



**City of McMinnville**  
**Planning Department**  
 231 NE Fifth Street  
 McMinnville, OR 97128  
 (503) 434-7311

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**Landscape Review Committee**  
**Community Development Center, 231 NE 5<sup>th</sup> Street**  
**ZOOM Online Meeting:**

<https://mcminnvilleoregon.zoom.us/j/518962842?pwd=aEdRd2JjaThJSVNXdndKcHJyb0hiZz09>

**July 15, 2020 - 12:00 PM**

Committee Members	Agenda Items
<p>Rob Stephenson Chair</p> <p>Sharon Gunter Vice-Chair</p> <p>Josh Kearns</p> <p>Tim McDaniel</p> <p>John Hall</p>	<ol style="list-style-type: none"> <li><b>1. Call to Order</b></li> <li><b>2. Citizen Comments</b></li> <li><b>3. Approval of Minutes</b></li> <li><b>4. Action Items</b> <ol style="list-style-type: none"> <li>A. L 4-20 – Landscape Plan Review (Exhibit 1) 2060 NE Lafayette Avenue</li> <li>B. L 19-20 – Street Tree Removal (Exhibit 2) 1058 NE Maloney Drive</li> <li>C. L 20-20 – Street Tree Removal (Exhibit 3) 1310 NE 27<sup>th</sup> Street</li> </ol> </li> <li><b>5. Discussion Items</b></li> <li><b>6. Old/New Business</b></li> <li><b>7. Committee Member Comments</b></li> <li><b>8. Staff Comments</b></li> <li><b>9. Adjournment</b></li> </ol>

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

A conference room with access to a computer to participate in the ZOOM Online Meeting can be provided at the Community Development Center. Please call the Planning Department at (503) 434-7311 for assistance.

\*Please note that these documents are also on the City's website, [www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov). You may also request a copy from the Planning Department.

	<p>Invitation to Zoom Meeting:</p> <p>Topic: Landscape Review Committee Time: July 15, 2020 12:00 PM Pacific Time (US and Canada)</p> <p><b>Join Zoom Meeting via web:</b></p> <p><a href="https://mcminnvilleoregon.zoom.us/j/518962842?pwd=aEdRd2JjaThJSVNXdndKcHJyb0hiZz09">https://mcminnvilleoregon.zoom.us/j/518962842?pwd=aEdRd2JjaThJSVNXdndKcHJyb0hiZz09</a></p> <p>Meeting ID: 518 962 842 Password: 694642</p> <p><b>Join Zoom Meeting via phone:</b></p> <p>Dial by your location</p> <ul style="list-style-type: none"><li>+1 253 215 8782 US (Tacoma)</li><li>+1 346 248 7799 US (Houston)</li><li>+1 669 900 9128 US (San Jose)</li><li>+1 301 715 8592 US (Germantown)</li><li>+1 312 626 6799 US (Chicago)</li><li>+1 646 558 8656 US (New York)</li></ul> <p>Meeting ID: 518 962 842 Password: 694642</p>
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## EXHIBIT 1 - STAFF REPORT

DATE: July 15, 2020  
TO: Landscape Review Committee Members  
FROM: Jamie Fleckenstein, Associate Planner  
SUBJECT: Agenda Item 4A – Landscape Plan Review Application (L 4-20)

### STRATEGIC PRIORITY & GOAL:



#### GROWTH & DEVELOPMENT CHARACTER

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

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### Report in Brief:

Application for a landscape plan review (L 4-20) for the redevelopment of the Yamhill County Public Works parking area to improve storm water drainage to be reviewed by the Landscape Review Committee. Staff finds that the proposed landscape plan meets the purpose and intent of the Landscaping chapter of the McMinnville Municipal Code, and recommends approval, subject to conditions.

### Background:

The Yamhill County Public Works facility at 2060 NE Lafayette Avenue (**see Figure 1: Vicinity Map and Figure 2: Existing Conditions**) is redeveloping the off-street parking area to incorporate improved storm water drainage facilities, including rain gardens. The property is zoned M-1 (Light Industrial), and the development area is located in the southwest corner of the larger property. Uses in the development site include the Yamhill County Public Works facility and Yamhill County Sheriff's building, and uses on the larger overall property include Oregon State University Extension Services and the Yamhill County Fairgrounds.

The application provides an overall Landscape Site Plan and Plant Schedule (**see Figure 3: Landscape Site Plan and Figure 4: Plant Schedule (Overall)**) and detailed planting plans for each landscape area identified on the site plan. Please refer to the detailed planting plans and plant schedules in the attached Application Materials for specific proposed planting for each individual planting area.

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#### *Attachments:*

*Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Landscape Plan Review at 2060 NE Lafayette Avenue*

*Attachment B – Application Materials*



**Figure 1: Vicinity Map**



**Figure 2: Existing Conditions (Development Area Enlargement)**



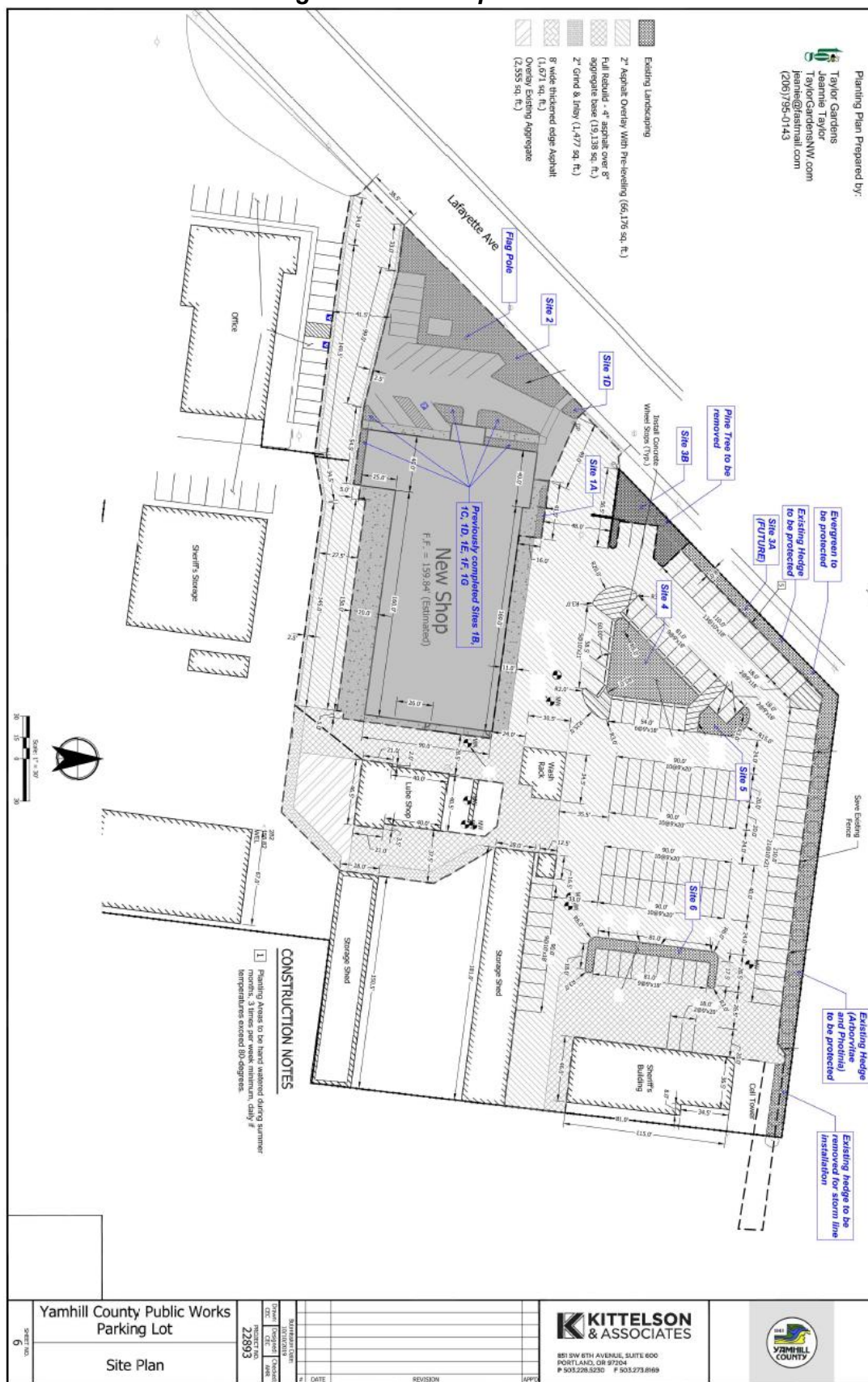
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Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Landscape Plan Review at 2060 NE Lafayette Avenue

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**Figure 3: Landscape Site Plan**



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*Attachments:*

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*Attachment B – Application Materials*

**Figure 4: Plant Schedule (Overall)**

Genus	Species	Size	#	Grass/sedge /rush
<i>Achillea</i>	<i>millefolium</i>	Bandpot/4"	443	
<i>Amelanchier</i>	<i>X grandiflora</i> 'Autumn Brilliance'	#5/BR	2	
<i>Arbutus</i>	<i>menziesii</i>	#5	1	
<i>Armeria</i>	<i>maritima</i>	4"	90	
<i>Asclepias</i>	<i>speciosa</i>	4"/gal	36	
<i>Baccharis</i>	<i>pilularis</i>	#1/#5	4	
<i>Camassia</i>	<i>leichtlinii</i>	lge bulbs	300	
<i>Carex</i>	<i>pachystachya</i>	#1	115	x
<i>Carex</i>	<i>feta</i>	plug	240	x
<i>Carex</i>	<i>tumulicola</i>	4"/plug	50	x
<i>Carex</i>	<i>densa</i>	plug/4"	36	x
<i>Carex</i>	<i>obnupta</i>	plug/bandpot	30	x
<i>Clinopodium</i>	<i>douglasii</i>	4"	215	
<i>Cornus</i>	<i>sericea ssp occidentalis</i>	#1/#5	3	
<i>Danthonia</i>	<i>californica</i>	plug	300	x
<i>Dicentra</i>	<i>formosa</i>	4"	15	
<i>Eriophyllum</i>	<i>lanatum</i>	4"	143	
<i>Festuca</i>	<i>roemerii</i>	4"	200	x
<i>Fragaria</i>	<i>virginiana</i>	4"	240	
<i>Frangula</i>	<i>purshiana</i>	#5/#1	2	
<i>Geranium</i>	<i>oreganum</i>	#1	30	
<i>Grindelia</i>	<i>integrifolia</i>	4"	36	
<i>Iris</i>	<i>tenax</i>	4"	78	
<i>Iris</i>	<i>douglasiana</i>	4"	100	
<i>Juncus</i>	<i>ensifolius</i>	plug	240	x
<i>Juncus</i>	<i>patens</i>	plug/4"	36	x
<i>Koeleria</i>	<i>macrantha</i>	plugs	125	x
<i>Lomatium</i>	<i>dissectum</i>	4"	78	
<i>Lonicera</i>	<i>involucrata</i>	#1/#5	7	
<i>Luzula</i>	<i>comosa</i>	plug	300	x
<i>Mahonia</i>	<i>aquifolium</i>	#1/#5	21	
<i>Morella</i>	<i>californica</i>	#5	15	
<i>Oxalis</i>	<i>oregana</i> 'Klamath Ruby'	4"	20	

Genus	Species	Size	#	Grass/sedge /rush
<i>Physocarpus</i>	<i>capitatus</i>	#5	5	
<i>Pinus</i>	<i>contorta</i> v. <i>contorta</i>	#5	3	
<i>Potentilla</i>	<i>gracilis</i> var. <i>gracilis</i>	4"	121	
<i>Prunella</i>	<i>vulgaris</i>	4"	300	
<i>Prunus</i>	<i>virginiana</i> var. <i>demissa</i>	#1/#5	2	
<i>Quercus</i>	<i>garryana</i>	#5	1	
<i>Rhododendron</i>	<i>columbianum</i>	#1	25	
<i>Ribes</i>	<i>lobbii</i>	#1/#5	3	
<i>Ribes</i>	<i>sanguineum</i>	#1/#5	2	
<i>Rosa</i>	<i>pisocarpa</i>	#1/#5	11	
<i>Sambucus</i>	<i>mexicana</i> ssp <i>cerulea</i>	#1/#5	4	
<i>Sidalcea</i>	<i>campestris</i>	4"	24	
<i>Sisyrinchium</i>	<i>idahoense</i>	4"	120	
<i>Solidago</i>	<i>elongata</i>	4"	47	
<i>Symphotrichum</i>	<i>subspicatum</i>	4"	12	
<i>Symphotrichum</i>	<i>chilense</i> 'Purple Haze'	4"	20	
<i>Vaccinium</i>	<i>ovatum</i>	#5/#1	15	

**Discussion:**

Decisions and/or recommendations for both land-use applications are dependent upon whether or not the applications meet state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria. Attached is the decision document that provides the Findings of Fact and Conclusionary Findings for the land-use application. This document outlines the legal findings on

**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Landscape Plan Review at 2060 NE Lafayette Avenue

Attachment B – Application Materials

whether or not each application meets the applicable criteria and whether or not there are conditions of approval that if achieved put the application in compliance with the criteria.

**Applicable Review Criteria**

The subject site is zoned M-1 (Light Industrial). MMC Section 17.57.030 requires landscaping in the M-1 zone, therefore landscaping is required in accordance with Chapter 17.57 - Landscaping.

MMC Section 17.58.080 requires street trees to be planted at all new industrial development which has a designated curb-side planting strip. NE Lafayette Avenue does not have curb-tight planting strips adjacent to the subject site. Therefore, street trees are not required along the property's frontage.

The Landscape Plan Review request is subject to the planning factors in Section 17.57.070 of the MMC, including a requirement to provide landscaping at a minimum of seven (7) percent of the gross area. Additionally, the Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.
2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.
3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.
4. The development and use of islands and plantings therein to break up parking areas.
5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.
6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

**Analysis of Landscape Plan Review Request**

The proposed landscape plan is designed by the local chapter of the Native Plant Society to support the improved storm water collection and drainage functions of the redesigned parking area, and continues the planting theme and character of landscaping previously installed in front of the new Public Works shop. An entirely native plant palette is incorporated into new landscape areas within and around the parking area with specific functions (i.e. rain gardens, hedgerows). Native wet prairie plants were chosen for their tolerance for wet soils in the rain gardens, and native upland plants were chosen for dryer locations. The proposed landscape plan meets many of the goals of the Landscaping Chapter of the McMinnville Municipal Code, including:

- Reduce soil erosion and the volume and rate of discharge of storm water runoff.
- Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.
- Create safe, attractively landscaped areas adjacent to public streets.
- Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.
- Provide shade, and seasonal color.
- Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical

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applications, and to provide a sense of regional identity with plant communities unique to the area.

- Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.

Below are tables summarizing the application's compliance with critical criteria/review factors. The Decision Document for the land-use application has the detailed analysis and findings for this compliance:

### **Landscape Area**

<b>Total Development Area (s.f.)</b>	<b>Landscape Area Proposed (s.f.)</b>	<b>Percentage Proposed</b>	<b>Percentage Required (Industrial)</b>
152,025	12,154	8.0%	7%

### **Review Factor Summary**

<b>Review Factor</b>	<b>Notes</b>	<b>Condition to Help Meet Factor</b>
Compatibility with the project and surrounding properties and uses	<ul style="list-style-type: none"> <li>• Proposed landscaping is compatible with adjacent properties and uses</li> <li>• Native plants support storm water functions</li> </ul>	Condition #2: Ensures Vision Clearance Area at driveway entrance is maintained
Screening the proposed use	<ul style="list-style-type: none"> <li>• Existing mature hedges and trees provide screening of parking area</li> </ul>	N/A
Retention of existing trees	<ul style="list-style-type: none"> <li>• Existing mature hedges and trees along north and northwest edges of parking area retained</li> </ul>	N/A
Parking lot islands and planting	<ul style="list-style-type: none"> <li>• Parking lot perimeter planting provided with native plants and retention of existing evergreen hedges/trees</li> <li>• Rain gardens incorporated into parking lot interior to improve storm water drainage</li> </ul>	N/A
Use of suitable street trees	<ul style="list-style-type: none"> <li>• No new street trees required</li> <li>• Nut tree (Oregon White Oak) proposed within parking lot area, nut trees are prohibited</li> </ul>	Condition #3: Replace Oregon White Oak with a non-prohibited tree species
Irrigation system or water facilities	<ul style="list-style-type: none"> <li>• Native Plant Society will hand water native plants through establishment</li> <li>• Watering schedule provided</li> </ul>	N/A

### **Staff-Suggested Conditions of Approval**

1. That the applicant shall install landscaping as shown on the Landscape Site Plan and detailed planting plans received by the McMinnville Planning Department on June 9, 2020, and shall comply with required conditions of approval.
2. That plants over three (3) feet in height shall not be planted in the industrial driveway Vision Clearance Area as described in MMC Section 17.54.080(B). Trees may be located in a Clear Vision Area provided all branches and foliage are removed to height of eight (8) feet above grade.

#### **Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Landscape Plan Review at 2060 NE Lafayette Avenue

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3. That the *Quercus garryana* (Oregon White Oak) in Site #5 be replaced with an alternative tree species that is not prohibited in parking areas. Prohibited trees include poplar, willow, fruit, nut, birch, conifer, and ailanthus.
4. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to any planting excavation to ensure that underground utilities are not damaged.
5. That the applicant is reminded that trees are not to be planted within:
  - a. Five (5) feet of a private driveway or alley;
  - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
  - c. Twenty (20) feet of street light standards or street intersections.
6. That the applicant shall maintain proper clearances around the existing and future water and electrical services that will be located on the site. Landscaping shall not be placed within four (4) feet of fire hydrants, within four (4) feet of water valves, within four (4) feet of vaults, within three (3) feet of the back or side of a transformer, or within one (1) foot of water meters. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
7. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

**Fiscal Impact:**

None.

**Landscape Review Committee Options:**

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

**Staff Recommendation:**

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied. Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document.

**Suggested Motion:**

**THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE LANDSCAPE PLAN REVIEW APPLICATION L 4-20 SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT.**

JF

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**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE  
APPROVAL OF A LANDSCAPE PLAN REVIEW FOR 2060 NE LAFAYETTE AVENUE**

**DOCKET:** L 4-20 (Landscape Plan Review)

**REQUEST:** Approval of a Landscape Plan for Yamhill County Public Works Shop

**LOCATION:** 2060 NE Lafayette Avenue (Tax Lot 1600, Section 15, T. 4. S., R. 4 W., W.M.)

**ZONING:** M-1 (Light Industrial)

**APPLICANT:** Tony Roos, Kittleson and Associates, on behalf of Mark Lago, Yamhill County Public Works, property owner

**STAFF:** Jamie Fleckenstein, PLA, Associate Planner

**DATE DEEMED  
COMPLETE:** June 26, 2020

**HEARINGS BODY  
& ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.

**HEARING DATE  
& LOCATION:** July 15, 2020, Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, Oregon, and Zoom Online Meeting ID 518-962-842

**PROCEDURE:** Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

**CRITERIA:** The applicable criteria are specified in Section 17.57.070 (Area Determination – Planning factors) of the McMinnville Zoning Ordinance, McMinnville City Code.

**APPEAL:** The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.57.170 of the McMinnville Zoning Ordinance.

**COMMENTS:** This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Their comments are provided in this document. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.



## DECISION

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the Landscape Plan (L 4-20) **subject to the conditions of approval provided in this document.**

**DECISION: APPROVAL WITH CONDITIONS**

Planning Staff: \_\_\_\_\_  
 Jamie Fleckenstein, Associate Planner

Date: July 15, 2020

Planning Department: \_\_\_\_\_  
Heather Richards, Planning Director

Date: July 15, 2020

## **I. APPLICATION SUMMARY:**

### ***Subject Property & Request***

The application requests approval of a landscape plan (L 4-20) for the development of a new parking lot at the Yamhill County Public Works facility in northeast McMinnville.

The applicant, Tony Roos of Kittelson and Associates, on behalf of Yamhill County Public Works, property owner, submitted a landscape plan associated with a building permit for development of a new parking lot at the Yamhill County Public Works facility in northeast McMinnville. The subject property is located at 2060 NE Lafayette Avenue, and is more specifically described as Tax Lot 1600, Section 15, T. 4. S., R. 4 W., W.M. **See Figure 1 (Vicinity Map).** The property is zoned M-1 (Light Industrial). **See Figure 2 (Zoning Map).**

The development site is an approximately 3.49 acre portion of a larger 24.29 acre site owned by Yamhill County. The larger site includes the Yamhill County Fairgrounds, and offices and facilities for Yamhill County Master Gardeners and Oregon State University Extension Service for Yamhill County. Within the 3.49 acre development area is the existing Yamhill County Sheriff's building and Public Works shop and facilities, including an existing parking lot and vehicle storage area. **See Figure 3 (Existing Conditions).** North of the development area is an existing multi-family apartment complex on land zoned C-3 (General Commercial). East of the development site is the industrially zoned Yamhill County Fairgrounds site. To the south of the development area is the industrial development housing Meggitt Polymers and Composites, zoned M-2 (General Industrial). Properties west of Lafayette Avenue that area adjacent to the development site are zoned C-3 (General Commercial), and include a wine production facility, auto body and paint shop, and a veterinary hospital.

The existing Yamhill County Public Works parking lot is being redesigned and reconstructed to include new storm water drainage facilities and landscape areas. The landscape plan addresses planting within new and existing landscape areas for the reconfigured parking lot, as well as a planting area in front of the Public Works Shop along Lafayette Avenue. **See Figure 4 (Landscape Site Plan), Figure 5 (Plant Schedule (Overall)), and Figures 6-20 (Detailed Planting Plans & Plant Lists).**

**Figure 1: Vicinity Map**



### ***Attachments:***

Attachment 1 – Application and Attachments

Figure 2: Zoning Map

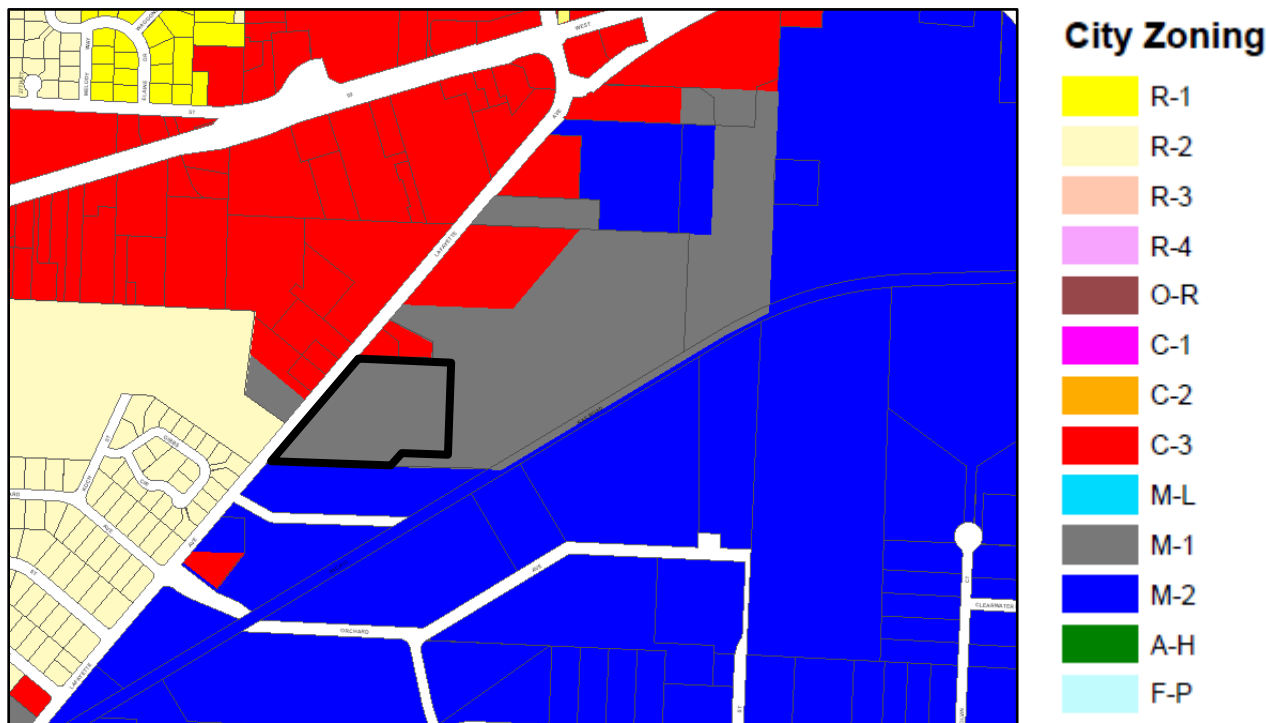


Figure 3: Existing Conditions (Development Area Enlargement)





Figure 4: Landscape Site Plan

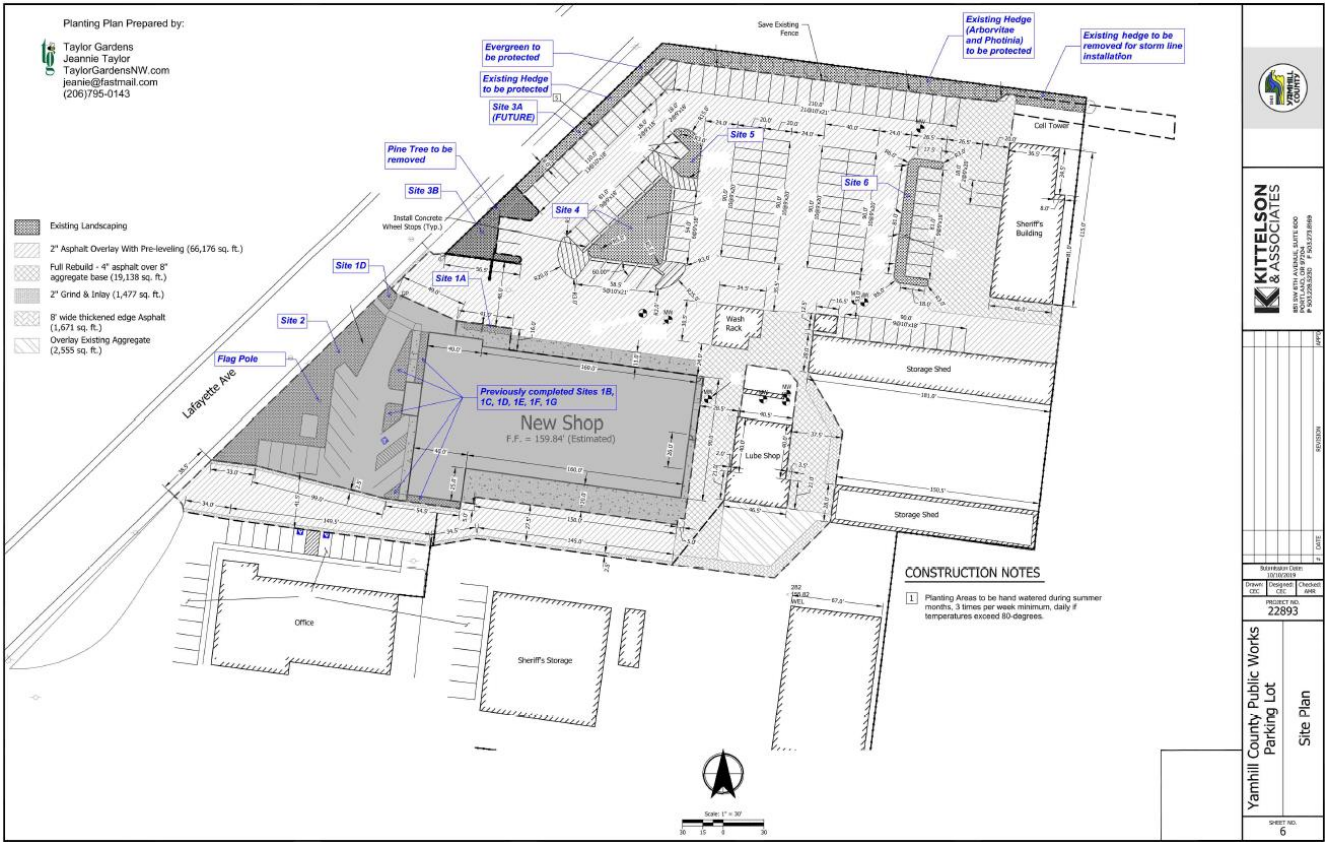


Figure 5: Plant Schedule (Overall)

Genus	Species	Size	#	Grass/sedge /rush
Achillea	millefolium	Bandpot/4"	443	
Amelanchier	X grandiflora 'Autumn Brilliance'	#5/BR	2	
Arbutus	menziesii	#5	1	
Armeria	maritima	4"	90	
Asclepias	speciosa	4"/gal	36	
Baccharis	pilularis	#1/#5	4	
Camassia	leichtlinii	lge bulbs	300	
Carex	pachystachya	#1	115	x
Carex	feta	plug	240	x
Carex	tumulicola	4"/plug	50	x
Carex	densa	plug/4"	36	x
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Cornus	sericea ssp occidentalis	#1/#5	3	
Danthonia	californica	plug	300	x
Dicentra	formosa	4"	15	
Eriophyllum	lanatum	4"	143	
Festuca	roemerii	4"	200	x
Fragaria	virginiana	4"	240	
Frangula	purshiana	#5/#1	2	
Geranium	oreganum	#1	30	
Grindelia	integrifolia	4"	36	
Iris	tenax	4"	78	
Iris	douglasiana	4"	100	
Juncus	ensifolius	plug	240	x
Juncus	patens	plug/4"	36	x
Koeleria	macrantha	plugs	125	x
Lomatium	dissectum	4"	78	
Lonicera	involucrata	#1/#5	7	
Luzula	comosa	plug	300	x
Mahonia	aquifolium	#1/#5	21	
Morella	californica	#5	15	
Oxalis	oregana 'Klamath Ruby'	4"	20	

Attachments :  
Attachment 1 – Application and Attachments

Figure 5: Plant Schedule (Overall) (cont'd)

Genus	Species	Size	#	Grass/sedge /rush
Physocarpus	capitatus	#5	5	
Pinus	contorta v. contorta	#5	3	
Potentilla	gracilis var. gracilis	4"	121	
Prunella	vulgaris	4"	300	
Prunus	virginiana var. demissa	#1/#5	2	
Quercus	garryana	#5	1	
Rhododendron	columbianum	#!	25	
Ribes	lobbii	#1/#5	3	
Ribes	sanguineum	#1/#5	2	
Rosa	pisocarpa	#1/#5	11	
Sambucus	mexicana ssp cerulea	#1/#5	4	
Sidalcea	campestris	4"	24	
Sisyrinchium	idahoense	4"	120	
Solidago	elongata	4"	47	
Symphotrichum	subspicatum	4"	12	
Symphyotrichum	chilense 'Purple Haze'	4"	20	
Vaccinium	ovatum	#5/#1	15	

Figure 6: Detailed Planting Plan – Site 1A

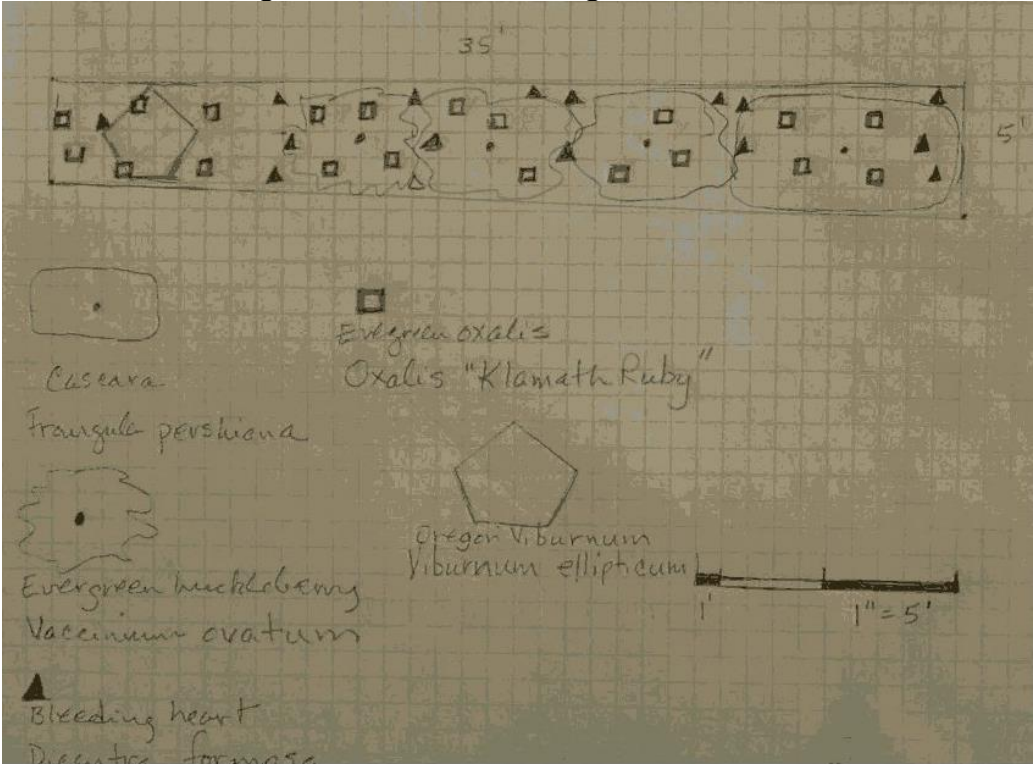


Figure 7: Detailed Plant Schedule – Site 1A

SITE NAME		1A				
Genus	Species	Common name	Pot size	#	Symbol	Comments
Frangula	purshiana	Cascara	#5/#1	1		
Vaccinium	ovatum	Evergreen huckleberry	#5/#1	3		5' o.c.
Dicentra	formosa	Pacific bleeding heart	4"	15		
Oxalis	oregana 'Klamath Ruby'	Evergreen oxalis	4"	20		
Viburnum	ellipticum	Oregon viburnum	#5	1		

Figure 8: Detailed Planting Plan – Site 1D

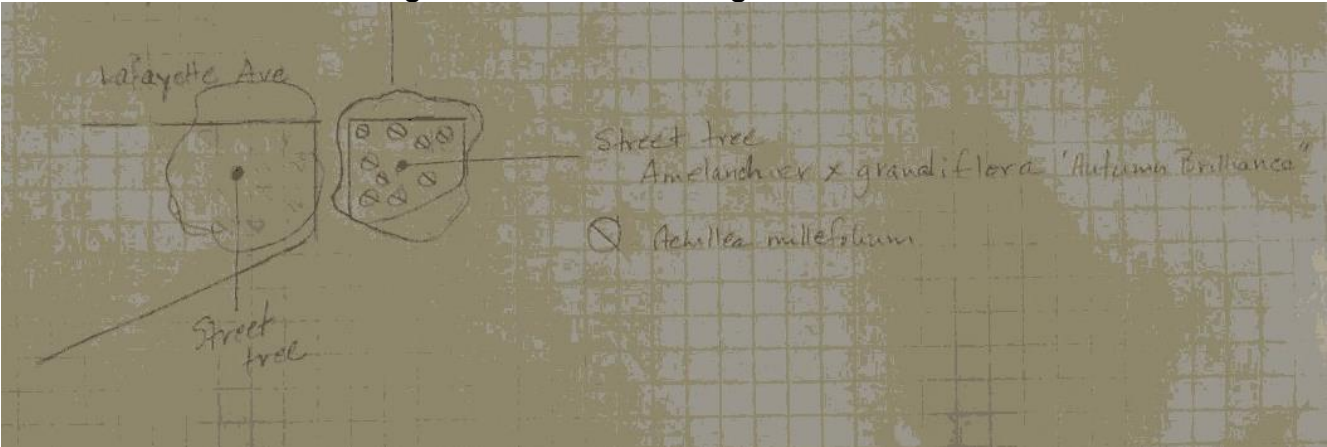


Figure 9: Detailed Plant Schedule – Site 1D

SITE NAME		1D					
Genus	Species	Common name	Pot size	#	Symbol	Comments	
Amelanchier	X grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	#5/BR	2	AAB	Tree form preferred over multi-stem shrub form. Prune/train for shape as needed year 1-5	
Achillea	millefolium	common yarrow	Bandpot/ 4"	115	⊙	2' o.c.	

Figure 10: Detailed Planting Plan – Site 2

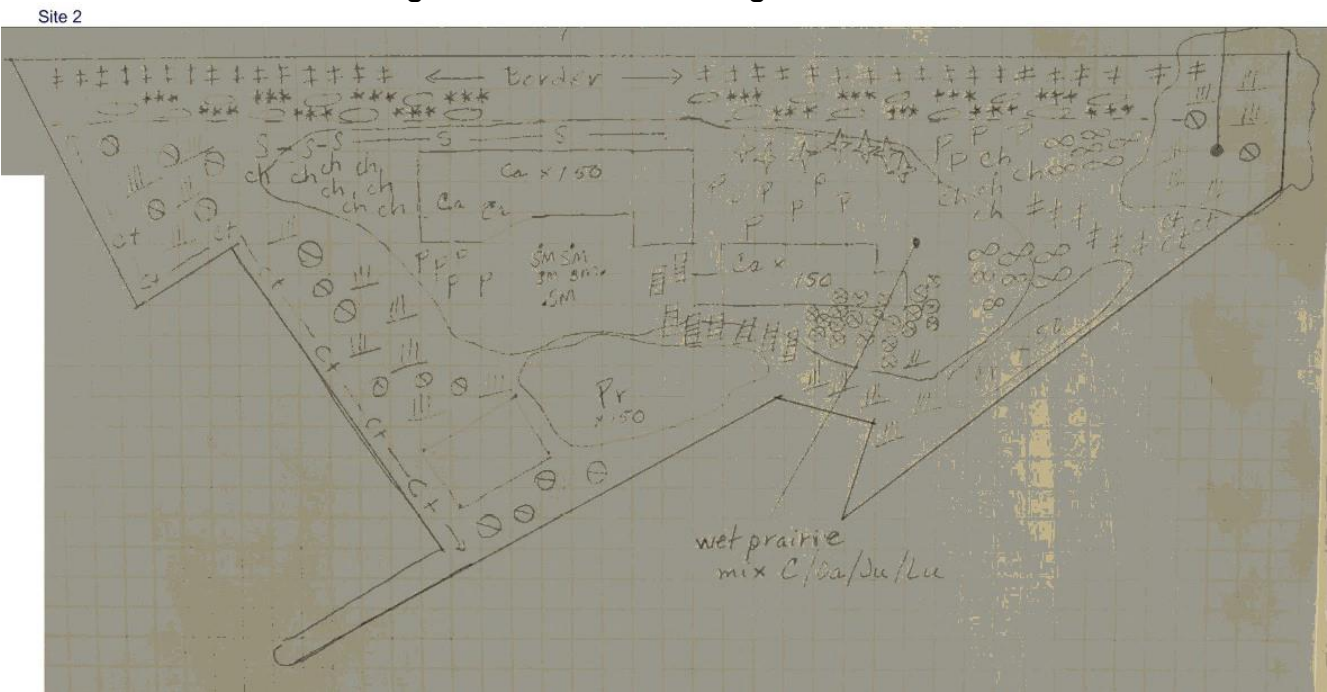




Figure 11: Detailed Plant Schedule – Site 2

SITE NAME		2				
Genus	Species	Common name	Pot size*	#	Symbol	Comments
<b>Border (Lafayette):</b>						164'
<i>Carex</i>	<i>pachystachya</i>	Chamisso sedge	#1	55	†	3' o.c. border along Lafayette edge
<i>Clinopodium</i>	<i>douglasii</i>	Yerba buena	4"	80	○	2' o.c. place behind <i>Carex</i> border
<i>Fragaria</i>	<i>virginiana</i>	Wild strawberry	4"	80	***	1' o.c. intermix with <i>C. douglasii</i>
<b>Wet prairie/sedge &amp; grass mix (low growing):</b>						Matrix for wet prairie wildflowers
<i>Carex</i>	<i>feta</i>	Greensheath sedge	plug	240	C	1' oc.
<i>Danthonia</i>	<i>californica</i>	California oat grass	plug	300	Da	1' oc.
<i>Juncus</i>	<i>ensifolius</i>	Dagger leaf rush	plug	240	Ju	1' oc.
<i>Luzula</i>	<i>comosa</i>	Woodrush	plug	300	Lu	1' oc.
<b>WP wildflowers</b>						Mass in single species groups in sedge/grass matrix
<i>Asclepias</i>	<i>speciosa</i>	Showy milkweed	4"/gal	6	SM	4' o.c.
<i>Camassia</i>	<i>leichtlinii</i>	Great camas	lge bulbs	300	Camas	2' o.c.
<i>Grindelia</i>	<i>integrifolia</i>	WV gumweed	4"	36	□	2' oc
	<i>gracilis</i> var. <i>gracilis</i>	Slender cinquefoil	4"	25	P	4' o.c.
<i>Sidalcea</i>	<i>campestris</i>	Meadow checkermallow	4"	24	ch	3' o.c.
<i>Sisyrinchium</i>	<i>idahoense</i>	Blue-eyed grass	4"	120	S	2' o.c.
<i>Solidago</i>	<i>elongata</i>	West coast goldenrod	4"	35	☐	3' o.c.
<i>Symphotrichum</i>	<i>chilense</i> 'Purple Haze'	Hall's aster selection	4"	20	✱	2' o.c. <i>S. hallii</i> or straight species can substitute
<b>Upland (south border, north, edges)</b>						
<i>Festuca</i>	<i>roemerii</i>	Roemer's fescue	4"	200	III	2' o.c.
<i>Carex</i>	<i>tumicola</i>	foothill sedge	4"/plug	50	Ct	2' o.c. South border on parking area
<i>Achillea</i>	<i>millefolium</i>	Common yarrow	4"	50	☉	2' o.c. South border on parking area
<i>Prunella</i>	<i>vulgaris</i>	Self heal	4"	300	Pr	1' o.c.
<i>Carex</i>	<i>pachystachya</i>	Chamisso sedge	plug/4"	60	†	3' o.c.
<i>Geranium</i>		Oregon geranium	1 gal		∞	
<b>Street tree</b>						
See Site 1D						
* bandpots okay if available, instead of 4"						

## Attachments :

Attachment 1 – Application and Attachments

Figure 12: Detailed Plant Schedule – Site 3A

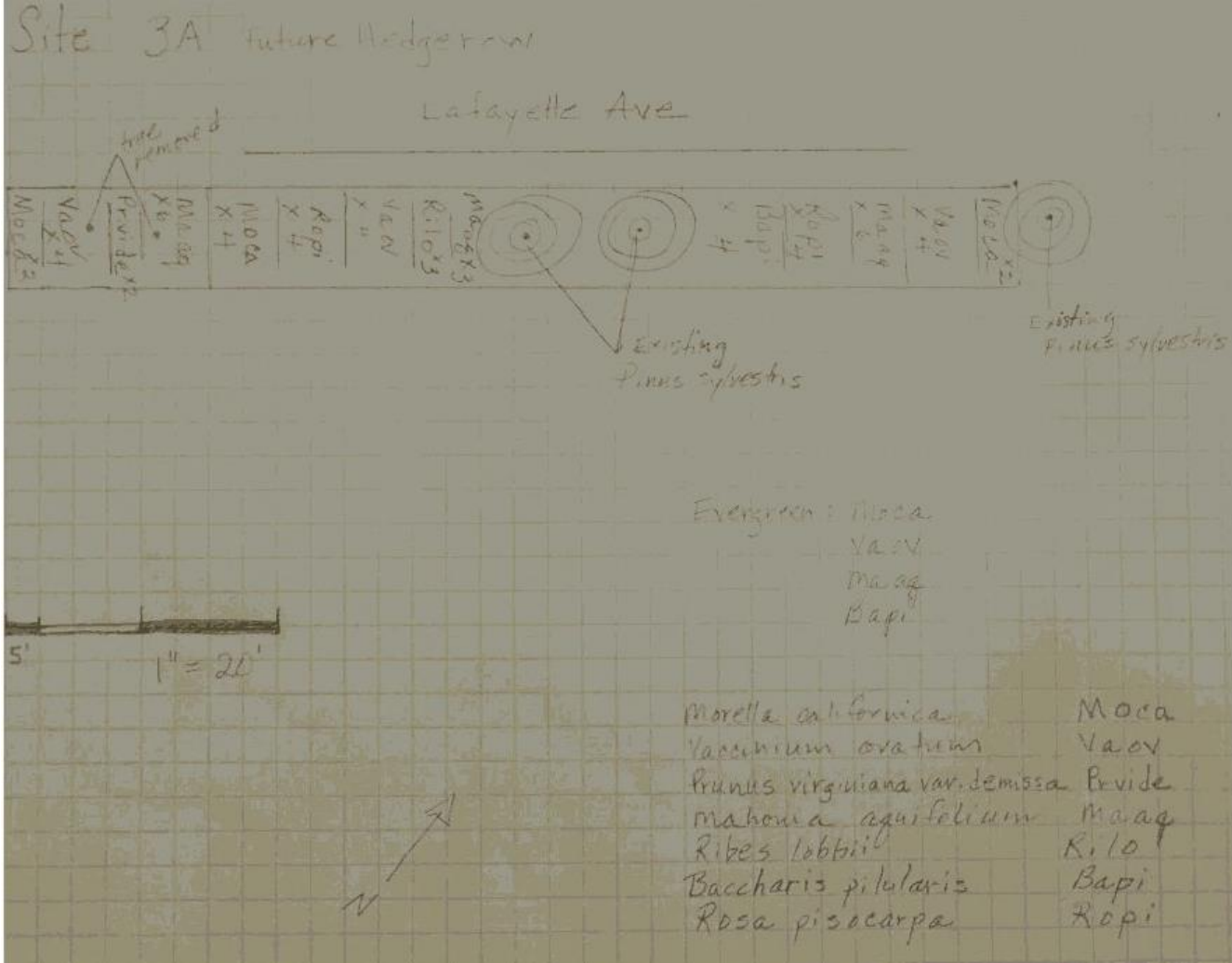


Figure 13: Detailed Plant Schedule – Site 3A

SITE NAME		3A (FUTURE)					
Genus	Species	Common name	Pot size	#	Symbol	Comments	
Vaccinium	ovatum	Evergreen huck	#1/#5	12	Vaov		
Morella	californica	Myrica	#1/#5	8	Moca		
Prunus	virginiana var. demissa	Western chokecherry	#1/#5	2	Prvide		
Mahonia	aquifolium	Tall Oregon grape	#1/#5	15	Maaq		
Ribes	lobbii	Gummy gooseberry	#1/#5	3	Rilo	may need to substitute R. sanguineum if not available	
Rosa	pisocarpa	Gummy/fuschia flower	#1/#5	8	Ropi		
Baccharis	pilularis	Coyote bush	#1/#5	4	Bapi		

Figure 14: Detailed Plant Schedule – Site 3B



Figure 15: Detailed Plant Schedule – Site 3B

SITE NAME		3B				
Genus	Species	Common name	Pot size	#	Symbol	Comments
Sambucus	mexicana ssp cerulea	Blue elderberry	#1/#5	4	E	8' o.c.
Myrica (=Morella)	californica	Calif Wax Myrtle	#1/#5	1	M	
Prunella	vulgaris	Self-heal	4"	20	Pr	2' o.c.
						Mulch between plants with 4" of arborist chips



Figure 16: Detailed Plant Schedule – Site 4

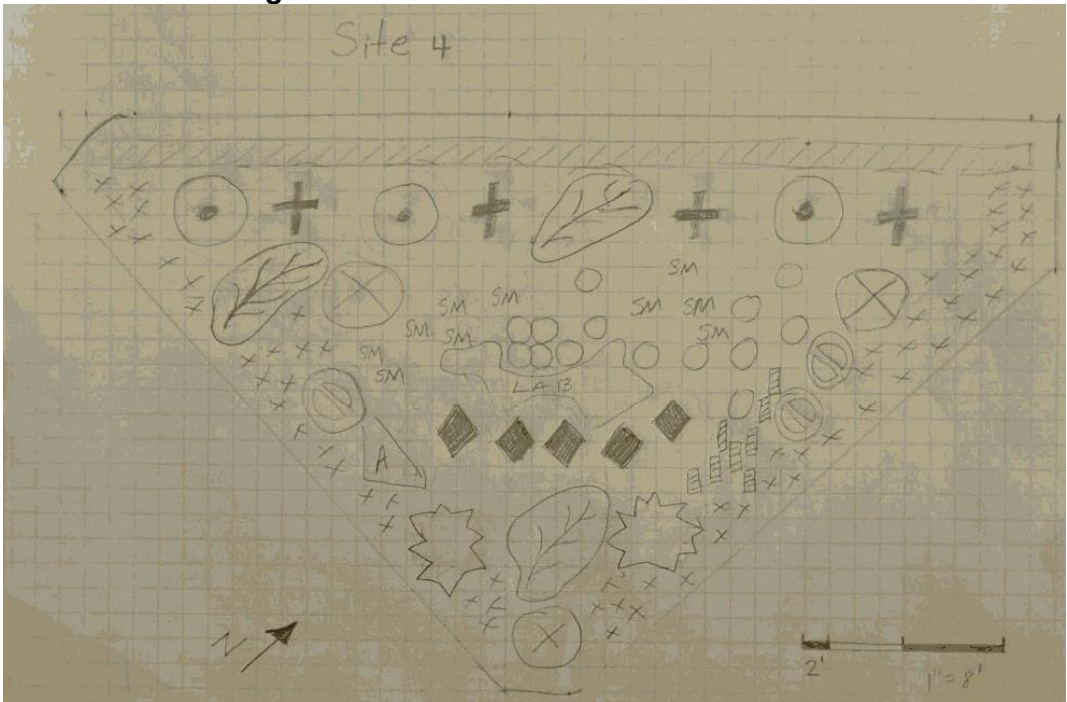


Figure 17: Detailed Plant Schedule – Site 4

SITE NAME

4

Use raingarden soil mix for Site 4: replace existing soil with mix containing 40%compost : 60% sand OR use 2/3 excavated soil mixed with 1/3 compost

Genus	Species	Common name	Pot size*	Number	Symbol	Comments
Upland mix						1' o.c.
Achillea	millefolium	Common yarrow	4"	78	////////	
Eriophyllum	lanatum	Oregon sunshine	4"	78	////////	
Lomatium	dissectum	Fernleaf biscuitroot	4"	78	////////	
Potentilla	gracilis	Slender cinquefoil	4"	78	////////	
Iris	tenax	Oregon iris	4"	78	////////	
Koeleria	macrantha	Prairie junegrass	plugs	125	X	
Wetland/Wet prairie						
Asclepias	speciosa	Showy milkweed	4"/#1	30	SM	3' o.c.
Carex	obnupta	Slough sedge	plug/band pot	30	○	2' o.c.
	sericea ssp occidentalis				●	
Cornus		Creek dogwood	#1/#5	3	●	
Physocarpus	capitatus	Ninebark	#5	4	+	
	contorta v. contorta					
Pinus		Shorepine	#5	3		
Rosa	pisocarpa	Clustered wild rose	#1	3	⊗	
Rhododendron	columbianum	Labrador tea	#1	25	Lab	
Ribes	sanguineum	Red flowering currant	#1/#5	2	★	
Mahonia	aquifolium	Tall Oregon grape	#1/#5	6	⊗	
Lonicera	involucrata	Twinberry	#1/#5	5	◆	
Symphotrichum	subspicatum	Douglas aster	4"	12	▲	
Solidago	elongata	West coast goldenrod	4"	12	▢	
* bandpots okay if available, instead of 4"						



Figure 18: Detailed Plant Schedule – Site 5

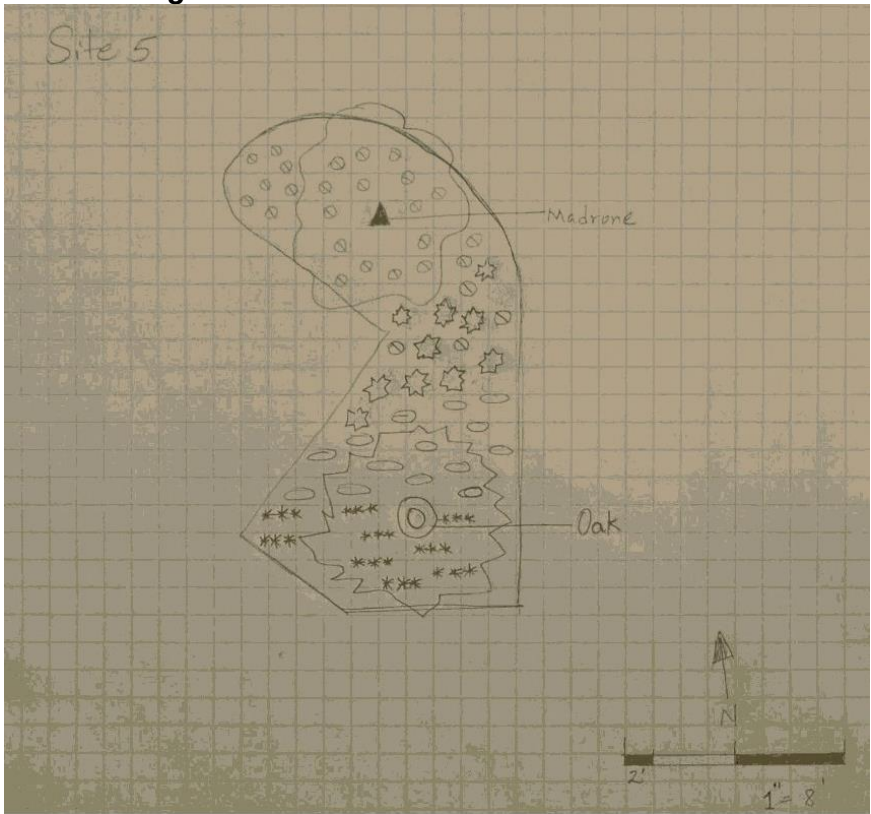


Figure 19: Detailed Plant Schedule – Site 5

SITE NAME 5						
Genus	Species	Common name	Pot size	#	Symbol	Comments
Arbutus	menziesii	Madrone	#5	1		
Quercus	garryana	Oregon white oak	#5	1		
						interplant adjacent spp. at edges:
Achillea	millefolium	Common yarrow	4"	200		2' o.c. under madrone
Clinopodium	douglasii	Yerba buena	4"/ BR	135		2' o.c. under oak
Eriophyllum	lanatum	Oregon sunshine	4"	65		2' o.c. between oak and madrone
Fragaria	virginiana	Wild (Virginia) strawberry	4"/ BR	160	***	2' o.c. under oak
* bandpots preferred if available, instead of 4"						

Figure 20: Detailed Plant Schedule – Site 6

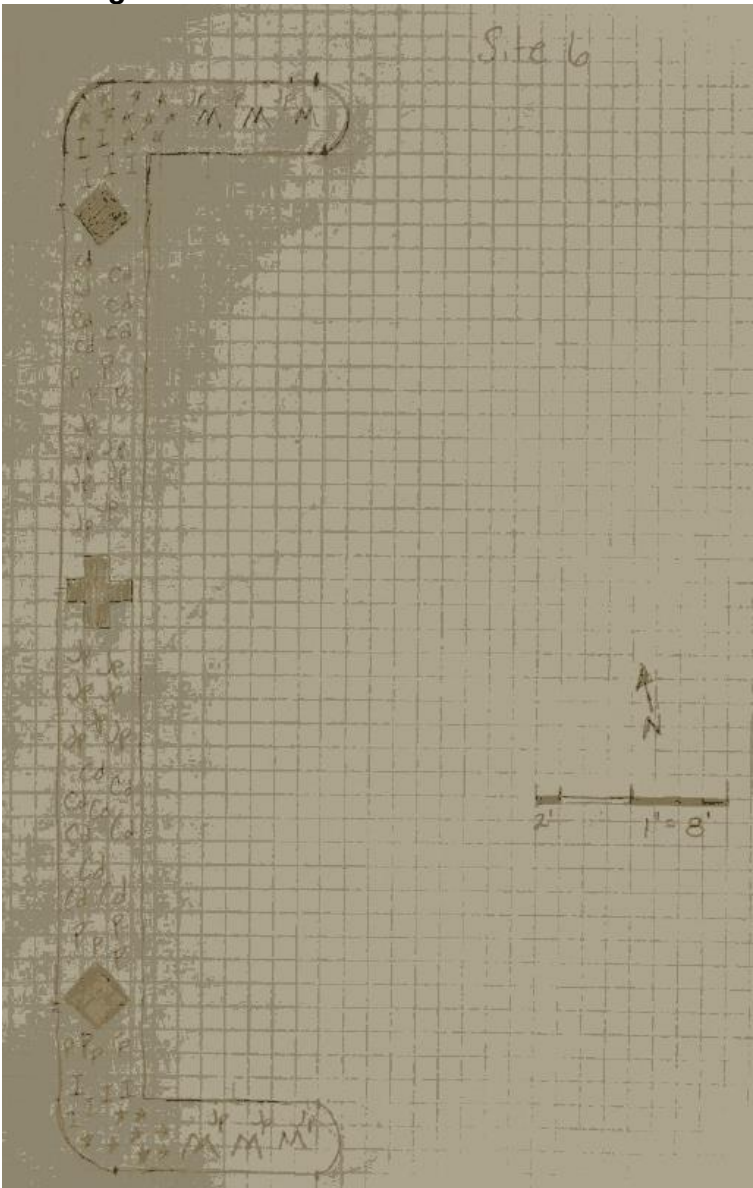


Figure 20: Detailed Plant Schedule – Site 6

**SITE NAME** 6  
Use raingarden soil mix for Site 6: replace existing soil with mix containing 40% compost to 60% sand OR use 2/3 excavated soil mixed with 1/3 compost

Genus	Species	Common name	Pot size*	#	Symbol	Comments
Morella	californica	California wax myrtle	#5	6	M	formerly Myrica californica. 4' o.c.
Lonicera	involucrata	Twinberry	#5	2	◆	
Physocarpus	capitatus	Ninebark	#5	1	+	
Juncus	patens	Spreading rush	plug/4"	36	Jp	2' o.c.
Armeria	maritima	Thrift/sea pinks	4"	90	★	1' o.c.
Iris	douglasiana	Douglas iris	4"	100	I	1" o.c. or plant 2 together 2' o.c.
Carex	densa	Dense sedge	plug/4"	36	Cd	2' o.c.
Potentilla	gracilis	Cinquefoil	4"	18	P	3' o.c.

\* bandpots preferred if available, instead of 4"

### **Summary of Criteria & Issues**

Decisions and/or recommendations for approval of the land use application is dependent upon whether or not the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

The subject site is zoned M-1 (Light Industrial). MMC Section 17.57.030 requires landscaping in the M-2 zone, therefore landscaping is required in accordance with Chapter 17.57 - Landscaping.

MMC Section 17.58.080 requires street trees to be planted at all new industrial development which has a designated curb-side planting strip. No curbside planting strip is present, therefore, additional street trees would not be required within the rights-of-way along the property's frontage.

## **II. CONDITIONS:**

1. That the applicant shall install landscaping as shown on the Landscape Site Plan and detailed planting plans received by the McMinnville Planning Department on June 9, 2020, and shall comply with required conditions of approval.
2. That plants over three (3) feet in height shall not be planted in the industrial driveway Vision Clearance Area as described in MMC Section 17.54.080(B). Trees may be located in a Clear Vision Area provided all branches and foliage are removed to height of eight (8) feet above grade.
3. That the *Quercus garryana* (Oregon White Oak) in Site #5 be replaced with an alternative tree species that is not prohibited in parking areas. Prohibited trees include poplar, willow, fruit, nut, birch, conifer, and ailanthus.
4. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to any planting excavation to ensure that underground utilities are not damaged.
5. That the applicant is reminded that trees are not to be planted within:
  - a. Five (5) feet of a private driveway or alley;
  - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
  - c. Twenty (20) feet of street light standards or street intersections.
6. That the applicant shall maintain proper clearances around the existing and future water and electrical services that will be located on the site. Landscaping shall not be placed within four (4) feet of fire hydrants, within four (4) feet of water valves, within four (4) feet of vaults, within three (3) feet of the back or side of a transformer, or within one (1) foot of water meters. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
7. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

## **III. ATTACHMENTS:**

1. L 4-20 Application and Attachments (on file with the Planning Department)

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Attachments :

Attachment 1 – Application and Attachments

#### **IV. COMMENTS:**

##### **Agency Comments**

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. The following comments have been received:

- McMinnville Public Works Department:

##### **Site Review**

1. The existing site is a government complex housing Yamhill County Public Works located on the east side of Lafayette Avenue across from Wortman Park. There is curbtight sidewalk adjacent to the site.
2. Lafayette Avenue is functionally classified as a minor arterial in the TSP, and is a 60' right of way with a 48' wide roadway improvement.
3. There is currently screening plant material planted along the west border of the site, north of the north access.
4. There are overhead power and communication facility conflicts on the east side of Lafayette Avenue, adjacent to the site.

##### **Recommendations**

1. The submitted landscaping plan shows only 2 new street trees along Lafayette Avenue, in "Area 1D". Our only comment would be to require that the trees be planted no closer than 5' from the adjacent driveway access, and that they be planted in such a manner as to not impede visibility for vehicles leaving the site.
  2. The remainder of the plantings proposed in the public right of way appear to shrubs and plants, and given the overhead constraints Public Works would concur with this approach.
  3. The remainder of the plantings are outside of the public right of way, and are thus out of our purview.
  4. Based on items #1 and #2 above, Public Works would recommend approval of this proposal.
- McMinnville Water and Light:

Maintain clearances from water facilities; See specs; FH-CLR, VAULTCLEAR, WMCLEAR.

Please verify that Autumn Service Berry does not exceed the height of trees planted under utility lines. Any additional plants along Lafayette must also be verified that they do not exceed the maximum height at maturity.

##### **Public Comments**

No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance which does not require public notification. No public comments were received prior to the Planning Director's decision.

#### **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

1. The applicant, Tony Roos of Kittelson and Associates, on behalf of Yamhill County Public Works, property owner, submitted a landscape plan review application on February 14, 2020.
2. The application was deemed incomplete on March 10, 2020. Additional information was submitted on March 13, 2020. The application was deemed incomplete on March 25, 2020.

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##### **Attachments :**

Attachment 1 – Application and Attachments



Additional information was submitted on June 9, 2020. The application was deemed incomplete on June 26, 2020.

3. Notice of the application was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments received from public agencies are addressed in the Decision Document.
4. No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
5. A public meeting was held by the Landscape Review Committee on July 15, 2020 to review the application and proposed landscape plan.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

1. **Location:** 2060 NE Lafayette Avenue (Tax Lot 1600, Section 15, T. 4. S., R. 4 W., W.M.)
2. **Size:** Overall site: 24.29 acres; Development area: 3.49 acres
3. **Comprehensive Plan Map Designation:** Industrial
4. **Zoning:** M-1 (Light Industrial)
5. **Overlay Zones/Special Districts:** None
6. **Current Use:** Public buildings and facilities
7. **Inventoried Significant Resources:**
  - a. **Historic Resources:** None
  - b. **Other:** None
8. **Other Features:** None
9. **Utilities:**
  - a. **Water:** Water service is available to the subject site.
  - b. **Electric:** Power service is available to the subject site.
  - c. **Sewer:** Sanitary sewer service is available to the subject site.
  - d. **Stormwater:** Storm sewer service is available to the subject site.
  - e. **Other Services:** Other utility services are available to the subject site. Northwest Natural Gas and Comcast is available to serve the site.
10. **Transportation:** The 2010 McMinnville Transportation System Plan identifies Lafayette Avenue as a minor arterial street.

## **VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable planning factors for a Landscape Plan Review are specified in Section 17.57.070 of the Zoning Ordinance. The applicable standards for Street Trees are specified in Section 17.58.090 of the Zoning Ordinance

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated, but are to be undertaken in relation to all applicable land use requests.

**Comprehensive Plan Volume II:**

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

**GOAL X 1:** TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

**McMinnville Zoning Ordinance**

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) provide criteria applicable to the request:

**Chapter 17.57 Landscaping**

**17.57.010 Purpose and intent.** The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:

- A. Provide guidelines and standards that will:
  1. Reduce soil erosion and the volume and rate of discharge of storm water runoff.
  2. Aid in energy conservation by shading structures from energy losses caused by weather and wind.
  3. Mitigate the loss of natural resources.
  4. Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.
  5. Create safe, attractively landscaped areas adjacent to public streets.

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*Attachments :*

Attachment 1 – Application and Attachments

6. Require the planting of street trees along the City's rights-of-way.
7. Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.
8. Provide shade, and seasonal color.
9. Reduce glare, noise and heat.
- B. Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.
- C. Unify development and enhance and define public and private places.
- D. Preserve existing mature trees.
- E. Enhance the urban forest and tree canopy.
- F. Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.
- G. Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.
- H. Support McMinnville as a community that cares about its appearance.

It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.

The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The landscape plan will enhance the appearance of the city and will benefit the economic, ecological, and aesthetic environment of the city. Conditions of approval have been included in the findings described in further detail below to ensure that the proposed planting meets necessary City standards and criteria, which will result in a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.

**17.57.030 Zones where required.** Landscaping shall be required in the following zones except as otherwise noted: [...]

- G. M-1 (Light Industrial zone).

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The subject site is zoned M-1 (Light Industrial). Therefore, landscaping is required consistent with the criteria and standards described in Chapter 17.57 – Landscaping of the McMinnville Municipal Code.

#### **17.57.070 Area Determination – Planning Factors.**

**17.57.070(A).** Landscaping shall be accomplished within the following ranges:

1. Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

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*Attachments :*

Attachment 1 – Application and Attachments

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The total site area is approximately 8.92 acres, however the area proposed for development in this project is approximately 2.15 acres. The application indicates the following Percent Landscaped for the proposed industrial development:

	Total Development Area (s.f.)	Landscape Provided (s.f.)	Percentage
Proposed Development	152,025	12,154	8.0%

The proposed landscaping of 8.0 percent exceeds the seven (7) percent minimum landscaping requirement for industrial development.

**17.57.070(B).** The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

**17.57.070(B)(1).** Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

**APPLICANT'S RESPONSE:** None.

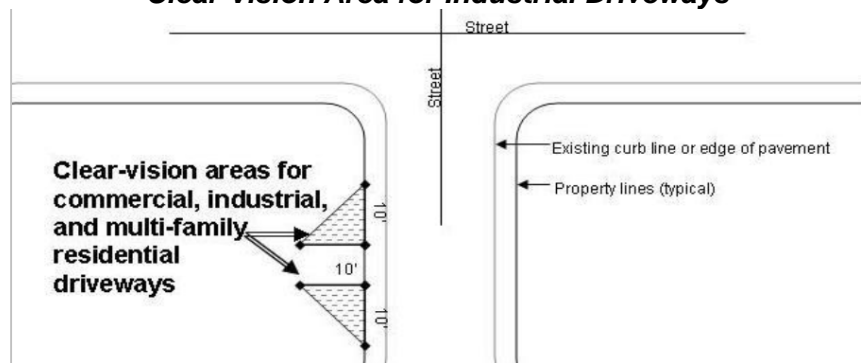
**FINDING: SATISFIED WITH CONDITION OF APPROVAL #2.** The existing Yamhill County Public Works parking lot is being redesigned and reconstructed to include new storm water drainage facilities and landscape areas. The landscape plan addresses planting within new and existing landscape areas for the reconfigured parking lot, as well as a planting area in front of the Public Works Shop along Lafayette Avenue. Existing evergreen hedges and mature trees are being retained on the north and northwest edges of the parking area.

The proposed landscaping is designed by, and will be planted by, members of Chemawa Chapter of the Native Plant Society. Proposed plantings are native, and selected to suit the various conditions of the planting areas in and around the parking area.

Sites #1A, #1D, and #2 are adjacent to the new Public Works Shop. The Native Plant Society had previously designed and planted Sites #1B-G as identified on the Landscape Site Plan with native plants. Sites #1A, #1D and #2 will be intended to be the same level and character of design as the existing planting around the Shop. Planting in the largest site, Site #2, is broken up into native border plants, low growing wet prairie and grasses, wildflower and upland plantings. Two (2) *Amelanchier x grandiflora* 'Autumn Brilliance' (Autumn Brilliance Serviceberry) flank a walkway between Sites #1D and #2, below the overhead utility lines and south of the driveway entrance to the parking area. Autumn Brilliance Serviceberry is a small tree, suitable for planting below overhead utilities as it has a 20 foot mature height. Other proposed plants within Site #2 do not reach mature heights that would interfere with overhead utility lines. To help ensure safe entry and exit from the driveway onto Lafayette Avenue, a condition of approval is included to require that plants over three (3) feet in height shall not be planted in the industrial driveway Vision Clearance Area as described in MMC Section 17.54.080(B) (see diagram below). Trees may be located in a Clear Vision Area provided all branches and foliage are removed to height of eight (8) feet above grade.



### Clear Vision Area for Industrial Driveways



Site #3A is designed to be a future hedgerow, and will only be installed as the existing, mature hedge in that location reaches its end-of-life. Proposed plantings include native evergreen and deciduous shrubs that will provide screening and buffering of the parking lot from the Lafayette Avenue right-of-way.

Site #3B, adjacent to the driveway near the Lafayette Avenue entrance, is proposed to have native shrubs such as the evergreen shrub *Myrica californica* (California Wax Myrtle) and the large deciduous shrub *Sambucus mexicana ssp. cerulea* (Blue Elderberry) and groundcover.

Site #4, a landscape area interior to the parking lot, is designed to be a native rain garden, as the landscape area is a collection point for storm water runoff from the parking area. Native upland plants, primarily herbaceous perennials, are planted around the perimeter of the space, and wetland/wet prairie plants are proposed on the interior of the rain garden where storm water collection will occur. There is a variety of native evergreen and deciduous shrubs, grasses, and herbaceous perennials proposed for the wet interior of Site #4.

Site #5, a landscape area interior to the parking lot, is located north of the Site #4 rain garden but is not a collection point for storm water. Sites #4 and #5 flank a pedestrian walkway between parking aisles. Two trees are proposed for this parking lot planting island, along with several herbaceous perennials and groundcovers. The proposed trees are *Arbutus menziesii* (Madrone) and *Quercus garryana* (Oregon White Oak). Both are native trees, Madrone is a broad leaf evergreen, and Oregon White Oak is a large deciduous tree that produces acorn nuts, sometimes prolifically. During the period of acorn production, dropping acorns on the pedestrian pathway could create slip/trip hazards for pedestrians. As described further in the finding for MMC Section 17.57.070(B)(5) below, nut trees are prohibited with parking areas and a condition of approval would require a substitution for the proposed Oregon White Oak tree that is not a prohibited tree in parking areas.

Site #6, a landscape area interior to the parking lot west of the Sheriff's building, is designed to be a native rain garden as it is a collection point for storm water runoff from the parking area. Proposed planting is tolerant of wet conditions, and includes native evergreen and deciduous shrubs, grasses, and herbaceous perennials.

Overall, the proposed landscape is compatible with the proposed redevelopment of the parking area. Rain gardens support the removal of storm water from the parking lot and provide ecological benefit with the reduction of surface flow speed and removal of pollutants from runoff. Extensive planting along the Lafayette Avenue right-of-way will increase the aesthetic character of the site and the street frontage. The use of an entirely native plant palette is reflective of a use on the larger site, the Oregon State University Extension Services which is home to the Yamhill County Master Gardeners. The proposed landscaping can be considered a demonstration garden for native plants and rain gardens. Retention of existing mature vegetation on site provides a buffer from adjacent properties and uses. With the conditions of

#### Attachments :

Attachment 1 – Application and Attachments

approval, the landscape plan is compatible with the proposed project, and with surrounding and abutting properties and uses thereon.

**CONDITION FOR FINDING:** That plants over three (3) feet in height shall not be planted in the industrial driveway Vision Clearance Area as described in MMC Section 17.54.080(B). Trees may be located in a Clear Vision Area provided all branches and foliage are removed to height of eight (8) feet above grade.

**17.57.070(B)(2).** Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** As indicated on the Landscape Site Plan, the subject site has existing trees and hedges along the northern edge of the parking area (Site #7) and in the northeast portion of the site along Lafayette Avenue (Site #3A). Site #3A includes an existing, mature evergreen hedge and evergreen tree, and Site #7 includes a hedge of Arborvitae and Photinia. Both provide screening and buffering of the parking area from the Lafayette Avenue right-of-way and from adjacent properties and uses to the north. Proposed planting in Site #3B along Lafayette Avenue includes the evergreen shrub *Myrica californica* (California Wax Myrtle) and the large deciduous shrub *Sambucus mexicana ssp. cerulea* (Blue Elderberry) to provide additional screening from the right-of-way.

**17.57.070(B)(3).** The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** As indicated on the Landscape Site Plan, the subject site has existing trees and hedges that are going to be retained and incorporated into the development of the project. Along the northern edge of the parking area (Site #7), a hedge of Arborvitae and Photinia is to be retained. In the northeast portion of the site along Lafayette Avenue (Site #3A), an existing, mature evergreen hedge and evergreen tree will be retained. The applicant has communicated to staff that Sites #3A and #7, while mature planting is currently being preserved and retained, will be planted in a future phase of work as the existing vegetation reaches its end-of-life.

Because the parking lot is existing and the redevelopment is mostly overlay, the existing grade near existing trees and hedges following redevelopment will be largely preserved to the maximum practical degree.

**17.57.070(B)(4).** The development and use of islands and plantings therein to break up parking areas.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The redevelopment of the Yamhill County Public Works parking lot includes the addition of landscape islands that function as part of an improved storm water drainage system. The internal parking lot landscape islands are proposed to have extensive native plantings within. Landscape areas around the perimeter of the redeveloped parking area will include a combination of existing mature planting that will remain, as well as new native plantings where construction activity disturbs existing planting. The combination of new and existing planting areas in and around the parking area with new and existing, mature planting will help break up the parking area.

**17.57.070(B)(5).** The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #3.** As described in more detail in a finding for MMC Section 17.58.080, street trees are not required with the proposed parking lot redevelopment. Two (2) trees identified on the planting plans (Sites 1D and 2) as street trees are specified as *Amelanchier x grandiflora* 'Autumn Brilliance' (Autumn Brilliance Serviceberry). Autumn Brilliance Serviceberry is a Recommended Small Tree Species on the McMinnville Street Tree List. It grows to 20 feet in height, and is suitable for planting under or near the overhead utility lines that are present along the street frontage.

Several native trees are proposed in the parking lot planting areas. Among them are the *Quercus garryana* (Oregon White Oak) proposed for the planting island Site #5. Because the Oregon White Oak produces acorn nuts, sometimes prolifically, this is a prohibited tree in parking areas. Therefore, a condition of approval is included to require that the *Quercus garryana* (Oregon White Oak) in Site #5 be replaced with an alternative tree species that is not prohibited in parking areas.

**CONDITION FOR FINDING:** That the *Quercus garryana* (Oregon White Oak) in Site #5 be replaced with an alternative tree species that is not prohibited in parking areas. Prohibited trees include poplar, willow, fruit, nut, birch, conifer, and ailanthus.

**17.57.070(B)(6).** Suitable watering facilities or irrigation systems must be included in or near all planted areas.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The applicant has communicated to staff that "Watering during establishment will be completed by hand by County forces. Water Bibs are present on the new shop building, near the wash rack, and on the Sheriff's building. Irrigation notes are shown on the Landscape Site Plan to reflect hand watering during establishment." Construction Note #1 on the Landscape Site Plan states that "Planting Areas to be hand watered during summer months, 3 times per week minimum, daily if temperatures exceed 80-degrees."

**17.57.070(C)** All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #7.** A condition of approval will require that all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

**CONDITION FOR FINDING:** That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

## **Chapter 17.58. Trees**

**17.58.080 Street Tree Planting—When Required.** All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has

a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The proposed project is the redevelopment of an existing parking lot serving existing uses to improve storm water drainage facilities. The parking lot fronts on a public roadway, but curb-side planting strips are not present along the property's Lafayette Avenue frontage. Therefore, new street trees are not required.

JF





**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**Office Use Only:**

File No. L4-20

Date Received 2/14/20

Fee \$01.35

Receipt No. 201947

Received by [Signature]

## Landscape Plan Review Application

### Applicant Information

**Applicant is:** ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☒ Agent ☐ Other \_\_\_\_\_

Applicant Name Kittelton & Associates Phone (503)228-5230

Contact Name Tony Roos Phone \_\_\_\_\_  
(If different than above)

Address 851 SW 6th Ave, Suite 600

City, State, Zip Portland, OR 97204

Contact Email troos@kittelton.com

### Property Owner Information

Property Owner Name Yamhill County Public Works Phone (503)434-7515  
(If different than above)

Contact Name Mark Lago, Director Phone \_\_\_\_\_

Address 2060 NE Lafayette Ave

City, State, Zip McMinnville, OR 97128

Contact Email lagom@co.yamhill.or.us

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 2060 NE Lafayette Ave, McMinnville, OR 97128

Assessor Map No. R4 04 - 15 - 1600 Total Site Area \_\_\_\_\_

Subdivision \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Comprehensive Plan Designation Industrial Zoning Designation M-1

## Landscaping Information

1. Total Landscaped Area: 0.279 Acres
2. Percent Landscaped: 8.0%
3. Building Floor Area:  
New Structure: \_\_\_\_\_ Existing Structure: \_\_\_\_\_ Addition: \_\_\_\_\_
4. Architect Name Native Plant Society - Cheahmill Chapter Phone \_\_\_\_\_  
(Landscape Architect; Engineer; or Other Designer)  
Contact Name See attached reference sheet Phone \_\_\_\_\_  
Address \_\_\_\_\_  
City, State, Zip \_\_\_\_\_  
Contact Email \_\_\_\_\_

In addition to this completed application, the applicant must provide the following:

- ☐ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- ☐ Payment of the applicable review fee, which can be found on the Planning Department web page.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

Tony Roos, PE

Digitally signed by Tony Roos, PE  
DN: C=US, E=troos@kittelson.com, OU=Kittelson & Associates,  
CN=Tony Roos, PE  
Location: Portland  
Reason: I am approving this document  
Contact Info: troos@kittelson.com  
Date: 2020.02.03 11:05:53-08'00'

Applicant's Signature

Date



Property Owner's Signature

02/05/20

Date

## **YAMHILL COUNTY PUBLIC WORKS DEPARTMENT PARKING LOT LANDSCAPING TEAM**

Michal Wert – Team contact person: 503-351-4826, [mwert@teleport.com](mailto:mwert@teleport.com)

- Chaired Technical Advisory Committee to develop and adopt policy document for Yamhill County roadside vegetation management
- Part of team developing roadside vegetation inventory of native plant communities, invasive plants, erosion along County roadsides.
- Member, Cheahmill Chapter of the Native Plant Society of Oregon.
- B.S. Natural Resource Conservation, University of Connecticut

Rob Tracey

- Designer and maintenance manager for the McMinnville Public Library native plant garden.
- Designed and installed native plant gardens at Amity High School, Montessori School, and Patton Middle School. Provide maintenance at Patton Middle School.
- Founding member of the Cheahmill Chapter of the Native Plant Society of Oregon.
- B.S. Natural Resources Planning/Soils, Humboldt State University.

Jeanie Taylor

- Professional propagator and landscape gardener.
- Owner of Taylor Gardens, consultant for Northwest native plant landscaping and design.
- President, Cheahmill Chapter of the Native Plant Society of Oregon.
- B.S. Botany, M.S. Conservation Biology, University of Washington.

Dave Hanson

- Experience designing and planting native plant gardens since 1971.
- Designer and maintenance volunteer for the McMinnville Public Library native plant garden.
- With Rob, designed and installed plantings at Amity High School, Montessori School, and Patton Middle School. Provide maintenance at Patton Middle School.
- Founding member of the Cheahmill Chapter of the Native Plant Society of Oregon.







Plant summary

Genus	Species	Size	#	Grass/sedge /rush
<i>Achillea</i>	<i>millefolium</i>	Bandpot/4"	443	
<i>Amelanchier</i>	<i>X grandiflora</i> 'Autumn Brilliance'	#5/BR	2	
<i>Arbutus</i>	<i>menziesii</i>	#5	1	
<i>Armeria</i>	<i>maritima</i>	4"	90	
<i>Asclepias</i>	<i>speciosa</i>	4"/gal	36	
<i>Baccharis</i>	<i>pilularis</i>	#1/#5	4	
<i>Camassia</i>	<i>leichtlinii</i>	lge bulbs	300	
<i>Carex</i>	<i>pachystachya</i>	#1	115	x
<i>Carex</i>	<i>feta</i>	plug	240	x
<i>Carex</i>	<i>tumulicola</i>	4"/plug	50	x
<i>Carex</i>	<i>densa</i>	plug/4"	36	x
<i>Carex</i>	<i>obnupta</i>	plug/bandpot	30	x
<i>Clinopodium</i>	<i>douglasii</i>	4"	215	
<i>Cornus</i>	<i>sericea</i> ssp <i>occidentalis</i>	#1/#5	3	
<i>Danthonia</i>	<i>californica</i>	plug	300	x
<i>Dicentra</i>	<i>formosa</i>	4"	15	
<i>Eriophyllum</i>	<i>lanatum</i>	4"	143	
<i>Festuca</i>	<i>roemerii</i>	4"	200	x
<i>Fragaria</i>	<i>virginiana</i>	4"	240	
<i>Frangula</i>	<i>purshiana</i>	#5/#1	2	
<i>Geranium</i>	<i>oreganum</i>	#1	30	
<i>Grindelia</i>	<i>integrifolia</i>	4"	36	
<i>Iris</i>	<i>tenax</i>	4"	78	
<i>Iris</i>	<i>douglasiana</i>	4"	100	
<i>Juncus</i>	<i>ensifolius</i>	plug	240	x
<i>Juncus</i>	<i>patens</i>	plug/4"	36	x
<i>Koeleria</i>	<i>macrantha</i>	plugs	125	x
<i>Lomatium</i>	<i>dissectum</i>	4"	78	
<i>Lonicera</i>	<i>involuta</i>	#1/#5	7	
<i>Luzula</i>	<i>comosa</i>	plug	300	x
<i>Mahonia</i>	<i>aquifolium</i>	#1/#5	21	
<i>Morella</i>	<i>californica</i>	#5	15	
<i>Oxalis</i>	<i>oregana</i> 'Klamath Ruby'	4"	20	

Plant summary

Genus	Species	Size	#	Grass/sedge /rush
<i>Physocarpus</i>	<i>capitatus</i>	#5	5	
<i>Pinus</i>	<i>contorta v. contorta</i>	#5	3	
<i>Potentilla</i>	<i>gracilis var. gracilis</i>	4"	121	
<i>Prunella</i>	<i>vulgaris</i>	4"	300	
<i>Prunus</i>	<i>virginiana var. demissa</i>	#1/#5	2	
<i>Quercus</i>	<i>garryana</i>	#5	1	
<i>Rhododendron</i>	<i>columbianum</i>	#!	25	
<i>Ribes</i>	<i>lobbii</i>	#1/#5	3	
<i>Ribes</i>	<i>sanguineum</i>	#1/#5	2	
<i>Rosa</i>	<i>pisocarpa</i>	#1/#5	11	
<i>Sambucus</i>	<i>mexicana ssp cerulea</i>	#1/#5	4	
<i>Sidalcea</i>	<i>campestris</i>	4"	24	
<i>Sisyrinchium</i>	<i>idahoense</i>	4"	120	
<i>Solidago</i>	<i>elongata</i>	4"	47	
<i>Symphotrichum</i>	<i>subspicatum</i>	4"	12	
<i>Symphyotrichum</i>	<i>chilense 'Purple Haze'</i>	4"	20	
<i>Vaccinium</i>	<i>ovatum</i>	#5/#1	15	

# Site 1A



Cassava

Fraxinus peruviana



Evergreen huckleberry

Vaccinium ovatum



Bleeding heart

Dicentra formosa



Evergreen oxalis

Oxalis "Klamath Ruby"








Oregon Viburnum

Viburnum ellipticum



# Yamhill County Public Works Department Landscape Plant List

SITE NAME 1A

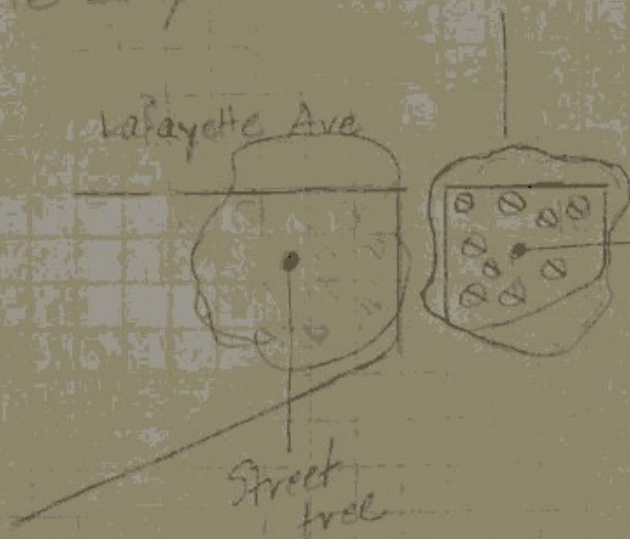
Genus	Species	Common name	Pot size	#	Symbol	Comments
<i>Frangula</i>	<i>purshiana</i>	Cascara	#5/#1	1		
<i>Vaccinium</i>	<i>ovatum</i>	Evergreen huckleberry	#5/#1	3		5' o.c.
<i>Dicentra</i>	<i>formosa</i>	Pacific bleeding heart	4"	15		
<i>Oxalis</i>	<i>oregana 'Klamath Ruby'</i>	Evergreen oxalis	4"	20		
<i>Viburnum</i>	<i>ellipticum</i>	Oregon viburnum	#5	1		



Site 2 /

Site 10

Lafayette Ave



Street tree

*Amelanchier x grandiflora* 'Autumn Brilliance'



*Achillea millefolium*

4' 1" = 16'

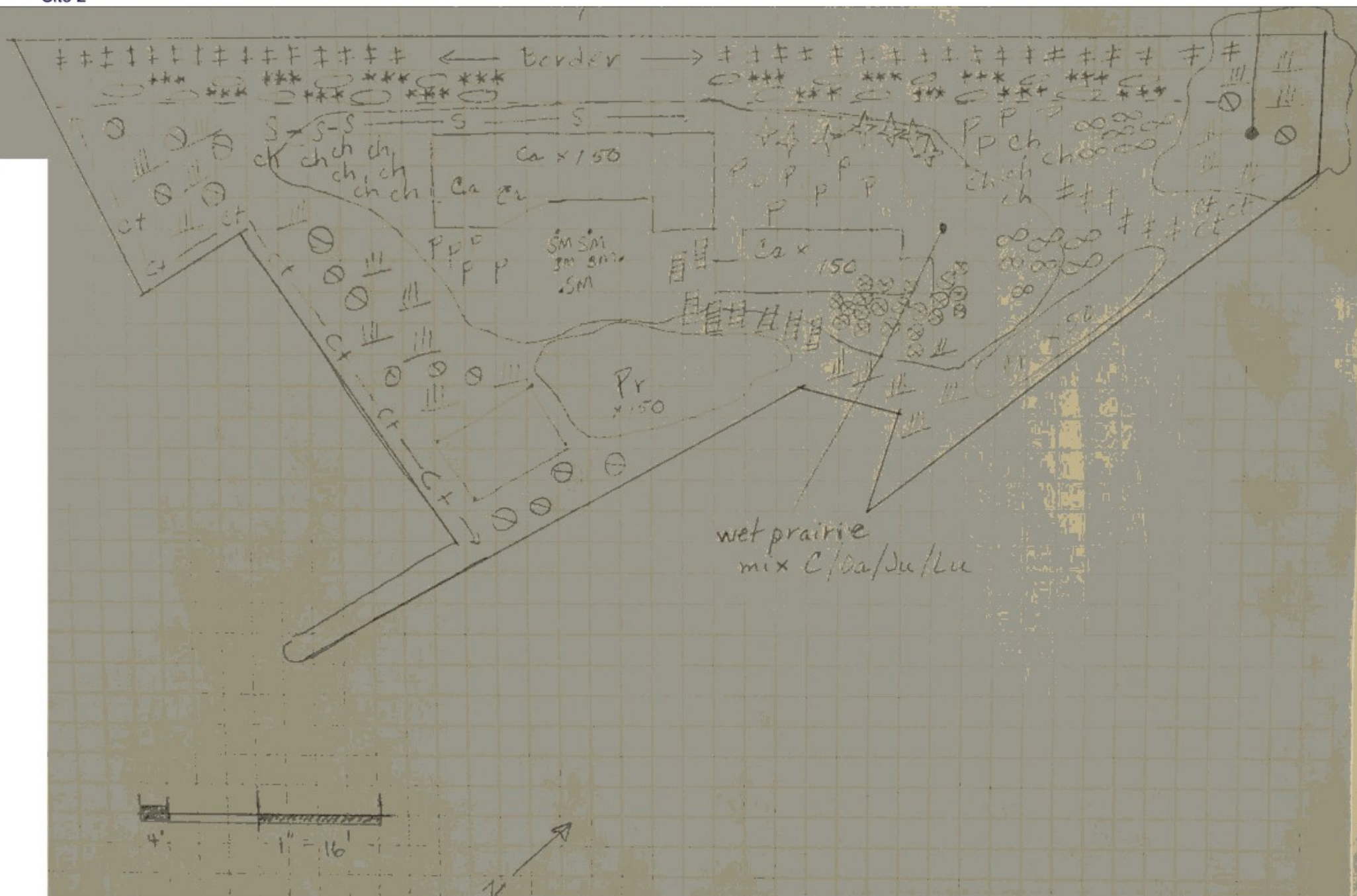




# Yamhill County Public Works Department Landscape Plant List

SITE NAME 1D

Genus	Species	Common name	Pot size	#	Symbol	Comments
<i>Amelanchier</i>	<i>X grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	#5/BR	2	AAB	Tree form preferred over multi-stem shrub form. Prune/train for shape as needed year 1-5
<i>Achillea</i>	<i>millefolium</i>	common yarrow	Bandpot/ 4"	115	⊗	2' o.c.



# Yamhill County Public Works Department Landscape Plant List

SITE NAME

2

Genus	Species	Common name	Pot size*	#	Symbol	Comments
<b>Border (Lafayette):</b>						164'
<i>Carex</i>	<i>pachystachya</i>	Chamisso sedge	#1	55	⚡	3' o.c. border along Lafayette edge
<i>Clinopodium</i>	<i>douglasii</i>	Yerba buena	4"	80	○	2' o.c. place behind <i>Carex</i> border
<i>Fragaria</i>	<i>virginiana</i>	Wild strawberry	4"	80	***	1' o.c. intermix with <i>C. douglasii</i>
<b>Wet prairie/sedge &amp; grass mix (low growing):</b>						Matrix for wet prairie wildflowers
<i>Carex</i>	<i>feta</i>	Greensheath sedge	plug	240	C	1' oc.
<i>Danthonia</i>	<i>californica</i>	California oat grass	plug	300	Da	1' oc.
<i>Juncus</i>	<i>ensifolius</i>	Dagger leaf rush	plug	240	Ju	1' oc.
<i>Luzula</i>	<i>comosa</i>	Woodrush	plug	300	Lu	1' oc.
<b>WP wildflowers</b>						Mass in single species groups in sedge/grass matrix
<i>Asclepias</i>	<i>speciosa</i>	Showy milkweed	4"/gal	6	SM	4' o.c.
<i>Camassia</i>	<i>leichtlinii</i>	Great camas	lge bulbs	300	Camas	2' o.c.
<i>Grindelia</i>	<i>integrifolia</i>	WV gumweed	4"	36	□	2' oc
<i>Potentilla</i>	<i>gracilis</i> var. <i>gracilis</i>	Slender cinquefoil	4"	25	P	4' o.c.
<i>Sidalcea</i>	<i>campestris</i>	Meadow checkermallow	4"	24	ch	3' o.c.
<i>Sisyrinchium</i>	<i>idahoense</i>	Blue-eyed grass	4"	120	S	2' o.c.
<i>Solidago</i>	<i>elongata</i>	West coast goldenrod	4"	35	☐	3' o.c.
<i>Symphotrichum</i>	<i>chilense</i> 'Purple Haze'	Hall's aster selection	4"	20	✱	2' o.c. <i>S. hallii</i> or straight species can substitute
<b>Upland (south border, north, edges)</b>						
<i>Festuca</i>	<i>roemerii</i>	Roemer's fescue	4"	200	III	2' o.c.
<i>Carex</i>	<i>tumicola</i>	foothill sedge	4"/plug	50	Ct	2' o.c. South border on parking area
<i>Achillea</i>	<i>millefolium</i>	Common yarrow	4"	50	☼	2' o.c. South border on parking area
<i>Prunella</i>	<i>vulgaris</i>	Self heal	4"	300	Pr	1' o.c
<i>Carex</i>	<i>pachystachya</i>	Chamisso sedge	plug/4"	60	⚡	3' o.c.
<i>Geranium</i>		Oregon geranium	1 gal		∞	
<b>Street tree</b>						
See Site 1D						
* bandpots okay if available, instead of 4"						

Site 3A Future Hedgerow

Morella californica	Moca
Vaccinium ovatum	Vaov
Prunus virginiana var. demissa	Prvide
mahoua aquifolium	Maag
Ribes lobbi	Rilo
Baccharis pilularis	Bapi
Rosa pisocarpa	Ropi

# Yamhill County Public Works Department Landscape Plant List

SITE NAME 3A (FUTURE)

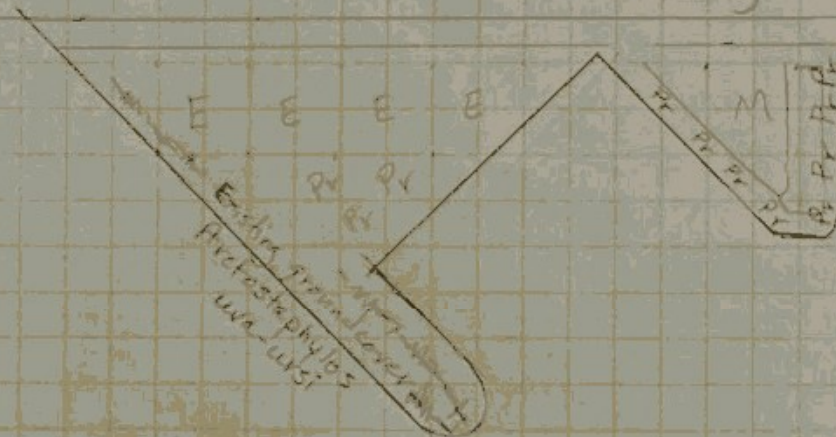
Genus	Species	Common name	Pot size	#	Symbol	Comments
<i>Vaccinium</i>	<i>ovatum</i>	Evergreen huck	#1/#5	12	Vaov	
<i>Morella</i>	<i>californica</i>	Myrica	#1/#5	8	Moca	
<i>Prunus</i>	<i>virginiana var. demissa</i>	Western chokecherry	#1/#5	2	Prvide	
<i>Mahonia</i>	<i>aquifolium</i>	Tall Oregon grape	#1/#5	15	Maaq	
<i>Ribes</i>	<i>lobbii</i>	Gummy gooseberry	#1/#5	3	Rilo	may need to substitue R. sanguineum if not available
<i>Rosa</i>	<i>pisocarpa</i>	Gummy/fuschia flower	#1/#5	8	Ropi	
<i>Baccharis</i>	<i>pilularis</i>	Coyote bush	#1/#5	4	Bapi	



Site 3B

Lafayette Ave

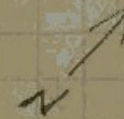
### Existing Hedge



E = *Sambucus mexicana*  
ssp. *cerulea*

h = *Penicillium vulgaris*

50 = Morella californica

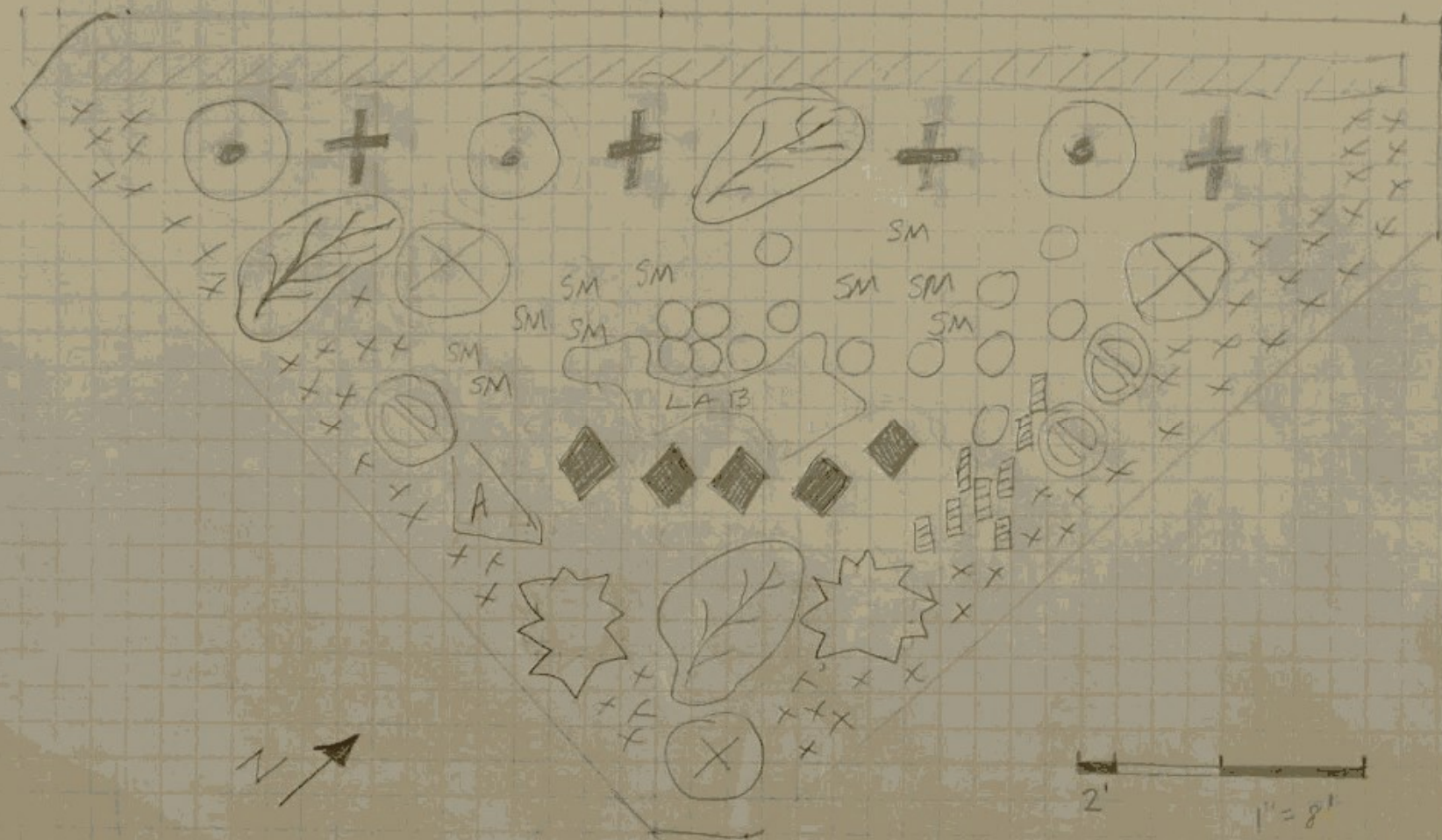


# Yamhill County Public Works Department Landscape Plant List

SITE NAME 3B

Genus	Species	Common name	Pot size	#	Symbol	Comments
<i>Sambucus</i>	<i>mexicana ssp cerulea</i>	Blue elderberry	#1/#5	4	E	8' o.c.
<i>Myrica (=Morella)</i>	<i>californica</i>	Calif Wax Myrtle	#1/#5	1	M	
<i>Prunella</i>	<i>vulgaris</i>	Self-heal	4"	20	Pr	2' o.c.
						Mulch between plants with 4" of arborist chips

# Site 4





# Yamhill County Public Works Department Landscape Plant List

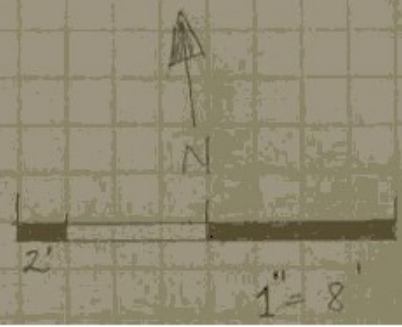
SITE NAME

4

Use raingarden soil mix for Site 4: replace existing soil with mix containing 40%compost : 60% sand OR use 2/3 excavated soil mixed with 1/3 compost






Genus	Species	Common name	Pot size*	Number	Symbol	Comments
Upland mix						1' o.c.
<i>Achillea</i>	<i>millefolium</i>	Common yarrow	4"	78	////////	
<i>Eriophyllum</i>	<i>lanatum</i>	Oregon sunshine	4"	78	////////	
<i>Lomatium</i>	<i>dissectum</i>	Fernleaf biscuitroot	4"	78	////////	
<i>Potentilla</i>	<i>gracilis</i>	Slender cinquefoil	4"	78	////////	
<i>Iris</i>	<i>tenax</i>	Oregon iris	4"	78	////////	
<i>Koeleria</i>	<i>macrantha</i>	Prairie junegrass	plugs	125	X	
Wetland/Wet prairie						
<i>Asclepias</i>	<i>speciosa</i>	Showy milkweed	4"/#1	30	SM	3' o.c.
<i>Carex</i>	<i>obnupta</i>	Slough sedge	plug/band pot	30	○	2' o.c.
<i>Cornus</i>	<i>sericea ssp occidentalis</i>	Creek dogwood	#1/#5	3	●	
<i>Physocarpus</i>	<i>capitatus</i>	Ninebark	#5	4	+	
<i>Pinus</i>	<i>contorta v. contorta</i>	Shorepine	#5	3	□	
<i>Rosa</i>	<i>pisocarpa</i>	Clustered wild rose	#1	3	⊗	
<i>Rhododendron</i>	<i>columbianum</i>	Labrador tea	#1	25	Lab	
<i>Ribes</i>	<i>sanguineum</i>	Red flowering currant	#1/#5	2	★	
<i>Mahonia</i>	<i>aquifolium</i>	Tall Oregon grape	#1/#5	6	⊗	
<i>Lonicera</i>	<i>involucrata</i>	Twinberry	#1/#5	5	◆	
<i>Symphotrichum</i>	<i>subspicatum</i>	Douglas aster	4"	12	△	
<i>Solidago</i>	<i>elongata</i>	West coast goldenrod	4"	12	▮	
* bandpots okay if available, instead of 4"						

Site 5



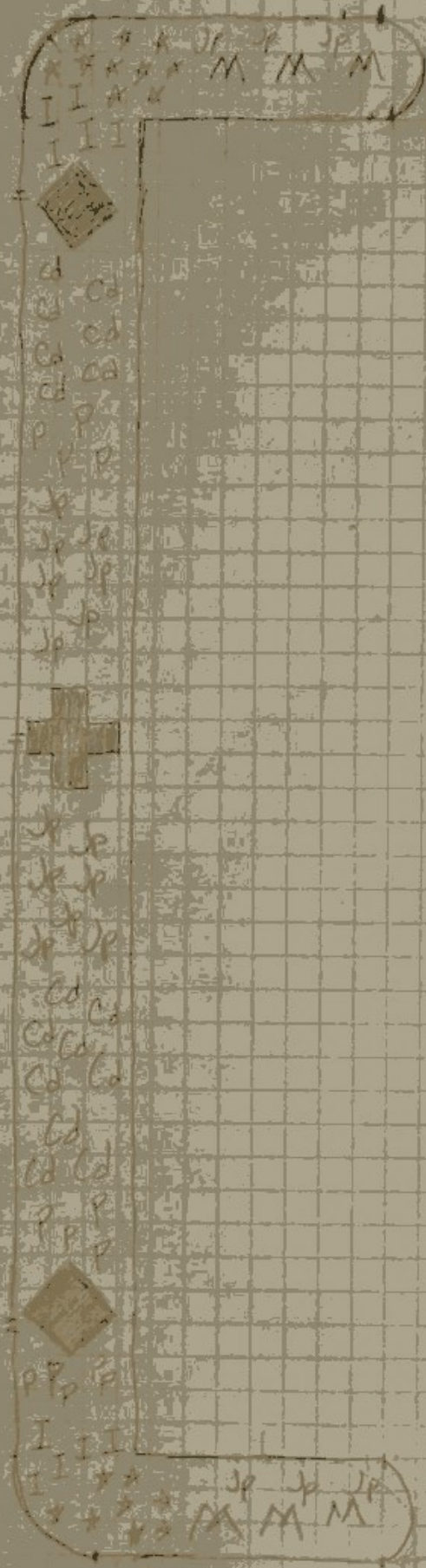


# Yamhill County Public Works Department Landscape Plant List

SITE NAME		5				
Genus	Species	Common name	Pot size	#	Symbol	Comments
<i>Arbutus</i>	<i>menziesii</i>	Madrone	#5	1		
<i>Quercus</i>	<i>garryana</i>	Oregon white oak	#5	1		
						<b>interplant adjacent spp. at edges:</b>
<i>Achillea</i>	<i>millefolium</i>	Common yarrow	4"	200		2' o.c. under madrone
<i>Clinopodium</i>	<i>douglasii</i>	Yerba buena	4"/ BR	135		2' o.c. under oak
<i>Eriophyllum</i>	<i>lanatum</i>	Oregon sunshine	4"	65		2' o.c. between oak and madrone
<i>Fragaria</i>	<i>virginiana</i>	Wild (Virginia) strawberry	4"/ BR	160	***	2' o.c. under oak

\* bandpots preferred if available, instead of 4"

Site 6



# Yamhill County Public Works Department Landscape Plant List

SITE NAME

6

Use rain garden soil mix for Site 6: replace existing soil with mix containing 40% compost to 60% sand OR use 2/3 excavated soil mixed with 1/3 compost

Genus	Species	Common name	Pot size*	#	Symbol	Comments
<i>Morella</i>	<i>californica</i>	California wax myrtle	#5	6	M	formerly <i>Myrica californica</i> . 4' o.c.
<i>Lonicera</i>	<i>involucrata</i>	Twinberry	#5	2	◆	
<i>Physocarpus</i>	<i>capitatus</i>	Ninebark	#5	1	+	
<i>Juncus</i>	<i>patens</i>	Spreading rush	plug/4"	36	Jp	2' o.c.
<i>Armeria</i>	<i>maritima</i>	Thrift/sea pinks	4"	90	★	1' o.c.
<i>Iris</i>	<i>douglasiana</i>	Douglas iris	4"	100	I	1" o.c. or plant 2 together 2' o.c.
<i>Carex</i>	<i>densa</i>	Dense sedge	plug/4"	36	Cd	2' o.c.
<i>Potentilla</i>	<i>gracilis</i>	Cinquefoil	4"	18	P	3' o.c.

\* bandpots preferred if available, instead of 4"



City of McMinnville  
 Planning Department  
 231 NE Fifth Street  
 McMinnville, OR 97128  
 (503) 434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

## EXHIBIT 2 - STAFF REPORT

DATE: July 15, 2020  
 TO: Landscape Review Committee Members  
 FROM: Jamie Fleckenstein, Associate Planner  
 SUBJECT: Agenda Item 4B - Street Tree Removal Application (L 19-20)

### STRATEGIC PRIORITY & GOAL:



### GROWTH & DEVELOPMENT CHARACTER

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

### Report in Brief:

An application to remove two (2) street trees adjacent to 1058 NE Maloney Drive (L 19-20) to be reviewed by the Landscape Review Committee. The trees are *Liquidambar styraciflua* (Sweetgum) and are found on the Prohibited Street Tree List. The trees' roots are damaging the adjacent sidewalk. One (1) replacement tree is recommended due to utility setbacks. The applicant has proposed *Gleditsia triacanthos* 'Draves' (Street Keeper Honeylocust) as a replacement tree, which is a Recommended Medium Street Tree. Staff recommends approval of the application, subject to conditions.

### Background:

The application requests the removal of two (2) street trees from the public right-of-way adjacent to the subject property that is impacting public infrastructure. The trees are also a variety that is on the prohibited street tree list. Removal of a tree located within the public right-of-way which is affecting public infrastructure, including sidewalks, requires City approval.

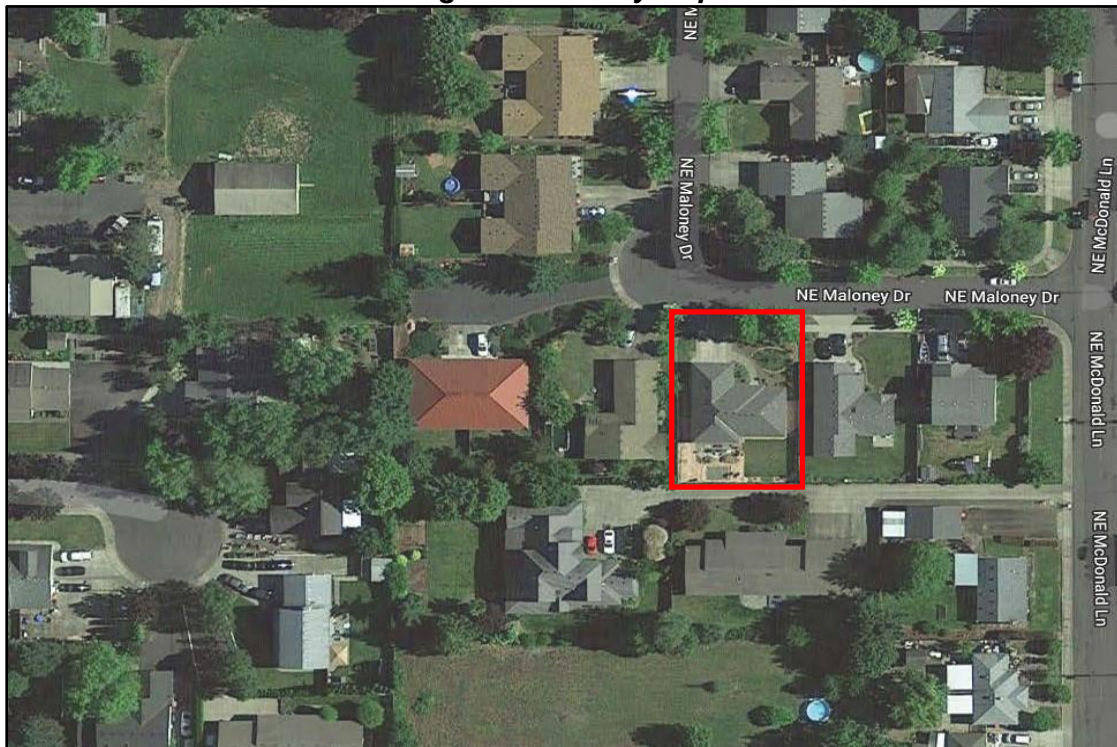
The subject property is located at 1058 NE Maloney Drive, within the Maloney Addition subdivision. **See Figure 1 (Vicinity Map).** The property is zoned R-3PD (Two-Family Residential Planned Development) and is developed with a single-family residence. The trees that are requested for removal are a *Liquidambar styraciflua* (Sweetgum) located on within the NE Maloney Drive right-of-way. **See Figure 2 (Applicant's Site Plan), Figure 3 (Sidewalk Condition), and Figure 4 (Sidewalk Condition).**

### Attachments:

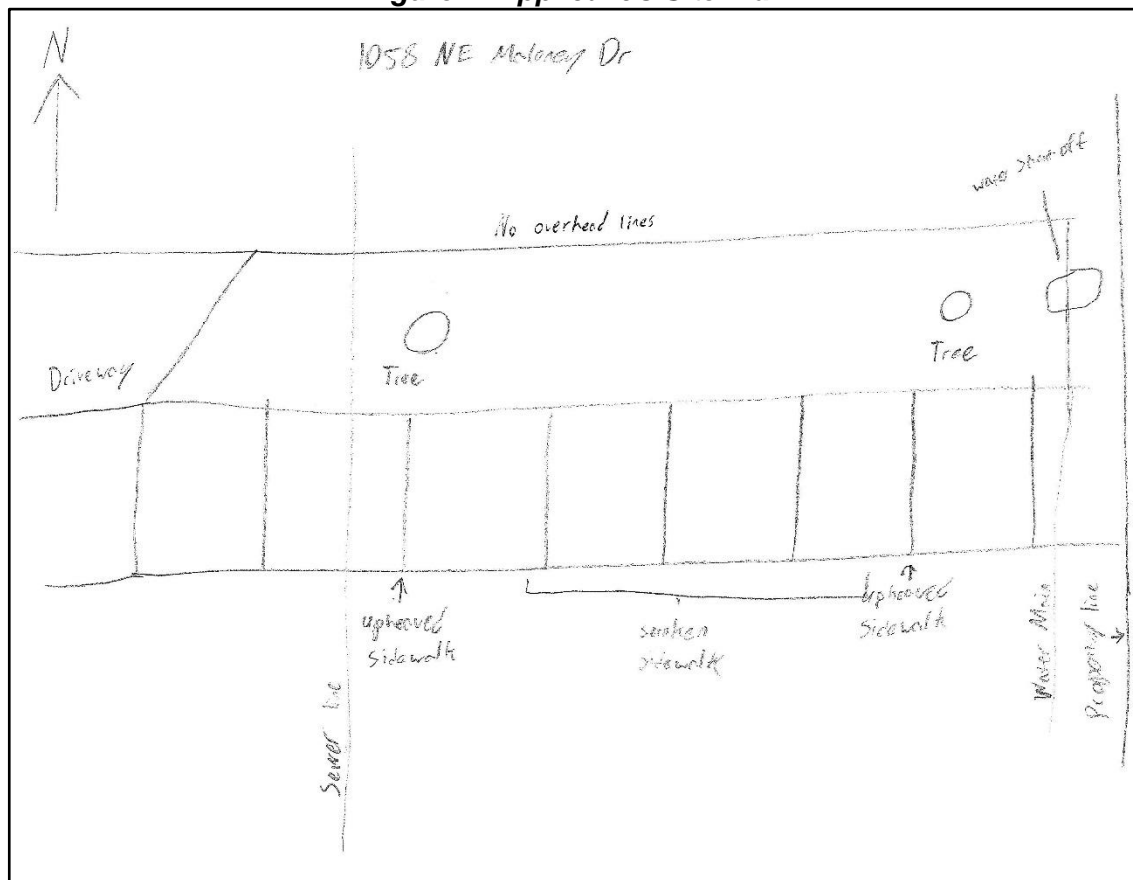
Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Street Tree Removal At 1058 NE Maloney Drive



**Figure 1: Vicinity Map**



**Figure 2: Applicant's Site Plan**



**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1058 NE Maloney Drive



**Figure 3: Sidewalk Condition (eastern tree)**



**Figure 4: Sidewalk Condition (western tree)**



**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1058 NE Maloney Drive

**Discussion:****Summary of Criteria & Issues:**

The application requests the removal of two (2) street trees from the public right-of-way adjacent to the subject property because they are damaging public infrastructure. The trees are also a variety that is on the prohibited street tree list. Removal of a tree located within the public right-of-way which is affecting public infrastructure, including sidewalks, requires City approval. The Tree Removal Permit request is subject to the Tree Removal review criteria in Section 17.58.050 of the McMinnville Municipal Code (MMC).

Section 17.58.050 of the MMC requires a permit for Tree Removal to be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.
- B. The tree is in conflict with public improvements.
- C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.

The applicant has provided evidence that the sidewalk adjacent to the trees is being damaged. The tree species is found on the Prohibited Street Tree List because it is known for shallow, aggressive roots. Since the trees are in conflict with public improvements, the likelihood of the tree continuing to damage the sidewalk is high, and that root pruning the tree is not likely to correct the issue, criterion B for approval has been met, and removal of the Tree is recommended.

One (1) replacement street tree is recommended by Staff to maintain setbacks from existing utilities. The applicant has proposed *Gleditsia triacanthos* 'Draves' (Street Keeper Honeylocust) as a replacement tree. There is no approved street tree plan for this addition requiring a specific species, and the proposed replacement is a recommended tree on the McMinnville Street Tree List. A condition of approval included in the decision document requires any necessary repair or replacement of the damaged sidewalk.

**Fiscal Impact:**

None.

**Landscape Review Committee Options:**

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

**Staff Recommendation:**

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied. Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document.

**Suggested Motion:**

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**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1058 NE Maloney Drive

**THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE TREE REMOVAL APPLICATION L 19-20 SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT.**

JF

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*Attachments:*

*Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1058 NE Maloney Drive*





**CITY OF MCMINNVILLE  
PLANNING DEPARTMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128

503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE  
APPROVAL OF A TREE REMOVAL AT 1058 NE MALONEY DRIVE**

**DOCKET:** L 19-20 (Street Tree Removal)

**REQUEST:** Approval to remove two (2) trees from the public right-of-way adjacent to the subject property because of damage to the infrastructure

**LOCATION:** 1058 NE Maloney Drive (Tax Lot 1213, Section 09CD, T. 4. S., R. 4 W., W.M.)

**ZONING:** R-3 PD (Two-Family Residential Planned Development)

**APPLICANT:** Adam Grieve & Karla Meyer, property owners

**STAFF:** Jamie Fleckenstein, PLA, Associate Planner

**DATE DEEMED  
COMPLETE:** June 26, 2020

**DECISION MAKING  
BODY & ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.

**DECISION DATE  
& LOCATION:** July 15, 2020, Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, Oregon, and Zoom Online Meeting ID 518 962 842.

**PROCEDURE:** This tree removal is subject to review in accordance with procedures specified in Chapter 17.58-Trees of the McMinnville Zoning Ordinance. The application for tree removal is subject to the procedures specified in Section 17.58.040 Tree Removal/Replacement.

**CRITERIA:** The applicable criteria are specified in Section 17.58.050 of the McMinnville Zoning Ordinance, McMinnville City Code.

**APPEAL:** The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.58.040(A) of the McMinnville Zoning Ordinance.

**COMMENTS:** This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Their comments are provided in this document. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

## DECISION

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the street tree removal (L 19-20) **subject to the conditions of approval provided in this document.**

**DECISION: APPROVAL WITH CONDITIONS**

Planning Staff: \_\_\_\_\_  
 Jamie Fleckenstein, Associate Planner

Date: \_\_\_\_\_

Planning Department: \_\_\_\_\_  
Heather Richards, Planning Director

Date: \_\_\_\_\_

## **I. APPLICATION SUMMARY:**

### ***Subject Property & Request***

The application requests the removal of two (2) street trees from the public right-of-way adjacent to the subject property that are impacting public infrastructure. The trees are also a species, *Liquidambar styraciflua* (Sweet Gum), which is on the prohibited street tree list. Removal of a tree located within the public right-of-way which is affecting public infrastructure, including sidewalks, requires City approval.

The subject property is located at 1058 NE Maloney Drive, within the Maloney Addition subdivision. **See Figure 1 (Vicinity Map).** The property is zoned R-3PD (Two-Family Residential Planned Development) and is developed with a single-family residence. The trees that are requested for removal are *Liquidambar styraciflua* (Sweet Gum) located within the NE Maloney Drive right-of-way. **See Figure 2 (Applicant's Site Plan), Figure 3 (Sidewalk Condition), and Figure 4 (Sidewalk Condition).**

**Figure 1: Vicinity Map**

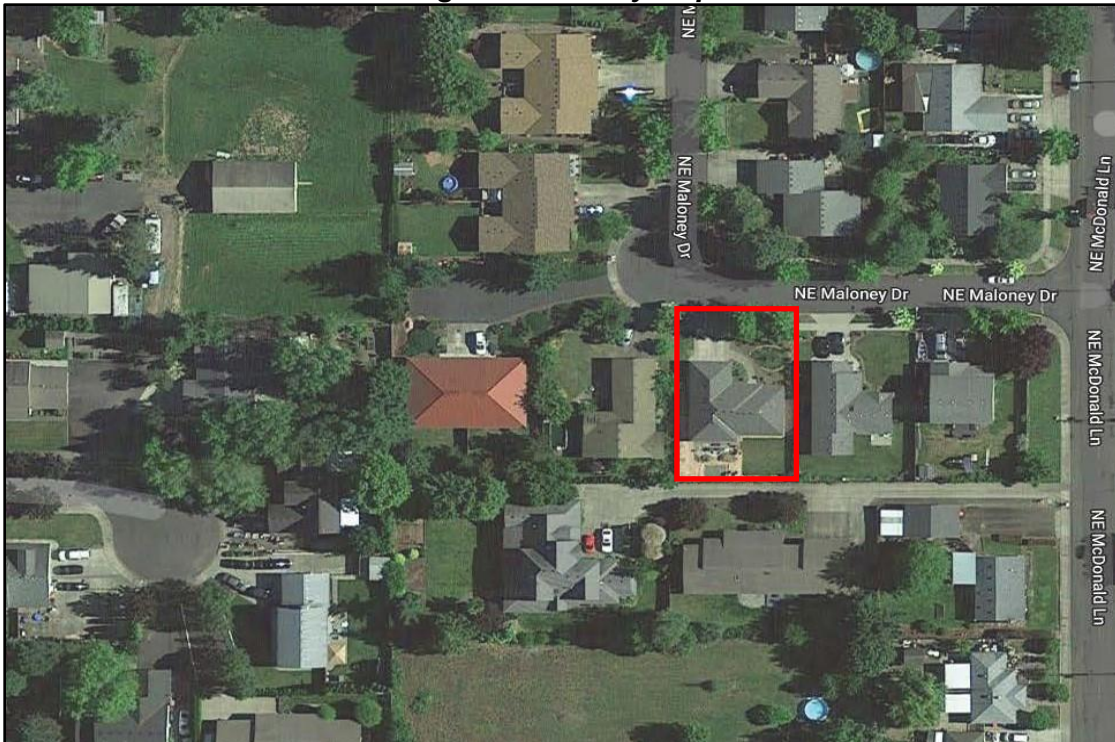




Figure 2: Applicant's Site Plan

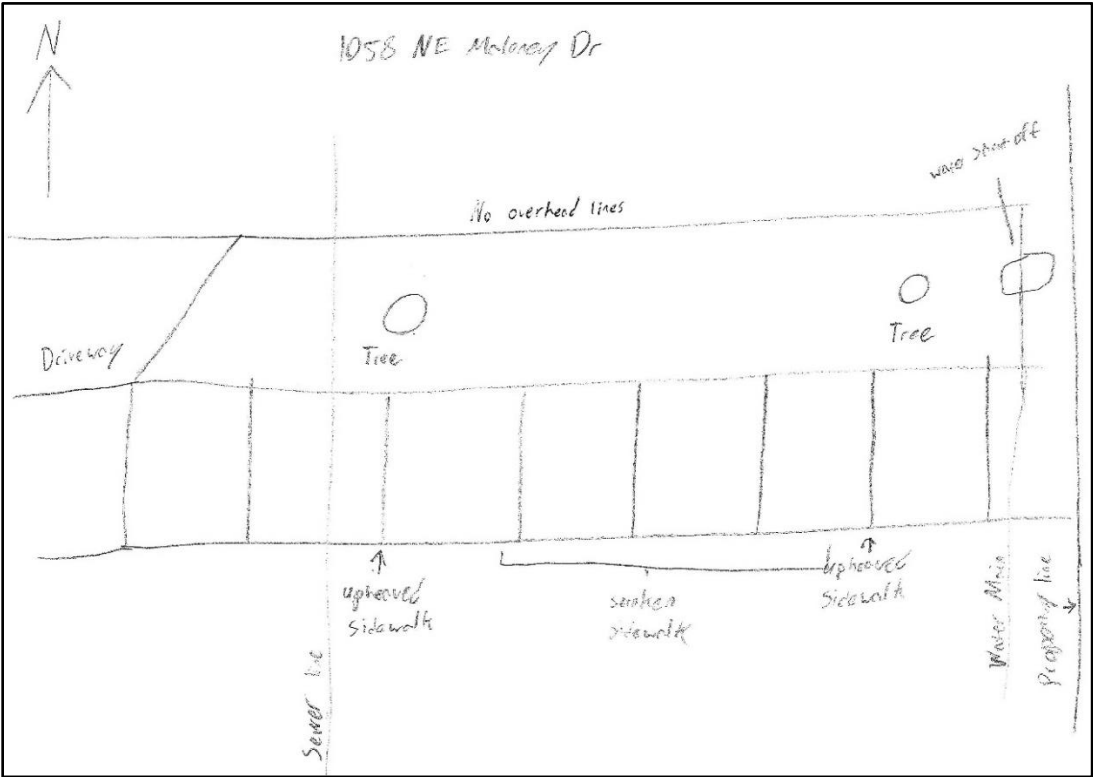


Figure 3: Sidewalk Condition





**Figure 4: Sidewalk Condition****Summary of Criteria & Issues**

The application is subject to review criteria in McMinnville Municipal Code (MMC) Section 17.58.050 of the McMinnville Zoning Ordinance, which requires a permit for Tree Removal to be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.
- B. The tree is in conflict with public improvements.
- C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.

The applicant has provided documentation to support the request for a Tree Removal Permit. This will be discussed in detail in Section VII (Conclusionary Findings) below.

**II. CONDITIONS:**

1. That all costs and liability associated with tree removal, stump grinding, and tree replacement shall be borne by the applicant.

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Attachments:

Attachment 1 – Application and Attachments

2. That the applicant shall call for locates (dial 811) for all underground utilities prior to removing the trunk and roots. This is a free service and the law. Upon request, utility locates can be flagged without marking up hard surfaces.
3. That the trees' stump and remaining surface roots shall be removed at least six (6) inches below grade to allow for a suitable replanting site. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations.
4. That one (1) replacement street tree be planted in the NE Maloney Drive planter strip. The tree shall be a recommended medium street tree from the McMinnville Street Tree List, such as *Gleditsia triacanthos* 'Draves' (Street Keeper Honeylocust), or other species/variety approved by the McMinnville Landscape Review Committee.
5. That the replacement tree shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees' must be free of insects, diseases, mechanical injury, and other objectionable features when planted.
6. That the replacement tree shall be planted per the approved City detail. The applicant shall provide root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree and the curb side of the tree. The root barrier protection shall be placed in 10-foot lengths, centered on the tree, and to a minimum depth of eighteen (18) inches. In addition, the tree shall be provided with two (2) deep watering tubes to promote deep root growth.
7. That the applicant shall contact the McMinnville Public Works Department at 503-434-7316 to discuss specific staking, watering tube requirements, and to schedule an inspection prior to backfilling the replacement tree's planting pit.
8. That the applicant is reminded that trees are not to be planted within:
  - a. Five (5) feet of a private driveway or alley;
  - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
  - c. Twenty (20) feet of street light standards or street intersections.
9. That the planter strip area shall be restored to original grade immediately following the planting of the replacement trees.
10. That the applicant shall contact the McMinnville Engineering Department at (503) 472-7312 to assess sidewalk damage and obtain a sidewalk permit and repair or replace the damaged sidewalk, if needed, per City standards.
11. That the applicant shall complete the tree removal and tree replacement within six (6) months of approval, or January 15, 2021.

### **III. ATTACHMENTS:**

1. L 19-20 Application and Attachments (on file with the Planning Department)

#### **IV. COMMENTS:**

##### **Agency Comments**

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. The following comments have been received and incorporated into the conditions of approval:

- McMinnville Public Works:

##### **Site Review**

1. The trees in question appear to be liquidamber. They are about 13" DBH
2. The trees are planted in 5' planter strip between the curb and sidewalk with rock as ground cover.
3. There are no overhead facility conflicts.
4. The westerly tree is about 40" ' from the existing water meter.
5. Both trees show significant surface rooting throughout the park strip.
6. Neither tree shows an obvious health issue that would require it's removal.
7. The westerly tree shows some pruning wounds that have healed properly. The easterly tree has one pruning wound that shows significant decay.
8. There are surface discontinuities > than ¼" resulting in trip hazards associated with both trees.

##### **Recommendations**

1. Given the shallow rooting of the tree and the damage to the adjacent sidewalk, staff would recommend approval of this request.
2. Suggested conditions of approval:
  - a. Applicant to be responsible for all costs related to removal and replacement.
  - b. Applicant required to grind stump to a minimum of 6" below grade.
  - c. Applicant to call for a utility locate prior to removal.
  - d. Applicant to replace the trees with two trees of a variety acceptable to the Planning Department, minimum 2" caliper.
  - e. Applicant to plant trees as per the approved City detail.
  - f. Applicant to contact Public Works at (503)434.7316 for an inspection prior to backfill.
  - g. Applicant to contact Engineering (503-434.7312) for a sidewalk inspection to assess the need for repairs.

- McMinnville Water & Light

Buried primary and secondary wire are buried in the immediate area around the tree. Call for locates and contact Water & Light if contact is made with power line or power conduit.

##### **Public Comments**

No public notice of the application was provided by the City of McMinnville, as Street Tree Removal applications are reviewed by the process described in Section 17.58.040 (Tree Removal/Replacement) of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the Planning Director's decision.

#### **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

1. Adam Grieve & Karla Meyer, property owners, submitted a Street Tree Removal Permit application on June 2, 2020.

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Attachments:

Attachment 1 – Application and Attachments

2. The application was deemed complete on June 26, 2020.
3. Notice of the application was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments received from public agencies are addressed in the Decision Document.
4. No public notice of the application was provided by the City of McMinnville, as Street Tree Removal applications are reviewed by the process described in Section 17.58.040 (Tree Removal/Replacement) of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
5. A public meeting was held by the McMinnville Landscape Review Committee on July 15, 2020 to review the application and proposed street tree removal request.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

1. **Location:** 1058 NE Maloney Drive (Tax Lot 1213, Section 09CD, T. 4. S., R. 4 W., W.M.)
2. **Size:** 0.1653 acres
3. **Comprehensive Plan Map Designation:** Residential
4. **Zoning:** R-3PD (Two-family Residential Planned Development)
5. **Overlay Zones/Special Districts:** Planned Development Ordinance No. 4629
6. **Current Use:** Single-family dwelling
7. **Inventoried Significant Resources:**
  - a. **Historic Resources:** None.
  - b. **Other:** None.
8. **Other Features:** None.
9. **Utilities:**
  - a. **Water:** Water service is available to the subject site.
  - b. **Electric:** Power service is available to the subject site.
  - c. **Sewer:** Sanitary sewer service is available to the subject site.
  - d. **Stormwater:** Storm sewer service is available to the subject site.
  - e. **Other Services:** Other utility services are available to the subject site. Northwest Natural Gas and Comcast is available to serve the site.
10. **Transportation:** NE Maloney Drive is classified as a Local Street in the 2010 McMinnville Transportation System Plan (TSP).

## **VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable criteria for a Street Tree Removal Permit are specified in Section 17.58.050 of the Zoning Ordinance.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated, but are to be undertaken in relation to all applicable land use requests.

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*Attachments:*

*Attachment 1 – Application and Attachments*



**Comprehensive Plan Volume II:**

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

**GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMinnville.**

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

**McMinnville Zoning Ordinance**

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) provide standards and criteria applicable to the request:

**Chapter 17.58 Trees**

**17.58.010 Purpose.** The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** Removal and replacement of the subject street tree would meet the purpose of the Trees Chapter of the Zoning Ordinance. Trees would be situated and maintained to minimize hazard, nuisance, damage, and maintenance costs; the appearance, beauty and charm of the City would be enhanced; and the maximum amount of tree cover on public lands would be maintained.

**17.58.020 Applicability.** The provisions of this ordinance shall apply to:

- A. Individual significant or historic trees as defined in this ordinance.
- B. All trees with trunks located completely or partially within any public area or right-of-way;

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*Attachments:*

*Attachment 1 – Application and Attachments*

- C. All trees with trunks located completely within any private property which directly affect public infrastructure including but not limited to sewers, water mains, sidewalks, streets, public property, or clear vision distances at street intersections;
- D. All trees on developable land and subject to or undergoing development review such as site plan review, tentative subdivision review, or partition review;

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The trunk of the trees proposed for removal are located within a curbside planting strip completely within the public right-of-way adjacent to the subject property. Therefore, the provisions of Chapter 17.58 Trees shall apply to this tree removal request.

#### **17.58.040 Tree Removal/Replacement.**

**17.58.040(A).** The removal or major pruning of a tree, if applicable under Section 17.58.020, shall require City approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the McMinnville Planning Department. [...]

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The tree removal was not designated as exempt, and the applicant has filed an application for a Street Tree Removal Permit to be reviewed by the McMinnville Landscape Review Committee.

**17.58.040(B).** Trees subject to this ordinance shall be removed or pruned following accepted pruning standards adopted by the City. [...]

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION #3.** A condition of approval has been included to assure that the tree removal will be performed to accepted City standards.

**CONDITION FOR FINDING:** That the trees' stump and remaining surface roots shall be removed at least six (6) inches below grade to allow for a suitable replanting site. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations.

**17.58.040(C).** The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS #1, #2, #9.** Conditions of approval have been included to assure that the applicant shall be responsible for all costs associated with the tree removal, and that steps are taken to ensure safety to individuals and public and private property.

**CONDITIONS FOR FINDING:** That all costs and liability associated with tree removal, stump grinding, and tree replacement shall be borne by the applicant.

That the applicant shall call for locates (dial 811) for all underground utilities prior to removing the trunk and roots. This is a free service and the law. Upon request, utility locates can be flagged without marking up hard surfaces.

That the planter strip area shall be restored to original grade immediately following the planting of the replacement trees.

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*Attachments:*

*Attachment 1 – Application and Attachments*

**17.58.040(D).** Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city [...]

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #4.** The two (2) trees in the NE Maloney Drive right-of-way are located in a curb-side planter strip that is five (5) feet wide and approximately 41 feet long. There is an existing water meter along the eastern property line. A sewer lateral is located approximately seven (7) feet from the driveway to the west. Trees are required to be set back a minimum of 10 feet from both sewer lines and water meters. There is sufficient space in the NE Maloney Drive planter strip adjacent to the subject property to replace one (1) tree in the planter strip after applying required setbacks from utilities.

There is no approved street tree plan for the Maloney Addition subdivision on file with the Planning Department. The applicant has proposed planting *Gleditsia triacanthos* 'Draves' (Street Keeper Honeylocust) as a replacement tree. Street Keeper Honeylocust is a recommended medium tree on the McMinnville Street Tree List, and would be of appropriate size and character to remain consistent with surrounding street trees.

**CONDITION FOR FINDING:** That one (1) replacement street tree be planted in the NE Maloney Drive planter strip. The tree shall be a recommended medium street tree from the McMinnville Street Tree List, such as *Gleditsia triacanthos* 'Draves' (Street Keeper Honeylocust), or other species/variety approved by the McMinnville Landscape Review Committee.

**17.58.040(E).** The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #3.** A condition of approval has been included to ensure that the applicant shall remove the tree stump and surface roots, and restore any damaged turf areas in the public right-of way.

**CONDITION FOR FINDING:** That the trees' stump and remaining surface roots shall be removed at least six (6) inches below grade to allow for a suitable replanting site. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations.

**17.58.040(F).** The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Landscape Review Committee's decision. The Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #11.** A condition of approval has been included to ensure that the applicant shall complete the tree removal within six (6) months of approval.

**CONDITIONS FOR FINDING:** That the applicant shall complete the tree removal within six (6) months of approval, or January 15, 2021.

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Attachments:

Attachment 1 – Application and Attachments

**17.58.040(G).** Other conditions may be attached to the permit approval by the Landscape Review Committee as deemed necessary.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #10.** A condition of approval has been included to ensure that the adjacent sidewalk panel that has been lifted and damaged by the tree's roots is repaired or replaced in accordance with City standards.

**CONDITION FOR FINDING:** That the applicant shall contact the McMinnville Engineering Department at (503) 472-7312 to assess sidewalk damage and obtain a sidewalk permit and repair or replace the damaged sidewalk, if needed, per City standards.

**17.58.050 Review Criteria.** A permit for major pruning or tree removal shall be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.
- B. The tree is in conflict with public improvements.
- C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.
- D. Verification of tree health or a tree's impacts on infrastructure shall be required, at the expense of the applicant, by a Certified Arborist acceptable to the City.

**APPLICANT'S RESPONSE:** The two sweetgum trees are ripping up the sidewalk and they are on the city's prohibited tree list. At some point in the past, someone also filled the right of way with river rock. This makes maintaining the area difficult. My plan is to remove the trees and river rock and replace with two streetkeeper honeylocusts and more easily maintainable landscaping.

**FINDING: SATISFIED.** Staff concurs with the applicant's finding, but would note that an arborist's report was not included in the application materials. Evidence was provided and confirmed that the tree roots are damaging the public infrastructure. Additionally, the tree species is on the Prohibited Street Tree List because of its known shallow rooting characteristic and probable disruption of adjacent sidewalks. Therefore, criterion 'B' is met and removal of the trees are recommended.

#### **17.58.090 Street Tree Standards.**

- A. The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.
- B. Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.
- C. Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. Within commercial and industrial development staggered, or irregular spacing is permitted, as may be

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Attachments:

Attachment 1 – Application and Attachments



- approved by the McMinnville Landscape Review Committee. When planting replacement trees within the Downtown Tree Zone, consideration shall be given to the height of adjacent buildings.
- D. When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three (3) feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four (4) feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb. These standards may be superseded by design drawings and specifications as periodically developed and adopted by the City.
  - E. Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.
  - F. Existing street trees shall be retained unless approved by the Planning Director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Planning Director to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.
  - G. Sidewalk cuts in concrete for tree planting shall be a minimum of four feet by six feet, with the long dimension parallel to the curb, and if located within the Downtown Tree Zone shall follow the design drawing or updated design drawings and specifications as periodically developed and adopted by the City.

**APPLICANT'S RESPONSE:** At some point in the past, someone also filled the right of way with river rock. This makes maintaining the area difficult. My plan is to remove the trees and river rock and replace with two streetkeeper honeylocusts and more easily maintainable landscaping.

**FINDING: SATISFIED WITH CONDITIONS OF APPROVAL #4-8 and #10.** Conditions of approval have been included to ensure that the City's street tree standards are met during the replacement of the street trees.

**CONDITIONS FOR FINDING:** That one (1) replacement street tree be planted in the NE Maloney Drive planter strip. The tree shall be a recommended medium street tree from the McMinnville Street Tree List, such as *Gleditsia triacanthos* 'Draves' (Street Keeper Honeylocust), or other species/variety approved by the McMinnville Landscape Review Committee.

That replacement tree shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees' shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees' must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

That the replacement tree shall be planted per the approved City detail. The applicant shall provide root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree and the curb side of the tree. The root barrier protection shall be placed in 10-foot lengths, centered on the tree, and to a minimum depth of eighteen (18) inches. In addition, the tree shall be provided with two (2) deep watering tubes to promote deep root growth.

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Attachments:

Attachment 1 – Application and Attachments

That the applicant shall contact the McMinnville Public Works Department at 503-434-7316 to discuss specific staking, watering tube requirements, and to schedule an inspection prior to backfilling the replacement tree's planting pit.

That the applicant is reminded that trees are not to be planted within:

- a. Five (5) feet of a private driveway or alley;
- b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
- c. Twenty (20) feet of street light standards or street intersections.

That the applicant shall contact the McMinnville Engineering Department at (503) 472-7312 to assess sidewalk damage and obtain a sidewalk permit and repair or replace the damaged sidewalk, if needed, per City standards.

JF

**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

519-20-000280-Plng

<b>Office Use Only:</b>	
File No.	119-20
Date Received	6-2-2020
Fee	150. <sup>00</sup>
Receipt No.	202432
Received by	sf

## Street Tree Removal

**Applicant Information**Applicant is: ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other \_\_\_\_\_Applicant Name Karla Meyer Phone 971-313-1441Contact Name Adam Grieve Phone 541-908-3099  
(If different than above)Address 1058 NE Maloney DrCity, State, Zip Mcminnville, OR 97128Contact Email adam.grieve@gmail.com**Property Owner Information**Property Owner Name Karla Meyer Phone 971-313-1441  
(If different than above)Contact Name Adam Grieve Phone 541-908-3099Address 1058 NE Maloney DrCity, State, Zip Mcminnville, OR 97128Contact Email Karlajoymeyer@gmail.com**Site Location and Description**

(If metes and bounds description, indicate on separate sheet)

Property Address 1058 NE Maloney Dr, McMinnville, OR 97128

(Property nearest to tree(s) for removal)

Assessor Map No. R4 409 - CD - 01213 Total Site Area 72000'Subdivision Maloney Add Block - Lot 3Comprehensive Plan Designation Res Zoning Designation R3


### **Additional Information**

1. How many trees are requested for removal? 2 Trees
2. What type (species) of tree(s) are they? Liquidambar Sweet Gum
3. What is the diameter of the tree(s), measured four feet above ground level? 13 inches
4. Why are you requesting the removal of the noted tree(s)? (See "Removal Criteria" on attached Information Sheet.) Explain which of the criteria is addressed through this application. The two sweetgum trees are ripping up the sidewalk and they are on the city's prohibited tree list.  
At some point in the past, someone also filled the right of way with river rock. This makes maintaining  
the area difficult. My plan is to remove the trees and river rock and replace with two streetkeeper  
honeylocusts and more easily maintainable landscaping. Reason B


In addition to this completed application, the applicant must provide the following:

- ☒ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the location of the tree(s) subject to the removal request, property lines, sidewalks, adjacent utilities (including overhead), north direction arrow, and adjacent streets.
- ☒ Arborist report, photographs, and/or other information which would help substantiate or clarify your request.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

  
Applicant's Signature

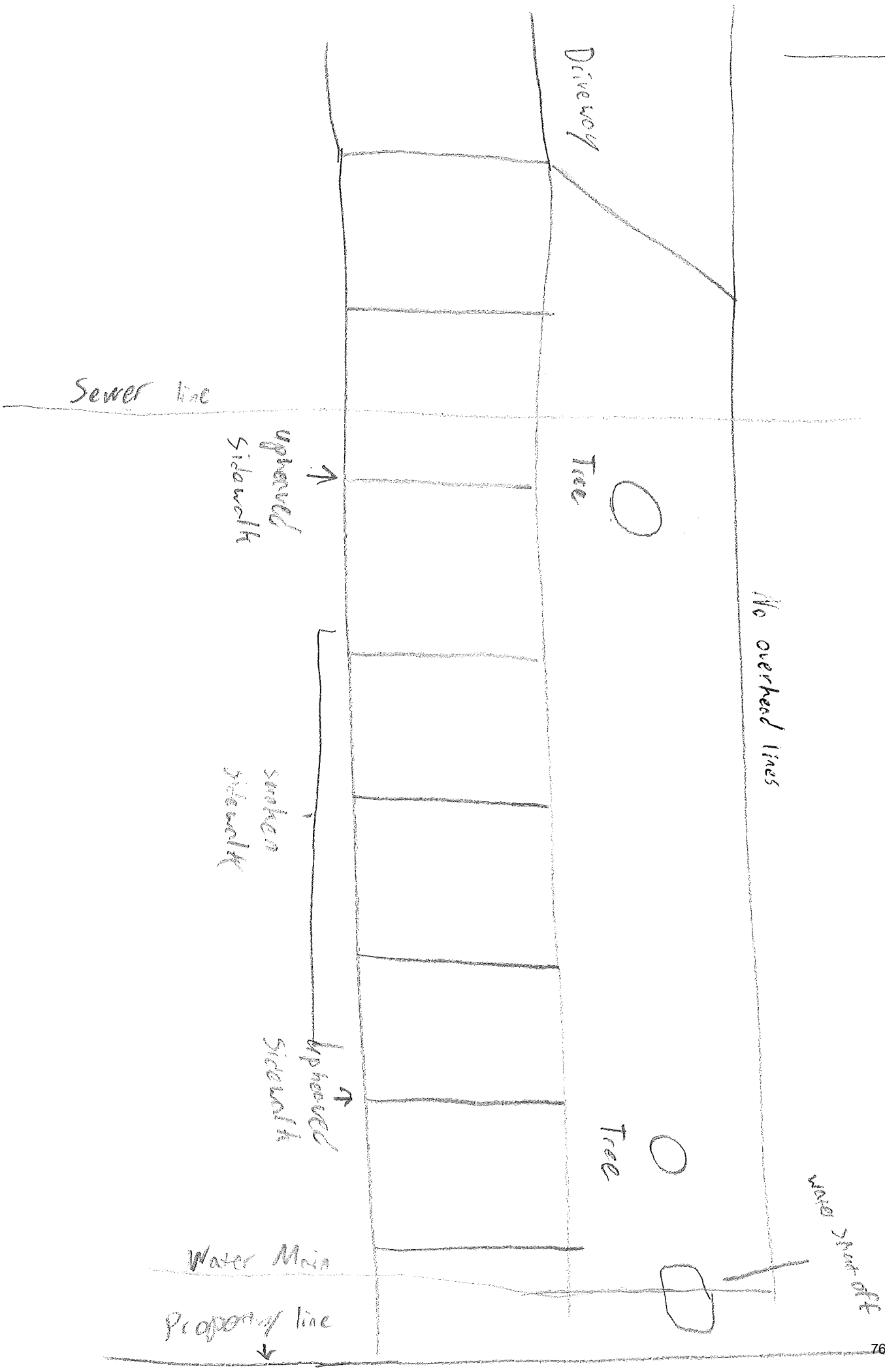
5/30/2020  
Date

  
Property Owner's Signature

5/30/2020  
Date



1058 NE Maloney Dr





↑  
upturned  
sidewalk





↑  
upheaved  
sidewalk



City of McMinnville  
Planning Department  
231 NE Fifth Street  
McMinnville, OR 97128  
(503) 434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

## EXHIBIT 3 - STAFF REPORT

DATE: July 15, 2020  
TO: Landscape Review Committee Members  
FROM: Jamie Fleckenstein, Associate Planner  
SUBJECT: Agenda Item 4C - Street Tree Removal Application (L 20-20)

### STRATEGIC PRIORITY & GOAL:



#### GROWTH & DEVELOPMENT CHARACTER

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

---

### Report in Brief:

An application to remove one (1) street tree adjacent to 1310 NE 27<sup>th</sup> Street (L 20-20) to be reviewed by the Landscape Review Committee. The tree is an oak located below overhead utility and power lines. Repeated pruning for clearance has left the tree with poor structure and rot is evidenced in several pruning cuts. The tree exhibits crown dieback and repeated limb failure. The tree appears to be damaging the adjacent sidewalk. Staff has determined the tree is in decline, and dying. Removal and replacement is recommended. The replacement tree should be a tree from the McMinnville Street Tree List suitable for planting under wires.

### Background:

The application requests the removal of one (1) tree from the public right-of-way adjacent to the subject property that is in poor health, is an inappropriate species for planning below power lines, and appears to be impacting public infrastructure. Removal of a tree located within the public right-of-way which is unsafe, dead, or diseased, requires City approval.

The subject property is located at 1310 NE 27<sup>th</sup> Street, **See Figure 1 (Vicinity Map)**. The property is zoned R-4 (Multiple-Family Residential) and is developed with a multiple family residential complex. The tree that is requested for removal is an Oak located on within the NE 27<sup>th</sup> Street right-of-way. **See Figure 2 (Site Plan), Figure 3 (Existing Tree), Figure 4 (Existing Tree), and Figure 5 (Sidewalk Condition)**.

Staff notes that in 2011, the Landscape Review Committee approved the remove/replacement of one Red Oak from the right-of-way adjacent to this property.

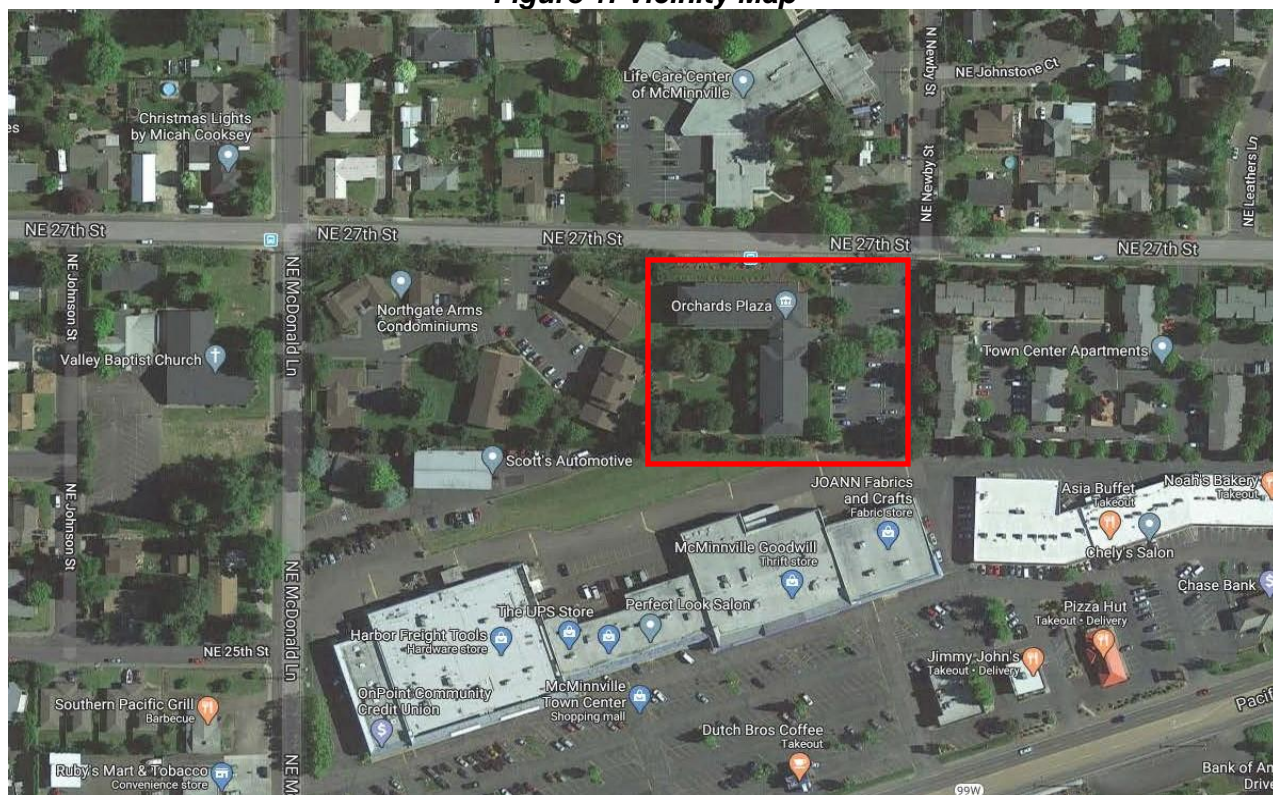
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### Attachments:

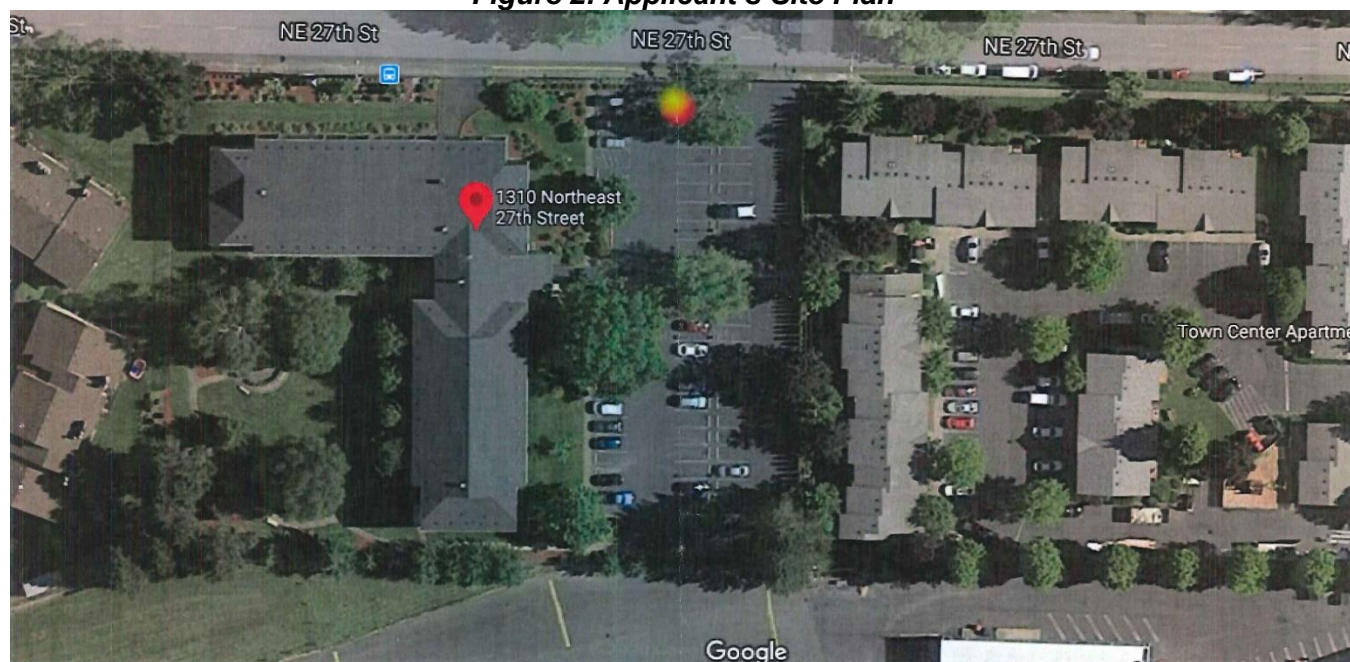
Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Street Tree Removal At 1310 NE 27<sup>th</sup> Street



**Figure 1: Vicinity Map**



**Figure 2: Applicant's Site Plan**



**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1310 NE 27<sup>th</sup> Street



**Figure 3: Existing Tree**

6/17/2020

06-16-2020.2.134046.jpg



<https://mail.google.com/mail/u/0/?tab=wm&ogbl#inbox?projector=1>

1/1

**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1310 NE 27<sup>th</sup> Street



**Figure 4: Existing Tree**

6/17/2020

06-16-2020.7.133922.jpg



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1/1

**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1310 NE 27<sup>th</sup> Street



**Figure 5: Sidewalk Condition**

6/17/2020

06-16-2020.2.134026.jpg



<https://mail.google.com/mail/u/0/?tab=wm&ogbl#inbox?projector=1>

1/1

**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1310 NE 27<sup>th</sup> Street



**Discussion:****Summary of Criteria & Issues:**

The application requests approval of a tree removal permit for one (1) tree located within the public right-of-way. The Tree Removal Permit request is subject to the Tree Removal review criteria in Section 17.58.050 of the McMinnville Municipal Code (MMC).

Section 17.58.050 of the MMC requires a permit for Tree Removal to be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.
- B. The tree is in conflict with public improvements.
- C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.

The applicant has requested the removal of one (1) Oak because the tree is in poor health, in steady decline, and dying. The applicant stated that this tree has been topped by powerline company and remaining leaders have signs of rot and dieback. The applicant also noted that the tree has suffered major storm damage over the last couple of years.

Since the tree is in poor health, as noted by the tree service on the application and is an inappropriate species for planting below power lines, criterion A for approval has been met, and removal of the Tree is recommended.

A replacement street tree for is recommended by Staff, consistent with the approved street tree list (there is no approved landscape plan for this development). The tree should be suitable for planting below utility lines with a maximum height of 25 feet or less. There appears to be about a 40-foot long by 5-foot wide landscape area between two driveway aprons, within the public right-of-way on the 1" 100's. A condition of approval included in the decision document requires any necessary repair or replacement of the damaged sidewalk.

**Fiscal Impact:**

None.

**Landscape Review Committee Options:**

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

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**Attachments:**

Attachment A – Decision, Conditions, Findings Of Fact And Conclusionary Findings For The Approval Of A Tree Removal At 1310 NE 27<sup>th</sup> Street

**Staff Recommendation:**

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied.

Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document.

**Suggested Motion:**

**THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE TREE REMOVAL APPLICATION L 20-20 SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT.**

JF



**CITY OF MCMINNVILLE  
PLANNING DEPARTMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128

503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE  
APPROVAL OF A TREE REMOVAL AT 1310 NE 27<sup>th</sup> STREET**

**DOCKET:** L 20-20 (Street Tree Removal)

**REQUEST:** Approval to remove one (1) tree from the public right-of-way adjacent to the subject property because it is dying

**LOCATION:** 1310 NE 27<sup>th</sup> Street (Tax Lot 106, Section 16AB, T. 4. S., R. 4 W., W.M.)

**ZONING:** R-4 (Multiple-Family Residential)

**APPLICANT:** Scott Failla, Northwest Tree Specialist, on behalf of the property owner

**STAFF:** Jamie Fleckenstein, PLA, Associate Planner

**DATE DEEMED  
COMPLETE:** June 26, 2020

**DECISION MAKING  
BODY & ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.

**DECISION DATE  
& LOCATION:** July 15, 2020, Community Development Center, 231 NE 5<sup>th</sup> Street, McMinnville, Oregon, and Zoom Online Meeting ID 518 962 842.

**PROCEDURE:** This tree removal is subject to review in accordance with procedures specified in Chapter 17.58-Trees of the McMinnville Zoning Ordinance. The application for tree removal is subject to the procedures specified in Section 17.58.040 Tree Removal/Replacement.

**CRITERIA:** The applicable criteria are specified in Section 17.58.050 of the McMinnville Zoning Ordinance, McMinnville City Code.

**APPEAL:** The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.58.040(A) of the McMinnville Zoning Ordinance.

**COMMENTS:** This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Their comments are provided in this document. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

## DECISION

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the street tree removal (L 20-20) **subject to the conditions of approval provided in this document.**

**DECISION: APPROVAL WITH CONDITIONS**

Planning Staff: \_\_\_\_\_  
 Jamie Fleckenstein, Associate Planner

Date: \_\_\_\_\_

Planning Department: \_\_\_\_\_  
Heather Richards, Planning Director

Date: \_\_\_\_\_



## **I. APPLICATION SUMMARY:**

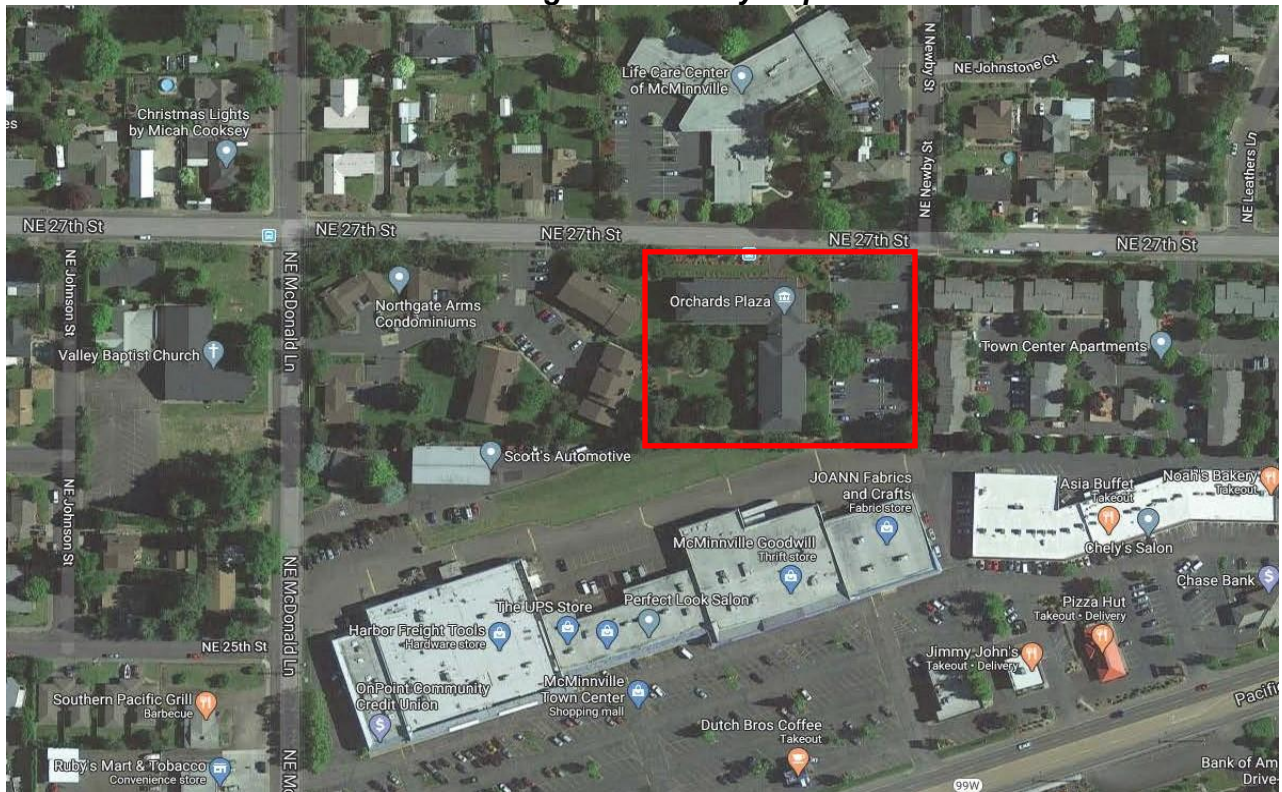
### ***Subject Property & Request***

The application requests the removal of one (1) tree from the public right-of-way adjacent to the subject property that is in poor health, is an inappropriate species for planting below power lines, and appears to be impacting public infrastructure. Removal of a tree located within the public right-of-way which is unsafe, dead, or diseased, requires City approval.

The subject property is located at 1310 NE 27<sup>th</sup> Street. **See Figure 1 (Vicinity Map).** The property is zoned R-4 (Multiple-Family Residential) and is developed with a multiple family residential complex. The tree that is requested for removal is an Oak located on within the NE 27<sup>th</sup> Street right-of-way. **See Figure 2 (Site Plan), Figure 3 (Existing Tree), Figure 4 (Existing Tree), and Figure 5 (Sidewalk Condition).**

Staff notes that in 2011, the Landscape Review Committee approved the remove/replacement of one Red Oak from the right-of-way adjacent to this property.

**Figure 1: Vicinity Map**

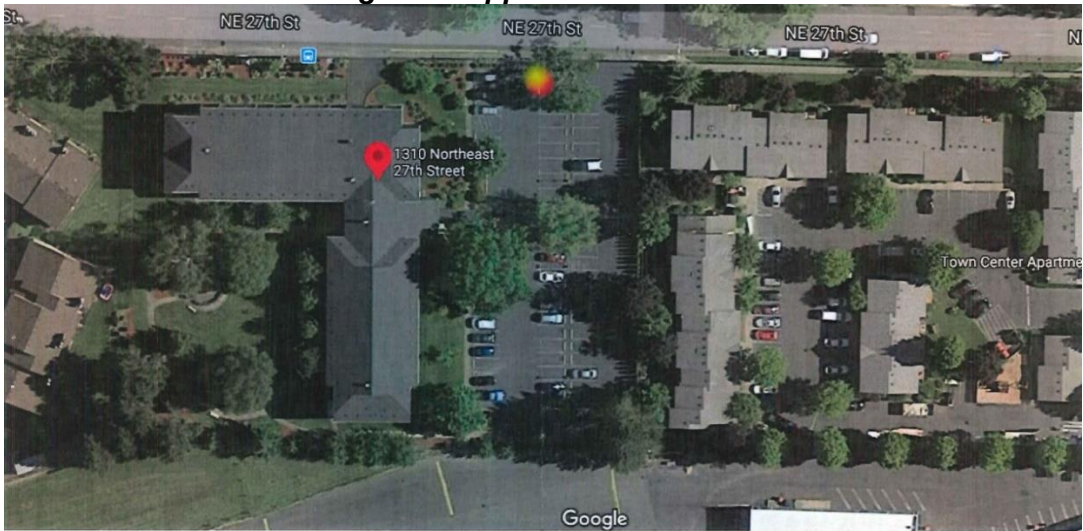


### ***Attachments:***

Attachment 1 – Application and Attachments



**Figure 2: Applicant's Site Plan**

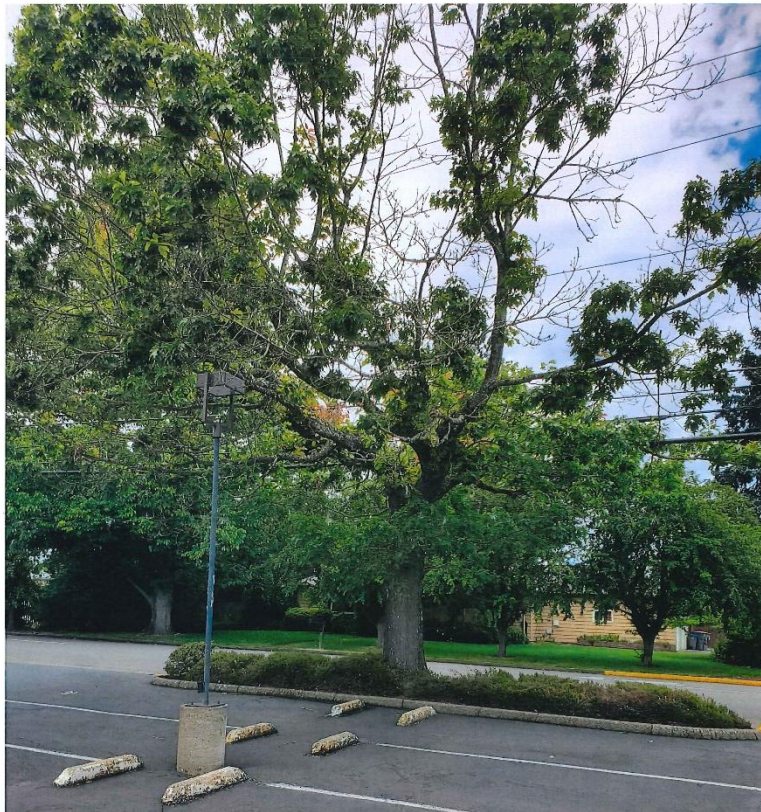


**Figure 3: Existing Tree**





**Figure 4: Existing Tree**



**Figure 5: Sidewalk Condition**





**Summary of Criteria & Issues**

The application is subject to review criteria in McMinnville Municipal Code (MMC) Section 17.58.050 of the McMinnville Zoning Ordinance, which requires a permit for Tree Removal to be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.
- B. The tree is in conflict with public improvements.
- C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.

The applicant has provided documentation to support the request for a Tree Removal Permit. This will be discussed in detail in Section VII (Conclusionary Findings) below.

**II. CONDITIONS:**

- 1. That all costs and liability associated with tree removal, stump grinding, and tree replacement shall be borne by the applicant.
- 2. That the applicant shall call for locates (dial 811) for all underground utilities prior to removing the trunk and roots. This is a free service and the law. Upon request, utility locates can be flagged without marking up hard surfaces.
- 3. That the applicant coordinate with MW& Light if workers will be within 10 feet of the power lines. Applicant is reminded to use extreme caution when working in the area as underground primary is also in the general area. If any facilities are damaged during tree removal or replacement, please contact MW&L immediately at 503-472-6158.
- 4. That the tree's stump and remaining surface roots shall be removed at least six (6) inches below grade to allow for a suitable replanting site. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations.
- 5. That one (1) replacement street tree be planted in the NE 27<sup>th</sup> Street right-of-way. The tree shall be a recommended species from the McMinnville Street Tree List suitable for planting under wires, or other species/variety approved by the McMinnville Landscape Review Committee.
- 6. That replacement tree shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. The tree shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. The tree must be free of insects, diseases, mechanical injury, and other objectionable features when planted.
- 7. That replacement tree shall be planted per the approved City detail. The applicant shall provide root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree and the curb side of the tree. The root barrier protection shall be placed in 10-foot lengths, centered on the tree, and to a minimum depth of eighteen (18) inches. In addition, the tree shall be provided with two (2) deep watering tubes to promote deep root growth.

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**Attachments:**

Attachment 1 – Application and Attachments

8. That the applicant shall contact the McMinnville Public Works Department at 503-434-7316 to discuss specific staking, watering tube requirements, and to schedule an inspection prior to backfilling the replacement tree's planting pit.
9. That the applicant is reminded that trees are not to be planted within:
  - a. Five (5) feet of a private driveway or alley;
  - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
  - c. Twenty (20) feet of street light standards or street intersections.
10. That the planter strip area shall be restored to original grade immediately following the planting of the replacement trees.
11. That the applicant shall contact the McMinnville Engineering Department at (503) 472-7312 to assess sidewalk damage and obtain a sidewalk permit and repair or replace the damaged sidewalk, if needed, per City standards.
12. That the applicant shall complete the tree removal and tree replacement within six (6) months of approval, or January 15, 2021.

### **III. ATTACHMENTS:**

1. L 20-20 Application and Attachments (on file with the Planning Department)

### **IV. COMMENTS:**

#### **Agency Comments**

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light.

- McMinnville Public Works

#### **Site Review**

1. The tree in question appears to be an Oregon white oak. The tree is approximately 24" DBH.
2. The tree is planted in a 5' wide planter between two driveway approaches behind the sidewalk.
3. There are overhead conflicts in the form of primary power and communication facilities.
4. The tree has been topped by utility pruning to protect overhead facilities. The remaining leaders show signs of rot, and weak attachment, and pose a storm hazard.

#### **Recommendations**

1. Given the condition of the tree, the potential for storm damage, and the adjacent targets for falling tree debris, staff recommends approval of this request.
2. Suggested conditions of approval:
  - a. Applicant to be responsible for all costs related to removal and replacement.
  - b. Applicant required to grind stump to a minimum of 6" below grade.
  - c. Applicant to call for a utility locate prior to removal.
  - d. Applicant to replace the trees with two trees of a variety acceptable to the Planning Department, minimum 2" caliper.
  - e. Applicant to plant trees as per the approved City detail.
  - f. Applicant to contact Public Works at (503)434.7316 for an inspection prior to backfill.

- g. Applicant to contact Engineering (503-434.7312) for a sidewalk inspection to assess the need for repairs.

- McMinnville Water & Light:

MW&L has the following comments:

*“Power lines are located directly over this tree. Coordinate with Water & Light if workers will be within 10 feet of power lines.*

*Underground primary is also in the general area. Call for locates and contact Water & Light if contact is made with power lines or power conduit.”*

### **Public Comments**

No public notice of the application was provided by the City of McMinnville, as Street Tree Removal applications are reviewed by the process described in Section 17.58.040 (Tree Removal/Replacement) of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the Planning Director's decision.

## **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

1. Scott Failla, of Northwest Tree Specialists, on behalf of the property owner, submitted a Street Tree Removal Permit application on June 23, 2020.
2. The application was deemed complete on June 26, 2020.
3. Notice of the application was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments received from public agencies are addressed in the Decision Document.
4. No public notice of the application was provided by the City of McMinnville, as Street Tree Removal applications are reviewed by the process described in Section 17.58.040 (Tree Removal/Replacement) of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
5. A public meeting was held by the McMinnville Landscape Review Committee on July 15, 2020 to review the application and proposed street tree removal request.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

1. **Location:** 1310 NE 27<sup>th</sup> Street (Tax Lot 106, Section 16AB, T. 4. S., R. 4 W., W.M.)
2. **Size:** 1.92 acres
3. **Comprehensive Plan Map Designation:** Residential
4. **Zoning:** R-4 (Multiple-family Residential)
5. **Overlay Zones/Special Districts:** None
6. **Current Use:** Multi-Family Dwelling Complex, Orchard Plaza Apartments

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Attachments:

Attachment 1 – Application and Attachments



**7. Inventoried Significant Resources:**

- a. **Historic Resources:** None.
- b. **Other:** None.

**8. Other Features:** None.**9. Utilities:**

- a. **Water:** Water service is available to the subject site.
- b. **Electric:** Power service is available to the subject site.
- c. **Sewer:** Sanitary sewer service is available to the subject site.
- d. **Stormwater:** Storm sewer service is available to the subject site.
- e. **Other Services:** Other utility services are available to the subject site. Northwest Natural Gas and Comcast is available to serve the site.

**10. Transportation:** NE 27<sup>th</sup> Street is classified as a Minor Collector in the 2010 McMinnville Transportation System Plan (TSP).**VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable criteria for a Street Tree Removal Permit are specified in Section 17.58.050 of the Zoning Ordinance.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated, but are to be undertaken in relation to all applicable land use requests.

**Comprehensive Plan Volume II:**

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

**GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.**

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public

meeting. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

### **McMinnville Zoning Ordinance**

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) provide standards and criteria applicable to the request:

## **Chapter 17.58 Trees**

**17.58.010 Purpose.** The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** Removal and replacement of the subject street tree would meet the purpose of the Trees Chapter of the Zoning Ordinance. The tree would be situated and maintained to minimize hazard, nuisance, damage, and maintenance costs; the appearance, beauty and charm of the City would be enhanced; and the maximum amount of tree cover on public lands would be maintained.

**17.58.020 Applicability.** The provisions of this ordinance shall apply to:

- A. Individual significant or historic trees as defined in this ordinance.
- B. All trees with trunks located completely or partially within any public area or right-of-way;
- C. All trees with trunks located completely within any private property which directly affect public infrastructure including but not limited to sewers, water mains, sidewalks, streets, public property, or clear vision distances at street intersections;
- D. All trees on developable land and subject to or undergoing development review such as site plan review, tentative subdivision review, or partition review;

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The trunk of the tree proposed for removal is located within a landscape island within the public right-of-way, behind the sidewalk, adjacent to the subject property. Therefore, the provisions of Chapter 17.58 Trees shall apply to this tree removal request.

## **17.58.040 Tree Removal/Replacement.**

**17.58.040(A).** The removal or major pruning of a tree, if applicable under Section 17.58.020, shall require City approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the McMinnville Planning Department. [...]

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The tree removal was not designated as exempt, and the applicant has filed an application for a Street Tree Removal Permit to be reviewed by the McMinnville Landscape Review Committee.

**17.58.040(B).** Trees subject to this ordinance shall be removed or pruned following accepted pruning standards adopted by the City. [...]

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION #4.** A condition of approval has been included to assure that the tree removal will be performed to accepted City standards.

**CONDITION FOR FINDING:** That the tree's stumps and remaining surface roots shall be removed at least six (6) inches below grade to allow for a suitable replanting site. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations.

**17.58.040(C).** The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS #1-3, #10.** Conditions of approval have been included to assure that the applicant shall be responsible for all costs associated with the tree removal, and that steps are taken to ensure safety to individuals and public and private property.

**CONDITIONS FOR FINDING:** That all costs and liability associated with tree removal, stump grinding, and tree replacement shall be borne by the applicant.

That the applicant shall call for locates (dial 811) for all underground utilities prior to removing the trunk and roots. This is a free service and the law. Upon request, utility locates can be flagged without marking up hard surfaces.

That the applicant coordinate with MW& Light if workers will be within 10 feet of the power lines. Applicant is reminded to use extreme caution when working in the area as underground primary is also in the general area. If any facilities are damaged during tree removal or replacement, please contact MW&L immediately at 503-472-6158.

That the planter strip area shall be restored to original grade immediately following the planting of the replacement trees.

**17.58.040(D).** Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city [...]

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #5.** The one (1) tree in the NE 27<sup>th</sup> Street right-of-way proposed for removal is located behind the sidewalk in a landscaped planter strip that is approximated forty (40) feet long and five (5) feet wide. There are two driveway aprons to the west and east of the planter strip, an underground primary is in the general area, and there are overhead power lines. There is sufficient space in the NE 27<sup>th</sup> Street landscaped planter strip adjacent to the subject property to replace tree proposed for removal.

There is no approved landscape plan for the multi-family complex on file with the Planning Department. Because there is no approved street tree for the subject site, a replacement tree selected from the McMinnville Street Tree List suitable for planting under wires, or other



species/variety approved by the McMinnville Landscape Review Committee, would be of appropriate size and character to remain consistent with surrounding street trees.

**CONDITION FOR FINDING:** That one (1) replacement street tree be planted in the NE 27<sup>th</sup> Street right-of-way. The tree shall be a recommended species from the McMinnville Street Tree List suitable for planting under wires, or other species/variety approved by the McMinnville Landscape Review Committee.

**17.58.040(E).** The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #4.** A condition of approval has been included to ensure that the applicant shall remove the tree stump and surface roots, and restore any damaged turf areas in the public right-of way.

**CONDITION FOR FINDING:** That the tree's stump and remaining surface roots shall be removed at least six (6) inches below grade to allow for a suitable replanting site. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations.

**17.58.040(F).** The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Landscape Review Committee's decision. The Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #12.** A condition of approval has been included to ensure that the applicant shall complete the tree removal within six (6) months of approval.

**CONDITIONS FOR FINDING:** That the applicant shall complete the tree removal within six (6) months of approval, or July 15, 2021.

**17.58.040(G).** Other conditions may be attached to the permit approval by the Landscape Review Committee as deemed necessary.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** Other conditions are not necessary.

**17.58.050 Review Criteria.** A permit for major pruning or tree removal shall be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.
- B. The tree is in conflict with public improvements.
- C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.

D. Verification of tree health or a tree's impacts on infrastructure shall be required, at the expense of the applicant, by a Certified Arborist acceptable to the City.

**APPLICANT'S RESPONSE:** This tree has been topped by powerline company and remaining leaders have signs of rot and dieback. Has been suffering major storm damage the last couple of years.

**FINDING: SATISFIED.** Staff concurs with the applicant's finding, but would note that an arborist's report was not included in the application materials, though the applicant works for Northwest Tree Specialists. The tree in question is in poor health. Although no arborist report was submitted with the application, the evidence that the tree is in poor and declining health is clear to a layman – there is significant crown dieback, evidence of rot, and poor health and structure that has led to limb failure. Therefore, since the tree is dying, criterion 'A' is met and removal of the tree is recommended.

### **17.58.090 Street Tree Standards.**

- A. The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.
- B. Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.
- C. Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. Within commercial and industrial development staggered, or irregular spacing is permitted, as may be approved by the McMinnville Landscape Review Committee. When planting replacement trees within the Downtown Tree Zone, consideration shall be given to the height of adjacent buildings.
- D. When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three (3) feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four (4) feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb. These standards may be superseded by design drawings and specifications as periodically developed and adopted by the City.
- E. Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.
- F. Existing street trees shall be retained unless approved by the Planning Director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Planning Director to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property

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Attachments:

Attachment 1 – Application and Attachments

owner may be required to pay to the City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.

- G. Sidewalk cuts in concrete for tree planting shall be a minimum of four feet by six feet, with the long dimension parallel to the curb, and if located within the Downtown Tree Zone shall follow the design drawing or updated design drawings and specifications as periodically developed and adopted by the City.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS OF APPROVAL #5-9.** Conditions of approval have been included to ensure that the City's street tree standards are met during the replacement of the street trees.

**CONDITIONS FOR FINDING:** That one (1) replacement street tree be planted in the NE 27<sup>th</sup> Street right-of-way. The tree shall be a recommended species from the McMinnville Street Tree List suitable for planting under wires, or other species/variety approved by the McMinnville Landscape Review Committee.

That replacement tree shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. The tree shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. The tree must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

That the replacement tree shall be planted per the approved City detail. The applicant shall provide root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree and the curb side of the tree. The root barrier protection shall be placed in 10-foot lengths, centered on the tree, and to a minimum depth of eighteen (18) inches. In addition, the tree shall be provided with two (2) deep watering tubes to promote deep root growth.

That the applicant shall contact the McMinnville Public Works Department at 503-434-7316 to discuss specific staking, watering tube requirements, and to schedule an inspection prior to backfilling the replacement tree's planting pit.

That the applicant is reminded that trees are not to be planted within:

- a. Five (5) feet of a private driveway or alley;
- b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
- c. Twenty (20) feet of street light standards or street intersections.

JF





### Planning Department

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

501-20-000352-1111

#### Office Use Only:

File No. L 20-20

Date Received 6-23-2020

Fee 150.00

Receipt No. 2025104

Received by SP

## Street Tree Removal

### Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☒ Other Contractor

Applicant Name Northwest Tree Specialists Phone \_\_\_\_\_

Contact Name Scott Enlla Phone 503-545-0991  
(If different than above)

Address 8160 NE Mauzey Ct

City, State, Zip Hillsboro, OR 97124

Contact Email scott@nwtreepecialists.com

### Property Owner Information

Property Owner Name Orchards Solhavn Limited Partnership Phone 503-472-1892  
(If different than above)

Contact Name Kelly Paine Phone 503-802-3505

Address 760 SW 9th Avenue Ste 2200

City, State, Zip Portland, OR 97205

Contact Email kelly.paine@gres.com

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 1310 NE 27th Street, McMinnville Oregon 97128

(Property nearest to tree(s) for removal)

Assessor Map No. R4 416 - AB - 00106 Total Site Area \_\_\_\_\_

Subdivision \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Comprehensive Plan Designation Res Zoning Designation R-4

### Additional Information

1. How many trees are requested for removal? 1
2. What type (species) of tree(s) are they? oak
3. What is the diameter of the tree(s), measured four feet above ground level? Approx 24"
4. Why are you requesting the removal of the noted tree(s)? (See "Removal Criteria" on attached Information Sheet.) Explain which of the criteria is addressed through this application. \_\_\_\_\_

This tree has been topped by powerline company and remaining  
leaders have signs of rot and dieback. Has been suffering major  
storm damage the last couple years. Requested is removal and  
replacement.

In addition to this completed application, the applicant must provide the following:

- ☐ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the location of the tree(s) subject to the removal request, property lines, sidewalks, adjacent utilities (including overhead), north direction arrow, and adjacent streets.
- ☐ Arborist report, photographs, and/or other information which would help substantiate or clarify your request.

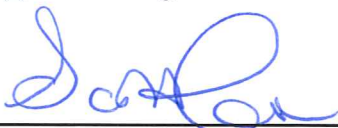
**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**



Applicant's Signature

06/04/2020

Date



Property Owner's Signature

6-22-2020

Date



