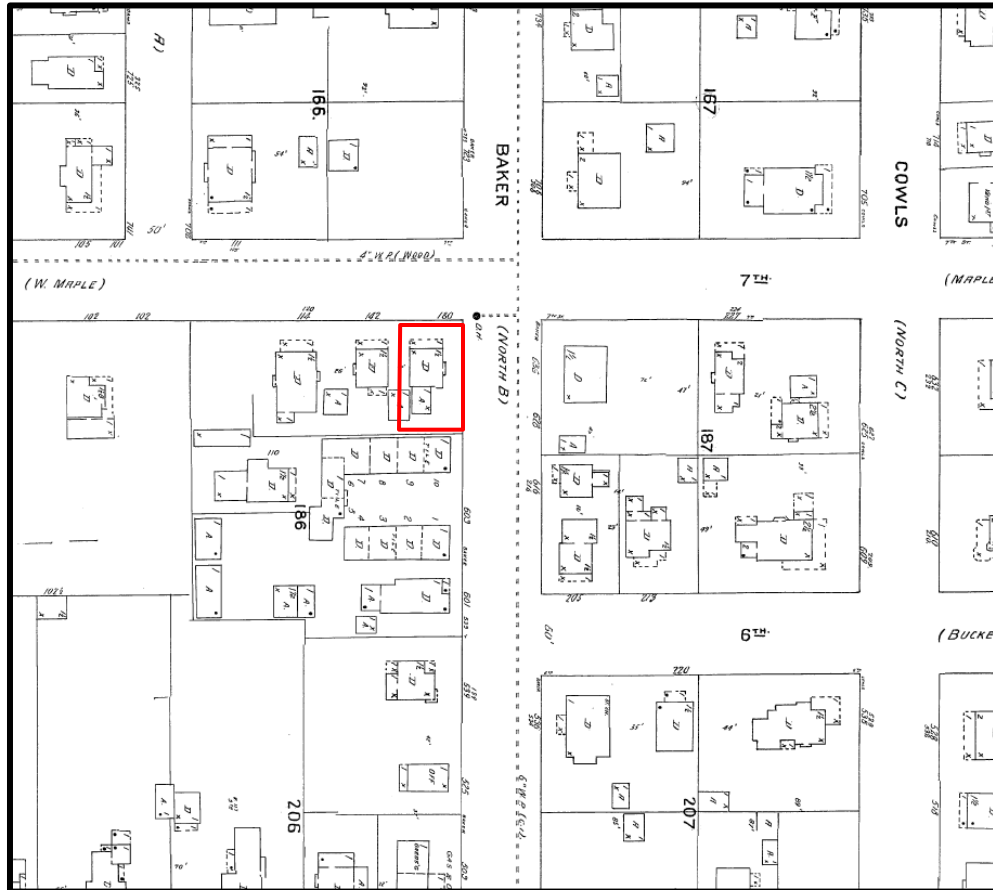
1912 Sanborn Map (Sheet 7):



1928 Sanborn Map (Sheet 10):



1945 Sanborn Map (Sheet 10):



CONDITIONS:

None.

ATTACHMENTS

1. Certificate of Approval Application (on file with the Planning Department)

COMMENTS

Agency Comments

This matter was referred to the following public agencies for comment: McMinnville Fire Department, Police Department, Engineering Department, Building Department, Parks Department, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County Public Works; Yamhill County Planning Department; Frontier Communications; Comcast; and Northwest Natural Gas. The following comments had been received:

- McMinnville Engineering Department:

We have reviewed proposed HL 9-18, and do not have any comments.

Attachments:

Attachment 1 – Certificate of Approval Application

Public Comments

Public notice was mailed to owners of properties within 300 feet of the subject site, as required by Section 17.65.070(C) of the McMinnville City Code. The Planning Department has not received any public testimony prior to the public meeting.

FINDINGS OF FACT

1. Harold Washington submitted a Certificate of Approval application to request the demolition of a historic resource that is listed on the Historic Resources Inventory. The subject property is located at 180 NE 7th Street, and is more specifically described as Tax Lot 100, Section 20AD, T. 4 S., R. 4 W., W.M.
2. The historic resource is designated on the Historic Resources Inventory as a “Contributory” resource, and has the resource number of C334.
3. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
4. Notice of the demolition request was provided to property owners within 300 feet of the subject site. The Planning Department received no public testimony prior to the public meeting.
5. A public meeting was held by the Historic Landmarks Committee on October 22, 2018 to review the proposal.
6. The applicant has submitted findings (Attachment 1) in support of this application. Those findings are herein incorporated.

CONCLUSIONARY FINDINGS

McMinnville’s Comprehensive Plan:

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.

Finding: Goal III 2 is not satisfied by the proposal. The focus of the comprehensive plan goal is to restore and preserve structures that have special historical or architectural significance. A demolition clearly does not meet that intent. The Historic Landmarks Committee, after reviewing the evidence and hearing the public testimony, decided that other criteria for the consideration of the demolition were not met and therefore the demolition was denied.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Attachments:

Attachment 1 – Certificate of Approval Application

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.65.040 Certificate of Approval Process. A property owner shall obtain a Certificate of Approval from the Historic Landmarks Committee, subject to the procedures listed in Section 17.65.050 and Section 17.65.060 of this chapter, prior to any of the following activities:

- A. The alteration, demolition, or moving of any historic landmark, or any resource that is listed on the National Register for Historic Places;
 - 1. Accessory structures and non-contributing resources within a National Register for Historic Places nomination are excluded from the Certificate of Approval process.
- B. New construction on historical sites on which no structure exists;
- C. The demolition or moving of any historic resource.

Finding: Section 17.65.040 is satisfied. The applicant submitted an application for a Certificate of Approval to request the demolition of the structure, which is listed on the Historic Resources Inventory as a "Contributory" historic resource per Section 17.65.040(C).

17.65.050 Demolition, Moving, or New Construction. The property owner shall submit an application for a Certificate of Approval for the demolition or moving of a historic resource, or any resource that is listed on the National Register for Historic Places, or for new construction on historical sites on which no structure exists. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040 of the McMinnville Zoning Ordinance. The Historic Landmarks Committee shall meet within thirty (30) days of the date the application was deemed complete by the Planning Department to review the request. A failure to review within thirty (30) days shall be considered as an approval of the application.

- A. The Historic Landmarks Committee may approve, approve with conditions, or deny the application.

Finding: Section 17.65.050(A) is satisfied. The Historic Landmarks Committee, after reviewing the request during a public meeting and offering an opportunity for public testimony, decided to deny the demolition request and Certificate of Approval.

- B. The Historic Landmarks Committee shall base its decision on the following criteria:
 - 1. The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

Finding: Section 17.65.050(B)(1) is not satisfied. The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation ordinance includes the following:

Attachments:

Attachment 1 – Certificate of Approval Application

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. A demolition clearly does not meet that intent. The Historic Landmarks Committee, after reviewing the evidence and hearing the public testimony, decided that other criteria for the consideration of the demolition were not met and therefore the demolition was denied.

2. The economic use of the historic resource and the reasonableness of the proposed action and their relationship to the historic resource preservation or renovation;

Finding: The historic resource was originally constructed as a single family home, but in the 1980s was remodeled and converted to commercial office uses. The building was leased out to individual businesses periodically since the time it was converted to office uses. The applicant has provided the most recent property tax information, which show a real market total value of \$204,250 in the 2017 tax year. The real market value of the building on the subject property is shown at \$101,663 in the 2017 tax year. The applicant has stated that the “only economic use of this Historic Resource as it exists today is the fact that it creates a minimal amount of tax income” and that the applicant would be “improving the property values of this property through the demolition of this building and the adjacent ten-plex structure in order to develop the new multi-tenant building and parking lot”.

The applicant has also stated in their narrative that “There is no current economic use of the property as it exists today due to the current deterioration of the building as it stands” and that the resource “cannot be reasonably preserved or renovated”. These statements are based on the condition of the structure and the estimated cost to renovate the structure. The applicant has provided cost estimates for the renovation of the structure, as well as for the demolition of the existing structure and replacement with a similar structure. It should be noted that the cost estimate for the replacement of the structure, and the narrative that speaks to the replacement, assumes that the demolition of the existing structure would be approved. However, the applicant has stated in their application and narrative that they have no intention of replacing the structure, should the demolition request be approved. Their intention, as shown in the “proposed use” site plan, is to construct a surface parking lot with 5 parking spaces that would connect to the surface parking lot on the property to the south (which is proposed to be redeveloped into office use).

Therefore, the cost estimate to renovate the existing structure was analyzed and considered in terms of the economic use of the historic resource and the reasonableness of the proposed action. The renovation cost estimate provides line item estimates for a variety of work, which totals up to \$517,200. The cost estimate includes another approximate cost of work of between \$510,000 and \$575,000, which may include administrative costs (which were estimated at \$50,000). Some of the larger line items are related to the deteriorated conditions of the existing structure. Those larger line items include new plumbing (\$62,000), new electrical (\$48,500), installation of new Hardie siding (\$41,000), removal of existing flooring and repair and replacement of flooring as necessary (\$39,500), removal and disposal of existing drywall, lathe and plaster (\$27,000), installation of perforated pipe to improve drainage around the structure (\$26,000), foundation repairs due to dry rot (\$25,000), new drywall (\$24,000), and repair and installation of new subwalls (\$21,000).

The Historic Landmarks Committee found that the economic costs to renovate the structure were significant. However, while the cost estimates provided are significant, they do represent the fact that reinvestment in the existing structure could bring it back into usable commercial space. If the structure

Attachments:

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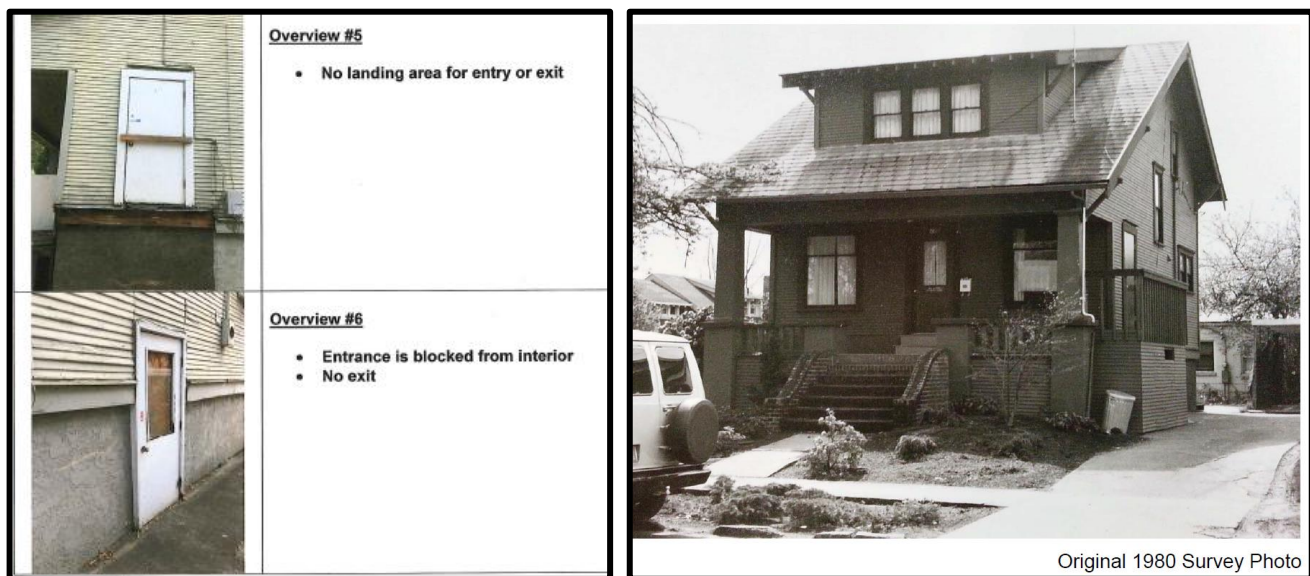
was preserved and renovated, the historic resource could again provide leasable space for commercial uses or be used for other uses allowed in the C-3 zoning district (such as short term rentals or multifamily housing). The Historic Landmarks Committee found that other review criteria, as described in more detail below, were more influential and outweighed the potential economic impacts of renovating the historic resource.

3. The value and significance of the historic resource;

Finding: Section 17.65.050(B)(3) is not satisfied. The applicant stated in their application that the historic resource is “considered Contributory and is not within the downtown core boundary”. Other statements throughout the applicant’s findings and narrative related to this review criteria are that the “building is not a unique structure”, “has been modified into a multi-use building and no longer represents its original historical attraction”, “has never been listed as a public building”, and “is NOT listed on the National Registry of Yamhill County”.

While the structure is not listed on the National Register of Historic Places, the structure is listed on the McMinnville Historic Resources Inventory as a contributory resource. Properties that are listed on the Historic Resources Inventory are not identified in any type of document recorded against the property records, but the property owner at the time of listing in 1987 would have been notified of the listing. As the property changed ownership, it becomes a responsibility of the new owner to verify the status of the property with the City of McMinnville Planning Department as part of their due diligence in the purchase of the property.

The structure was already being remodeled into business offices at the time of its listing on the Historic Resources Inventory, and included some of the exterior additions and entrances referred to in the applicant’s narrative and shown in the photos, as seen below:



The significant historic and architectural features that were described in the statement of historical significance on the Historic Resources Inventory sheet still exist on the historic resource today. Those include the “red brick steps” leading to the “full-width porch which is under the extending roof”, “boxed pillars” on the porch, a “front dormer” with “three windows and shed roof”, a “rectangular bay with a shed roof” on the east side of the structure, a “back dormer” that “extends and is flush with the first story wall”, “beveled siding... with corner boards”, and roof brackets.

The applicant has noted that some of these features have deteriorated or been changed. Wooden handrails have been added to the red brick steps leading to the porch. The applicant has stated that

Attachments:

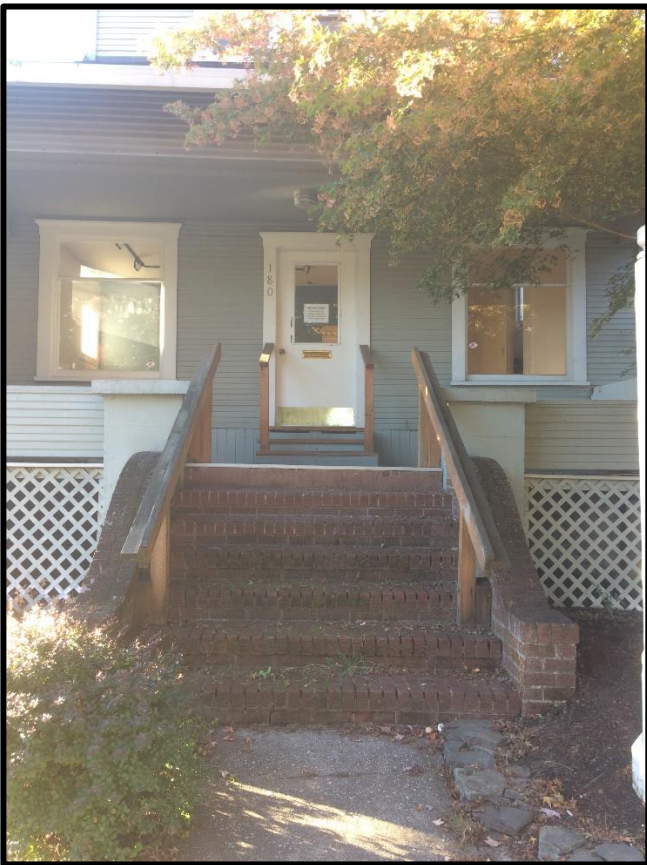
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the original pillars on the porch were round, but were boxed in at a later date. The beveled siding is still in place, but is in poor condition. The applicant also noted that the roof brackets as they were described in the Historic Resources Inventory sheet are not actually roof brackets, but are gussets to support the roof. However, these features still exist today and contribute to the character and significance of the historic resource. The boxed pillars existed at the time of the listing of the structure on the Historic Resources Inventory. The roof brackets, or gussets, are still in place and provide the decorative roof bracket feature that is evident on many Craftsman bungalows in McMinnville, even if they are not true, functional roof brackets. The overall form of the structure is still almost entirely the same, including the front dormer with a shed roof, a rectangular bay with a shed roof on the east side of the structure, and the back dormer that extends and is flush with the first story wall.

Historic resource as it existed in 1980 and currently (2018):



Close up views of the existing condition of overall architectural form and historic details including “red brick steps”, “full-width porch which is under the extending roof”, “boxed pillars” on the porch, a “front dormer” with “three windows and shed roof”, a “rectangular bay with a shed roof” on the east side of the structure, and a “back dormer” that “extends and is flush with the first story wall”:





Due to the overall architectural form and more detailed historic features still being in place, the Historic Landmarks Committee found that the demolition proposal does not satisfy this review criteria, as the historic resource still retains much of the significance and historical value that existed at the time the resource was listed on the Historic Resources Inventory.

4. The physical condition of the historic resource;

Finding: The applicant provided photos serving as evidence of the existing physical condition of the historic resource. The structure has deteriorated due to failure to maintain the exterior and interior of the structure, and there are also some additions and renovations that may have been completed improperly. On the exterior of the structure, photos were provided showing damaged siding, rot damage in some of the wood features in the stairs, porch walls, and doors. Some of the additions to the main structure, such as stairs serving added entries, are in poor condition with wood rot and are separating from the main building. Photo #24 and photo #77 state that the front porch is not connected to the main structure and that the red brick steps are falling away from the porch.

There are also photos that the applicant provided as evidence of the poor physical condition of the interior of the building. There appears to be mold in many areas in the basement and potential water damage in some of the walls and ceilings, which could be the result of improper drainage on the site and around the foundation of the building. Much of the interior of the building has been altered and

Attachments:

Attachment 1 – Certificate of Approval Application

remodeled in a manner that is not consistent with the historical period of construction and there does not appear to be any original materials on the interior of the building.

The Historic Landmarks Committee found that the current physical condition of the historic resource is poor, but the overall architectural form and more detailed historic features that existed at the time the resource was listed on the Historic Resources Inventory are still in place. While there are issues with the interior of the building, there are no standards in place in the City's Historic Preservation requirements (Chapter 17.65) that require any particular form of construction or design on the interior of a historic resource. The historic resource is also a contributory resource, so there is no requirement that the renovation of the structure meet any Historic Preservation design standards or requirements in Section 17.65.060 of the McMinnville City Code. The Historic Landmarks Committee found that it is likely that the interior of the building would require a complete remodel with the removal and replacement of much of the building materials and finishes, but most of the work could be completed and still preserve the overall exterior architectural form of the structure that still exists today.

Many of the issues on the interior that the applicant describes and shows with photos as being more extensive, such as mold and water damage, could be addressed by, first improving the exterior of the building as described in the renovation cost estimate provided (replacing siding and doors properly and directing water away from the foundation – photo #13 stated that drainage was not connected), and then remodeling the interior of the building. Other exterior improvements that were included in the renovation cost estimate, such as shoring of foundation walls, waterproofing, and installation of perforated pipe would prevent further damage and significantly improve the physical condition of the historic resource. There is also a potential for the additions to the property, such as the stairs from added entries and exits that are separating from the building, being removed and the entries or exits being closed as other renovations occurred.

Therefore, the retention of the overall architectural form and historic features was found to outweigh the fact that the physical condition of some of those features has deteriorated.

5. Whether the historic resource constitutes a hazard to the safety of the public or its occupants;

Finding: Section 17.65.050(B)(5) is not satisfied. The applicant argued that the historic resource's "physical condition including additions and modifications are a safety hazard as these elements are separating from the original structure" and also that the resource "has become a structural hazard to fire, life and safety". The applicant references the photos of the existing physical condition of the property to support their argument that the physical condition is creating a safety hazard. The applicant provided evidence from their insurance company, PayneWest Insurance, showing that they will not provide building coverage due to the non-acceptability of the structure due to underwriting guidelines.

The building is currently sitting vacant, so does not constitute a hazard to its occupants. However, the applicant did not provide much findings for how the historic resource constitutes a hazard to the safety of the public. The applicant did state that they have "had to call the police to remove transients numerous times". Other than that issue, which could be addressed with more secure entrances and exits, it is unclear from the materials provided whether the historic resource constitutes an immediate hazard to the safety of the public. If the property owner invested the amount necessary to restore or reconstruct the existing structure, even at a minimum to better secure the structure and stabilize the additions separating from the structure, the potential public safety hazard would no longer exist. Therefore, the Historic Landmarks Committee finds that the current potential hazards could be mitigated and do not warrant a demolition of the historic resource.

6. Whether the historic resource is a deterrent to an improvement program of substantial benefit to the City which overrides the public interest in its preservation;

Attachments:

Attachment 1 – Certificate of Approval Application

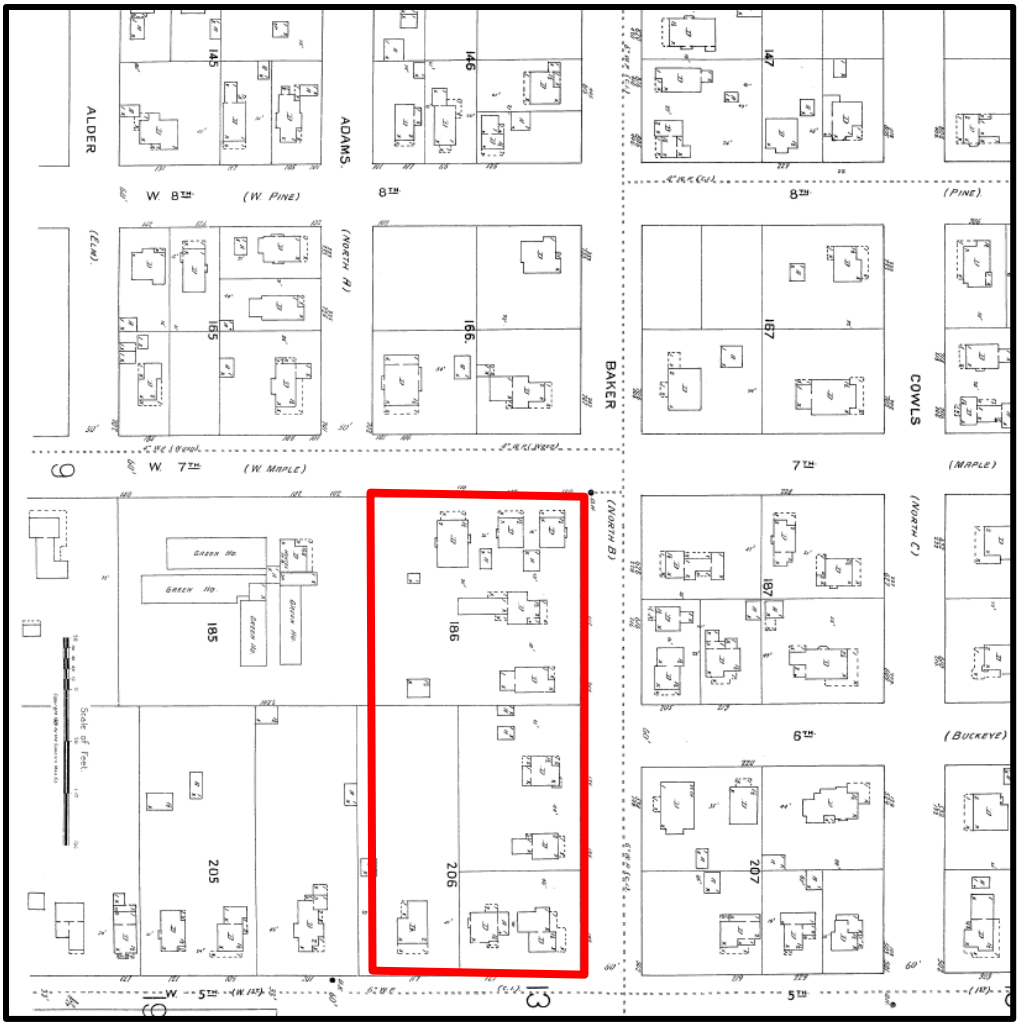
Finding: The historic resource in question is not a deterrent to an improvement program, so this criteria is not applicable.

7. Whether retention of the historic resource would cause financial hardship to the owner not outweighed by the public interest in the resource's preservation; and

Finding: Section 17.65.050(B)(7) is not satisfied. The applicant has expressed concern that the retention of the historic resource would cause financial hardship. As described in more detail above, the applicant is arguing that the level of investment required for the historic resource to be rehabilitated is not economically feasible and would cause financial hardship.

While the cost estimates provided are significant, they do represent the fact that reinvestment in the existing structure could bring it back into usable commercial space. If the structure was preserved and renovated, the historic resource could again provide leasable space for commercial uses or be used for other uses allowed in the C-3 zoning district (such as short term rentals or multifamily housing). This would preserve the historic resource, but would also provide public benefit in the retention of a historic resource for continued use, providing economic benefits.

As described in more detail above, the Historic Landmarks Committee found that the historic resource does still retain much of the overall architectural form and historic detailing that existed at the time the structure was listed on the Historic Resources Inventory. Also, the historic resource in question is located in an area that was originally constructed with other residential homes of a particular architectural form and character. The two properties immediately to the west of the subject historic resource, at 142 NE 7th Street and 114 NE 7th Street, are also listed as contributory historic resources on the Historic Resources Inventory (resource numbers C331 and C328, respectively). These historic resources were constructed in the same time period, with the property immediately adjacent to the west, at 142 NE 7th Street, first being shown on the Sanborn maps in 1928, the same year that the historic resource in question was shown. The structure immediately adjacent to the west was also constructed in almost the exact same architectural form as the historic resource proposed to be demolished, with a full-width front porch under an extended roof, pillars supporting each end of the front porch, a front dormer with shed roof and three windows, and a back dormer that is flush with the first story wall. This row of three bungalows with Craftsman architectural form and features, all of which are listed on the Historic Resources Inventory, creates a continuity of historic resources in an area that is void of many other buildings with historic character. From the 1928 Sanborn map, the block that the historic resource in question is located on appears to have previously contained more structures of a similar size as the remaining historic resources on the south side of NE 7th Street. The 1928 Sanborn map can be seen below (outline of the block in question is approximate):



Photos of the historic resources that contribute to the historic character of the block are provided below:



The Historic Landmarks Committee has found that the resource being preserved would be in the public interest due to the historic resource's retention of its historic significance and value in terms of its architectural form and historic character (as described in findings for the review criteria in Section 17.65.060(B)(4)), the contribution to the historic character of the block on which the resource is located with the existing historic resources constructed and appearing visually to be historic single family homes, the preservation of a historical development pattern in this area, and the preservation of the structure for continued economic use if it were renovated, and that these public interests outweigh the

Attachments:

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financial impacts of the property owner in renovating the structure.

8. Whether retention of the historic resource would be in the best interests of a majority of the citizens of the City, as determined by the Historic Landmarks Committee, and, if not, whether the historic resource may be preserved by an alternative means such as through photography, item removal, written description, measured drawings, sound retention or other means of limited or special preservation.

Finding: Section 17.65.050(B)(8) is satisfied in that the Historic Landmarks Committee has found that retention of the historic resource would be in the best interests of a majority of the citizens of the City of McMinnville. The structure is designated on the Historic Resources Inventory, which does show that the structure provides benefit to the overall historic character and history of the City of McMinnville. As stated in more detail in findings for other review criteria above, the Historic Landmarks Committee found that the existing historic resource still retains much of the historic significance and value in terms of its architectural form and historic character (Section 17.65.050(B)(4)), that the current potential safety hazards could be mitigated through investment and renovation (Section 17.65.050(B)(5)), and that the benefits to the public interests from retention of the historic resource outweigh the financial impacts of the property owner in renovating the structure (Section 17.65.050(B)(7)).

17.65.070 Public Notice.

- A. After the adoption of the initial inventory, all new additions, deletions, or changes to the inventory shall comply with subsection (c) of this section.
- B. Any Historic Landmark Committee review of a Certificate of Approval application for a historic resource or landmark shall comply with subsection (c) of this section.
- C. Prior to the meeting, owners of property located within 300 feet of the historic resource under consideration shall be notified of the time and place of the Historic Landmarks Committee meeting and the purpose of the meeting. If reasonable effort has been made to notify an owner, failure of the owner to receive notice shall not impair the validity of the proceedings.

Finding: Section 17.65.070(B) and Section 17.65.070(C) are satisfied. Notice of the Historic Landmarks Committee's consideration of the Certificate of Approval application was mailed to property owners located within 300 feet of the historic resource. A copy of the written notice provided to property owners is on file with the Planning Department.

CD:sjs



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

EXHIBIT 2 - STAFF REPORT

DATE: October 22, 2018
TO: Historic Landmarks Committee Members
FROM: Chuck Darnell, Senior Planner
SUBJECT: HL 10-18 – 219 SE Lincoln Street

Report in Brief:

This is the consideration of a Certificate of Approval for exterior alterations to a historic landmark located at 219 SE Lincoln Street. The subject property is listed on the McMinnville Historic Resources Inventory as a Significant resource (resource number B430).

A Certificate of Approval is a decision issued by the Historic Landmarks Committee to approve the alteration, demolition or moving of a historic resource or landmark. An alteration is the addition to, removal of, removal from, or physical modification and/or repair of any exterior part or portion of an historic resource that results in a change in design, materials or appearance. Painting, reroofing, and general repairs are not alterations when the new materials and/or colors match those already in use.

Historic landmarks are any historic resource which is classified as “Distinctive” or “Significant” on the McMinnville Historic Resources Inventory.

Section 17.65.060 of the McMinnville City Code provides the criteria for which the Historic Landmarks Committee must make a decision about approving a Certificate of Approval for the exterior alteration of a historic resource.

Background:

Terry Hall, on behalf of property owner Jeff Sauter, submitted a Certificate of Approval application to request exterior alterations to a residential building that is listed on the McMinnville Historic Resources Inventory as a Significant resource (B430). The subject property is located at 219 SE Lincoln Street, and is more specifically described as Tax Lot 5000, Section 21CB, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource is associated with the structure and the original owner of the building. The statement of historical significance and description of the property, as described in the Historic Resources Inventory sheet, is as follows:

This two-story gabled rural vernacular structure is built on a Latin cross plan with an encircling porch and other detailing showing influence from Queen Anne eclecticism. The siding is “drop” siding except for the upper gables above the windows which are shingled in courses of diamond and imbricated patterns. The central chimney has a corbelled cap. The shed porch roof forms

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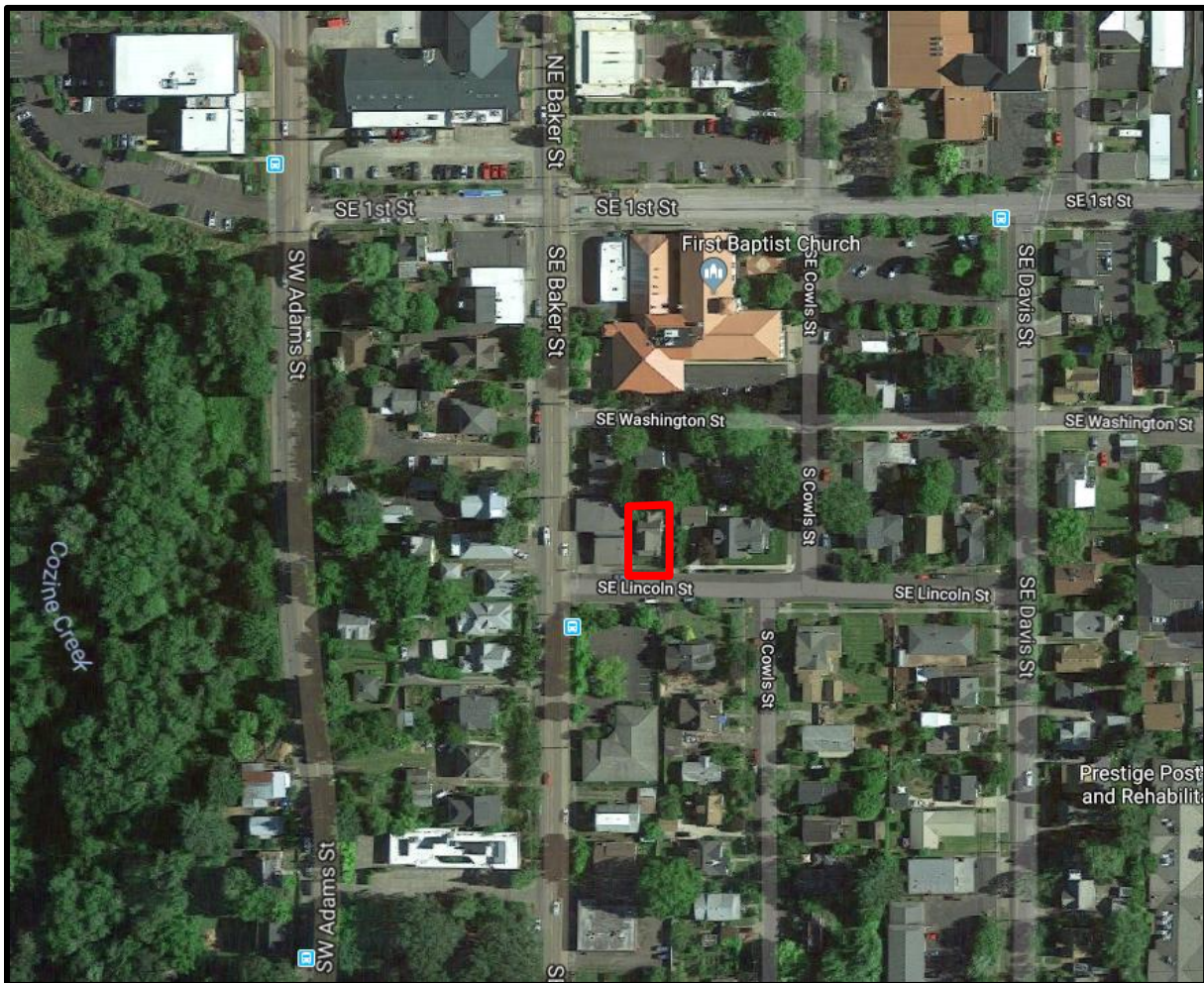
a pediment with fan detail over the porch steps. The detailed porch frieze includes small scroll brackets.

The eaves are boxed with vergeboards, ends rounded as if knobs. The porch railing of simple square section spindle is missing except for the east side sections. Windows are predominately double hung 1/1 with a large fixed sash window on the first story street façade. This window as well as the paneled door windows have single stained (colored) glass side lights. Door and window frames have a single cornice cap except where belt boards form the upper frame member.

Julia Gault and her husband built this house.

Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is considered a historic landmark and/or listed on the National Register of Historic Places as a contributing resource. Since the subject property is classified as a historic landmark, the Certificate of Approval review is required.

The current location of the historic landmark is identified below (outline of property is approximate):



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Discussion:

The applicant is requesting that the Historic Landmarks Committee approve a Certificate of Approval to allow for the alteration landmark. More specifically, the applicant is proposing to complete the following work: "Replacing rotted or missing railing on wraparound porch".

The photo from the time of the survey of the building that led to it being listed on the Historic Resources Inventory, as shown in the Historic Resources Inventory sheet, is provided below:

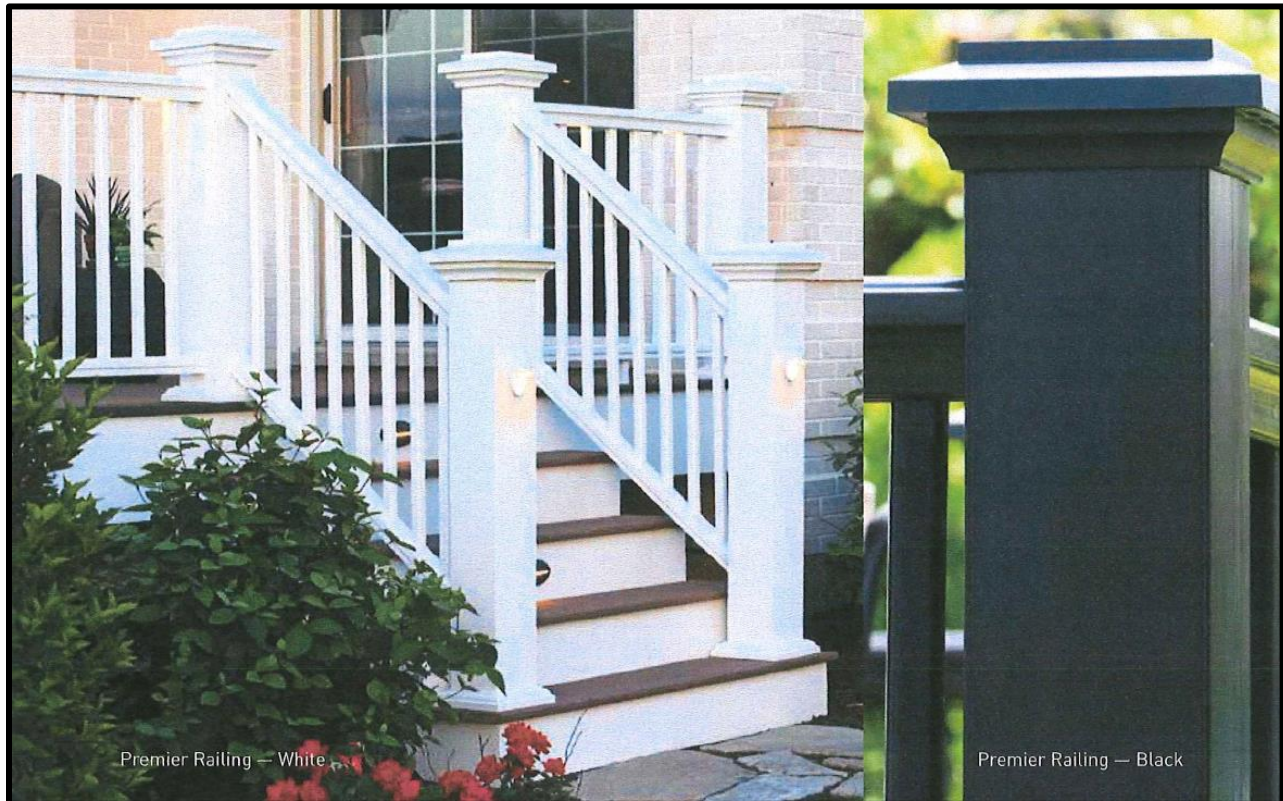


More recent photos of the building, with a close up view of the porch, as it exists today can be seen below:

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The applicant is proposing to reconstruct a railing around the wraparound porch, but with a material other than the original wood material that exists in other areas of the porch. The building material and product being proposed is an engineered, polymer composite material that has a profile similar to more decorative wood railings, and is proposed to be constructed to meet building code requirements as the existing porch varies in height between 32 and 36 inches. An example of the material can be seen below:



The Historic Landmarks Committee's responsibility regarding this type of application is to hold a public meeting to review the request to alter the structure. Property owner notices were provided to owners of property within 300 feet of the subject site, consistent with Section 17.65.070 of the McMinnville City Code. During the public meeting, the Historic Landmarks Committee Chair may provide an opportunity for public testimony on the application, should any member of the public wish to testify.

Certificate of Approval Review

In reviewing a request for an alteration of a historic resource, the Historic Landmarks Committee must base its decision on the following criteria, as described in Section 17.65.060(B) of the McMinnville City Code:

- (1) The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

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The purpose of the Historic Preservation chapter, in Section 17.65.010 of the McMinnville City Code, includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to protect the overall historic form and character of the historic landmark by repairing the porch and railing that is in poor condition or completely missing. This will stabilize and improve the property's value, and will foster civic pride in the historic landmark as it does not result in any removal of any of the historic architectural details still existing on the historic landmark. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation chapter are satisfied by the proposal.

(2) The following standards and guidelines:

- a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

The property has historically been used residentially, and is still occupied as a single family home. The porch as it exists today is missing railing around all but the east side of the porch. However, the applicant has stated that there is evidence in the mail support columns on the remainder of the wraparound porch that at one time a railing was connected to the columns around the entire porch. Since that time, section of the railing have been removed. There is no intention to change the use of the historic landmark in any way, and the proposed addition of railing around the entire wraparound porch will restore a residential feature that appears to have been removed at some point in the past.

- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

This criteria describes the need to avoid the replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships. In the case of the wraparound porch, much of the historic materials have already been removed. The railings around all but a short section of the east side of the home have been removed, and were already missing at the time the historic landmark was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987. Therefore, these specific historic materials no longer exist. The applicant has stated that the portion of the railing that was still existing has rotted, and is proposing to replace those sections of railing with the same used on the remainder of the wraparound porch, which will keep a consistent form around the porch.

The replacement of the railing around the wraparound porch will not result in the loss of any feature, space, or spatial relationship that characterizes the property as a historic landmark. The overall architectural features that were noted in the Historic Resources Inventory sheet still exist today. Those features include the "two-story gabled rural vernacular" form, "shed porch roof" forming a "pediment with fan detail over the porch steps" and "detailed porch frieze" with "small scroll brackets". The

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Historic Resources Inventory also notes that the porch railing was a “simple square section spindle” design, and again that it was “missing except for the east side sections”. The addition of railing around the wraparound porch will not remove or detract from any of these historic features.

- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

As described in more detail above, the building has overall retained much of the architectural form, features, and detailing that existed at the time the historic landmark was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987. The replacement railing materials are proposed to be visually compatible with the historic design of the front porch. The materials will be a composite polymer material, and will be white to match the existing front porch. The spindles are square, as the original porch railing was, and will be a similar height, albeit taller to meet current building code requirements. A condition of approval has been included to paint the railings the same color as the other wood on the front porch to better match the remainder of the front porch, and to prevent a sheen that may be visible based on the composite polymer material. With this condition of approval, the new features will be visually compatible and identifiable only upon close inspection, and overall the property will still be recognized in its historic form.

- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

There are no changes to the property that have acquired their own historic significance. As described in more detail above, the building has overall retained much of the architectural form, features, and detailing that existed at the time the historic landmark was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987. Also described in more detail above, most of the railing on the wraparound porch is missing, so there is no preservation that of historic materials that can occur. The replacement railing materials are proposed to be visually compatible with the historic design of the front porch, and are proposed to match the old in composition and color. The materials will be a composite polymer material, and will be white to match the existing front porch. The spindles are square, as the original porch railing was. A condition of approval has been included to paint the railings the same color as the other wood on the front porch to better match the remainder of the front porch, and to prevent a sheen that may be visible based on the composite polymer material. With this condition of approval, the new features will match the old in composition, color, and texture, but not in physical material.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

This criteria is not applicable, as there are no chemical or physical treatments proposed.

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The applicant has stated that they are not aware of any known archeological resources.

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- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

The proposed alterations can most closely be considered a “Rehabilitation” of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the Interior’s Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

Some of the applicable rehabilitation guidelines for treating masonry on historic buildings are provided below:

Recommended Guideline: Replacing in kind an entire entrance or porch that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered.

As described in more detail above, most of the railing on the wraparound porch is missing, so there is no preservation that of historic materials that can occur. The replacement railing materials are proposed to be visually compatible with the historic design of the front porch, and are proposed to match the old in composition and color. The materials will be a composite polymer material, and will be white to match the existing front porch. The spindles are square, as the original porch railing was. A condition of approval has been included to paint the railings the same color as the other wood on the front porch to better match the remainder of the front porch, and to prevent a sheen that may be visible based on the composite polymer material. Therefore, the replacement material can be found to be a compatible substitute material, given that it will be visually compatible and will not detract from the overall property’s recognizable historic form.

- (3) The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource’s preservation or renovation;

The proposed alteration is reasonable, as the applicant intends to replace missing materials, and together with the condition of approval related to the finish of the railing materials, the proposed alteration will not detract from the overall property’s recognizable historic form. Therefore, the public interest is protected as the historic landmark is still retained and is still recognizable as it was when it was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987.

- (4) The value and significance of the historic resource;

The overall architectural features that were noted in the Historic Resources Inventory sheet still exist today. Those features include the “two-story gabled rural vernacular” form, “shed porch roof” forming a “pediment with fan detail over the porch steps” and “detailed porch frieze” with “small scroll brackets”. The Historic Resources Inventory also notes that the porch railing was a “simple square section spindle”

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design, and again that it was “missing except for the east side sections”. The addition of railing around the wraparound porch will not remove or detract from any of these historic features.

(5) The physical condition of the historic resource;

The historic landmark is in overall good physical condition. In the case of the wraparound porch, much of the historic materials have already been removed. The railings around all but a short section of the east side of the home have been removed, and were already missing at the time the historic landmark was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987. Therefore, these specific historic materials no longer exist. The applicant has stated that the portion of the railing that was still existing has rotted, and is proposing to replace those sections of railing with the same used on the remainder of the wraparound porch, which will keep a consistent form around the porch.

Fiscal Impact:

None.

Committee Options:

- 1) **APPROVE** the application, providing findings of fact for the required demolition review criteria.
- 2) **APPROVE** the application **WITH CONDITIONS**, providing findings of fact for the required demolition review criteria.
- 3) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

Staff recommends that the Historic Landmarks Committee approve the Certificate of Approval application (HL 10-18) with the following condition of approval.

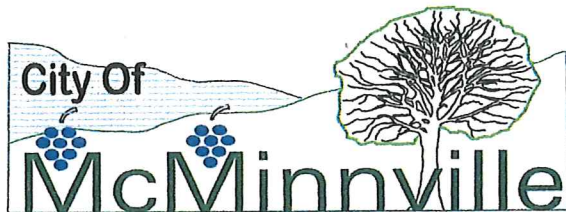
1. That the applicant shall paint the new railings the same white color as other existing porch features to match the remainder of the porch in design, color, and texture, and to prevent the potential visibility of a sheen from the composite polymer material.

Suggested Motion:

Staff suggests that the Historic Landmarks Committee make the following motion to approve the Certificate of Approval application:

THAT BASED ON THE FINDINGS OF FACT AND THE CONCLUSIONARY FINDINGS FOR APPROVAL AS DISCUSSED BY THE HISTORIC LANDMARKS COMMITTEE, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE HISTORIC LANDMARKS COMMITTEE APPROVE THE CERTIFICATE OF APPROVAL TO ALLOW THE ALTERATION OF THE HISTORIC BUILDING AT 219 SE LINCOLN STREET WITH THE CONDITIONS RECOMMENDED BY STAFF.

CD:sjs



Planning Department

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

www.mcminnvilleoregon.gov

Office Use Only:

File No. HL 10-18

Date Received 10.9

Fee N/A

Receipt No. N/A

Received by RH

Certificate of Approval (Alteration)

Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☒ Other Construction Co.

Applicant Name Square Deal Construction Phone 503-832-0191

Contact Name Terry Hall Phone 971-832-3626(c)
(If different than above)

Address 300 W. 1st. Street

City, State, Zip Wenatchee, OR 97132

Contact Email terry.squaredeal4you.com

Property Owner Information

Property Owner Name Jeff Sauter Phone 503-472-0884
(If different than above)

Contact Name Jeff Sauter Phone —

Address 219 SE Lincoln St.

City, State, Zip McMinnville, OR 97132

Contact Email jeffsauter@rocketmail.com

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 219 SE Lincoln St.

Assessor Map No. R4 4 - 21CB - 05000 Total Site Area 4485

Subdivision McMinnville Block — Lot —

Comprehensive Plan Designation Residential Zoning Designation C3

1. What is the classification of the historic building? Historic Neighborhood
2. Architect Name N/A Phone —
 (Engineer or Other Designer)
 Contact Name — Phone —
 Address —
 City, State, Zip —
 Contact Email —
3. Contractor Name Square Deal Construction Phone 503-832-0191
 Contact Name Terry Hall Phone 971-832-3626(c)
 Address 300 W. 1st Street
 City, State, Zip Newberg, OR 97132
 Contact Email terry.squareddeal@yahoo@gmail.com
4. The existing use of the property. private residence
5. The intended use of the property. private residence
6. Attach a written narrative that describes: — Attached.
 - A. The proposed project in detail (specific portions of the structure being altered, new features being constructed, etc.);
 - B. How the proposed project meets the applicable Comprehensive Plan policies;
 - C. How the proposed project meets the applicable design standards and guidelines, which are as follows:
 - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
 - b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
 - c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
 - d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
 - e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
 - f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
 - h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
 - i. The proposed project must be consistent with the Guidelines for Historic Preservation as published by the United States Secretary of the Interior;
- D. The reasonableness of the proposed project and a description of the economic use of the historic resource, and how those factors relate to the proposed project;
- E. The current value and significance of the historic resource, and how those factors relate to the proposed project; and
- F. The physical condition of the historic resource, and how the condition relates to the proposed project.

In addition to this completed application, the applicant must provide the following:

- Not required* ☐ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the information listed in the information sheet.
- Not required* ☐ Architectural drawings, including elevations of the proposed alteration. The elevations shall include descriptions of the proposed finish material.
- ☒ Photographs and/or drawings of the existing structure.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

Terry J. DeLo
Applicant's Signature

1-OCT-2018
Date

Jeff Sauter
Property Owner's Signature

4-OCT-2018
Date

Certificate of Approval (Alteration) #6

A. The proposed project in detail:

Specific portions of the structure being altered:

- Replacing rotted or missing railing on wraparound porch.

B. and C. How the proposed project meets the applicable Comprehensive Plan policies and the applicable design standards and guidelines, which are as follows:

a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships.

- The property, a house, is being used as it was historically. Intention of homeowner is to preserve this historical gem, which includes restoration of wraparound porch.

b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

- The historic character of the property will be retained and preserved.
- The replacement/repair of historical materials - the railings- cannot be avoided as the railings are rotted or missing.

c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

- This home is recognized as a physical record of its time, place and use. Proposed railing looks and feels like wood and is virtually identical in design, color and texture of wood. But it is far more durable, long-lasting and sustainable. It has been approved by municipalities across the Northeast for a variety of historical renovation projects such as The Ocean House in Rhode Island, The Lindens House in Washington DC, and Miss Porter's School in Farmington, Connecticut.

d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

- N/A

e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

- N/A

f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

-Deterioration of the rails requires replacement. New railing looks and feels like wood and is virtually identical in design, color and texture of wood. But it is far more durable, long-lasting and sustainable. It has been approved by municipalities across the Northeast for a variety of historical renovation projects such as The Ocean House in Rhode Island, The Lindens House in Washington DC, and Miss Porter's School in Farmington, Connecticut.

g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

-N/A

h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

-N/A

i. The proposed project must be consistent with the Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

-See above.

D. The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource's preservation or renovation.

-N/A

E. The value and significance of the historic resource.

-This house gives the community character and beauty and provides a visual record of McMinnville heritage. The preservation of this house, which includes restoration of its wraparound porch, is important for the education, enjoyment and pride of its citizens.

F. The physical condition of the historic resource.

-The house is in good condition. The railing on the porch is rotted or missing. See photos.



■ *A Smarter Way to Build!* ■

To The McMinnville Building Department:

The 1890s-built Victorian at 219 SE Lincoln St. is in desperate need of porch repairs. The porch is rotting through the floor joists. We do not want this grand old home to go into a state of disrepair. The dignified character of this home is too important to the historic district of McMinnville.

We propose using Azek Porch Boards, an engineered, capped polymer composite deck and porch product made to outlast real wood with its significantly higher quality to preserve the beauty of this home for years to come. These boards are created with a wood grain texture to preserve the classic look of the home. They come in a tongue and groove design to avoid having face screws that interrupt the overall look. We will use the color Morado, which is nearly identical to the existing porch color. The color of the Azek Porch Boards is stain, scratch, and fade resistant, which is an added benefit of composite decking. It is important to note we will *not* be changing the deck skirting.

We propose replacing the existing railing with Azek Premier Railing, a composite project engineered to last. This railing has a classic profile that offers the beauty and feel of real wood but has the strength and safety of performance materials. Safety is paramount as this porch varies between 32" in height and 36" in height at various locations. Per McMinnville Building Code requirements, this porch will need to have railing on all sides. This, unfortunately, is a minor deviation from the existing look of the porch, but one we believe is imperative for the safety of the Homeowners.

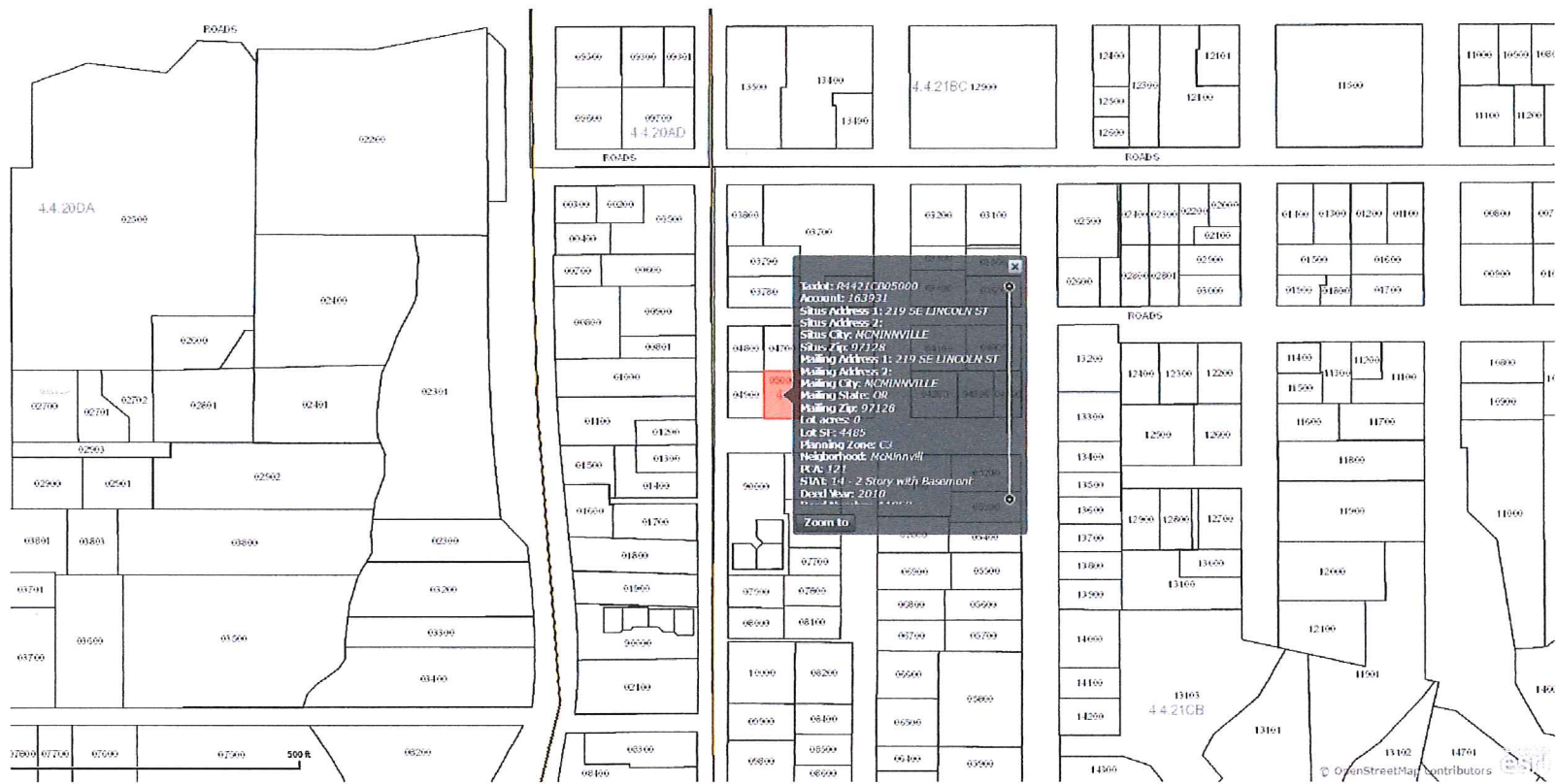
We believe these proposed changes will add new life back into this stately home, and the products will preserve the integrity of the historic Victorian style of the residence.

Please see the attached photos of the existing porch and proposed materials for the home.

Regards,

Terry Hall

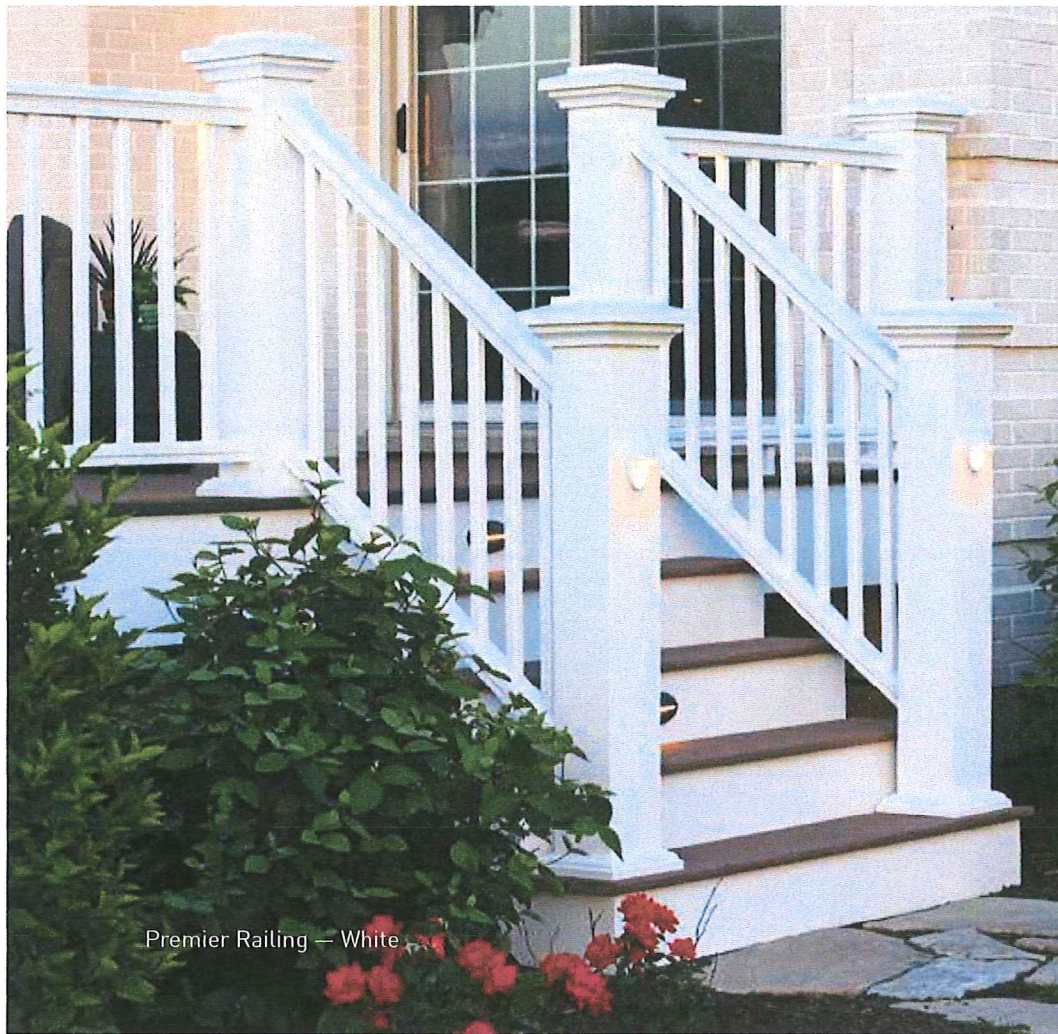
■ Terry Hall - General Contractor ■ 971-832-0191
300 W 1st Street ■ Newberg ■ OR ■ 97132 ■ CCB# 172566
www.squaredeal4you.com ■ E-mail: terry@squaredeal4you.com



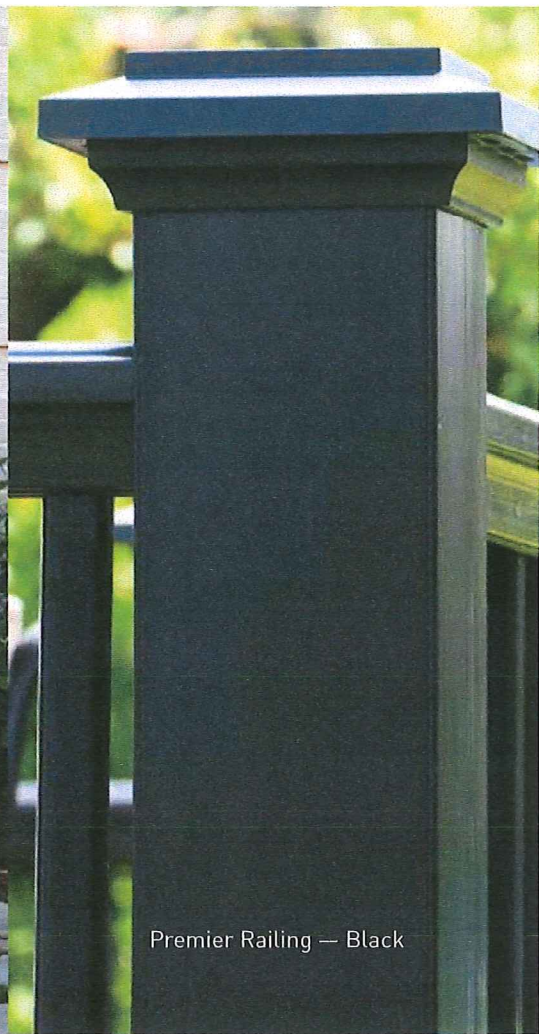
on Oct 1 2018 12:35:08 PM.







Premier Railing — White



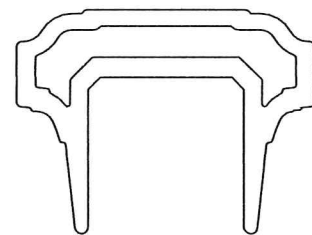
Premier Railing — Black

CLASSIC

Premier Railing®

Premier Railing offers the beauty and feel of real-wood coupled with the added strength and safety of performance materials.

This classic profile features a flat top rail with delicately beveled edges for a high-end look that lasts.

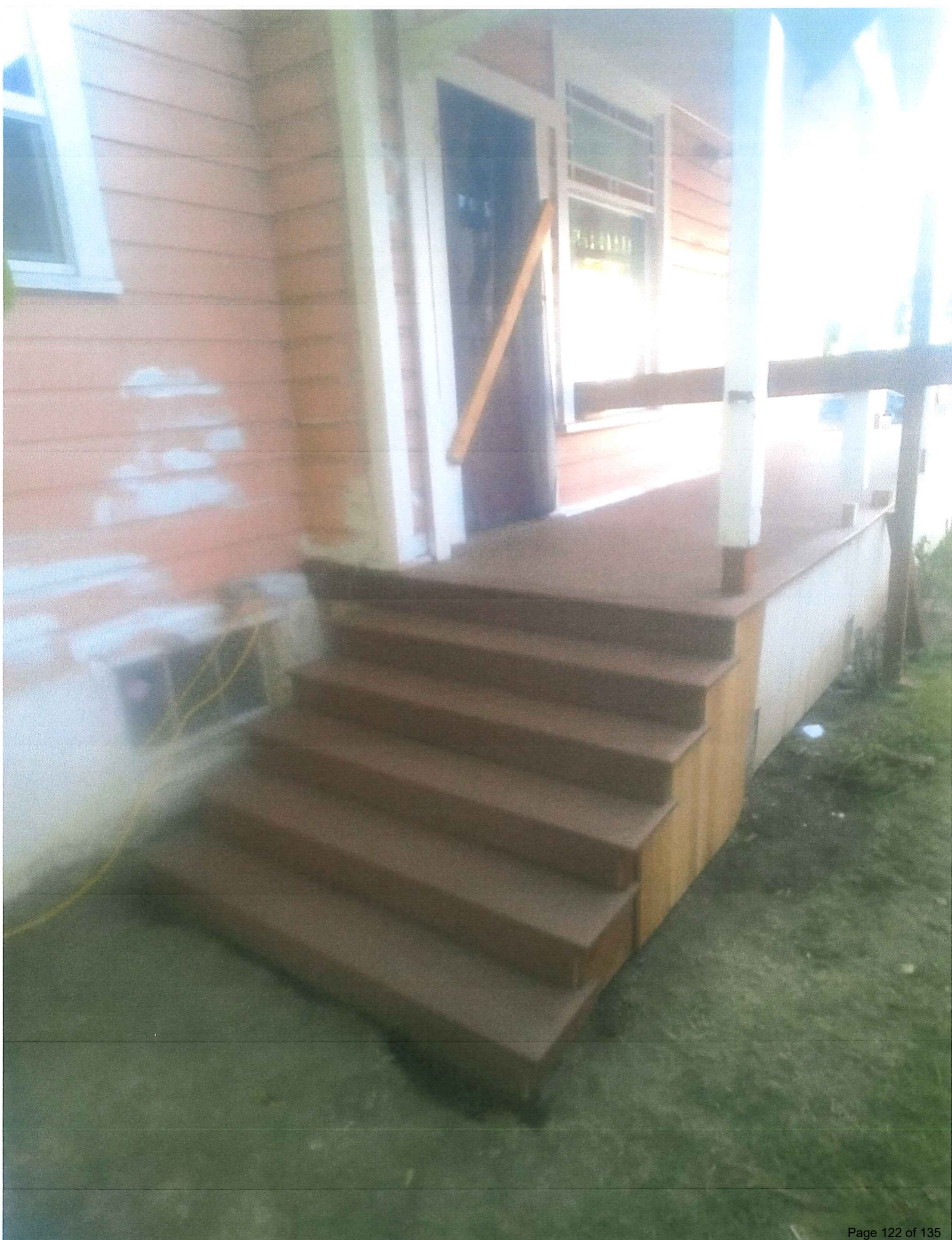


TOP RAIL SIZE: 3.5" X 2.7"













**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311

www.mcminnvilleoregon.gov

**DECISION, CONDITIONS, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE
MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE ALTERATION OF
A HISTORIC LANDMARK AT 219 SE LINCOLN STREET**

DOCKET: HL 10-18

REQUEST: The applicant has submitted a Certificate of Approval application to request the alteration of the historic landmark that is listed on the McMinnville Historic Resources Inventory. Specifically, the applicant is proposing to replace the missing railing on the residences wraparound porch. The historic building is subject to the Certificate of Approval alteration review process required by Section 17.65.040(A) of the McMinnville City Code.

LOCATION: The subject site is located at 219 SE Lincoln Street, and is more specifically described as Tax Lot 5000, Section 21CB, T. 4 S., R. 4 W., W.M.

ZONING: The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).

APPLICANT: Terry Hall, on behalf of property owner Jeff Sauter

STAFF: Chuck Darnell, Senior Planner

DATE DEEMED COMPLETE: October 16, 2018

DECISION-MAKING BODY: McMinnville Historic Landmarks Committee

DATE & TIME: October 22, 2018. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128.

PROCEDURE: The structure proposed to be altered is designated as a "Significant" historic resource (Resource B430), and is therefore subject to the Certificate of Approval review process required by Section 17.65.060 of the McMinnville City Code.

CRITERIA: The applicable criteria are in Section 17.65.060(B) of the McMinnville City Code.

APPEAL: The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.65.080(A) of the McMinnville City Code.

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Fire Department, Police Department, Engineering Department, Building Department, Parks Department, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County

Attachments:

Attachment 1 – Certificate of Approval Application

Public Works; Yamhill County Planning Department; Frontier Communications; Comcast; and Northwest Natural Gas. Their comments are provided in this exhibit.

DECISION

Based on the findings and conclusions, the Historic Landmarks Committee **APPROVES** the alteration of the historic landmark at 219 SE Lincoln Street **subject to the conditions of approval provided in this document.**

DECISION: APPROVAL WITH CONDITIONS

Historic Landmarks Committee: _____
Joan Drabkin, Chair

Date: _____

Planning Staff: _____
Chuck Darnell, Senior Planner

Date: _____

Planning Department: _____
Heather Richards, Planning Director

Date: _____

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APPLICATION SUMMARY:

Terry Hall, on behalf of property owner Jeff Sauter, submitted a Certificate of Approval application to request exterior alterations to a residential building that is listed on the McMinnville Historic Resources Inventory as a Significant resource (B430). The subject property is located at 219 SE Lincoln Street, and is more specifically described as Tax Lot 5000, Section 21CB, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource is associated with the structure and the original owner of the building. The statement of historical significance and description of the property, as described in the Historic Resources Inventory sheet, is as follows:

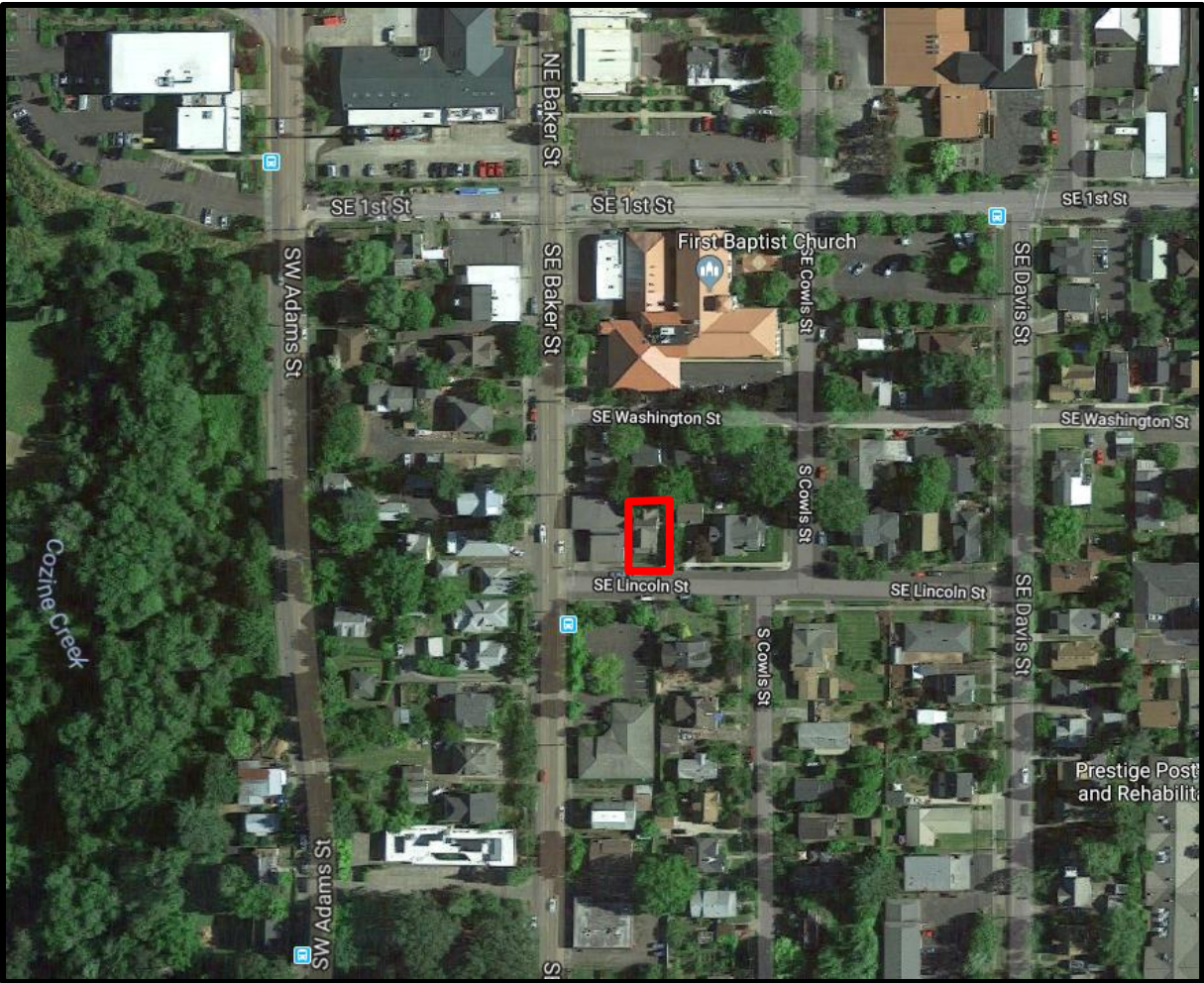
This two-story gabled rural vernacular structure is built on a Latin cross plan with an encircling porch and other detailing showing influence from Queen Anne eclecticism. The siding is “drop” siding except for the upper gables above the windows which are shingled in courses of diamond and imbricated patterns. The central chimney has a corbelled cap. The shed porch roof forms a pediment with fan detail over the porch steps. The detailed porch frieze includes small scroll brackets.

The eaves are boxed with vergeboards, ends rounded as if knobs. The porch railing of simple square section spindle is missing except for the east side sections. Windows are predominately double hung 1/1 with a large fixed sash window on the first story street façade. This window as well as the paneled door windows have single stained (colored) glass side lights. Door and window frames have a single cornice cap except where belt boards form the upper frame member.

Julia Gault and her husband built this house.

Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is considered a historic landmark and/or listed on the National Register of Historic Places as a contributing resource. Since the subject property is classified as a historic landmark, the Certificate of Approval review is required.

The current location of the historic landmark is identified below (outline of property is approximate):



The photo from the time of the survey of the building that led to it being listed on the Historic Resources Inventory, as shown in the Historic Resources Inventory sheet, is provided below:



More recent photos of the building, with a close up view of the porch, as it exists today can be seen below:



CONDITIONS OF APPROVAL

1. That the applicant shall paint the new railings the same white color as other existing porch features to match the remainder of the porch in design, color, and texture, and to prevent the potential visibility of a sheen from the composite polymer material.

ATTACHMENTS

1. Certificate of Approval Application (on file with the Planning Department)

COMMENTS**Agency Comments**

This matter was not referred to other public agencies for comment.

Public Comments

Public notice was mailed to owners of properties within 300 feet of the subject site, as required by Section 17.65.070(C) of the McMinnville City Code. The Planning Department has not received any public testimony prior to the public meeting.

FINDINGS OF FACT

1. Terry Hall, on behalf of property owner Jeff Sauter, submitted a Certificate of Approval application to request exterior alterations to a residential building that is listed on the McMinnville Historic Resources Inventory as a Significant resource (B430). The subject property is located at 219 SE Lincoln Street, and is more specifically described as Tax Lot 5000, Section 21CB, T. 4 S., R. 4 W., W.M.
2. The historic landmark is designated on the Historic Resources Inventory as a "Significant" resource, and has the resource number of B430.
3. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
4. Notice of the alteration request was provided to property owners within 300 feet of the subject site. The Planning Department received no public testimony prior to the public meeting.
5. A public meeting was held by the Historic Landmarks Committee on October 22, 2018 to review the proposal.
6. The applicant has submitted findings (Attachment 1) in support of this application. Those findings are herein incorporated.

CONCLUSIONARY FINDINGS**McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

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GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.

Finding: The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to protect the overall historic form and character of the historic landmark by repairing the porch and railing that is in poor condition or completely missing. This will stabilize and improve the property's value, and will foster civic pride in the historic landmark as it does not result in any removal of any of the historic architectural details still existing on the historic landmark. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation chapter are satisfied by the proposal.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.65.040 Certificate of Approval Process. A property owner shall obtain a Certificate of Approval from the Historic Landmarks Committee, subject to the procedures listed in Section 17.65.050 and Section 17.65.060 of this chapter, prior to any of the following activities:

- A. The alteration, demolition, or moving of any historic landmark, or any resource that is listed on the National Register for Historic Places;
 - 1. Accessory structures and non-contributing resources within a National Register for Historic Places nomination are excluded from the Certificate of Approval process.
- B. New construction on historical sites on which no structure exists;
- C. The demolition or moving of any historic resource.

Finding: Section 17.65.040 is satisfied. The applicant submitted an application for a Certificate of Approval to request the alteration of the historic landmark, per Section 17.65.040(A), because the resource is classified as a historic landmark as a Significant resource on the McMinnville Historic Resources Inventory.

17.65.060 Exterior Alteration or Remodeling. The property owner shall submit an application for a Certificate of Approval for any exterior alteration to a historic landmark, or any resource that is listed on the National Register for Historic Places. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040 of the McMinnville Zoning Ordinance. The Planning Director shall determine whether the proposed activities constitute an alteration as defined in Section 17.65.020 (A) of this chapter. The Historic Landmarks Committee shall meet within thirty (30)

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days of the date the application was deemed complete by the Planning Department to review the request. A failure to review within thirty (30) days shall be considered as an approval of the application. Within five (5) working days after a decision has been rendered, the Planning Department shall provide written notice of the decision to all parties who participated.

- A. The Historic Landmarks Committee may approve, approve with conditions, or deny the application.

Finding: Section 17.65.060(A) is satisfied. The Historic Landmarks Committee, after reviewing the request during a public meeting and offering an opportunity for public testimony, decided to approve the alteration request and Certificate of Approval, with conditions.

- B. The Historic Landmarks Committee shall base its decision on the following criteria:
 - 1. The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

Finding: Section 17.65.060(B)(1) is satisfied. The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation ordinance includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to protect the overall historic form and character of the historic landmark by repairing the porch and railing that is in poor condition or completely missing. This will stabilize and improve the property's value, and will foster civic pride in the historic landmark as it does not result in any removal of any of the historic architectural details still existing on the historic landmark. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation chapter are satisfied by the proposal.

- 2. The following standards and guidelines:
 - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

Finding: Section 17.65.060(B)(2)(a) is satisfied. The property has historically been used residentially, and is still occupied as a single family home. The porch as it exists today is missing railing around all but the east side of the porch. However, the applicant has stated that there is evidence in the mail support columns on the remainder of the wraparound porch that at one time a railing was connected to the columns around the entire porch. Since that time, section of the railing have been removed. There is no intention to change the use of the historic landmark in any way, and the proposed addition of

railing around the entire wraparound porch will restore a residential feature that appears to have been removed at some point in the past.

- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Finding: Section 17.65.060(B)(2)(b) is satisfied. This criteria describes the need to avoid the replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships. In the case of the wraparound porch, much of the historic materials have already been removed. The railings around all but a short section of the east side of the home have been removed, and were already missing at the time the historic landmark was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987. Therefore, these specific historic materials no longer exist. The applicant has stated that the portion of the railing that was still existing has rotted, and is proposing to replace those sections of railing with the same used on the remainder of the wraparound porch, which will keep a consistent form around the porch.

The replacement of the railing around the wraparound porch will not result in the loss of any feature, space, or spatial relationship that characterizes the property as a historic landmark. The overall architectural features that were noted in the Historic Resources Inventory sheet still exist today. Those features include the “two-story gabled rural vernacular” form, “shed porch roof” forming a “pediment with fan detail over the porch steps” and “detailed porch frieze” with “small scroll brackets”. The Historic Resources Inventory also notes that the porch railing was a “simple square section spindle” design, and again that it was “missing except for the east side sections”. The addition of railing around the wraparound porch will not remove or detract from any of these historic features.

- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

Finding: Section 17.65.060(B)(2)(c) is satisfied. As described in more detail above, the building has overall retained much of the architectural form, features, and detailing that existed at the time the historic landmark was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987. The replacement railing materials are proposed to be visually compatible with the historic design of the front porch. The materials will be a composite polymer material, and will be white to match the existing front porch. The spindles are square, as the original porch railing was, and will be a similar height, albeit taller to meet current building code requirements. A condition of approval has been included to paint the railings the same color as the other wood on the front porch to better match the remainder of the front porch, and to prevent a sheen that may be visible based on the composite polymer material. With this condition of approval, the new features will be visually compatible and identifiable only upon close inspection, and overall the property will still be recognized in its historic form.

- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

Finding: Sections 17.65.060(B)(2)(d) through 17.65.060(B)(2)(f) are satisfied. There are no changes to the property that have acquired their own historic significance. As described in more detail above, the building has overall retained much of the architectural form, features, and detailing that existed at the time the historic landmark was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987. Also described in more detail above, most of the railing on the wraparound porch is missing, so there is no preservation that of historic materials that can occur. The replacement railing materials are proposed to be visually compatible with the historic design of the front porch, and are proposed to match the old in composition and color. The materials will be a composite polymer material, and will be white to match the existing front porch. The spindles are square, as the original porch railing was. A condition of approval has been included to paint the railings the same color as the other wood on the front porch to better match the remainder of the front porch, and to prevent a sheen that may be visible based on the composite polymer material. With this condition of approval, the new features will match the old in composition, color, and texture, but not in physical material.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Finding: Section 17.65.060(B)(2)(g) is satisfied. This criteria is not applicable, as there are no chemical or physical treatments proposed.

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Finding: Section 17.65.060(B)(2)(h) is satisfied. The applicant has stated that they are not aware of any known archeological resources.

- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

Finding: Section 17.65.060(B)(2)(i) is satisfied. The proposed alterations can most closely be considered a “Rehabilitation” of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the Interior’s Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

Some of the applicable rehabilitation guidelines for treating masonry on historic buildings are provided below:

Recommended Guideline: Replacing in kind an entire entrance or porch that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered.

As described in more detail above, most of the railing on the wraparound porch is missing, so there is no preservation that of historic materials that can occur. The replacement railing materials are proposed to be visually compatible with the historic design of the front porch, and are proposed to match the old

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in composition and color. The materials will be a composite polymer material, and will be white to match the existing front porch. The spindles are square, as the original porch railing was. A condition of approval has been included to paint the railings the same color as the other wood on the front porch to better match the remainder of the front porch, and to prevent a sheen that may be visible based on the composite polymer material. Therefore, the replacement material can be found to be a compatible substitute material, given that it will be visually compatible and will not detract from the overall property's recognizable historic form.

3. The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource's preservation or renovation;

Finding: Section 17.65.060(B)(3) is satisfied. The proposed alteration is reasonable, as the applicant intends to replace missing materials, and together with the condition of approval related to the finish of the railing materials, the proposed alteration will not detract from the overall property's recognizable historic form. Therefore, the public interest is protected as the historic landmark is still retained and is still recognizable as it was when it was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987.

4. The value and significance of the historic resource;

Finding: Section 17.65.060(B)(4) is satisfied. The overall architectural features that were noted in the Historic Resources Inventory sheet still exist today. Those features include the "two-story gabled rural vernacular" form, "shed porch roof" forming a "pediment with fan detail over the porch steps" and "detailed porch frieze" with "small scroll brackets". The Historic Resources Inventory also notes that the porch railing was a "simple square section spindle" design, and again that it was "missing except for the east side sections". The addition of railing around the wraparound porch will not remove or detract from any of these historic features.

5. The physical condition of the historic resource;

Finding: Section 17.65.060(B)(5) is satisfied. The historic landmark is in overall good physical condition. In the case of the wraparound porch, much of the historic materials have already been removed. The railings around all but a short section of the east side of the home have been removed, and were already missing at the time the historic landmark was surveyed in 1983 and listed on the McMinnville Historic Resources Inventory in 1987. Therefore, these specific historic materials no longer exist. The applicant has stated that the portion of the railing that was still existing has rotted, and is proposing to replace those sections of railing with the same used on the remainder of the wraparound porch, which will keep a consistent form around the porch.

17.65.070 Public Notice.

- A. After the adoption of the initial inventory, all new additions, deletions, or changes to the inventory shall comply with subsection (c) of this section.
- B. Any Historic Landmark Committee review of a Certificate of Approval application for a historic resource or landmark shall comply with subsection (c) of this section.
- C. Prior to the meeting, owners of property located within 300 feet of the historic resource under consideration shall be notified of the time and place of the Historic Landmarks Committee meeting and the purpose of the meeting. If reasonable effort has been made to notify an owner, failure of the owner to receive notice shall not impair the validity of the proceedings.

Finding: Section 17.65.070 is satisfied. Notice was provided to property owners located within 300 feet of the historic resource. A copy of the written notice provided to property owners is on file with the Planning Department.

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