



**Landscape Review Committee**  
**Hybrid In-Person & ZOOM Online Meeting**  
**Wednesday, February 7, 2024 - 12:00 PM**

*Please note that this meeting will be conducted in-person at the Community Development Center Large Conference Room, 231 NE Fifth Street, and via ZOOM.*

**Join ZOOM Meeting online via the following link:**

<https://mcminnvilleoregon.zoom.us/j/81843768190?pwd=aZ2RYZzR7nTM9Rd9nTQ8WLN5T5aPrS.l>

**Meeting ID: 818 4376 8190**

**Passcode: 552127**

**Or join ZOOM Meeting by phone via the following number: 1-253-215-8782**

Committee Members	Agenda Items
Jamie Fleckenstein, Chair	<b>1. Call to Order and Roll Call</b>
Brian Wicks, Vice Chair	<b>2. Minutes:</b> None.
Carlton Davidson	<b>3. Citizen Comments</b>
John Hall	<b>4. Action Items:</b>
Eva Reutinger	A. <b>L 55-23:</b> Landscape Plan Review, Best Western, 2035 & 2045 SW Hwy 99W, Tax Lot R4429BD 02700, <b>(Exhibit 1) Note: The applicant needs additional time to submit the information and this will be on the February 21 agenda with a requested 2-week extension</b>
	B. <b>L 53-23:</b> Landscape Plan Review, EMPWR, 750 SE Booth Bend Rd., Tax Lot R4429 02600, <b>(Exhibit 2)</b>
	C. <b>L 51-23:</b> Landscape Plan Review, U-Haul, 3120 NE Hwy 99W, Tax Lot R4415 00700, <b>(Exhibit 3)</b>
	<b>5. Committee Member Comments</b>
	<b>6. Staff Comments</b>
	A. <b>L 48-23:</b> Stillwater Final Inspection – Street Tree Size, <b>(Exhibit 4)</b>
	<b>7. Adjournment</b>

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

\*Please note that these documents are also on the City's website, [www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov). You may also request a copy from the Planning Department.

## **EXHIBIT 2 - STAFF REPORT**

**DATE:** February 7, 2024  
**TO:** Landscape Review Committee Members  
**FROM:** Tom Schauer, Senior Planner  
**SUBJECT:** Landscape Plan Review Application (L 53-23)

### **STRATEGIC PRIORITY & GOAL:**



#### **GROWTH & DEVELOPMENT CHARACTER**

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

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### **Report in Brief:**

This proceeding is a review by the Landscape Review Committee (LRC) of a Landscape Plan Review application for proposed landscaping on property located at 750 SE Booth Bend Rd, Tax Lot R4429 02600, within the M-2 (General Industrial) Zone, in conjunction with an industrial building expansion.

Staff has reviewed the application for consistency with the applicable criteria, and recommends approval of the application, subject to the conditions specified in the attached Decision Document, pending LRC resolution of two issues and corresponding findings noted below.

Please refer to the decision document for detailed information regarding the property and proposal.

### **Discussion:**

#### ***Subject Property and Plan***

Please refer to the Decision Document for vicinity maps, proposed plan, and background information.

#### ***Summary of Criteria & Issues***

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

As required in 17.57.070(B), the following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

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*Attachments:*

Attachment A – Decision Document

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.
2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.
3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.
4. The development and use of islands and plantings therein to break up parking areas.
5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.
6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

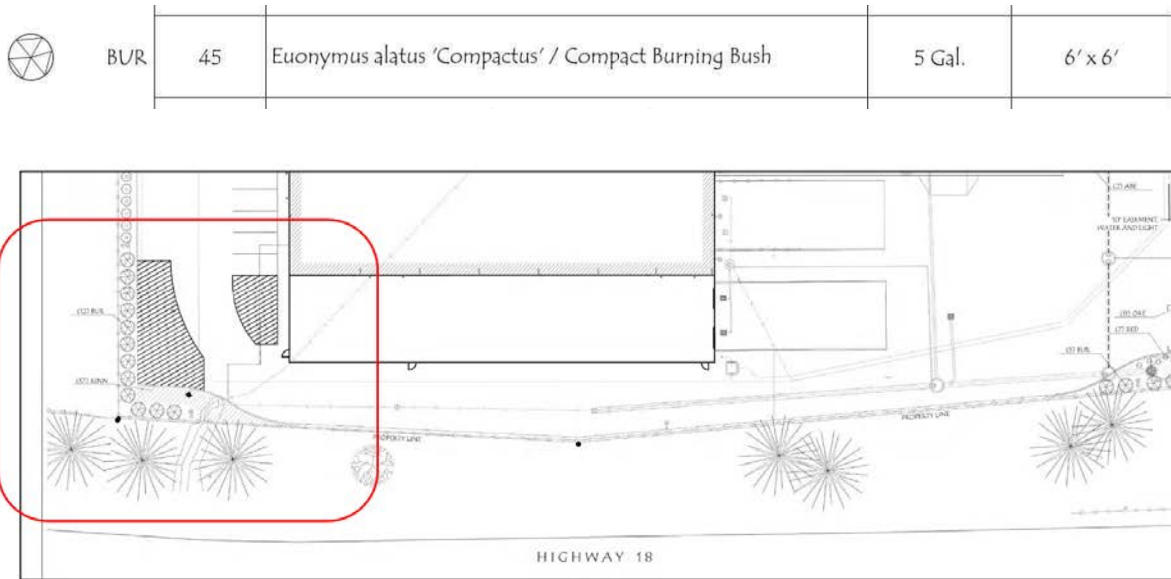
The proposal also includes frontage improvements including sidewalk and a planter strip with street trees. Therefore, the landscape plan also includes a street tree plan as provided in Section 17.58.100 of the Zoning Ordinance, to be consistent with the street tree standards in Chapter 17.58 of the Zoning Ordinance. The review also addresses landscaping and screening requirements of other applicable Chapters of the Zoning Ordinance.

Staff recommends the Landscape Review Committee address findings regarding the following issues and factors. Findings and conditions may need to be updated in the decision document depending on the Committee's determination and recommendation.

1. Except for shrubs and groundcover specified at the southeast and southwest corners of the site, the proposal along the south side of the property is to retain pavement up to the south property line and retain the open chain link fence along the property line. ***As proposed, does the application satisfy Factors 1 and 2 above regarding the back of the site along Highway 18, or is a condition/revision required?***
2. Solid waste enclosures are required to meet the following standard: 17.61.030(C) provides "Generally, the design of the structure should match the exterior surface of the building and can be constructed of masonry, wood or concrete blocks in combination with plant material capable of forming a complete evergreen hedge. The floor of the enclosure shall be a concrete holding pad which must extend eight feet (8) beyond the gates."

In addition, 17.61.030(D) provides, "Any trash or recycling enclosure which is visible from the street must provide landscaping around three (3) sides of the structure. Climbing vines and screening shrubs or hedges are appropriate, and landscaping must be a minimum of three feet (3) in height at the time of planting."

The applicant has indicated a refuse area near the south west corner of the site (cross-hatched area shown on landscape plan). ***A solid waste enclosure will be required for the refuse area. Will the enclosure be visible from the street? Does the proposed landscaping at the southwest corner of the site satisfy these standards, or is a condition/revision required?***



### Attachments

1. Decision Document with Attached Application

### Landscape Review Committee Options

1. **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
2. **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
3. **CONTINUE** the application, requesting the applicant to submit more information or details for review if needed to determine consistency with applicable criteria.
4. **DENY** the application, providing findings of fact for the denial in the motion to deny.

### Staff Recommendation:

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied, pending resolution of the two items discussed above.

Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document, pending resolution of the two items discussed above.

### Suggested Motion:

**BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE LANDSCAPE PLAN REVIEW APPLICATION L 53-23 SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT (OR, WITH THE FOLLOWING REVISIONS REGARDING THE ITEMS ABOVE...)**

Attachments:

Attachment A – Decision Document





CITY OF MCMINNVILLE  
COMMUNITY DEVELOPMENT  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128  
503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE APPROVAL OF A LANDSCAPE PLAN REVIEW FOR PROPERTY AT 750 SW BOOTH BEND ROAD**

**DOCKET:** L 53-23 (Landscape Plan Review)

**REQUEST:** Approval of a Landscape Plan Review for property at 750 SW Booth Bend Rd.

**LOCATION:** 750 SW Booth Bend Rd., Tax Lot R4429 02600

**ZONING:** M-2 (General Industrial)

**APPLICANT:** RL Reimers Co., c/o Bobby Pickering (Udell Engineering & Land Surveying) and Jeff Schott (Pillar Consulting Group, Inc.) on behalf of property owner Big Step Properties, LLC, c/o Zach Pittman

**STAFF:** Tom Schauer, Senior Planner

**DATE DEEMED COMPLETE:** January 8, 2024

**DECISION-MAKING BODY & ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.

**MEETING DATE & LOCATION:** February 7, 2024, McMinnville Community Development Center, 231 NE 5<sup>th</sup> Street, and via Zoom online meeting

**PROCEDURE:** Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

**CRITERIA:** The applicable criteria are specified in Section 17.57.070 (Area Determination – Planning factors) of the McMinnville Zoning Ordinance, McMinnville City Code.

**APPEAL:** The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.57.170 of the McMinnville Zoning Ordinance.

**COMMENTS:** This matter was referred to the following public agencies for comment: McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light. Their comments are provided in this document. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the Landscape Plan (L 53-23) **subject to the conditions of approval provided in Section II of this document.**

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**DECISION: APPROVAL WITH CONDITIONS**

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Planning Department: \_\_\_\_\_ Date: \_\_\_\_\_  
Heather Richards, Planning Director

## **I. APPLICATION SUMMARY:**

### ***Subject Property & Request***

The subject site is located at 750 SW Booth Bend Rd., Tax Lot R4429 02600. **See Figure 1 (Vicinity Map, Aerial Photos, and Street View Photos).** The property is zoned M-2 (General Industrial). **See Figure 2 (Zoning Map).** **See Figure 3** for proposal.

### ***Existing Conditions***

The site is approximately 7.23 acres. The existing building is approximately 103,000 square feet, generally on the westerly portion of the property with access from the front of the property around the building. The easterly portion of the property is generally free of structures, and was previously separated into two areas separated by a fence: the front which was a parking lot, and the back which was an outdoor industrial area with some parking along the east property line.

Landscaping is present along the property frontage on Booth Bend Road and within some parking islands in the parking area in front of the existing building with a lawn area separating the easterly and westerly portion of the front of the site. A landscape plan was approved in 2012 for the northwesterly parking lot area (L 16-12). **See Figure 4.** The rest of the site generally lacks landscaping along the east, west, and south property lines.

Any landscape buffering from Highway 18 along the “backage” of this property appears to be exclusively within the public right-of-way, similar to other properties which are nearby. The Highway 18 off-ramp generally runs along the backage of the property, and the grade transitions to an elevation where the off-ramp is somewhat above the elevation of the property as it descends to the west. The back of the site is visible from the highway and off-ramp. Currently, vegetation within the right-of-way along the back of the property consists of low groundcover and the isolated trees present as shown on the landscape plan. Open chain link fencing with barbed wire above is present along the rear of the site and the rear of the building and site is visible from the highway. The property immediately to the east has greater grade differential, but has substantially denser vegetation in the Hwy 18 right-of-way. Vegetation and screening increases somewhat to the west, and the off-ramp and highway are at lower elevation than the backs of the adjacent properties on Booth Bend Road, which reduces visibility of the backs of those properties further west.

### ***Proposal***

**See Figure 3.** The application materials are also attached, and high resolution digital files can be accessed via the electronic copy of the packet materials.. The proposed development would add a building addition of approximately 76,000 square feet footprint paralleling the existing structure of approximately 103,000 square feet, with the new addition to be located on the easterly portion of the site, with demolition of approximately 4,000 square feet of structures present in that area. The proposed plan also addresses a potential future Phase 2 building of approximately 6,600 square feet along the south side of the existing building, and a new entry gate building on the west side of the existing building. Parking would be provided along the east and west sides of the building.

Landscaping would be added along the east and west property lines where landscaping is not currently present. The rear portion of the site would be gated near the front of the buildings, and the ungated front portions of the site and those parking lots would have more significant landscape treatments and landscape islands with trees within those parking areas compared to the gated rear portion of the site. The parking area at the northeast side of the property would generally have more landscaping than currently exists in that area, and the size of that parking area would be reduced to a single aisle to provide additional room for the new building footprint. That parking lot would have new landscape end islands with trees and also landscaping along the front of the new building addition.

The street frontage of the property on Booth Bend Road would be improved to urban standards. There would be a planter strip with street trees and a sidewalk. The area between the back of sidewalk and parking lot would be planted with shrubs, mostly within the public right-of-way. The Engineering Department is in process of reviewing the final frontage improvement design. The planter strip width in the final design may change slightly as a result, but not such that would affect the landscape plan.

At the rear of the property, the site would continue to be paved up to the rear property line for circulation, with landscaping added near the southeast and southwest corners of the site. Loading docks are indicated near the south side of the building facing east. Currently, there is an unscreened chain-link fence along the rear of the site. Due to the highway and off-ramp elevation, the rear of the site is visible above the top of fence. No new screening is proposed along the central rear portion of the site facing Highway 18. Any landscape screening of the central rear portion of the site continue to be what is already present within the Hwy 18 right-of-way.

The parking calculations for the proposed use of the building, including the potential future Phase 2 building, indicate a requirement of 180 spaces, which is the parking count proposed by the applicant. Below are the parking calculations provided by the applicant:

3. Item 3 of the completeness determinations states the following:

*"The application does not address on-site parking. Per MMC 17.60.060 D. A manufacturing establishment has two calculations it must compute when calculating on-site parking needs: Either One space per 1,000 SF of floor area, or two spaces per three employees working on the largest shift during peak season, whichever is greater. The design as proposed does not include enough parking to satisfy this requirement."*

It is contested that on-site parking calculations are reviewed in association with the building permit as opposed to the landscape plan review application. However, notably Sheet C105 – Site Plan illustrates the location of proposed parking stalls and lists parking computations in text format on this same sheet.

Required parking spaces are calculated pursuant to MCC 17.06.060(D)(1), which states that manufacturing establishments are required to provide the following: *One space per 1,000 square feet of floor area or two spaces per three employees working on the largest shift during peak season, whichever is greater.*

Udell Engineering & Land Surveying used Civil3D software to calculate the proposed floor area as follows:

103,958 square feet	(Existing Building Footprint)
4,022 square feet	(Building Footprint Being Demolished)
+ 79,386 square feet	(Addition of Building Footprint)
179,322 square feet	(Total Building footprint after project)

$$\frac{1 \text{ spc.}}{1,000 \text{ s. f.}} \times 179,322 \text{ s. f.} = 180 \text{ spc.}$$

Zach Pittman, Production Manager of EMPWR Nutrition Group projects that there will be approximately 175 employees working on the largest shift during peak season once the site is fully developed.

$$\frac{2 \text{ spc.}}{3 \text{ emp.}} \times 175 \text{ emp.} = 117 \text{ spc.}$$

Based on the above calculations the greater of the two vehicle parking standards is vehicle parking spaces per floor area, which equates to a minimum of 180 required vehicle parking spaces. As noted above, Sheet C105 – Site Plan illustrates the location of the proposed 180 vehicle parking stalls, which meets the minimum standard based on proposed floor area.

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Attachments:

Attachment 1 – Application and Attachments

**PARKING INFO**

EXISTING BUILDING:103,958 S.F.  
BUILDING FOOTPRINT BEING DEMOLISHED:4,022 S.F.  
PROPOSED BUILDING#1:72,683 S.F.  
PROPOSED BUILDING#2:6,623 S.F.  
PROPOSED ENTRY GATE BUILDING:80 S.F.  
TOTAL:179,322 S.F.  
PEAK EMPLOYEES:175

(MCMINNVILLE MUNICIPAL CODE SPACES REQUIRED 17.60.060 D 1.)  
1 SPC./1000 S.F. OF FLOOR AREA, OR  
2 SPC./3 EMP. LARGEST SHIFT-PEAK SEASON  
\*SQUARE FOOTAGE SPACE CALCULATION CONTROLS REQUIRED PARKING SPACES.

REQUIRED PARKING:180

PROVIDED PARKING:180

It is therefore evident that the rear, gated portions of the site do not have the parking aisles broken up with landscape islands to the same extent present in the parking areas at the ungated front portion of the site, maximizing area for required parking along the sides of the building on the rear portion of the lot. Instead, the rear areas predominantly have perimeter landscape screening, with shrub plantings along the east and west property lines. Within the gated area, one tree is proposed in the landscape area at the south side of the parking aisle on the east side of the new building.

Compact parking spaces are shown along the southerly portion of the west side of the site. The landscape plan shows spaces that measure 14 feet long rather than the 16 foot length specified in the Zoning Ordinance, with 8 feet of planting area between the spaces on the west property line. Approximately 2 feet of the landscape area is shown to be free of shrubs which would allow for vehicle overhang over the landscape area. This appears to increase the planting area by over 700 square feet. The plan doesn't identify groundcover for the "overhang" area. Curbing is proposed between the edge of pavement and landscape area.

The applicant has provided the landscape calculations per Section 17.57.070(5) of the Zoning Ordinance used for additions. **See Figure 3d. Updated calculations submitted on January 31, 2024 are attached as Attachment C.** The updated calculations show that the required landscape area would be 16,851 square feet rather than 16,362 square feet. This accounts for the building square footage and site area. Presently, only the front portion of the site is landscape, totaling about 1.1% of the site (3,338 sf) The proposed landscape plan would increase the total landscape area to 5.6% of the site to 17,556 sf). That would exceed the minimum requirement addressed in the required calculation above. The plan includes landscaping within the public right of way, including the planter strip and row of shrubs behind the sidewalk.

Because this proposal is industrial, it is not subject to the code provisions that specify more stringent explicit standards for maximum spacing between landscape islands in parking lots, such as the specific

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Attachments:

Attachment 1 – Application and Attachments

This proposal updates the previous landscape plan approval L 16-12, which was approved for, and limited to, the parking area north of the existing building. **See Figure 4.**

This aerial map shows the industrial area in Portland, Oregon, with the proposed site for the new building highlighted by a blue outline. The map includes labels for SW Booth Bend Rd, Salmon River Hwy, and various parcel numbers (e.g., 02400, 02401, 02402, 02601, 02606). The proposed site is located between SW Booth Bend Rd and Salmon River Hwy, and is adjacent to the existing building.







**Front of Site - Booth Bend Road Frontage**





### Back of Site – Highway 18 Side

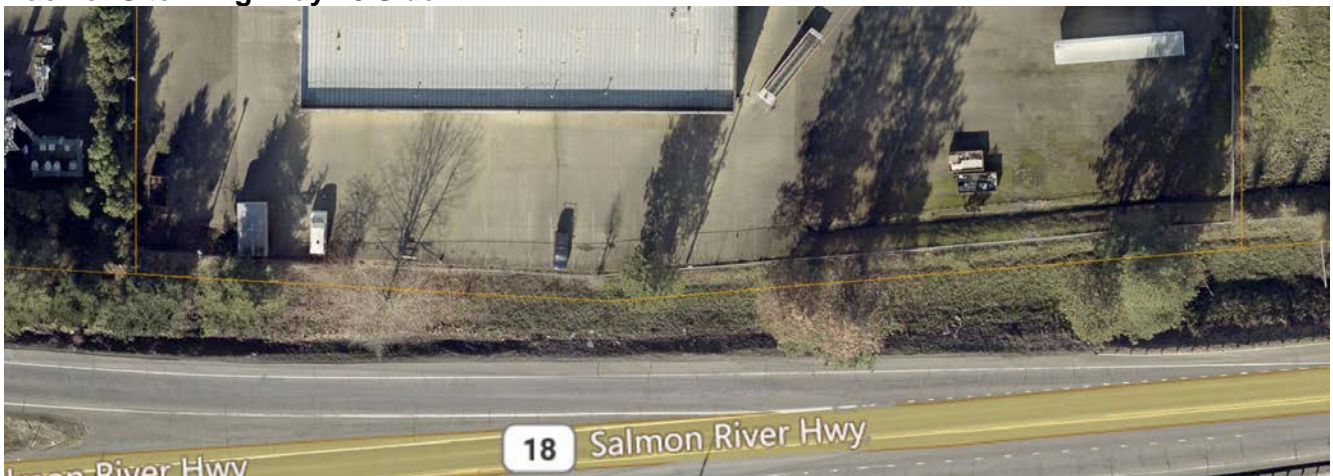






Figure 2: Zoning Map

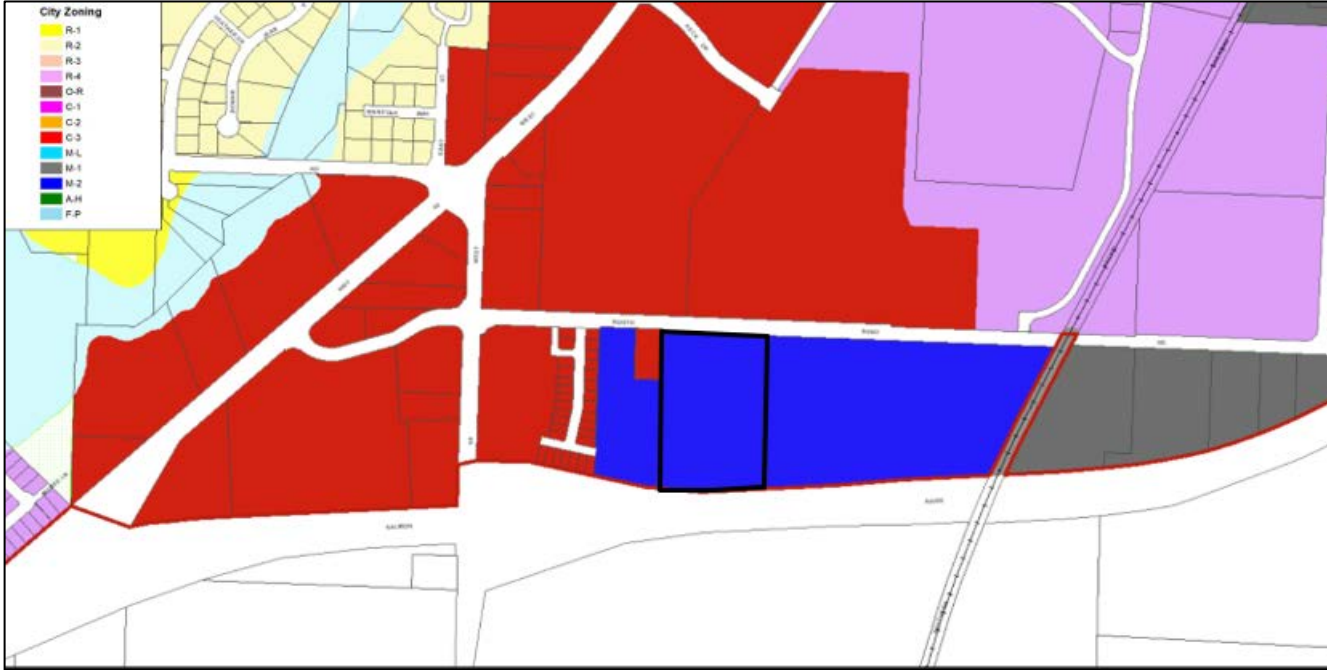
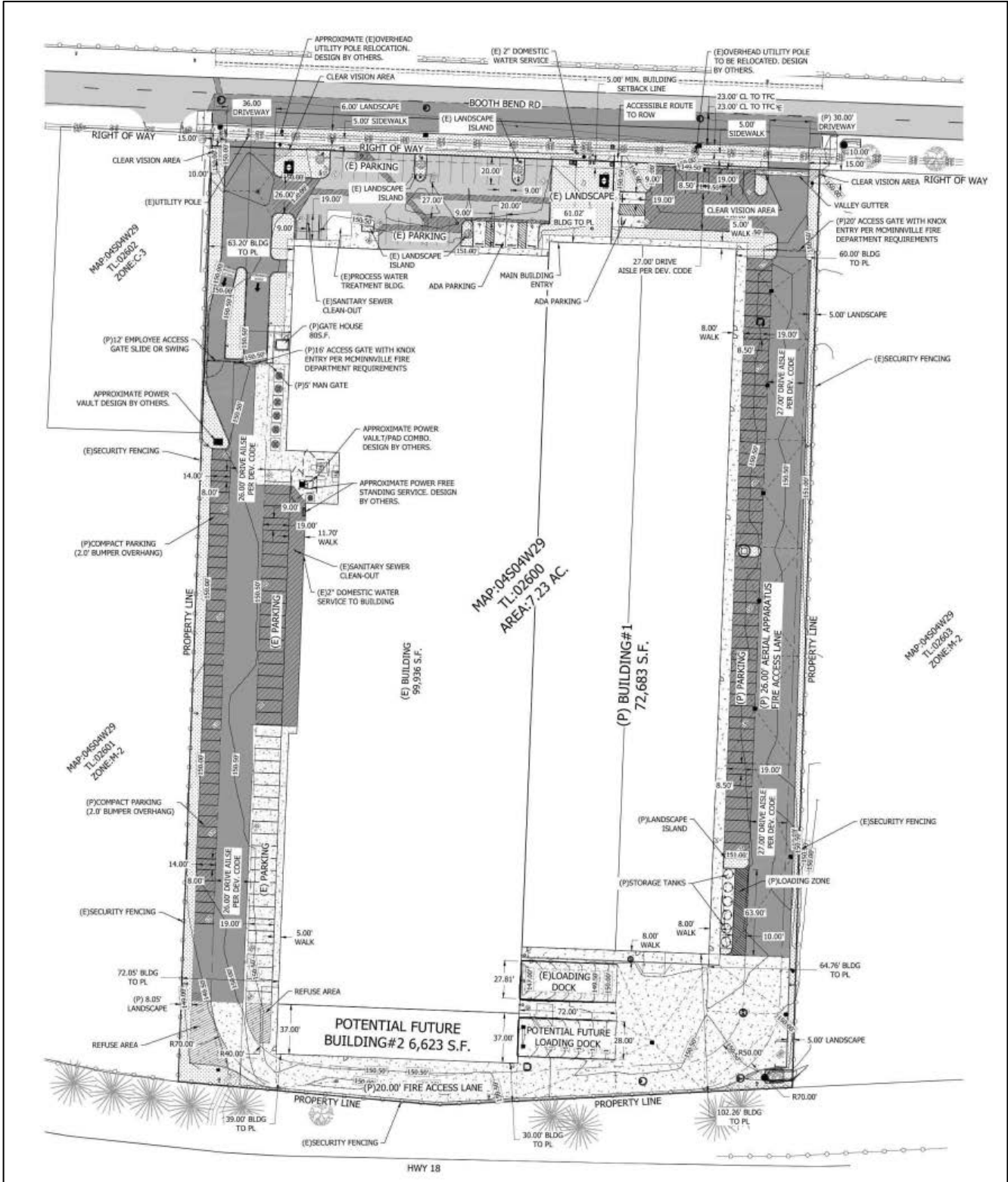
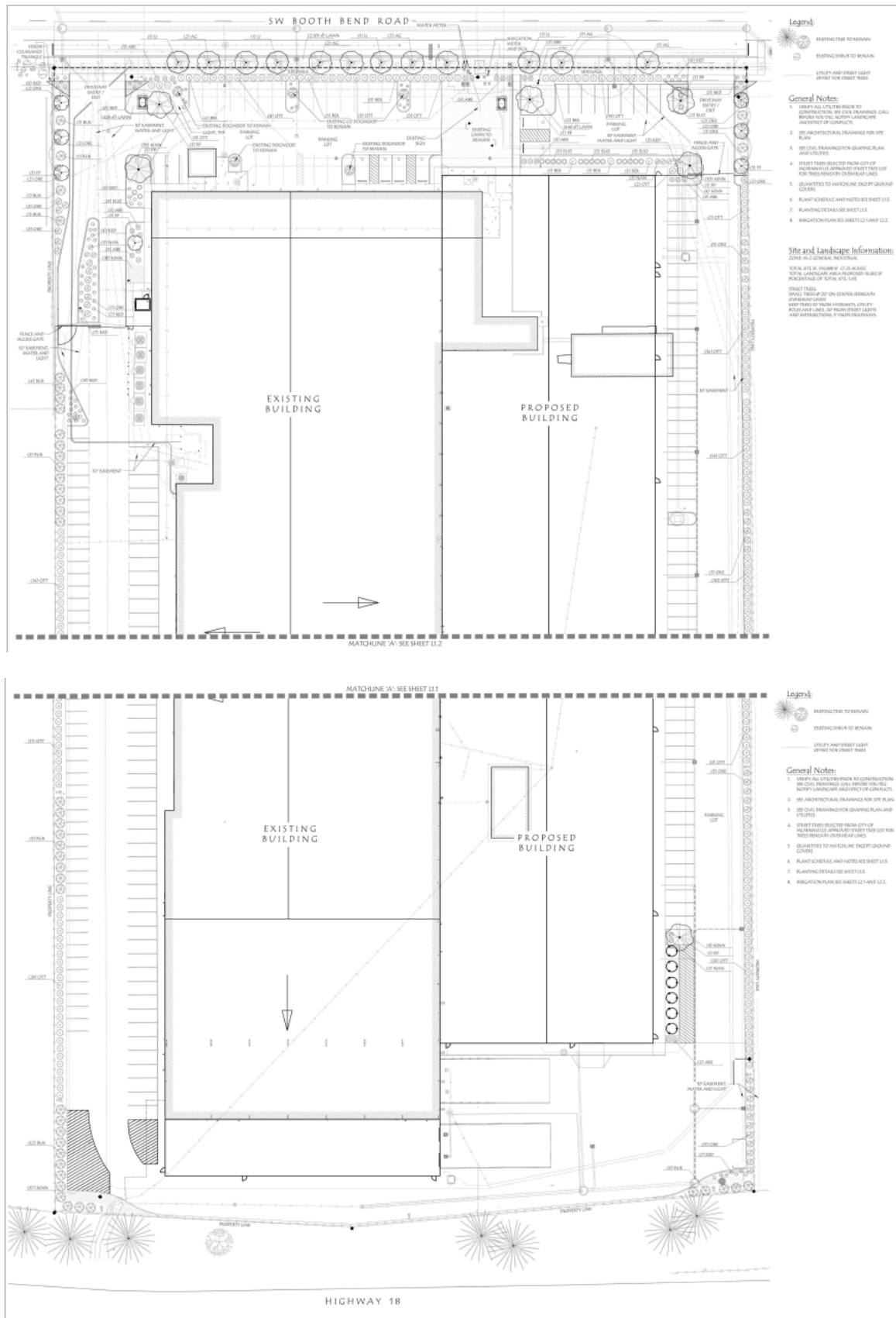


Figure 3a. Applicant's Proposed Site Plan




### Figure 3b. Landscape Plan



**Attachments:**  
Attachment 1 – Application and Attachments

**Figure 3c. Plant Schedule**

Plant Schedule						
TREES		QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (H x W)	NOTES
	AG	8	Acer griseum / Paperbark Maple	2" Cal., B&B	25' x 20'	Street Tree
	FF	7	Fagus sylvatica 'Fastigiata' / Fastigate European Beech	2" Cal., B&B	45' x 15'	
	LI	4	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle	2" Cal., B&B	20' x 20'	Street Tree
	PP	6	Parrotia persica / Persian Parrotia	2" Cal., B&B	30' x 25'	
SHRUBS		QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (H x W)	
	ABE	2	Abelia x grandiflora 'Sherwoodii' / Sherwood Glossy Abelia	2 Gal.	3.5' x 3.5'	
	BER	19	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	3 Gal.	5' x 5'	
	RED	71	Cornus sericea 'Kelsey' / Kelsey's Dwarf Red Twig Dogwood	2 Gal.	2' x 2'	
	BUR	45	Euonymus alatus 'Compactus' / Compact Burning Bush	5 Gal.	6' x 6'	
	EVO	20	Euonymus japonicus 'Silver Princess' / Silver Princess Euonymus	2 Gal.	3' x 3'	
	ORE	52	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	3 Gal.	3' x 4'	
	NAN	8	Nandina domestica 'Firepower' / Firepower Heavenly Bamboo	2 Gal.	2' x 2'	
	OTT	178	Prunus laurocerasus 'Otto Luyken' / Otto Luyken English Laurel	2 Gal.	3' x 5'	
GROUND COVERS		QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	MATURE SIZE (H x W)
	KINN	112 (945 sf)	Arctostaphylos uva-ursi / Kinnikinnick	1 Gal.	36" o.c.	1' x 5'
	LAWN	5,337 sf	Pro Time 309 Supreme Mix or Equal	Seed @ Rate of 7-10 lbs per 1,000 sf		

**Attachments:**

Attachment 1 – Application and Attachments

**Figure 3d. Landscape Area Calculations – See Attached 1/31/2024 Updated Calculations**

To whom it may concern,

Udell Engineering & Land Surveying calculated required landscaping coverage area following City of McMinnville policy, Chapter 17, section 17.57.070. Existing Lot Coverage (ELC) areas were determined by the use of Civil3D software, existing conditions survey performed by Udell Engineering & Land Surveying. Additional Lot Coverage (ALC) was also determined by Civil3D and building footprints provided by Pillar Consulting Group.

Following CH.17.57.070.A.5.a

$$\frac{ALC}{ELC} \times \% \text{ landscape required} \times \text{Total area}$$

$$\frac{92,088 \text{ sf}}{124,057 \text{ sf}} \times 0.07 \times 314,898 = 16,362 \text{ sf}$$

Required landscaping area is 16,362 sf.

Provided landscaping area with proposed site plan is 17,556 sf.

Site and Landscape Information:

ZONE: M-2 GENERAL INDUSTRIAL

TOTAL SITE SF: 314,898 SF (7.23 ACRES)  
 TOTAL LANDSCAPE AREA PROPOSED: 16,362 SF  
 PERCENTAGE OF TOTAL SITE: 5.6%

STREET TREES:  
 SMALL TREES @ 20' ON CENTER (BENEATH  
 OVERHEAD LINES)  
 KEEP TREES 10' FROM HYDRANTS, UTILITY  
 POLES AND LINES, 20' FROM STREET LIGHTS  
 AND INTERSECTIONS, 5' FROM DRIVEWAYS.

COVERAGE INFO

EXISTING BUILDING: 103,958 S.F. (33%)  
 PROPOSED TOTAL BUILDING FOOTPRINT AFTER PROJECT: 179,322 S.F. (57%)  
 PARKING/DRIVE AISLE/SIDEWALK: 119,214 S.F. (38%)

EXISTING LANDSCAPE: 3,338 S.F. (1.1%)  
 PROPOSED LANDSCAPE: 14,218 S.F. (4.5%)  
 TOTAL FINAL LANDSCAPE: 17,556 S.F. (5.6%)

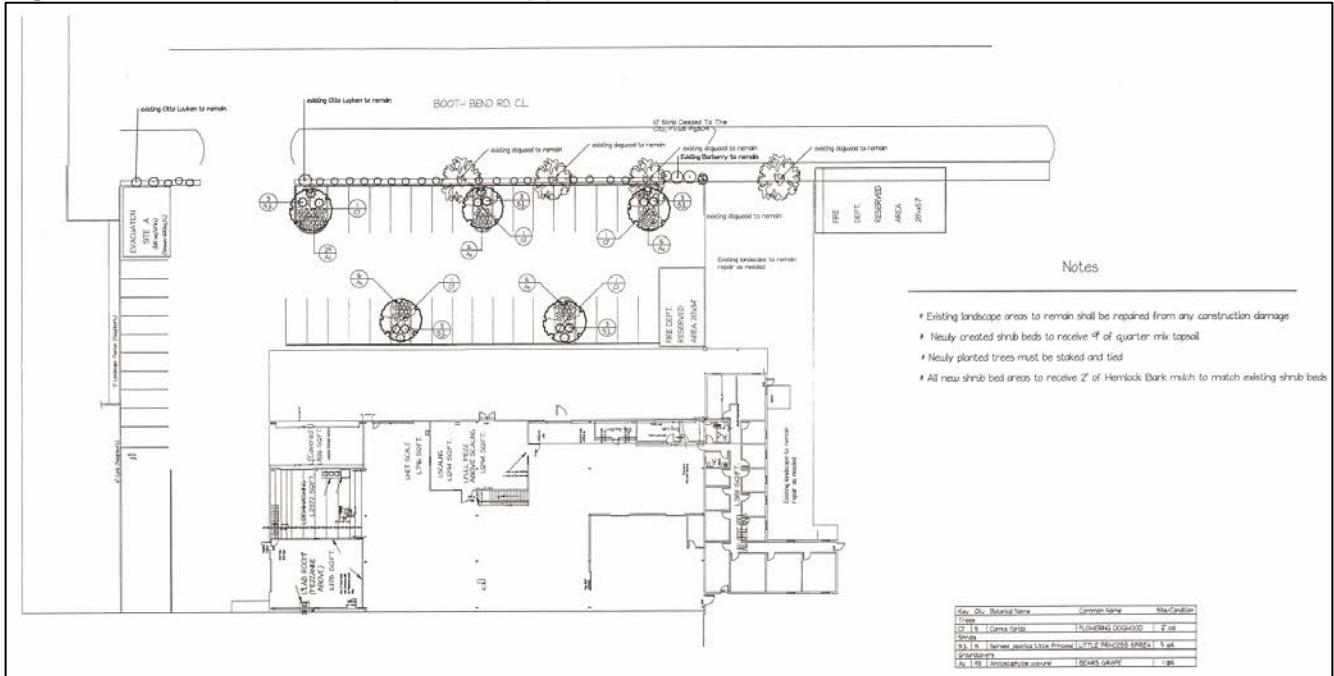
REQUIRED LANDSCAPE: 16,362 S.F.

Attachments:

Attachment 1 – Application and Attachments



**Figure 4. Previous Landscape Plan Approval L 16-12**



### Summary of Criteria

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

The proposed development is on land zoned M-2 (General Industrial). McMinnville Municipal Code (MMC) Section 17.57.030 requires landscaping in the M-2 zone. Therefore, landscaping is required subject to the criteria and standards described in MMC Chapter 17.57-Landscaping. The property also includes frontage improvements to the frontage of Booth Bend Road. The Street Tree Plan required by Chapter 17.58 is reviewed as part of the Landscape Plan Review.

## II. CONDITIONS:

1. Prior to issuance of a building permit, the applicant shall submit a revised landscape plan to the Planning Department for review and approval, incorporating applicable revisions described in conditions below.
  - a. It is recommended that the proposed street trees be revised to specify a more columnar tree selected from the street tree list of small trees suitable for planting under utilities, in order to minimize adverse impact on the trees associated with the pruning and clearance requirements for street trees along Major Collector streets.
  - b. The site plan and landscape plan shall be updated to show the required solid waste enclosure. The building permit submittal shall demonstrate compliance with the required construction materials and design standards.
  - c. Specify groundcover in the "overhang" area abutting the 14-foot long compact parking spaces along the west property line.

### Attachments:

Attachment 1 – Application and Attachments

- d. The landscape plan shall reflect any revisions by the Landscape Review Committee found necessary to satisfy the applicable landscaping and street tree factors, criteria, and standards of the Zoning Ordinance.
  - e. Identify any proposed exterior lighting and method of shielding/downcast lighting. (Details may be included on civil sheets) or separate submittals).
2. Ensure provisions of sleeving for irrigation to all irrigated planting areas.
3. Once approved, the applicant shall install landscaping as shown on the revised and approved landscape plans addressing the items above. Landscaping shall be installed prior to final inspection for the building permit, or the applicant shall provide financial surety equal to 120% of the installed landscaping cost as specified in the Zoning Ordinance, and landscaping shall be completed no later than 6 month from final inspection.

***NOTE: Where there are on-site utility easements with utilities running underneath portions of landscape end islands, please ensure trees are planted outside of the easement areas.***

4. All landscaping approved by the Landscape Review Committee and required as conditions of approval shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement. Existing landscaping to be retained shall be considered part of the approved landscape plan.
5. All street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade. All trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees shall be free of insects, diseases, mechanical injury, and other objectionable features when planted.
6. Planting of street trees shall be subject to the McMinnville design drawings and specification. The applicant shall provide root barrier protection per specification in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree and the curb side of the tree, 10 feet in width. The root barrier protection shall be provided to a minimum depth of eighteen (18) inches. Two (2) deep watering tubes shall be provided to encourage deep rooting. Street trees shall be staked per specification. ***A copy of the standard detail is attached.***
7. The applicant shall schedule an inspection with the McMinnville Public Works Superintendent of the installed root barrier and watering tubes prior to any street tree planting. Trees intended for planting shall be on-site and available for inspection. The applicant shall contact the McMinnville Public Works Superintendent, at (503) 434-7316 to schedule a planting inspection prior to backfilling.
8. The applicant is reminded that street trees are not to be planted within:
  - a. Five (5) feet of a private driveway or alley;
  - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
  - c. Twenty (20) feet of street light standards or street intersections.
9. The applicant shall contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to any planting excavation to ensure that underground utilities are not damaged.

10. All street trees shall be continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner for one full growing season following planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.
11. Lighting of parking and landscaped areas shall be directed into or on the site and away from property lines. Building accent lighting shall be directed and/or shielded to place light on the intended target, and not result in skyward glare.
12. As specified in Section 17.57.050, all completed landscape projects shall be inspected by the Planning Director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed, as determined by the Planning Director or their designee, as long as they do not alter the character and aesthetics of the original plan.

**NOTE: Prior to building permits, the applicant shall obtain all applicable federal, state, and local permits.**

### **III. ATTACHMENTS:**

1. L 53-23 Application and Attachments (on file with the Planning Department)
2. Street Tree Planting Standard Detail
3. Applicant's Updated Landscape Coverage Calculations Submitted 1/31/2024

### **IV. COMMENTS:**

#### **Agency Comments**

This matter was referred to the following public agencies for comment: McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light.

Comments may still be received through February 7, 2024 and will be provided to the Committee before or at the meeting. The following comments were received:

#### City of McMinnville Public Works:

1. Booth Bend Road is functionally classified as a major collector. Street tree clearances along major collectors are 8' over the sidewalk and 15' over the roadway grade.
2. The proposed plan shows a planter strip with irrigated turf and street trees. That area has overhead power with both communications (lower) and primary power (higher).
3. The street trees proposed are both smaller stature trees that are both on the City's tree list. Both are oval to rounded in shape, and are 15' -25' in height.
4. Based on the size and shape of the proposed trees at maturity, staff is concerned about the ability to maintain adequate clearance over the roadway as the trees grow past the curb line. Staff would recommend that the applicant be directed to propose more columnar shaped trees that won't extend out over the roadway.
5. The remainder of the proposed landscaping appears to be on private property, and as such outside of our purview.

#### McMinnville Water and Light

No comments received as of January 31, 2024

#### McMinnville Engineering

No comments received as of January 31, 2024.

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#### Attachments:

Attachment 1 – Application and Attachments

## Public Comments

No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance which does not require public notification. No public comments were received prior to the Planning Director's decision.

## **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

1. The application was submitted on November 14, 2023.
2. The application was deemed incomplete on December 11, 2023.
3. Additional information was submitted on December 13, 2023 and January 8, 2024. The application was complete with the January 8, 2024 submittal. Based on that date, the application is subject to a 30-day review timeframe. On January 29, 2024, the applicant submitted updated civil sheets for consistency with the updated landscape plan materials that were submitted on January 8. On January 31, 2024, the applicant submitted updated landscape calculations.
3. Notice of the application was referred to the following public agencies for comment on January 29, 2024: McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light. Comments received from public agencies are addressed in this Decision Document.
4. No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
5. A public meeting was held by the Landscape Review Committee on February 7, 2024, to review the application and proposed landscape plan.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

1. **Location:** 750 SW Booth Bend Rd., Tax Lot R4429 02600
2. **Size:** The lot is approximately 7.23 acres
3. **Comprehensive Plan Map Designation:** Industrial
4. **Zoning:** M-2. Property to the north across Booth Bend Road is zoned C-3. Properties to the east and west are zoned M-2 except for a property near the northwest corner of the site, which is zoned C-3. Property to the south is outside the UGB across Highway 18, with county agricultural zoning.
5. **Overlay Zones/Special Districts:** None identified
6. **Current Use:** Industrial use, food processing
7. **Inventoried Significant Resources:**
  - a. **Historic Resources:** None Identified
  - b. **Other:** None identified
8. **Other Features:** There are no significant or distinguishing natural features identified on this property. The Statewide Wetland Inventory Map identifies "SWI Predominantly Hydric Soil Map Units." Note: This mapping is on a portion of the site that has historically been hard surfaced.



- 9. Utilities:** Utilities are available to the site. Overhead utilities are present along the frontage of Booth Bend Road. There are utility easements present on the property.
- 10. Transportation:** The property has frontage on Booth Bend Road and backs up to Highway 18. This section of Booth Bend Road is currently constructed as a rural style road with roadside ditches. This section of Booth Bend Road is designated in the TSP as a Major Collector. As part of this project, the property's frontage will be improved to urban standards, with bike lane, curb, gutter, planter strip with street trees, and sidewalk.

## **VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable planning factors for a Landscape Plan Review are specified in Section 17.57.070 of the Zoning Ordinance. The applicable standards for Street Trees are specified in Section 17.58.090 of the Zoning Ordinance

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated, but are to be undertaken in relation to all applicable land use requests.

### **Comprehensive Plan Volume II:**

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

**GOAL X 1:** *TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.*

**Policy 188.00:** *The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and hearing process. Review and recommendation of landscape plans by the Landscape Review Committee provides for a recommendation to the Planning Director by a City-Council appointed citizen committee.

### **McMinnville Zoning Ordinance**

The following Sections of the McMinnville Zoning Ordinance provide criteria applicable to the request:

### **Chapter 17.57 Landscaping**

**17.57.010 Purpose and intent.** *The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:*

- A. *Provide guidelines and standards that will:*
  - 1. *Reduce soil erosion and the volume and rate of discharge of storm water runoff.*
  - 2. *Aid in energy conservation by shading structures from energy losses caused by weather and wind.*
  - 3. *Mitigate the loss of natural resources.*
  - 4. *Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
  - 5. *Create safe, attractively landscaped areas adjacent to public streets.*
  - 6. *Require the planting of street trees along the City's rights-of-way.*
  - 7. *Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.*
  - 8. *Provide shade, and seasonal color.*
  - 9. *Reduce glare, noise and heat.*
- B. *Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.*
- C. *Unify development and enhance and define public and private places.*
- D. *Preserve existing mature trees.*
- E. *Enhance the urban forest and tree canopy.*
- F. *Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.*
- G. *Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.*
- H. *Support McMinnville as a community that cares about its appearance.*

*It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.*

The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville.

The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Subject to conditions of approval, the proposed landscape plan is consistent with the purpose of this chapter.

Findings regarding any of the potentially applicable landscaping, buffering, and/or screening provisions of other Chapters of the Zoning Ordinance summarized below are addressed in the respective sections of these findings, if applicable:

- Any requirements of the subject zone;
- Any requirements of applicable overlay zones, such as the NE Gateway Overlay Ordinance;
- Any applicable provisions of Chapter 17.60 for parking lot screening and buffering;
- Any applicable provisions of Chapter 17.61 for landscaping, screening, and setbacks for solid waste enclosures;
- Any applicable requirements for certain uses and developments, as specified, such as standards for Large Format Commercial Design standards in Chapter 17.56, and standards for certain residential uses specified in Chapter 17.11.

**17.57.030 Zones where required.** Landscaping shall be required in the following zones except as otherwise noted:

- A. R-4 (Multiple-Family Residential zone, except the construction of a Single-Family or Two-Family Residential unit);
- B. C-1 (Neighborhood Business zone);
- C. C-2 (Travel Commercial zone);
- D. C-3 (General Commercial zone);
- E. O-R (Office/Residential zone);
- F. M-L (Limited Light Industrial zone);
- G. M-1 (Light Industrial zone);
- H. M-2 (General Industrial zone).

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED/APPLICABLE.** The proposed development is within the M-2 (General Industrial) zone; therefore, landscaping is required subject to landscaping requirements of industrial zones and the criteria and standards described in Chapter 17.57 – Landscaping.

**17.57.070 Area Determination – Planning Factors.**

**17.57.070(A).** Landscaping shall be accomplished within the following ranges:



1. *Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*
- ...
5. *Any addition to or expansion of an existing structure or parking lot which results in additional lot coverage shall be landscaped as follows: Divide the amount of additional lot coverage (building area, not including basement or upper floors, plus required parking and loading zones) by the amount of the existing lot coverage (building area, not including basement or upper floors, plus required parking and loading zones), multiply by the percentage of landscaping required in the zone, multiply by the total lot area of both the original development and the addition; however, the total amount of the landscaping shall not exceed the requirements set forth in this subsection.*

- ALC (additional  
lot coverage)      X    % of landscaping    X      Total lot area  
a.    ELC (Existing      required  
     Lot Coverage)
- b. *Landscaping to be installed on an addition or expansion may be spread over the entire site (original and addition or expansion projects) with the approval of the review committee;*

**APPLICANT'S RESPONSE:** *[Please see calculations on Civil Sheet C105, application form, applicant's November 9, 2023 Memo with Landscaping Requirements calculations, and December 13, 2023 Response to Completeness Review Memo, Excerpted Below]. See Applicant's 1/31/2024 Updated Calculations attached as Attachment C*

Udell Engineering & Land Surveying calculated required landscaping coverage area following City of McMinnville policy, Chapter 17, section 17.57.070. Existing Lot Coverage (ELC) areas were determined by the use of Civil3D software, existing conditions survey performed by Udell Engineering & Land Surveying. Additional Lot Coverage (ALC) was also determined by Civil3D and building footprints provided by Pillar Consulting Group.

Following CH.17.57.070.A.5.a

$$\frac{ALC}{ELC} \times \% \text{ landscape required} \times \text{Total area}$$

$$\frac{92,088 \text{ sf}}{124,057 \text{ sf}} \times 0.07 \times 314,898 = 16,362 \text{ sf}$$

Required landscaping area is 16,362 sf.

Provided landscaping area with proposed site plan is 17,556 sf.

**COVERAGE INFO**

EXISTING BUILDING:103,958 S.F. (33%)

PROPOSED TOTAL BUILDING FOOTPRINT AFTER PROJECT:179,322 S.F. (57%)

PARKING/DRIVE AISLE/SIDEWALK:119,214 S.F. (38%)

EXISTING LANDSCAPE:3,338 S.F. (1.1%)

PROPOSED LANDSCAPE:14,218 S.F. (4.5%)

TOTAL FINAL LANDSCAPE:17,556 S.F. (5.6%)

REQUIRED LANDSCAPE:16,362 S.F.

Udell Engineering & Land Surveying used Civil3D software to calculate the proposed floor area as follows:

103,958 square feet	(Existing Building Footprint)	
4,022 square feet	(Building Footprint Being Demolished)	(99,936 sf)
+ 79,386 square feet	(Addition of Building Footprint)	
179,322 square feet	(Total Building footprint after project)	

**PARKING INFO**

EXISTING BUILDING:103,958 S.F.

BUILDING FOOTPRINT BEING DEMOLISHED:4,022 S.F.

PROPOSED BUILDING#1:72,683 S.F.

PROPOSED BUILDING#2:6,623 S.F.

PROPOSED ENTRY GATE BUILDING:80 S.F.

TOTAL:179,322 S.F.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has provided the required calculations per Subsection 5(a) above, demonstrating compliance with the applicable coverage requirements. Presently, about 1.1% of the site is landscaped. The proposed landscape plan would provide 5.6% landscape coverage. ***The applicant's 1/31/2024 updated calculations attached as Attachment C still demonstrate compliance.***

Per Subsection 5(b), “Landscaping to be installed on an addition or expansion may be spread over the entire site (original and addition or expansion projects) with the approval of the review committee.” Consistent with this provision, the applicant is proposing to spread the landscaping over the entire site, adding landscaping along the west side of the site in addition to the area in the vicinity of the building expansion on the east side of the site and with additional landscaping of the northeasterly parking area and the frontage.

**17.57.070(B).** The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

**17.57.070(B)(1).** Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS PENDING LRC RESOLUTION.** The properties to the east and west are predominantly industrial, with a commercial property abutting the northwest corner of the site. The proposed landscaping along the east and west property lines demonstrate compatibility with the project and those properties. Property to the north is undeveloped C-3 zoned property, and the proposed landscaping of the north side of the property is compatible with the C-3 zoning and potential future uses. See below re: south property line.

**17.57.070(B)(2).** *Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS PENDING LRC RESOLUTION.** The proposed screening and landscaping of the frontage parking areas and front face of building is suitable for the front-facing portion of the property. Shrubs and hedges are proposed along the east and west property lines. The back side of the property facing Highway 18 is proposed to remain unscreened along most of the rear property line. An open chain link fence is present along the property line and proposed to remain. Screening is limited to the proposed shrubs at the southwest and southeast corners of the site and some existing trees present in the ODOT right-of-way.

**17.57.070(B)(3).** *The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED/NOT APPLICABLE.** The site is generally level and there are no existing trees or natural areas to be incorporated into the development.

**17.57.070(B)(4).** *The development and use of islands and plantings therein to break up parking areas.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Islands with plantings including trees are focused in the front, ungated portion of the property. The rear gated portion of the property includes one tree and end island at the south side of the new building where parking abuts the building. Screening of the rear, gated parking area is proposed with planting areas abutting the property lines to the east and west. These are proposed to contain shrubs, and trees are not proposed in these areas.

**17.57.070(B)(5).** *The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** No prohibited trees are proposed. As a condition of approval a different more columnar street tree selection is recommended, which would be better suited to both the small size for planting under utilities while also reducing impacts from limbing that apply to street trees along Major Collector streets.

**17.57.070(B)(6).** *Suitable watering facilities or irrigation systems must be included in or near all planted areas.*

**APPLICANT'S RESPONSE:** *[Please see applicant's proposed irrigation plan].*

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has submitted a detailed irrigation plan for an automatic irrigation system.

**17.57.070(C)** *All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** This is a requirement of the Zoning Ordinance and has also been incorporated as a condition of approval.

### **Chapter 17.58. Trees**

**17.58.010 Purpose.** *The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Suitable street trees in a planter strip as part of new Booth Bend Road frontage improvements are proposed and addressed with a condition of approval.

**17.58.080 Street Tree Planting—When Required.** *All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED/APPLICABLE.** The proposed development is an industrial expansion which includes new frontage improvements including planter strip which will be planted with street trees consistent with 17.58.090.

### **17.58.090 Street Tree Standards.**

**17.58.090(A).** *The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has proposed street trees selected from the City's street tree list with trees which are suitable for planting under overhead utilities.

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A condition is recommended to select a more columnar tree which is less prone to grow over the right-of-way of a Major Collector which would be more significantly impacted by limbing requirements for smaller trees along a Major Collector.

**17.58.090(B).** *Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** A condition of approval is included to ensure that street trees shall meet City standards for size and quality at the time of planting.

**17.58.090(C).** *Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. [...]*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The trees selected for the available planting areas shall be consistent with this standard. The street tree plan shows planting to meet spacing requirements while avoiding utility conflicts.

**17.58.090(D).** *When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three (3) feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four (4) feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Street trees will be planted in the planter strip between the curb and sidewalk consistent with applicable adopted complete street standards.

**17.58.090(E).** *Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The street trees shall be located and planted per the conditions of approval, including the requirements of this standard.

**17.58.090(F).** *Existing street trees shall be retained unless approved by the Planning Director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Planning Director to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as*

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approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** This project includes a major reconstruction of the street frontage improvements, which include curb, gutter, sidewalk, and planter strip with trees to be planted within the planter strip. Impacted trees will be replaced with street trees within the new planter strip.

**17.58.120 Street Tree Maintenance.**

- A. Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.
- B. Street tree plans, or landscape plans including street trees, shall be maintained in perpetuity. In the event that a street tree must be replaced, the adjacent property owner or developer shall plant a replacement tree of a species from the approved street tree or landscape plan.
- C. Maintenance of street trees, other than those located in the Downtown Tree Zone shall be the continuing obligation of the abutting property owner. The City shall undertake regular maintenance of street trees within the Downtown Tree Zone in accordance with appropriate horticultural practices including pruning and fertilizing to properly maintain the health of such trees.
- D. Street trees, as they grow, shall be pruned to provide at least eight (8) feet of clearance above sidewalks and thirteen (13) feet above local streets, fifteen (15) feet above collector streets, and eighteen (18) feet above arterial streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the City. Major pruning, as defined in Section 17.58.020, of a street tree must be approved by the City in accordance with Section 17.58.040.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** This is an applicable code requirement. In addition, a condition of approval has been included to ensure that the street trees are continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner for one full growing season following planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.

**Chapter 17.42. M-2 General Industrial Zone**

**FINDING: SATISFIED.** There are no special landscape buffering or screening requirements specified in Chapter 17.42. There is a requirement for increased yard areas adjacent to a residential zone, but there is no adjacent residential zone.

**Chapter 17.54. General Provisions**

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** This Chapter includes provisions addressing clear vision triangles. **See Section 17.54.089. See also Section 17.60.080(C)(4).** All landscaping shall

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be installed and maintained to comply with vision clearance standards. The proposed landscape plan shows shrubs within the clear vision triangle. These shall be maintained so they don't exceed a height of three feet. The shrubs proposed within the vision clearance triangles are identified as having a mature height of 2 feet.

**Chapter 17.60. Off-Street Parking and Loading**

17.60.080(D)(1). Parking spaces along the outer boundaries of a parking area shall be contained by a curb or a bumper rail so placed to prevent a motor vehicle from extending over an adjacent property, sidewalk, or street.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Parking spaces along the west property line are shown as 8'x14'. The Zoning Ordinance specifies compact parking spaces to be a minimum of 8'x16'. The parking spaces abut a landscape area between the parking spaces and property line, with 2 feet of the 8 foot width free of shrubs.

**Chapter 17.61. Solid Waste and Recycling Enclosure Plan**

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS PENDING LRC RESOLUTION.** Conditions of approval have been included to clarify that a solid waste enclosure meeting the requirements of Chapter 17.61 is required. The landscaping and screening requirements are pending resolution by the LRC.

TS



**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128  
 (503) 434-7311 Office • (503) 474-4955 Fax  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

<b>Office Use Only:</b>	
File No.	<u>L53-23</u>
Date Received	<u>11/14/23</u> (15)
Fee	<u>1,207.00</u>
Receipt No.	<u>209044</u>
Received by	<u>DA</u>

509-23-000604-PLNG

## Landscape Plan Review Application

### Applicant Information

**Applicant is:** ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☒ Other CONTRACTOR

Applicant Name RL Reimers Co. Phone 541-926-7766

Contact Name \_\_\_\_\_ Phone \_\_\_\_\_  
 (If different than above)

Address 750 SW Booth Bend

City, State, Zip Mcminnville OR. 97128

Contact Email Bobby@udelleng.com, Jeff@Pillar-inc.com

### Property Owner Information

Property Owner Name Big Step Properties, LLC Phone \_\_\_\_\_  
 (If different than above)

Contact Name Zach Pittman-Maintenance Manager Phone 971-261-3185

Address 750 SW Booth Bend Rd.

City, State, Zip Mcminnville Or. 97128

Contact Email Zach.Pittman@empwrnutrition.com

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 750 SW Booth Bend Rd.

Assessor Map No. R4 MAP:04S04W29 TL:02600 Total Site Area 7.23AC./314,898 S.F.

Subdivision NA Block NA Lot NA

Comprehensive Plan Designation IND. Zoning Designation M-2

### **Landscaping Information**

1. Total Landscaped Area: 17,556 s.f.
2. Percent Landscaped: 5.57%
3. Building Floor Area:  
New Structure: 92,088 s.f. Existing Structure: 124,057 s.f. Addition: \_\_\_\_\_
4. Architect Name Laurus Designs, LLC Phone 503-784-6494  
(Landscape Architect; Engineer; or Other Designer)  
Contact Name Laura Antonson Phone \_\_\_\_\_  
Address 1012 Pine St  
City, State, Zip Silverton, Or. 97381  
Contact Email laura@laurusdesigns.com

In addition to this completed application, the applicant must provide the following:

- ☐ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- ☐ Payment of the applicable review fee, which can be found on the Planning Department web page.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

  
Applicant's Signature

11/13/23  
Date

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date



**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128  
(503) 434-7311 Office • (503) 474-4955 Fax  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**Office Use Only**

File No. L58-23  
Date Received 11/14/23  
Fee 1,207.00  
Receipt No. 209044  
Received by DA

509-23-000604-PLNG

## Landscape Plan Review Application

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Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☒ Other CONTRACTOR

Applicant Name RL Reimers Co. Phone 541-926-7766

Contact Name \_\_\_\_\_ Phone \_\_\_\_\_  
(If different than above)

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City, State, Zip McMinnville OR 97128

Contact Email Bobby@udelleng.com, Jeff@Pillar-inc.com

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Property Owner Name Big Step Properties, LLC Phone \_\_\_\_\_  
(If different than above)

Contact Name Zach Pittman-Maintenance Manager Phone 971-261-3185

Address 750 SW Booth Bend Rd.

City, State, Zip McMinnville Or 97128

Contact Email Zach.Pittman@empwrnutrition.com

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4. Architect Name Laurus Designs, LLC Phone 503-784-6494  
(Landscape Architect, Engineer, or Other Designer)  
Contact Name Laura Antonson Phone \_\_\_\_\_  
Address 1012 Pine St  
City, State, Zip Silverton, Or. 97381  
Contact Email laura@laurusdesigns.com

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Applicant's Signature

11/13/23  
Date

  
Property Owner's Signature

11/21/23  
Date



# EMPWR USA SITE

750 SW BOOTH BEND ROAD  
MCMINNVILLE, OREGON

## DRAWINGS FOR:

R.L. REIMERS COMPANY  
3939 OLD SALEM ROAD, SUITE #200  
ALBANY, OREGON

## LANDSCAPE ARCHITECT:

LAURUS DESIGNS, LLC  
LAURA ANTONSON, RLA, ASLA  
1012 PINE STREET  
SILVERTON, OREGON 97381  
503 . 784 . 6494  
LAURA@LAURUSDESIGNS.COM

## SHEET INDEX:

LO.0 COVER SHEET

L1.1 PLANTING PLAN  
L1.2 PLANTING PLAN  
L1.3 PLANT SCHEDULE, NOTES, AND  
DETAILS

L2.1 IRRIGATION PLAN AND SCHEDULE  
L2.2 IRRIGATION PLAN AND NOTES  
L2.3 IRRIGATION DETAILS

## VICINITY MAP:



MAP COURTESY OF GOOGLE

PROJECT  
SITE

CALL BEFORE YOU DIG:  
1.800.332.2344  
[www.callbeforeyoudig.org](http://www.callbeforeyoudig.org)

Laurus  
Designs, LLC



1012 Pine Street  
Silverton, Oregon  
503.784.6494

EMPWR  
USA SITE

750 Booth Bend Road  
McMinnville, Oregon



COVER  
SHEET

January 8th, 2024

## REVISIONS

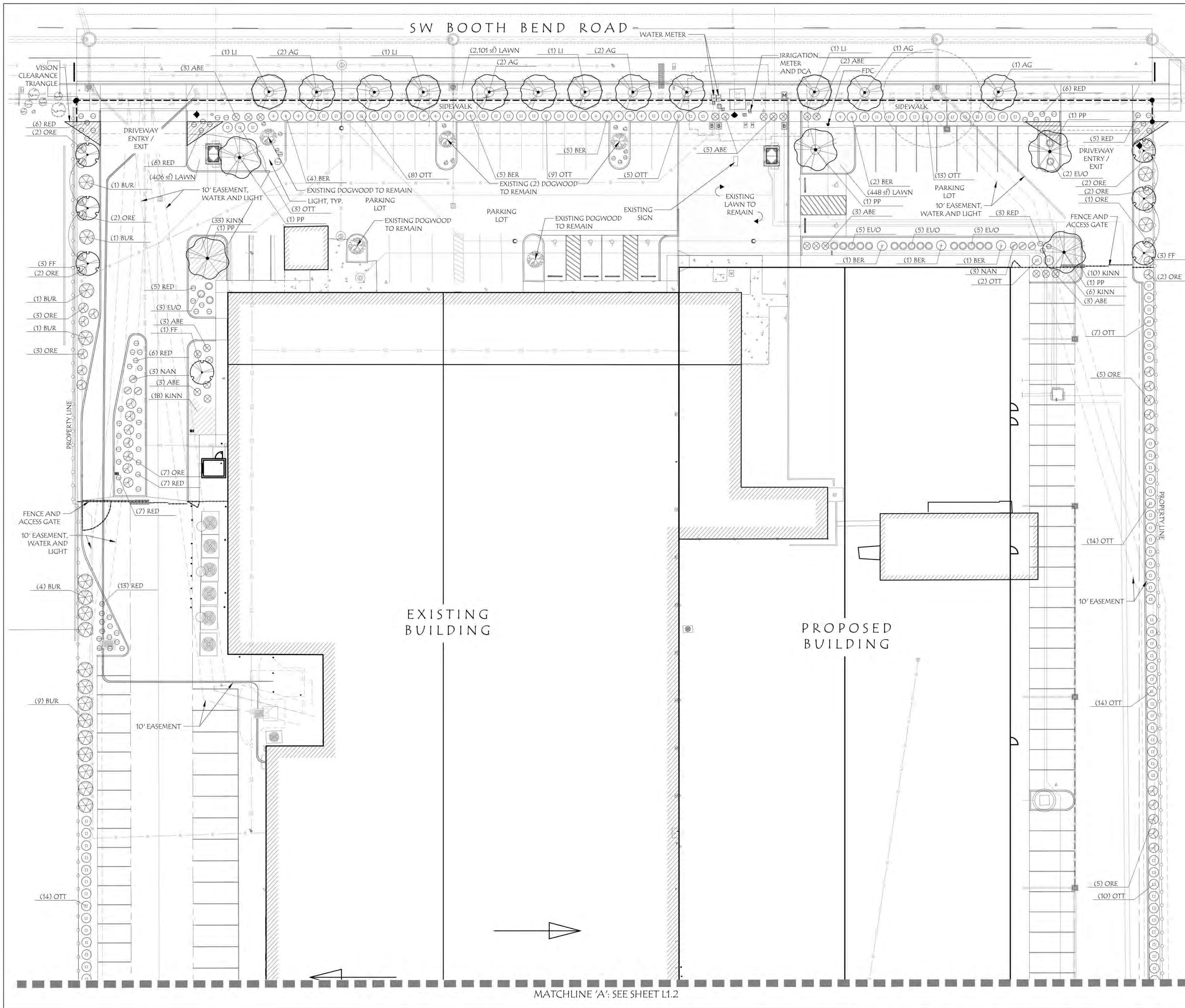
#	DATE	NOTES	INITIALS

LO.0

SHEET 1 OF 7

PROJECT Page 37 of 92





**Legend:**

- EXISTING TREE TO REMAIN
- EXISTING SHRUB TO REMAIN
- UTILITY AND STREET LIGHT OFFSET FOR STREET TREES

- General Notes:**
1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
  2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
  3. SEE CIVIL DRAWINGS FOR GRADING PLAN AND UTILITIES.
  4. STREET TREES SELECTED FROM CITY OF McMINNVILLE APPROVED STREET TREE LIST FOR TREES BENEATH OVERHEAD LINES.
  5. QUANTITIES TO MATCHLINE EXCEPT GROUND COVERS.
  6. PLANT SCHEDULE AND NOTES SEE SHEET L1.3.
  7. PLANTING DETAILS SEE SHEET L1.3.
  8. IRRIGATION PLAN SEE SHEETS L2.1 AND L2.2.

**Site and Landscape Information:**  
ZONE: M-2 GENERAL INDUSTRIAL

TOTAL SITE SF: 314,898 SF (7.23 ACRES)  
TOTAL LANDSCAPE AREA PROPOSED: 16,362 SF  
PERCENTAGE OF TOTAL SITE: 5.6%

STREET TREES:  
SMALL TREES @ 20' ON CENTER (BENEATH OVERHEAD LINES)  
KEEP TREES 10' FROM HYDRANTS, UTILITY POLES AND LINES, 20' FROM STREET LIGHTS AND INTERSECTIONS, 5' FROM DRIVEWAYS.

Laurus Designs, LLC

1012 Pine Street  
Silverton, Oregon  
503.784.6494

EMPWR USA SITE

750 Booth Bend Road  
McMinnville, Oregon



PLANTING PLAN

SCALE: 1"=20'-0"

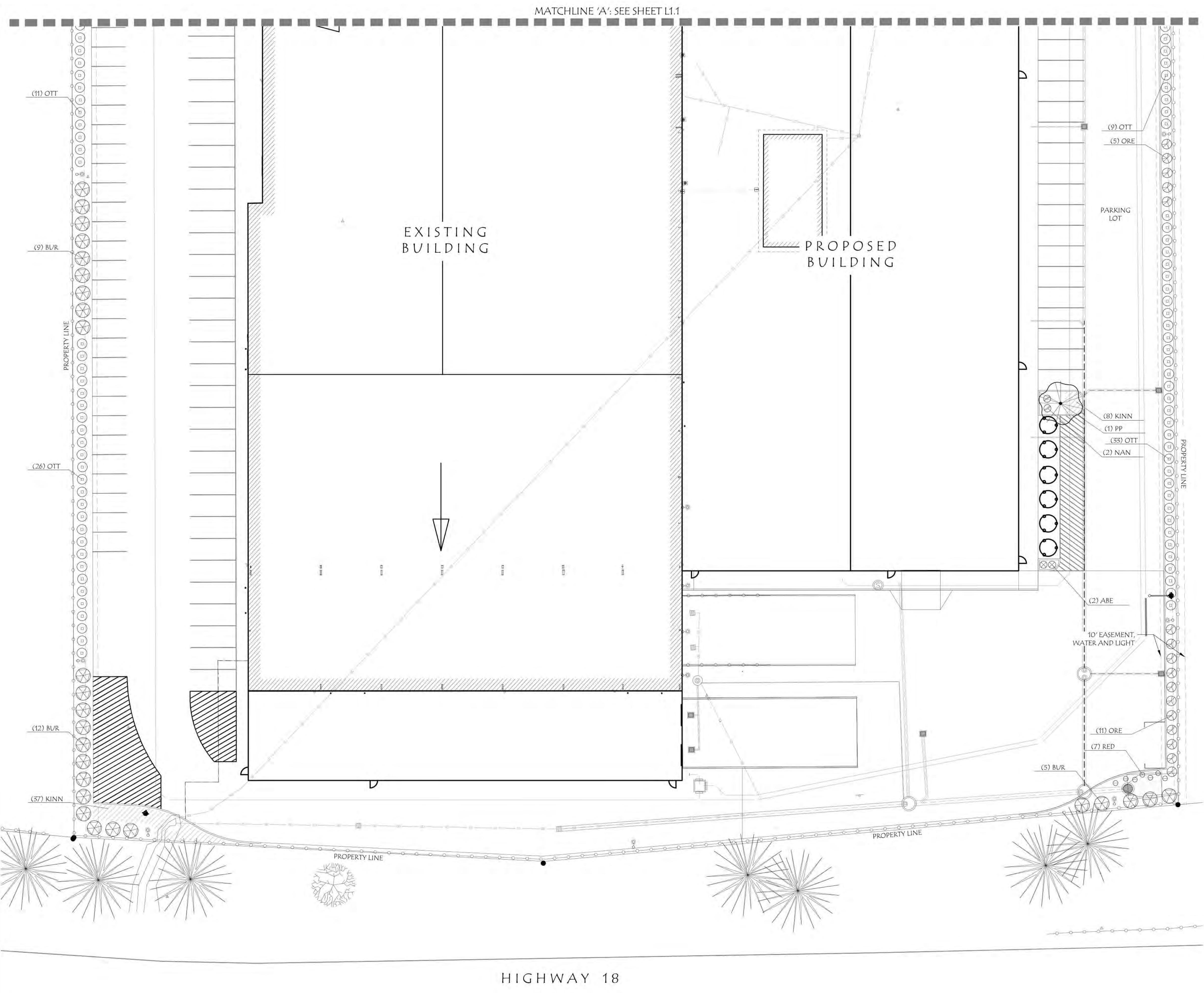
0' 10' 20' 40'

SCALE

January 8th, 2024

REVISIONS			
#	DATE	NOTES	INITIALS





- Legend:**
- EXISTING TREE TO REMAIN
  - EXISTING SHRUB TO REMAIN
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  8. IRRIGATION PLAN SEE SHEETS L2.1 AND L2.2.

Laurus Designs, LLC

1012 Pine Street  
Silverton, Oregon  
503.784.6494

EMPWR USA SITE

750 Booth Bend Road  
McMinnville, Oregon

REGISTERED  
643  
LAURA A. ANTONSON  
OREGON  
11/16/2007  
LANDSCAPE ARCHITECT

PLANTING PLAN

SCALE: 1"=20'-0"

0' 10' 20' 40'

SCALE

January 8th, 2024

REVISIONS			
#	DATE	NOTES	INITIALS

L1.2

SHEET 3 OF 7

PROJECT Page 39 of 92



General Planting Notes:

1. THE LANDSCAPE CONTRACTOR IS TO THOROUGHLY REVIEW THE SITE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS THE LANDSCAPE ARCHITECT IS TO BE IMMEDIATELY NOTIFIED.
2. IF THE LANDSCAPE CONTRACTOR STARTS WORK BEFORE SITE CONDITIONS ARE READY, THEY WILL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS RELATING TO THE CONDITION.
3. PLANT MATERIALS SHALL BE FREE OF DISEASE, INJURY, AND INSECT INFESTATION. UNHEALTHY OR DAMAGED PLANTS SHALL BE REPLACED BY LANDSCAPE CONTRACTOR. ALL PLANT MATERIAL SHALL FOLLOW THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLICATIONS INCLUDING ANSI A300 AND ANSI Z60.
4. PLANTER BEDS: ALL PLANTER BEDS SHALL HAVE A MINIMUM DEPTH OF 8" WORKABLE TOPSOIL. COMPACTED AT A MAXIMUM OF 85% STANDARD PROCTOR MAXIMUM DRY DENSITY. TOPSOIL SHALL BE OVER ROCK-FREE SUBGRADE. SUBGRADE TO BE RIPPED AND TILLED TO 6" DEPTH AND REMOVE ALL DERRIS 2" OR LARGER. SMALL PLANTER AREAS MAY REQUIRE REMOVAL OF COMPACTED SOIL, ROCK, GRAVEL TO AT LEAST 18" DEEP. LOOSEN AND AMEND SOIL BEFORE REPLACING IN 6" LIFTS TO FINISH GRADE.
5. LAWN BEDS: ALL LAWN BEDS SHALL HAVE A MINIMUM DEPTH OF 3" WORKABLE TOPSOIL WITH 1" CLEAN, MATURE COMPOST. THOROUGHLY MIX AND TILL 2" INTO SUBGRADE FOR A TOTAL DEPTH OF 6" UNCOMPACTED, WORKABLE SOIL.
6. TOPSOIL MIX: AMEND EXISTING SOIL IN-SITU OR STOCK PILE SOIL ON SITE. IMPORT TOPSOIL ONLY AS NECESSARY. CONDUCT A SOIL SAMPLE FOR EACH TYPE OF PLANTER AREA. SEND SAMPLES TO AN INDEPENDENT LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE AND SPECIALIZING IN AGRONOMIC SOIL ANALYSIS FOR TESTING AND AMENDMENT RECOMMENDATIONS.

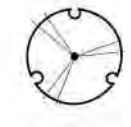
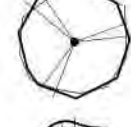
7. SOIL AMENDMENTS: ADD A MINIMUM OF 3" CLEAN, MATURE COMPOST TO TOPSOIL FOR PLANTER AREAS AND 1" CLEAN, MATURE COMPOST FOR LAWN BEDS, TILL IN, FOR ALL BEDS. FOR BIDDING PURPOSES, ASSUME GENERAL SOIL AMENDMENTS AS FOLLOWS PER 1000' SF AT 6" LIFTS UNTIL SOIL ANALYSIS RECOMMENDATION IS COMPLETE, SEE ABOVE FOR COMPOST.
- 25 LBS GYPSUM
  - 75 LBS LIME
  - 8 LBS SUPERPHOSPHATE
  - 3 LBS AMMONIUM NITRATE
  - 4 OZS ZINC SULFATE
  - 8 OZS MANGANESE SULFATE
8. MYCORRHIZAL FUNGI INOCULATE: USE A COMBINED ENDO AND ECTO MYCORRHIZAL FUNGI INOCULATE SUCH AS BIO-ORGANICS OR EQUAL AT A RATE OF:
- 2" CAL. B&B TREE: 3 TEASPOONS
  - 5 GALLON: 2 TEASPOONS
  - 1-3 GALLON PLANT: 1 TEASPOON
  - 4" POT: 1/4 TEASPOON
  - SEED/TURF: 1 LB PER 2000 SF
- DO NOT USE ON RHODODENDRON/AZALEA, HUCKLEBERRY, SEDGE, RUSH, HEATH.
9. PLANTING: VERIFY SOIL IS APPROPRIATELY DRY FOR DIGGING. SEE DETAILS THIS SHEET FOR HOLE DEPTH, WIDTH AND BACKFILL. DEEP WATER IMMEDIATELY AFTER PLANTING.
10. MOUND PLANTING BED AREAS 3% FOR POSITIVE DRAINAGE AND AESTHETICS. SLOPE AWAY FROM BUILDINGS.
11. BARK MULCH: SPREAD 2" MAX. DEPTH AGED FIR MULCH IN ALL PLANTER BEDS AND OPEN LANDSCAPE AREAS. KEEP MULCH AWAY FROM PLANT BASE.









12. FERTILIZER: DO NOT USE ADDITIONAL FERTILIZERS ON NEWLY PLANTED TREES FOR FIRST YEAR.
13. TREES: TREE STAKES TO BE REMOVED AFTER 6 MONTHS.
14. LAWN: PROVIDE 48" DIAMETER LAWN CUT-OUTS AROUND ALL TREES. MULCH CUT-OUTS, KEEP MULCH AT LEAST 4" AWAY FROM BASE OF TREE. KEEP LAWN 12" FROM FENCES AND BUILDINGS. MULCH AREAS AT FENCE AND BUILDING.
15. SEED: HYDROSEED IN SPRING AFTER MARCH 15TH OR FALL BEFORE OCTOBER 15TH.
16. PLANT QUANTITIES SHOWN ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES AND SYMBOLS SHOWN, USE THE LARGER OF THE TWO AMOUNTS. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES.
17. NOTIFY LANDSCAPE ARCHITECT OF SUBSTITUTIONS.
18. LANDSCAPE CONTRACTOR TO WARRANTY PLANT MATERIAL FOR A MINIMUM OF 12 MONTHS FROM SUBSTANTIAL COMPLETION.

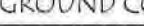
General Notes:

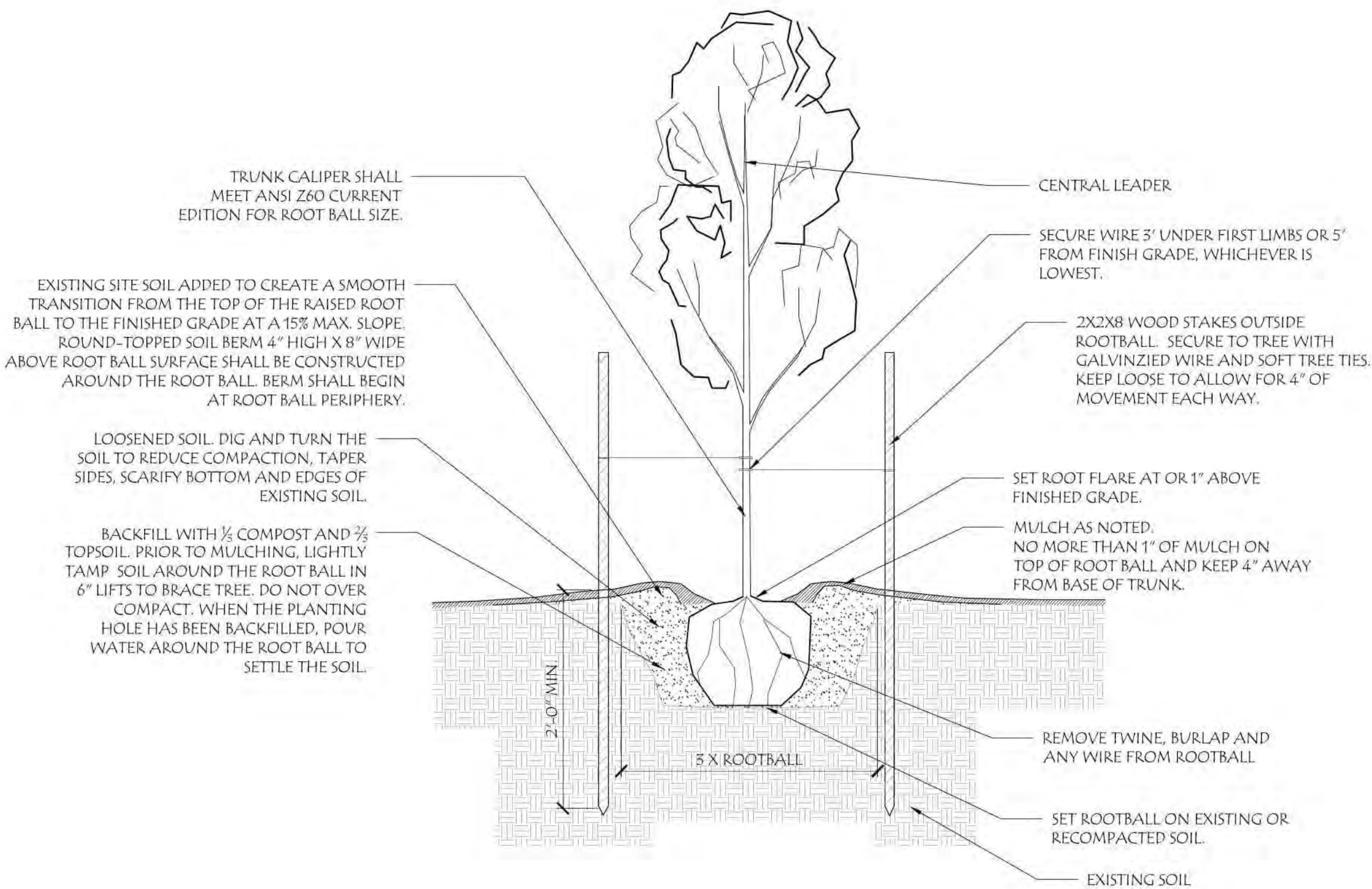
1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
3. SEE CIVIL DRAWINGS FOR GRADING PLAN AND STORMWATER FACILITIES INFORMATION.
4. STREET TREES SELECTED FROM CITY OF MCMINNVILLE APPROVED STREET TREE LIST FOR TREES BENEATH OVERHEAD LINES.
5. PLANTING PLAN SEE SHEETS L1.1 AND L1.2.
6. IRRIGATION PLAN SEE SHEETS L2.1 AND L2.2.

Plant Schedule

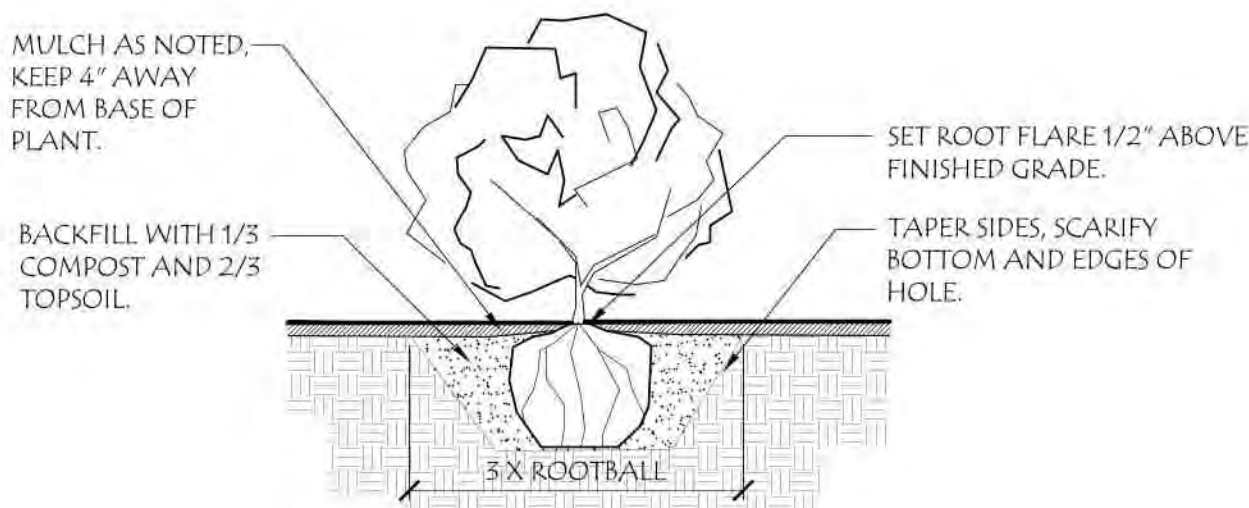
TREES	QTY	BOTANICAL / COMMON NAME		SIZE	NOTES
	AG	8	Acer griseum / Paperbark Maple	2" Cal., B&B	Street Tree
	FF	7	Fagus sylvatica 'Fastigiata' / Fastigiata European Beech	2" Cal., B&B	
	LI	4	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle	2" Cal., B&B	Street Tree
	PP	6	Parrotia persica / Persian Parrotia	2" Cal., B&B	

SHRUBS		QTY	BOTANICAL / COMMON NAME	SIZE
	ABE	2	Abelia x grandiflora 'Sherwoodii' / Sherwood Glossy Abelia	2 Gal.
	BER	19	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	3 Gal.
	RED	71	Cornus sericea 'Kelsey' / Kelsey's Dwarf Red Twig Dogwood	2 Gal.
	BUR	45	Euonymus alatus 'Compactus' / Compact Burning Bush	5 Gal.
	EVO	20	Euonymus japonicus 'Silver Princess' / Silver Princess Euonymus	2 Gal.
	ORE	52	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	3 Gal.
	NAN	8	Nandina domestica 'Firepower' / Firepower Heavenly Bamboo	2 Gal.
	OTT	178	Prunus laurocerasus 'Otto Luyken' / Otto Luyken English Laurel	2 Gal.

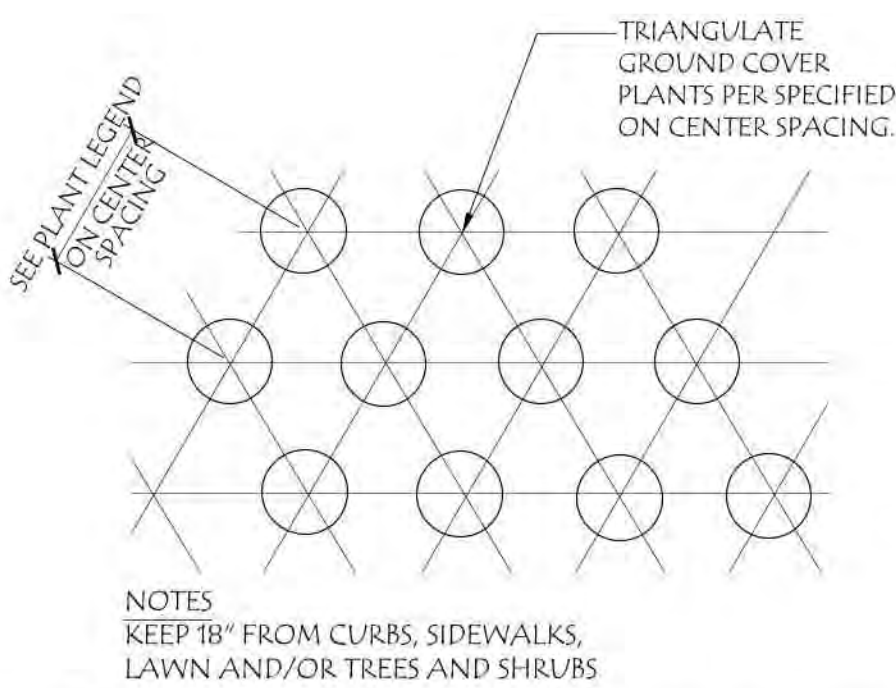
GROUND COVERS		QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	KINN	112 (945 sf)	Arctostaphylos uva-ursi / Kinnikinnick	1 Gal.	36" o.c.
	LAWN	5,337 sf	Pro Time 309 Supreme Mix or Equal	Seed @ Rate of 7-10 lbs per 1,000 sf	



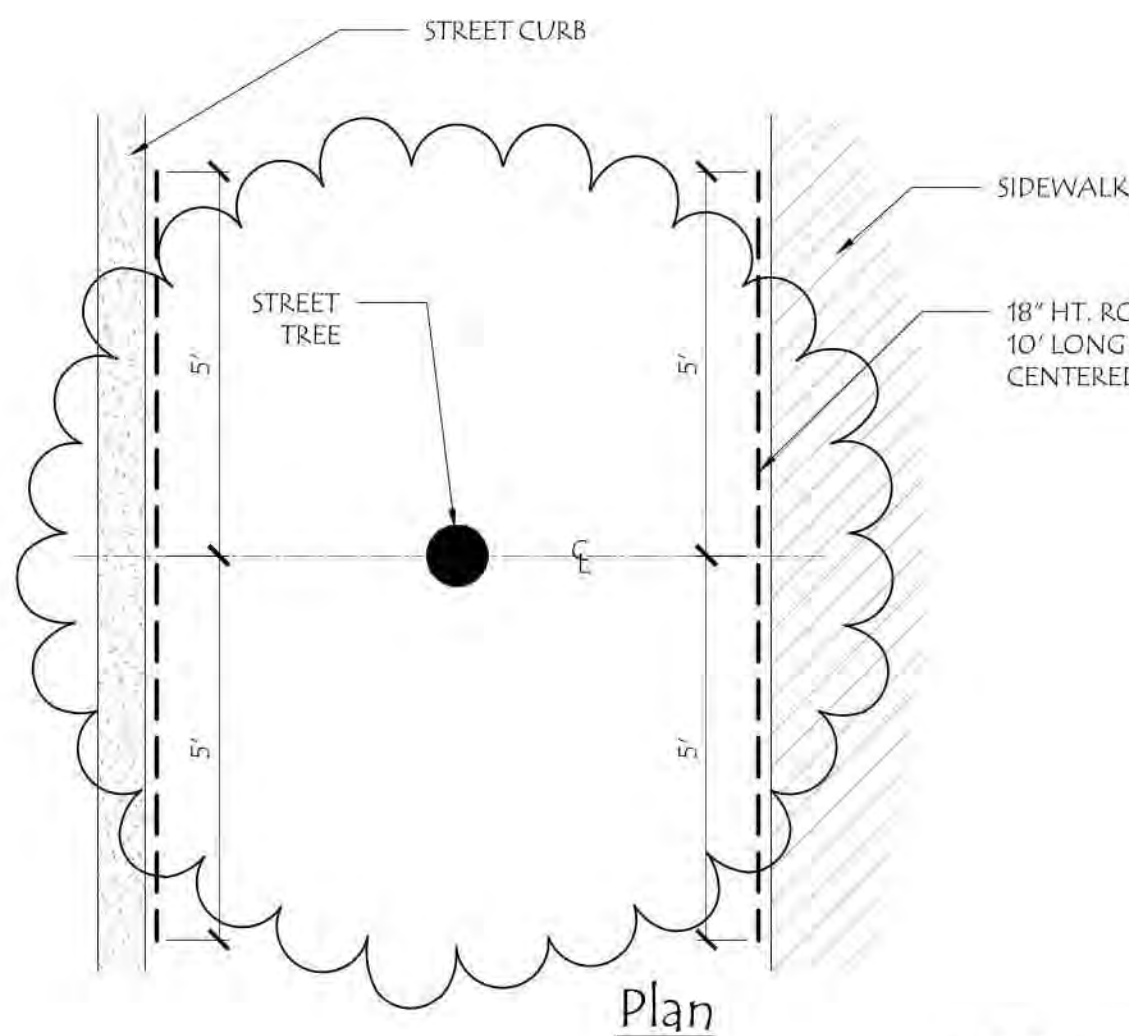
1 TREE PLANTING DETAIL  
SCALE: NTS



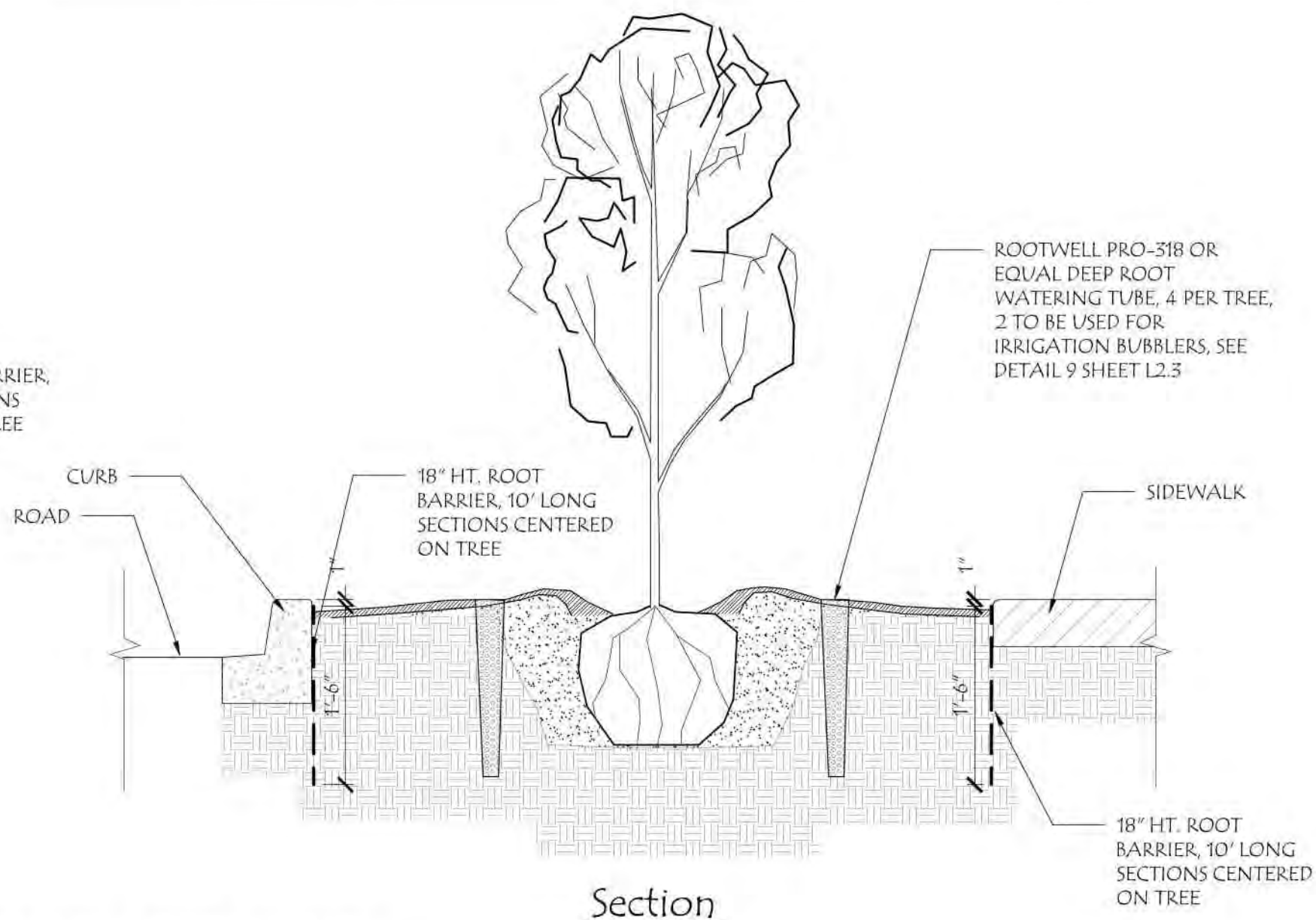
2 SHRUB AND GROUND COVER PLANTING DETAIL  
SCALE: NTS



3 GROUND COVER SPACING DETAIL  
SCALE: NTS



4 STREET TREE ROOT BARRIER  
SCALE: NTS



Section

Laurus  
Designs, LLC



1012 Pine Street  
Silverton, Oregon  
503.784.6494

EMPWR  
USA SITE

750 Booth Bend Road  
McMinnville, Oregon



PLANT  
SCHEDULE, NOTES  
AND DETAILS

January 8th, 2024

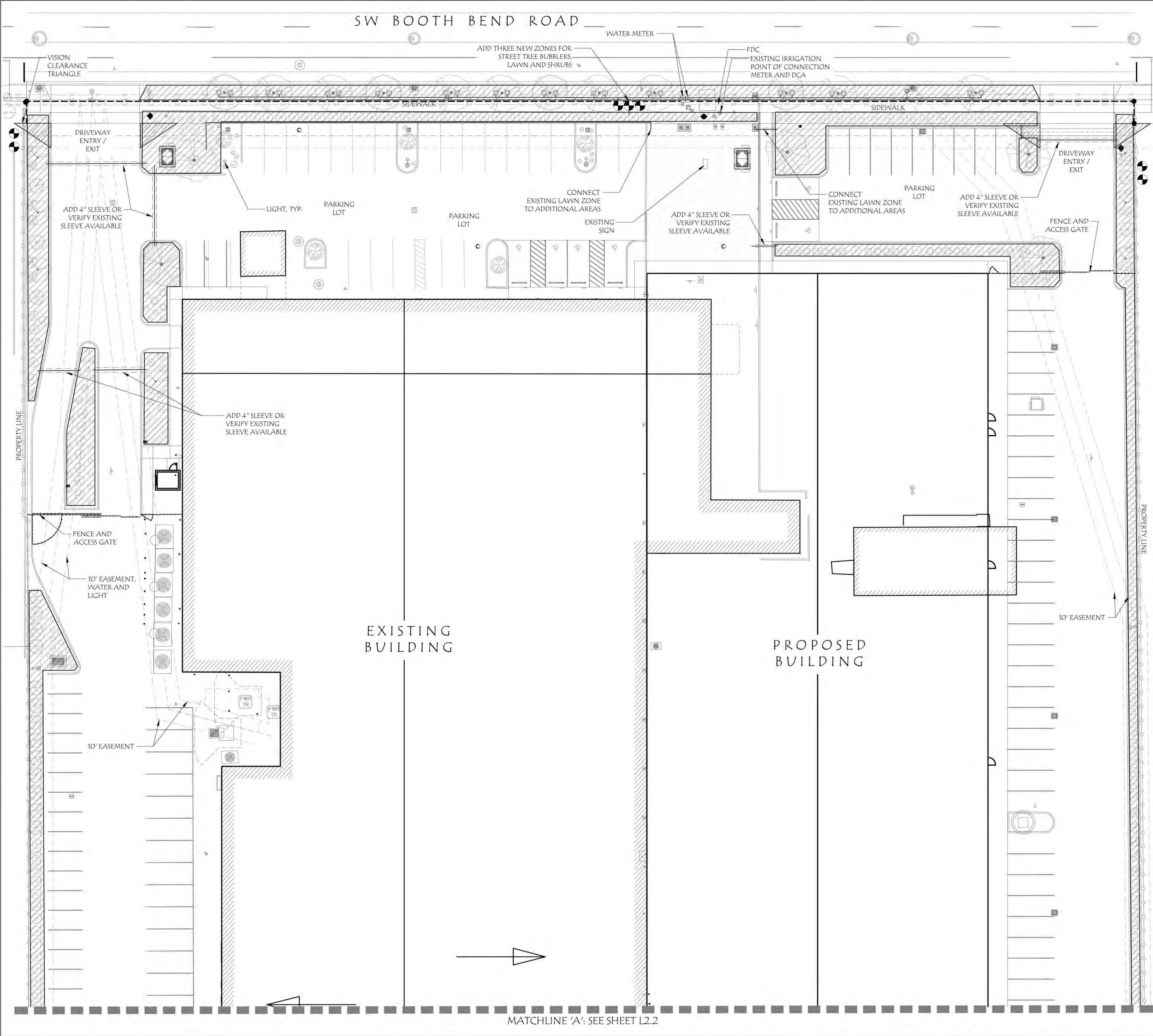
REVISIONS

#	DATE	NOTES	INITIALS

L1.3

SHEET 4 OF 7





Legend:



General Notes:

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2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
3. SEE CIVIL DRAWINGS FOR GRADING PLAN AND UTILITIES.
4. IRRIGATION SCHEDULE SEE THIS SHEET.
5. IRRIGATION NOTES SEE SHEET L2.2.
6. IRRIGATION DETAILS FOR REFERENCE SEE SHEET L2.3.
7. PLANTING PLAN SEE SHEET L1.1 AND L1.2.

Irrigation Schedule

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter RZVS-SLEEVE-18-CV or Approved Equal 18in. long RZVS with Filter Fabric Sleeve, .25 gpm or 50 gpm bubbler options, Check Valve, 1/2in. swing joint for connection to 1/2in. pipe
	Head Type: Match Proposed Heads to Existing Head Type/Manufacturer
	Valves: Match Proposed Valves to Existing Valve Manufacturer
	Irrigation Lateral Line: PVC Class 200 SDR 21
	Irrigation Mainline: PVC Schedule 40
	Pipe Sleeve: 4" PVC Schedule 40

- VERIFY:
- EXISTING METER AND BACKFLOW SIZE, GPM, AND PSI
  - EXISTING CONTROLLER SPACE FOR NEW ZONES
  - EXISTING MAINLINE AND SIZE

PVC Pipe Sizing Schedule

PIPE SIZING IS BASED ON GALLONS PER MINUTE (GPM) DEMAND DOWNLINE. FLOW VELOCITIES IN PIPE SHALL NOT EXCEED 5 FEET PER SECOND.

MAX. GPM, CLASS 200 PVC PIPE	MAX. GPM, SCHEDULE 40 PVC PIPE
3/4" = 10 GPM	3/4" = 8 GPM
1" = 16 GPM	1" = 12 GPM
1 1/4" = 26 GPM	1 1/4" = 22 GPM
1 1/2" = 35 GPM	1 1/2" = 30 GPM
2" = 55 GPM	2" = 50 GPM
2 1/2" = 80 GPM	2 1/2" = 70 GPM
3" = 120 GPM	3" = 110 GPM
4" = 200 GPM	4" = 190 GPM

Laurus  
Designs, LLC



1012 Pine Street  
Silverton, Oregon  
503.784.6494

EMPWR  
USA SITE

750 Booth Bend Road  
McMinnville, Oregon



IRRIGATION  
PLAN AND  
SCHEDULE



SCALE: 1"=20'-0"

0' 10' 20' 40'  
SCALE

January 8th, 2024

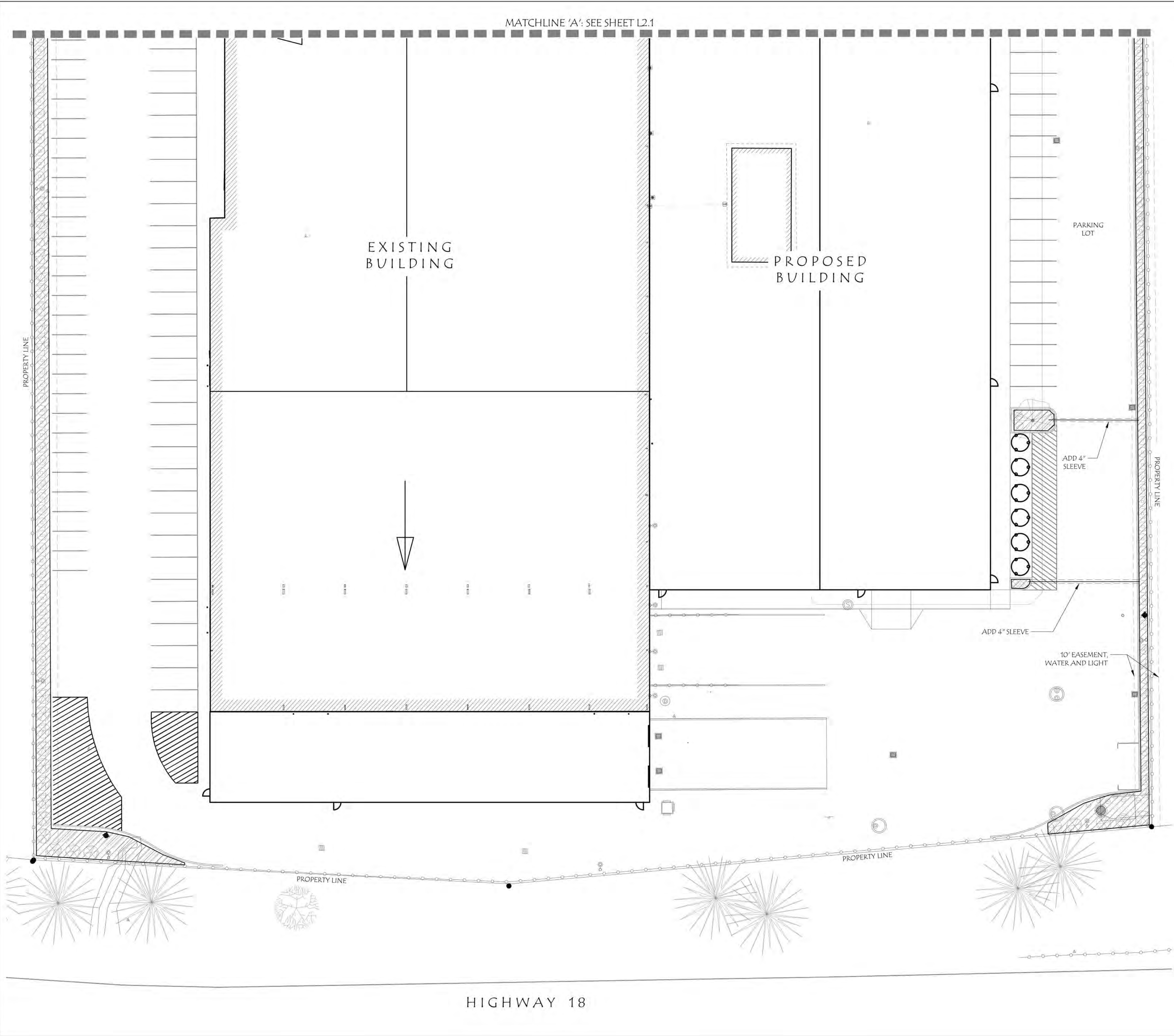
REVISIONS

#	DATE	NOTES	INITIALS

L2.1

SHEET 5 OF 7





- Legend:
- EXISTING TREE TO REMAIN
  - EXISTING SHRUB TO REMAIN

- General Notes:
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  4. IRRIGATION SCHEDULE SEE SHEET L2.1.
  5. IRRIGATION NOTES SEE THIS SHEET.
  6. IRRIGATION DETAILS FOR REFERENCE SEE SHEET L2.3.
  7. PLANTING PLAN SEE SHEET L1.1 AND L1.2.

- Irrigation Notes
1. EXISTING IRRIGATION SYSTEM TO BE MODIFIED TO ADD NEW IRRIGATION ZONES AND REPAIR/REMOVE/CAP ABANDONED SECTIONS OF PIPE.
  2. METER SIZE, FLOW (GPM) AND/OR STATIC PRESSURE (PSI) TO BE VERIFIED ON SITE BY LANDSCAPE CONTRACTOR AND/OR GENERAL CONTRACTOR.
  3. IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION (POC) ONLY. THE DESIGN IS BASED ON GALLONS PER MINUTE (GPM) AND POUNDS PER SQUARE INCH (PSI).
  4. IRRIGATION CONTRACTOR IS TO VERIFY ALL POINTS OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
  5. THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5-FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
  6. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL AND PLUMBING CODES.
  7. IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION PER LOCAL CODE.
  8. LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY. PIPE LOCATIONS ARE DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. ADJUST SLEEVE LOCATIONS AS NEEDED. LOCATE VALVES AT EDGE OF PLANT BEDS OR LAWN FOR GOOD ACCESS. PLACE VALVES INSIDE ROW LIMITS IF POSSIBLE, FIELD VERIFY.
  9. INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERALS WITH A MINIMUM 12" OF COVER BASED ON FINISH GRADES. BACKFILL TRENCHES WITH NATIVE ON-SITE SOIL, FREE OF ROCK AND OTHER DELETERIOUS MATERIAL IN 4" LIFTS, TAMPING FIRMLY TO ENSURE COMPACTION. MATCH GRADE TO EXISTING PLANTER AREAS. IRRIGATION SLEEVES AT DRIVING SURFACES TO BE 24" DEEP. BACKFILL WITH NATIVE ON-SITE SOIL, FREE OF ROCK AND OTHER DELETERIOUS MATERIAL IN 4" LIFTS, TAMPING FIRMLY TO ENSURE COMPACTION. SEE CIVIL DRAWINGS FOR PAVEMENT DETAILS. SHARE TRENCHES WHENEVER POSSIBLE.
  10. USE IN-LINE CHECK VALVES TO AVOID LOW LINE DRAINAGE.
  11. PLACE ISOLATION VALVES AT POINT OF CONNECTION AND EACH VALVE BOX.
  12. LAWN ROTATORS OR SPRAYS: MATCH EXISTING HEADS ON SITE. ASSUME 4" POP-UPS IN LAWN AREAS. KEEP 2" FROM PAVING AND 4" FROM WALLS.
  13. SHRUB ROTATORS OR SPRAYS: MATCH EXISTING HEADS ON SITE. ASSUME 6" POP-UPS IN PLANTER AREAS. KEEP 2" FROM PAVING AND 4" FROM WALLS.
  14. TREE BUBBLERS: KEEP STREET TREE BUBBLERS ON INDEPENDENT ZONE.
  15. CONTROLLER: VERIFY EXISTING CONTROLLER LOCATION AND SPACE FOR NEW ZONES.
  16. ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTORS AND BE IN A VALVE OR SPLICE BOX.
  17. ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
  18. THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...).

Laurus  
Designs, LLC

1012 Pine Street  
Silverton, Oregon  
503.784.6494

EMPWR  
USA SITE

750 Booth Bend Road  
McMinnville, Oregon

REGISTERED  
643  
LAURA A. ANTONSON  
OREGON  
11/16/2007  
LANDSCAPE ARCHITECT

IRRIGATION  
PLAN AND  
NOTES

SCALE: 1"=20'-0"

0' 10' 20' 40'

SCALE

January 8th, 2024

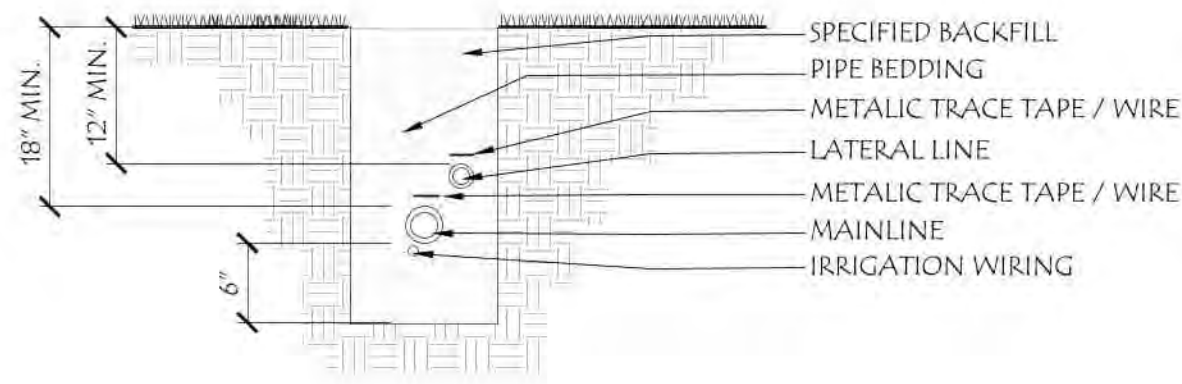
REVISIONS			
#	DATE	NOTES	INITIALS

L2.2

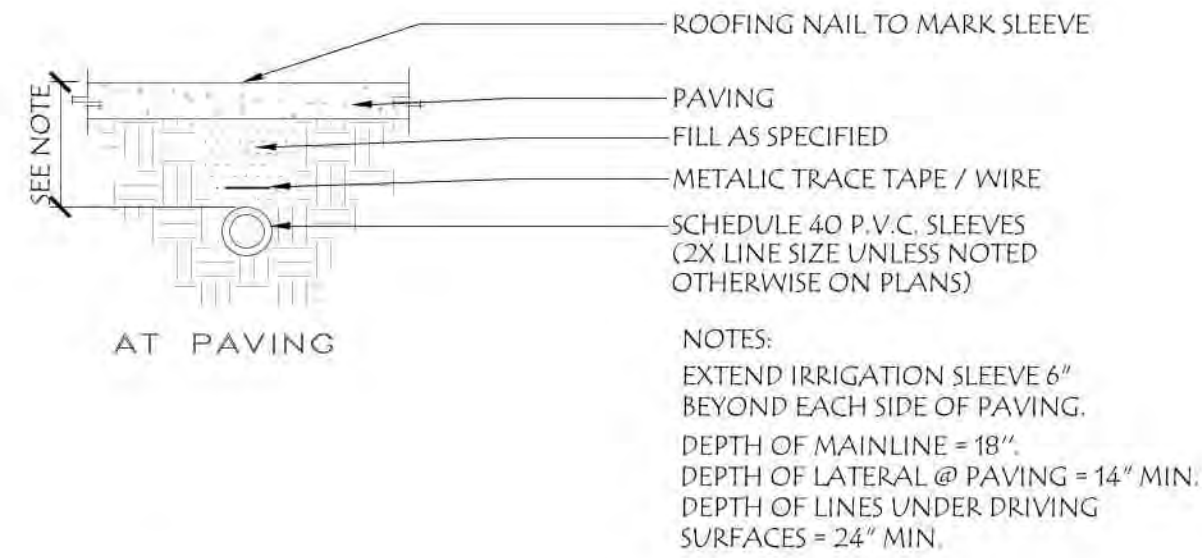
SHEET 6 OF 7

PROJECT Page 42 of 92

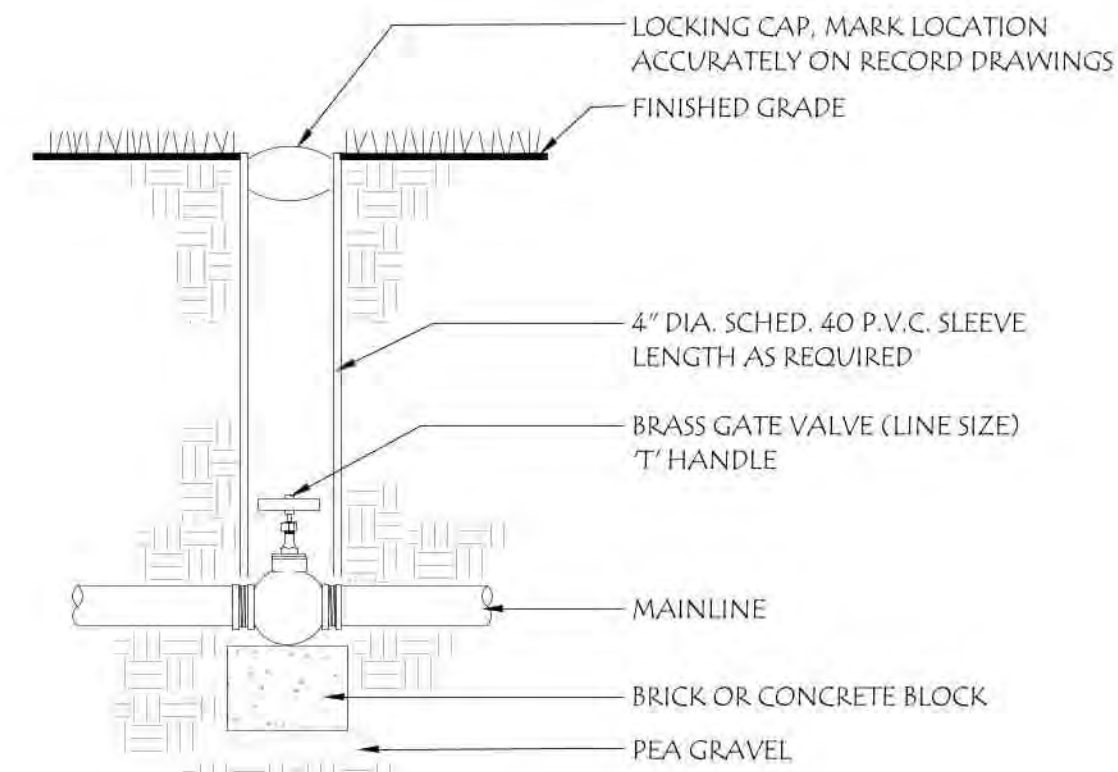




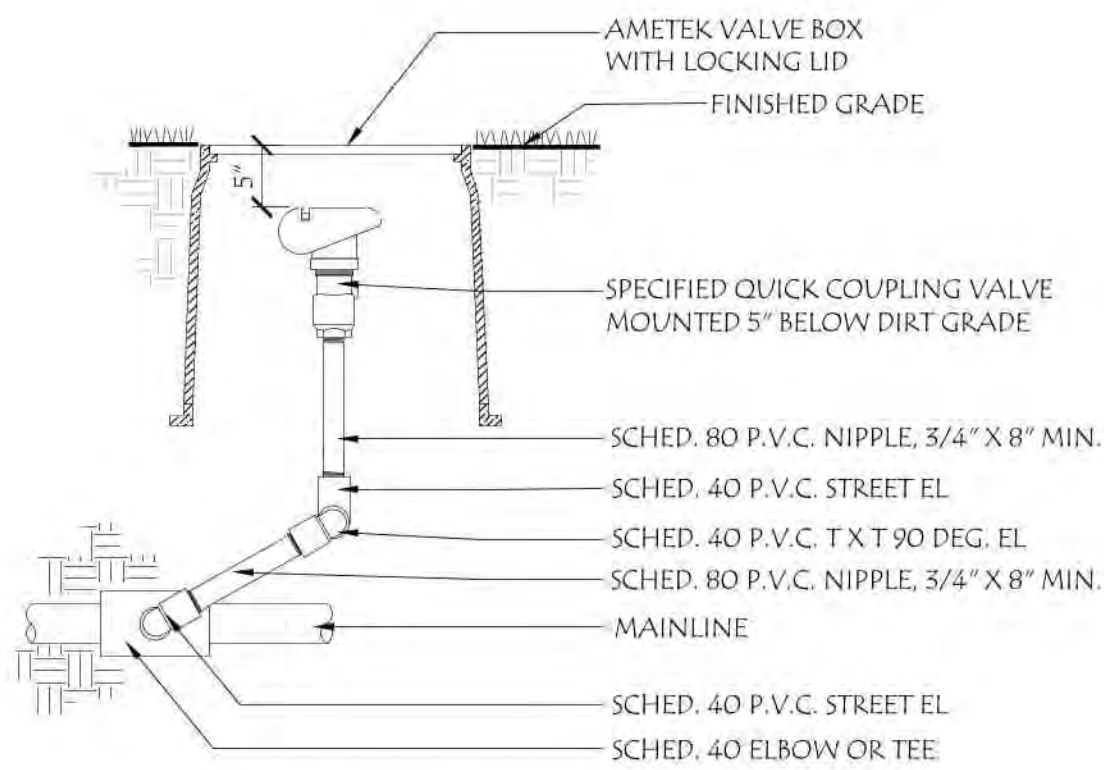
1 TYPICAL TRENCHING  
L2.3 SCALE: NTS



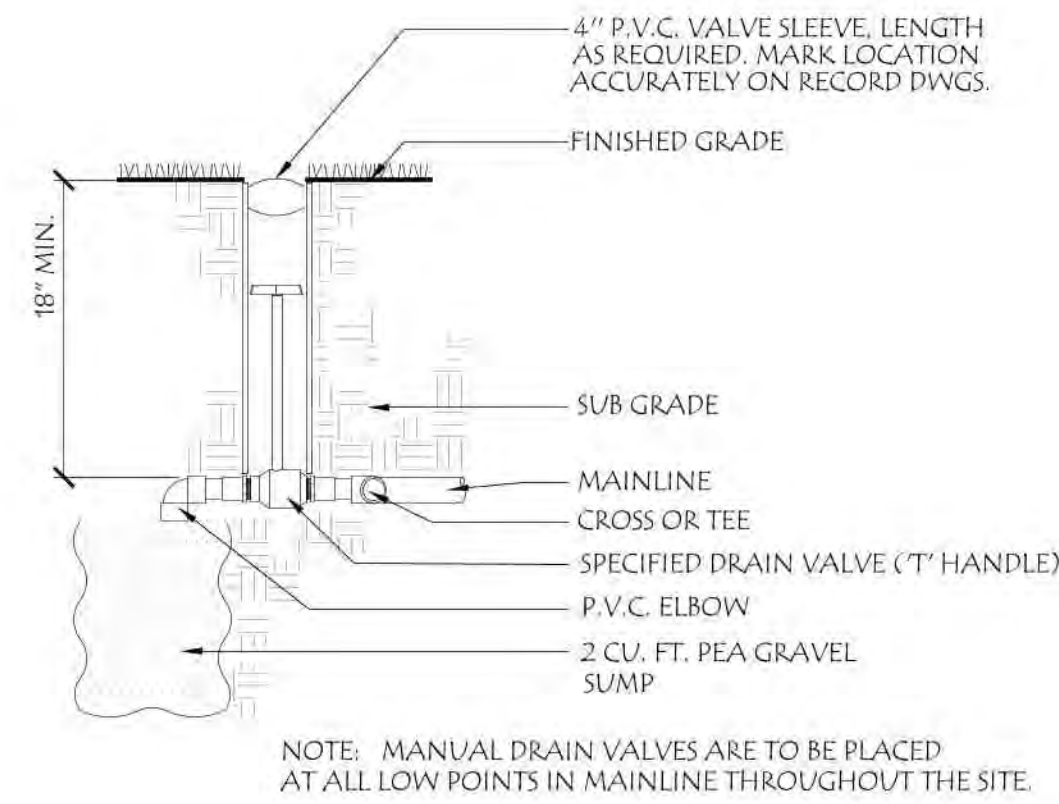
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L2.3 SCALE: NTS



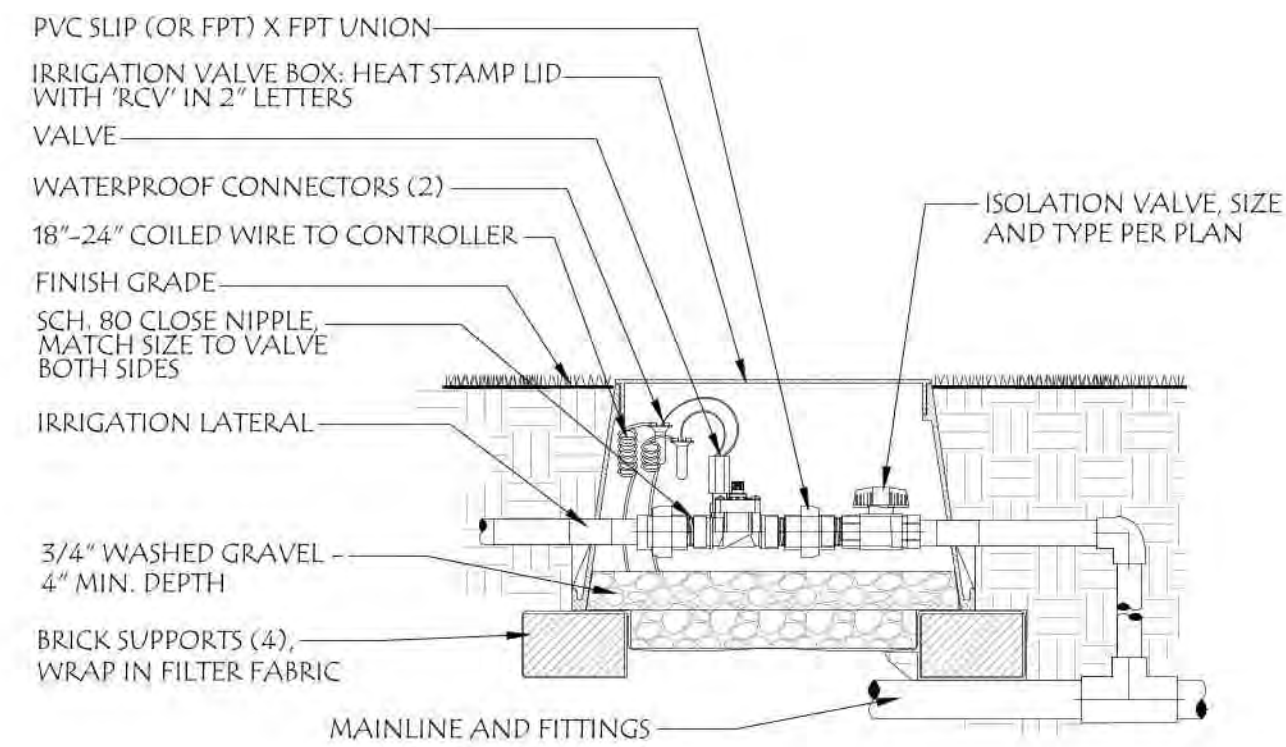
3 GATE VALVE  
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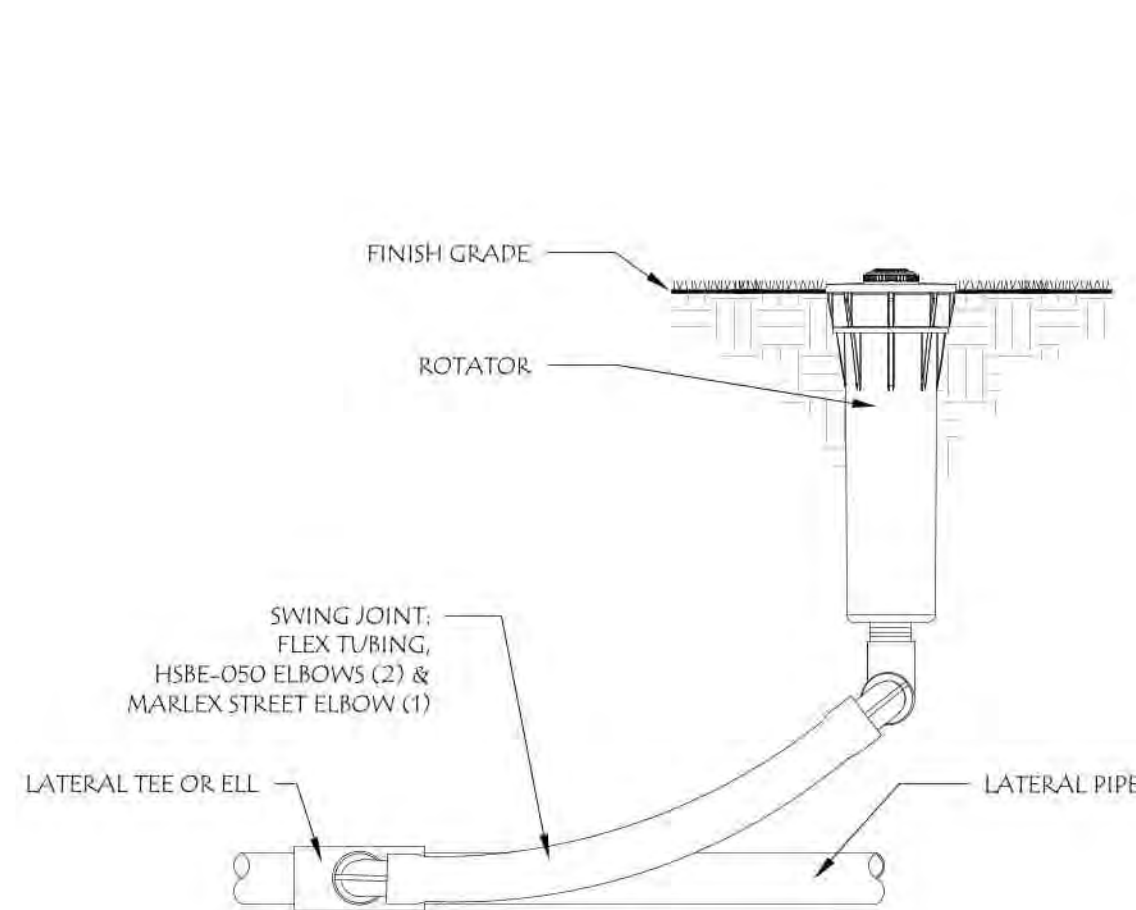
4 QUICK COUPLER VALVE  
L2.3 SCALE: NTS



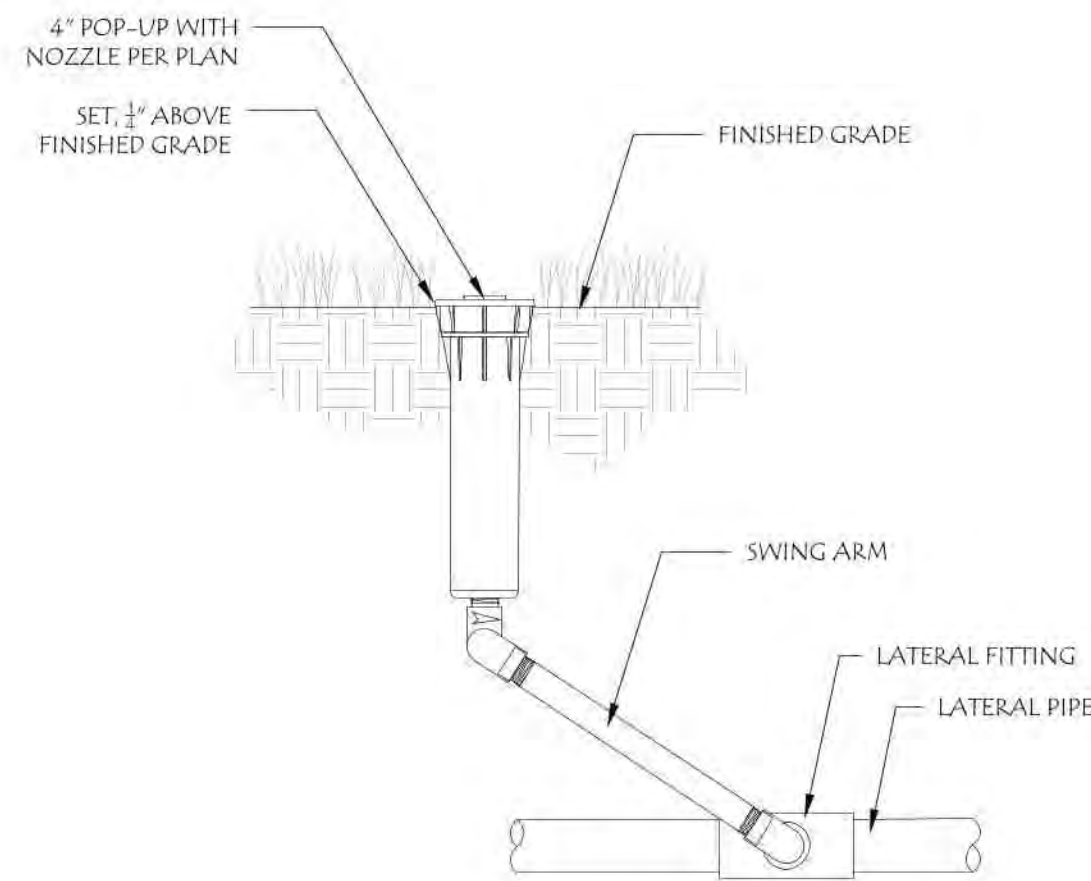
5 MANUAL DRAIN VALVE  
L2.3 SCALE: NTS



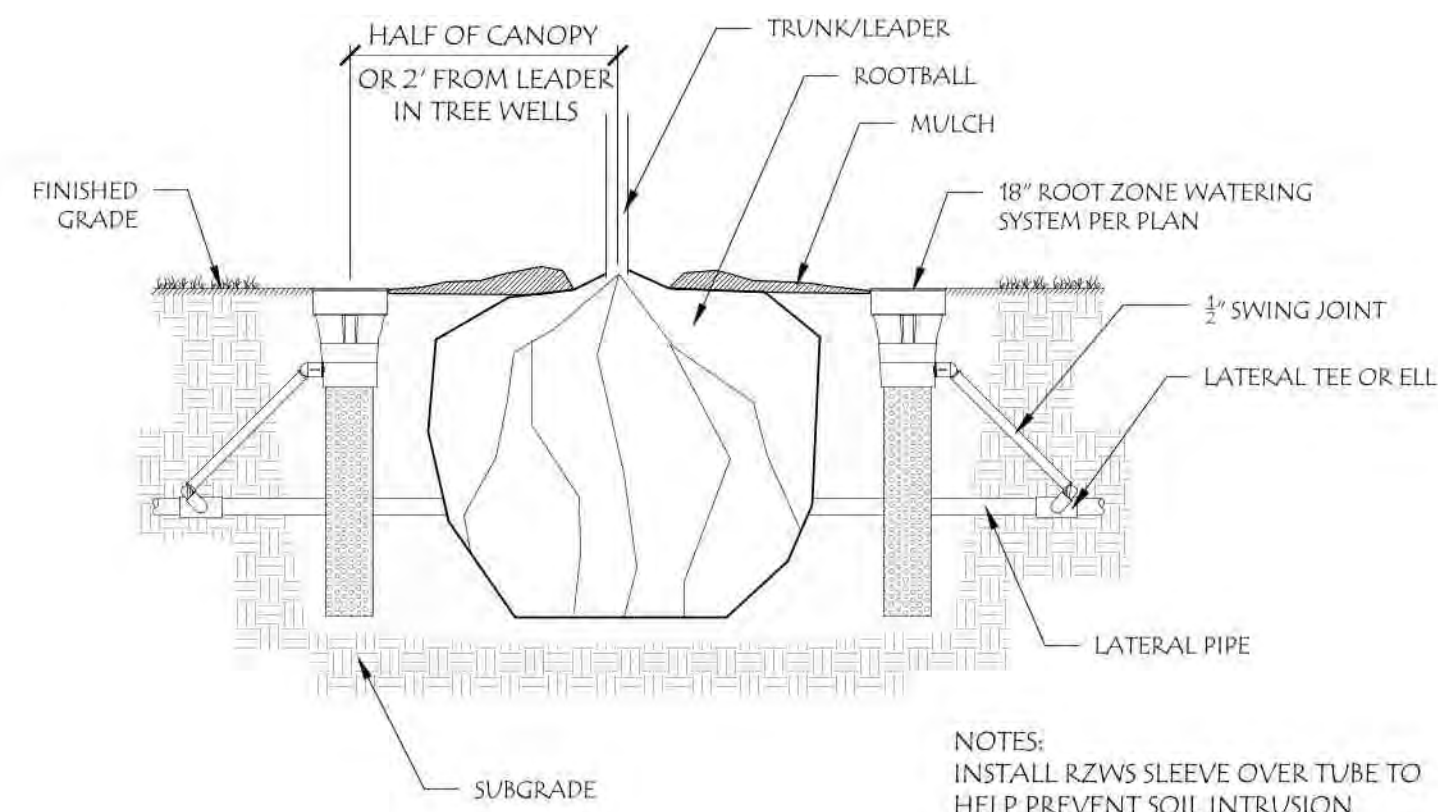
6 CONTROL ZONE VALVE  
L2.3 SCALE: NTS



7 MP ROTATOR  
L2.3 SCALE: NTS



8 POP-UP BUBBLER  
L2.3 SCALE: NTS



9 18" ROOT ZONE WATERING  
L2.3 SCALE: NTS

#### General Notes:

1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. IRRIGATION PLAN SEE SHEETS L2.1 AND L2.2.
3. IRRIGATION SCHEDULE SEE SHEET L2.1.
4. IRRIGATION NOTES SEE SHEET L2.2.

Laurus  
Designs, LLC



1012 Pine Street  
Silverton, Oregon  
503.784.6494

EMPWR  
USA SITE

750 Booth Bend Road  
McMinnville, Oregon



IRRIGATION  
DETAILS

January 8th, 2024

#### REVISIONS

#	DATE	NOTES	INITIALS

L2.3

SHEET 7 OF 7



# Udell Engineering & Land Surveying, LLC

63 East Ash Street, Lebanon, OR 97355  
Ph: 541-451-5125 • Fax: 541-451-1366

---

## Landscape Plan Review Application (file no. L 53-23)

Date: December 13, 2023

To: Adam Tate, Associate Planner, City of McMinnville

From: Bobby Pickering, Udell Engineering and Land Surveying, LLC

CC: RL Reimers Co.

---

Dear Mr. Tate,

Thank you for the provided completeness determination on Landscaping Plan Review Application, file no. L 53-23 for the site located at 750 SW Booth Bend Road, McMinnville, Oregon 97128.

This memo is being provided to address items one through three in the completeness determination.

1. Item 1 of the completeness determinations states the following:

*"In consultation with the Engineering Dept., it is apparent that the project involves street improvements to Booth Bend Road that require upgrades to both the private and public stormwater infrastructure that has not been approved by the Engineering Dept. yet and that these changes will require changes to the Landscape Plan as proposed, including a required sidewalk and planter strip. These changes will also affect the placement of utilities in the right of way. Once these changes have been made, please submit new plans showing the revised Landscape Plan."*

The landscape plan review application with landscaping plan was submitted on November 13, 2023, and an associated building permit was submitted on November 10, 2023. Included with these submittals was a civil plan set dated November 10, 2023. The following sheets were included in the civil plan set submittal with some subsequent revisions: Sheet C103 – Existing Conditions/Demolition Plan which depicts the site's existing conditions; Sheet C105 – Site Plan which depicts existing conditions and all proposed improvements; and Sheets C2.0 and C2.1 – Booth Bend Road which depicts plan and profile views of street and storm drainage improvements within the public right-of-way of Booth Bend Road.

A denoted in these sheets' all street frontage improvements which include a proposed sidewalk and landscaping strip will occur within the public right-of-way as opposed to on private property. Public right-of-way improvements are not subject to the landscaping provisions of MMC Chapter 17.57. Required minimum landscape standards based on the area determination of Section 17.57.070 only apply to private property within zones specified in MMC 17.57.030. Therefore, the information provided with the original submittal is sufficient in demonstrating that the standards of MMC Chapter 17.57 are met. However, an alternative street improvement plan is enclosed, which further demonstrates required public improvements will not impact landscaping proposed for the subject property (i.e., private property).

2. Item 2 of the completeness determinations states the following:

*"The design as proposed calls for only 5.57% of the site to be landscaped. As per MMC 17.57.070 at least 7% of the gross area should be landscaped. This may be reduced to not less than 5% upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.) This has not been addressed in the application."*

MMC 17.57.070(5) is applicable to this proposal as the proposed development is an expansion/addition of an existing structure. A memo entitled Landscaping Requirement was submitted November 9, 2023, which includes computations in accordance with MMC 17.57.070(5) and total required landscape area as 16,362 square feet. The memo also states that proposed landscaping totals 17,556 square feet. Sheet C105 – Site Plan, further illustrates the location of proposed landscape and repeat area calculation in a text box format.

3. Item 3 of the completeness determinations states the following:

*"The application does not address on-site parking. Per MMC 17.60.060 D. A manufacturing establishment has two calculations it must compute when calculating on-site parking needs: Either One space per 1,000 SF of floor area, or two spaces per three employees working on the largest shift during peak season, whichever is greater. The design as proposed does not include enough parking to satisfy this requirement."*

It is contested that on-site parking calculations are reviewed in association with the building permit as opposed to the landscape plan review application. However, notably Sheet C105 – Site Plan illustrates the location of proposed parking stalls and lists parking computations in text format on this same sheet.

Required parking spaces are calculated pursuant to MCC 17.06.060(D)(1), which states that manufacturing establishments are required to provide the following: *One space per 1,000 square feet of floor area or two spaces per three employees working on the largest shift during peak season, whichever is greater.*

Udell Engineering & Land Surveying used Civil3D software to calculate the proposed floor area as follows:

103,958 square feet	(Existing Building Footprint)
4,022 square feet	(Building Footprint Being Demolished)
+ 79,386 square feet	(Addition of Building Footprint)
179,322 square feet	(Total Building footprint after project)

$$\frac{1 \text{ spc.}}{1,000 \text{ s. f.}} \times 179,322 \text{ s. f.} = 180 \text{ spc.}$$

Zach Pittman, Production Manager of EMPWR Nutrition Group projects that there will be approximately 175 employees working on the largest shift during peak season once the site is fully developed.

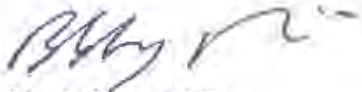
$$\frac{2 \text{ spc.}}{3 \text{ emp.}} \times 175 \text{ emp.} = 117 \text{ spc.}$$

Based on the above calculations the greater of the two vehicle parking standards is vehicle parking spaces per floor area, which equates to a minimum of 180 required vehicle parking spaces. As noted above, Sheet C105 – Site Plan illustrates the location of the proposed 180 vehicle parking stalls, which meets the minimum standard based on proposed floor area.



Based on this information, information provided with the original application submittal, and enclosures items identified in the December 11, 2023, completeness determination are addressed and the review process for the landscape plan review application may continue.

Respectfully,

A handwritten signature in black ink, appearing to read 'Bobby Pickering', with a stylized flourish at the end.

Bobby Pickering, EIT

Udell Engineering and Land Surveying, LLC

Enclosures: Civil plan set Sheets C103, C105, C2.0, C2, and C2.0A; Udell Landscaping Memo, dated November 9, 2023.

# Udell Engineering & Land Surveying, LLC

63 East Ash Street, Lebanon, OR 97355  
Ph: 541-451-5125 • Fax: 541-451-1366

---

November 9, 2023

EMPWR Building Expansion Project  
750 SW Booth Bend Road

Landscaping requirement

To whom it may concern,

Udell Engineering & Land Surveying calculated required landscaping coverage area following City of McMinnville policy, Chapter 17, section 17.57.070. Existing Lot Coverage (ELC) areas were determined by the use of Civil3D software, existing conditions survey performed by Udell Engineering & Land Surveying. Additional Lot Coverage (ALC) was also determined by Civil3D and building footprints provided by Pillar Consulting Group.

Following CH.17.57.070.A.5.a

$$\frac{ALC}{ELC} \times \% \text{ landscape required} \times \text{Total area}$$

$$\frac{92,088 \text{ sf}}{124,057 \text{ sf}} \times 0.07 \times 314,898 = 16,362 \text{ sf}$$

Required landscaping area is 16,362 sf.

Provided landscaping area with proposed site plan is 17,556 sf.

Respectfully,

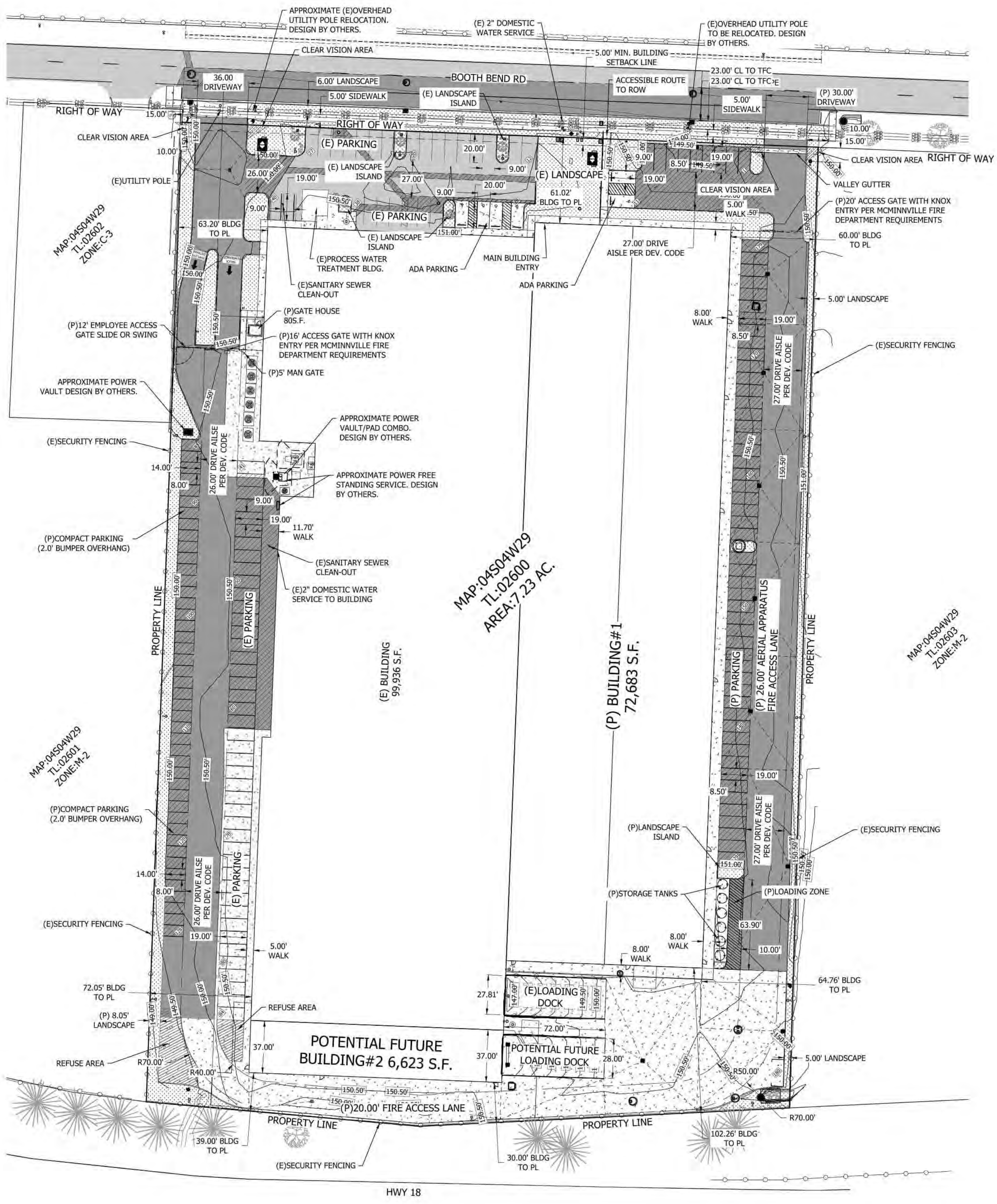
Brian Vandetta PE, PLS  
Udell Engineering and Land Surveying, LLC



RENEWAL JUNE 30, 2024







PROPERTY INFO  
ADDRESS:750 SW BOOTH BEND RD  
MAP:04S04W29  
TAX LOT:02600  
AREA:7.23 AC./314,898 S.F.  
OWNER:BIG STEP PROPERTIES LLC  
ZONE:M-2 GENERAL INDUSTRIAL  
CURRENT USE:EMPWR PROCESSOR/MANUFACTURER

PARKING INFO  
EXISTING BUILDING:103,958 S.F.  
BUILDING FOOTPRINT BEING DEMOLISHED:4,022 S.F.  
PROPOSED BUILDING#1:72,683 S.F.  
PROPOSED BUILDING#2:6,623 S.F.  
PROPOSED ENTRY GATE BUILDING:80 S.F.  
TOTAL:179,322 S.F.  
PEAK EMPLOYEES:175

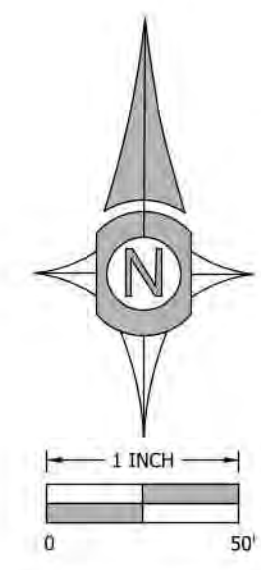
(MCMINNVILLE MUNICIPAL CODE SPACES REQUIRED 17.60.060 D 1.)  
1 SPC./1000 S.F. OF FLOOR AREA, OR  
2 SPC./3 EMP. LARGEST SHIFT-PEAK SEASON  
\*SQUARE FOOTAGE SPACE CALCULATION CONTROLS REQUIRED PARKING SPACES.

REQUIRED PARKING:180  
PROVIDED PARKING:180

COVERAGE INFO  
EXISTING BUILDING:103,958 S.F. (33%)  
PROPOSED TOTAL BUILDING FOOTPRINT AFTER PROJECT:179,322 S.F. (57%)  
PARKING/DRIVE AISLE/SIDEWALK:119,214 S.F. (38%)

EXISTING LANDSCAPE:3,338 S.F. (1.1%)  
PROPOSED LANDSCAPE:14,218 S.F. (4.5%)  
TOTAL FINAL LANDSCAPE:17,556 S.F. (5.6%)  
REQUIRED LANDSCAPE:16,362 S.F.

- EXISTING ASPHALT SURFACE
- PROPOSED ASPHALT SURFACE
- LANDSCAPE SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE



PLAN REVISIONS		DATE
1	MW&L, FIRE DEPT & BLDG DOWNSPOUT REVISIONS.	12/06/2023
2	BOOTH BEND DESIGN	12/13/2023
3	ONSITE CITY COMMENTS	01/04/2024

CLIENT:  
R.L. REIMERS COMPANY  
3939 OLD SALEM ROAD SUITE#200  
ALBANY, OREGON  
541-926-7766

UDELL ENGINEERING AND LAND SURVEYING, LLC  
63 EAST ASH ST.  
LEBANON, OREGON 97355  
(541) 451-5125 PH.  
(541) 451-1366 FAX

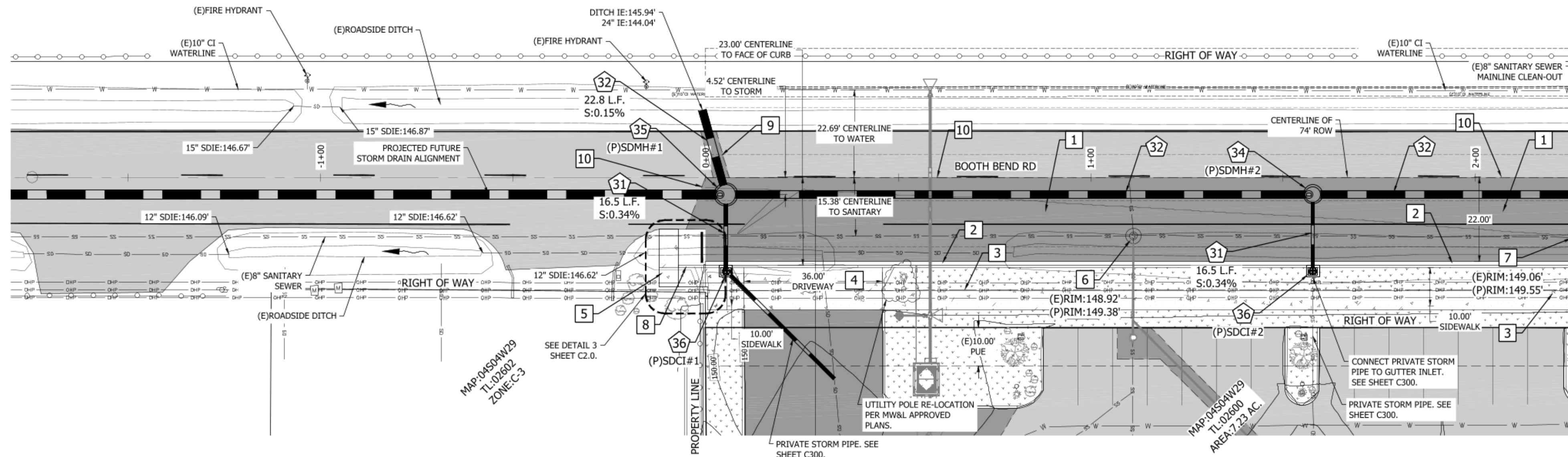
SITE PLAN  
2024 PROCESS AND OFFICE ADDITION  
EMPWR USA SITE  
750 SW BOOTH BEND RD  
MCMINNVILLE, OR. 97128

DATE: JANUARY 29TH, 2024  
PROJECT: 23-196  
DRAWN BY: BVP, BLM  
CHECKED BY: BVP



Sheet **C105**  
SCALE: SEE BARSCALE





## STREET NOTES

1	CONSTRUCT BOOTH BEND ASPHALT PAVING SECTION PER TYPICAL STREET SECTION DETAIL 142 SHEET C2.0. SEE WET WEATHER CONSTRUCTION NOTE.
2	CONSTRUCT TYPICAL CURB AND GUTTER PER CITY OF MCMINNVILLE STREET DESIGN STANDARDS. SEE DRAWING NO.6 FOR CURB DETAILS.
3	CONSTRUCT SIDEWALK PER CITY OF MCMINNVILLE STREET DESIGN STANDARDS. SEE DRAWING NO.6 FOR CURB DETAILS.
4	CONSTRUCT NON LOWERED COMMERCIAL DRIVEWAY APPROACH PER CITY OF MCMINNVILLE STREET DESIGN STANDARDS. SEE DRAWING NO.3A FOR DETAILS.
5	CONSTRUCT END OF WALK CURB RAMP TRANSITION TO EXISTING EDGE OF PAVE SIMILAR TO OREGON STANDARD DRAWING RD950.
6	CONTRACTOR TO ADJUST EXISTING MANHOLE TO FINISHED GRADE PER CITY OF MCMINNVILLE STREET DESIGN STANDARDS. SEE DRAWING NO.26 FOR DETAILS.
7	CONTRACTOR TO ADJUST EXISTING SEWER MAINLINE CLEAN-OUT TO FINISHED GRADE PER CITY OF MCMINNVILLE STREET DESIGN STANDARDS. SEE DRAWING NO.18 FOR DETAILS.
8	CONSTRUCT TYPICAL STRAIGHT CURB PER CITY OF MCMINNVILLE STREET DESIGN STANDARDS. SEE DRAWING NO.6 FOR CURB DETAILS.
9	CONSTRUCT TYPICAL STREET CUT PER CITY OF MCMINNVILLE STREET DESIGN STANDARDS. SEE DRAWING NO.6 FOR CURB DETAILS.
10	CONTRACTOR TO SAWCUT ASPHALT TO PRODUCE A CLEAN VERTICAL EDGE PRIOR TO PAVING.

STORM DRAIN NOTES	
31	INSTALL 10" PVC ASTM D3034 PUBLIC STORM PIPE PER CITY OF MCMINNVILLE DESIGN AND CONSTRUCTION STANDARDS. SEE DRAWING NO. 9A FOR TRENCH BACKFILL BEDDING AND PIPE ZONE DETAILS.
32	INSTALL 24" PVC ASTM F679 PUBLIC STORM PIPE PER CITY OF MCMINNVILLE DESIGN AND CONSTRUCTION STANDARDS. SEE DRAWING NO. 9A FOR TRENCH BACKFILL BEDDING AND PIPE ZONE DETAILS.
33	NOT USED.
34	INSTALL 48" STORM DRAIN MANHOLE PER CITY OF MCMINNVILLE DESIGN AND CONSTRUCTION STANDARDS. SEE DRAWING NO. 13 FOR STANDARD MANHOLE DETAILS.
35	INSTALL 60" STORM DRAIN MANHOLE PER CITY OF MCMINNVILLE DESIGN AND CONSTRUCTION STANDARDS. SEE DRAWING NO. 13 FOR STANDARD MANHOLE DETAILS.
36	INSTALL GUTTER INLET PER CITY OF MCMINNVILLE DESIGN AND CONSTRUCTION STANDARDS. SEE DRAWING NO. 12 FOR GUTTER INLET DETAILS.
37	INSTALL 48" DIAMETER MANHOLE WITH 30" SLOPED TOP GRADE INLET. MANHOLE TO HAVE A MIN. 24" SUMP. SEE COLUMBIA PRECAST DETAIL SHEET C605.

CLIENT:

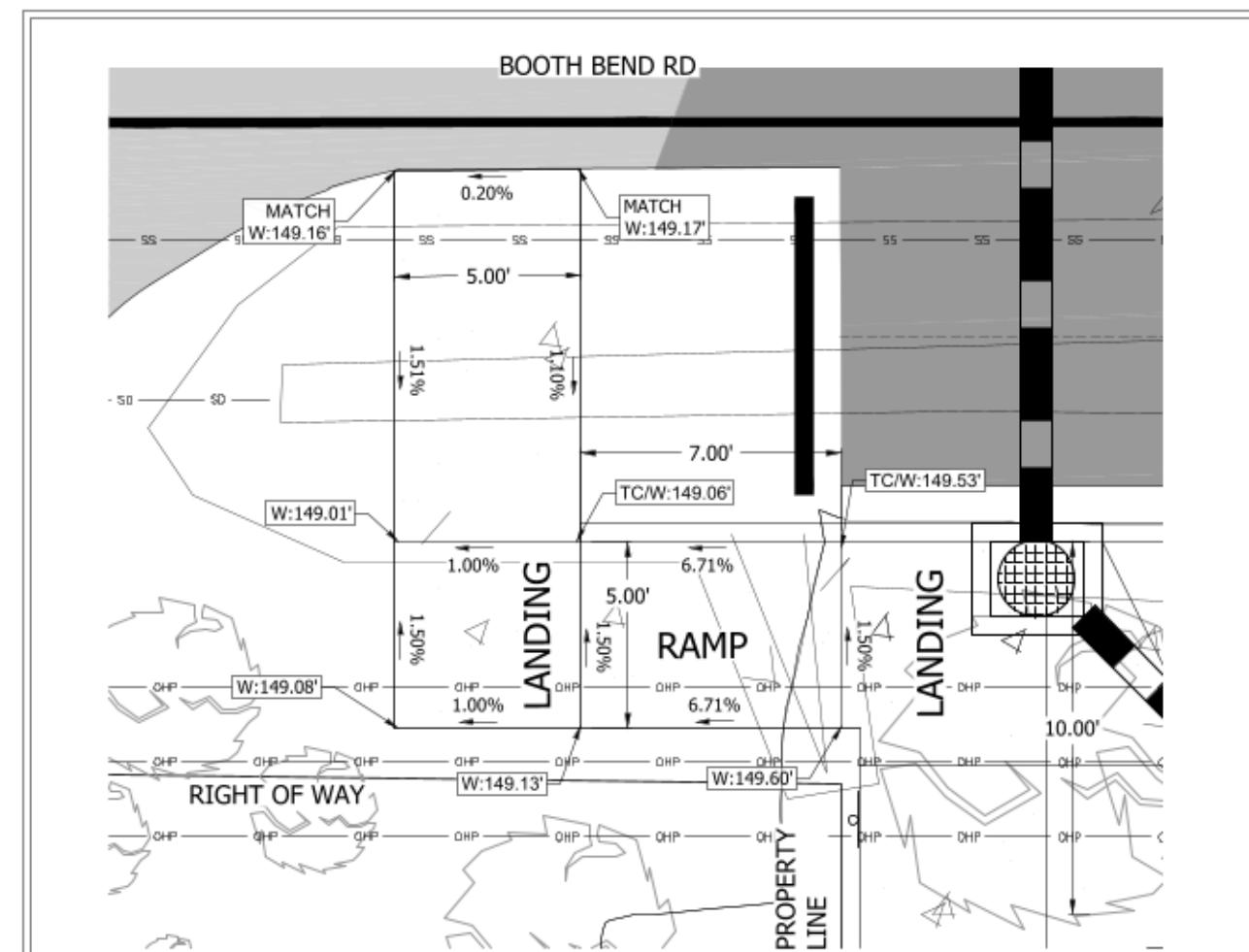
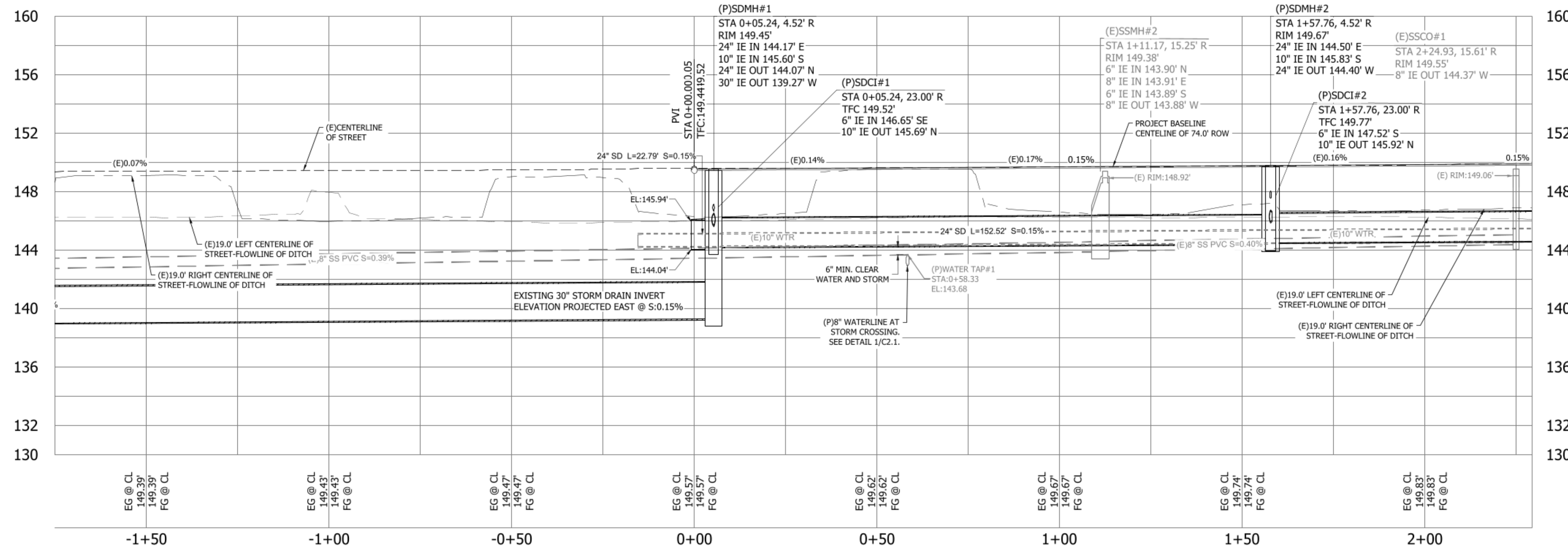
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3939 OLD SALEM ROAD S  
ALBANY, OREGON  
541-926-7766

UDELL ENGINEERING

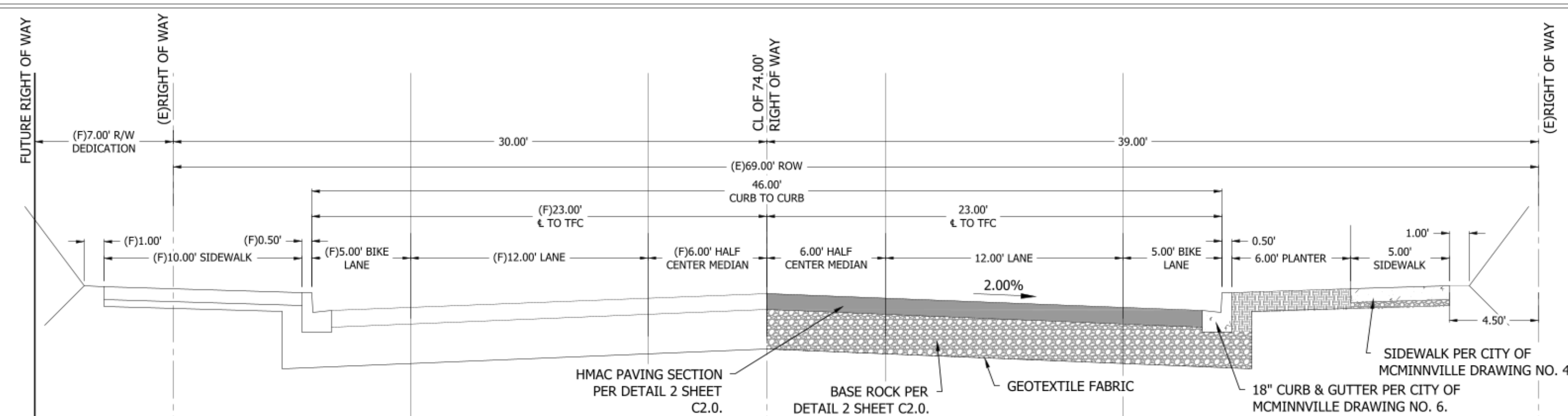
AND  
LAND SURVEYING, LLC

63 EAST ASH ST.  
LEBANON, OREGON 97355

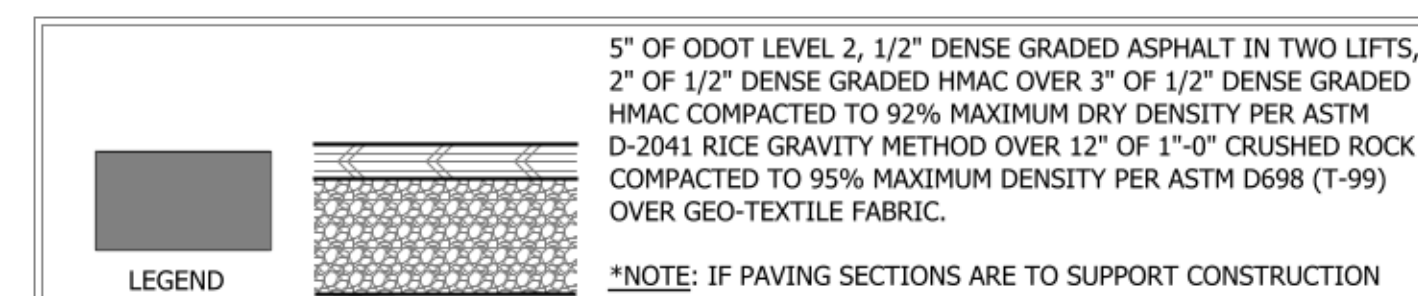
(541) 451-5125 PH.  
(541) 451-1366 FAX



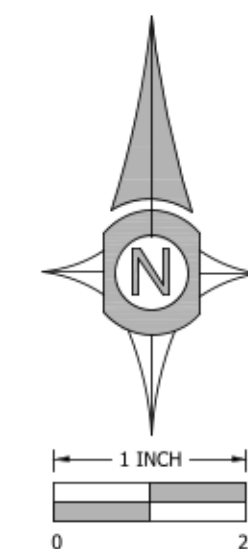
**3 BOOTH BEND SIDEWALK CONN. DETAIL**  
**C2.0** 1"=5.0'



## 1 BOOTH BEND TYPICAL STREET SECTION



## 2 BOOTH BEND STREET PAVING SECTION



PLAN REVISIONS		DATE
1	MW&L, FIRE DEPT & BLDG DOWNSPOUT REVISIONS.	12/06/2023
2	BOOTH BEND DESIGN	12/13/2023
3	ONSITE CITY COMMENTS	01/04/2024

DATE:	JANUARY 29TH, 2024
PROJECT:	23-196
DRAWN BY:	BBP, BV, MLM
CHECKED BY:	BV



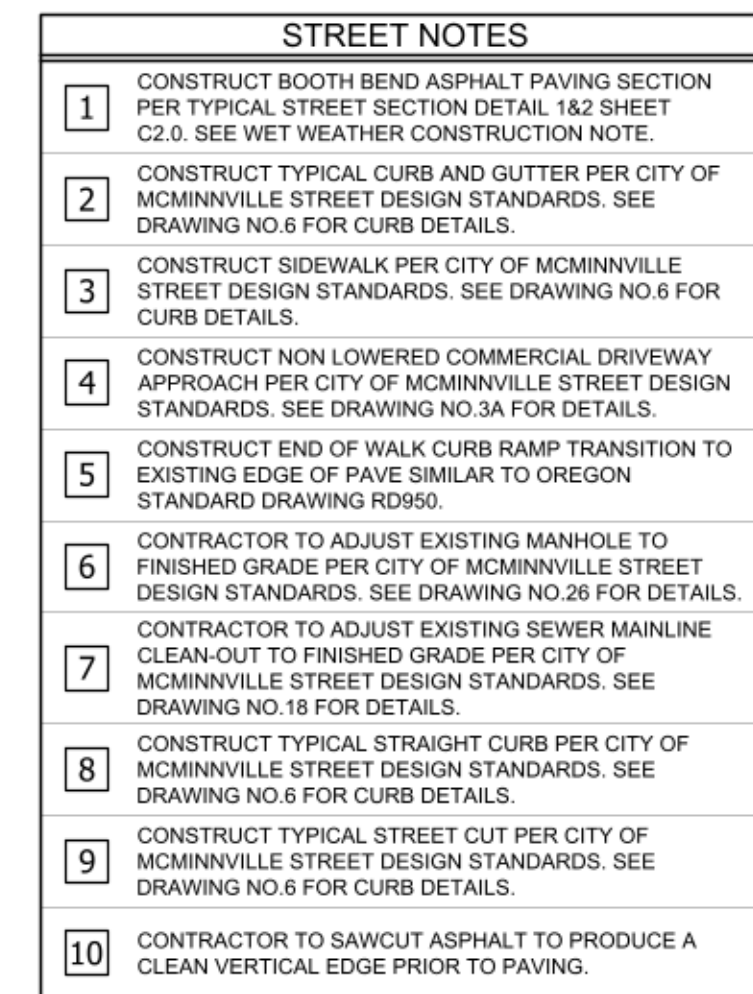
OREGON  
JULY 21 1998  
BRIAN VANDETTA

RENEWAL JUNE 30, 2024

Sheet C2.0

SCALE: SEE BARSCALE





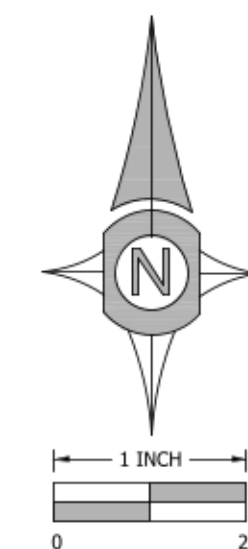
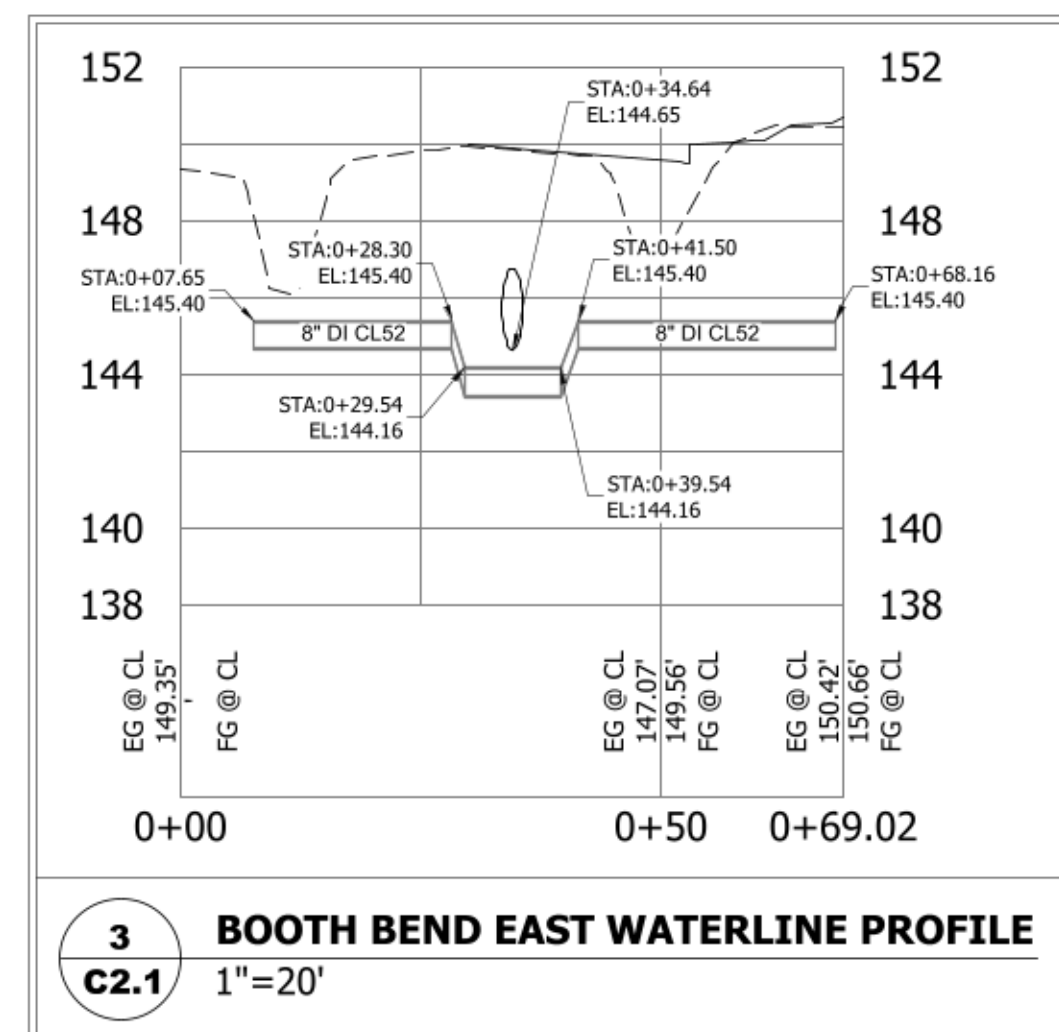
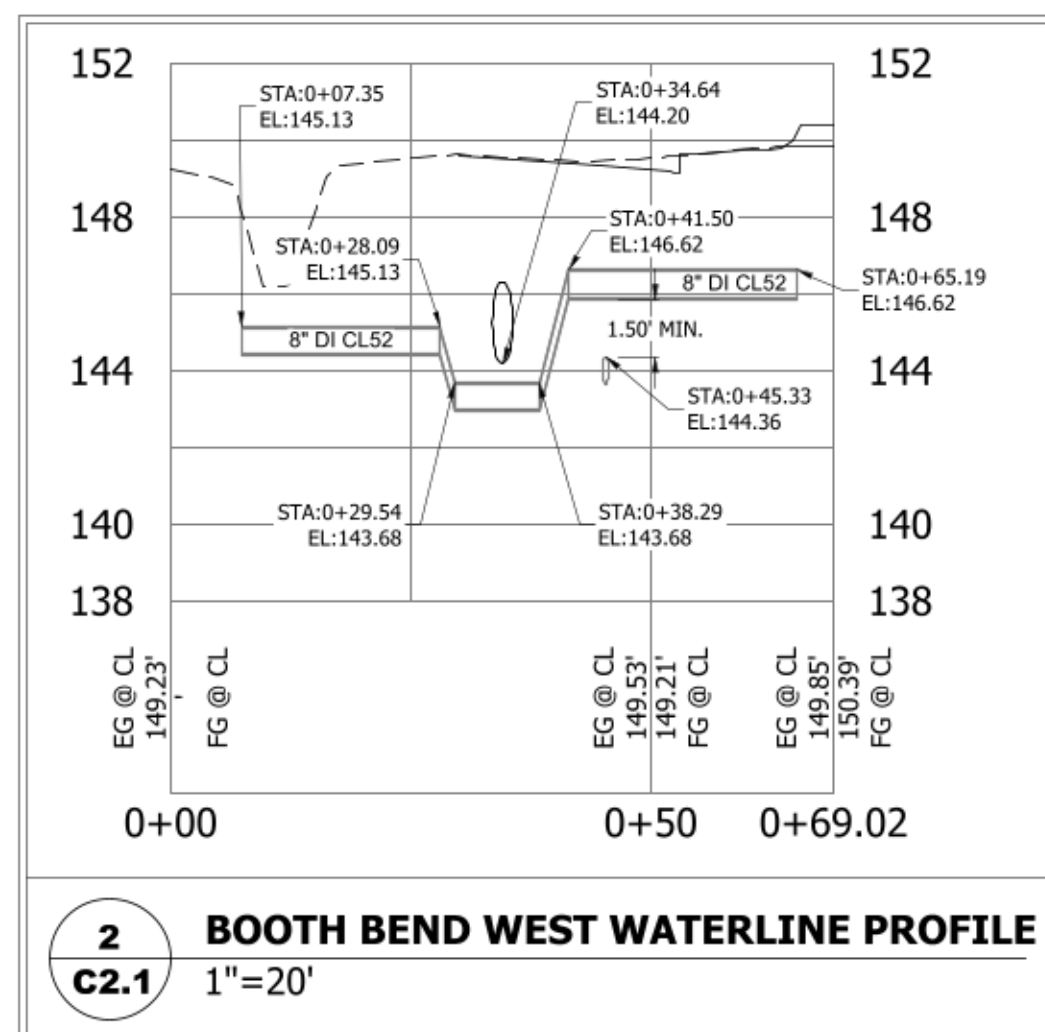
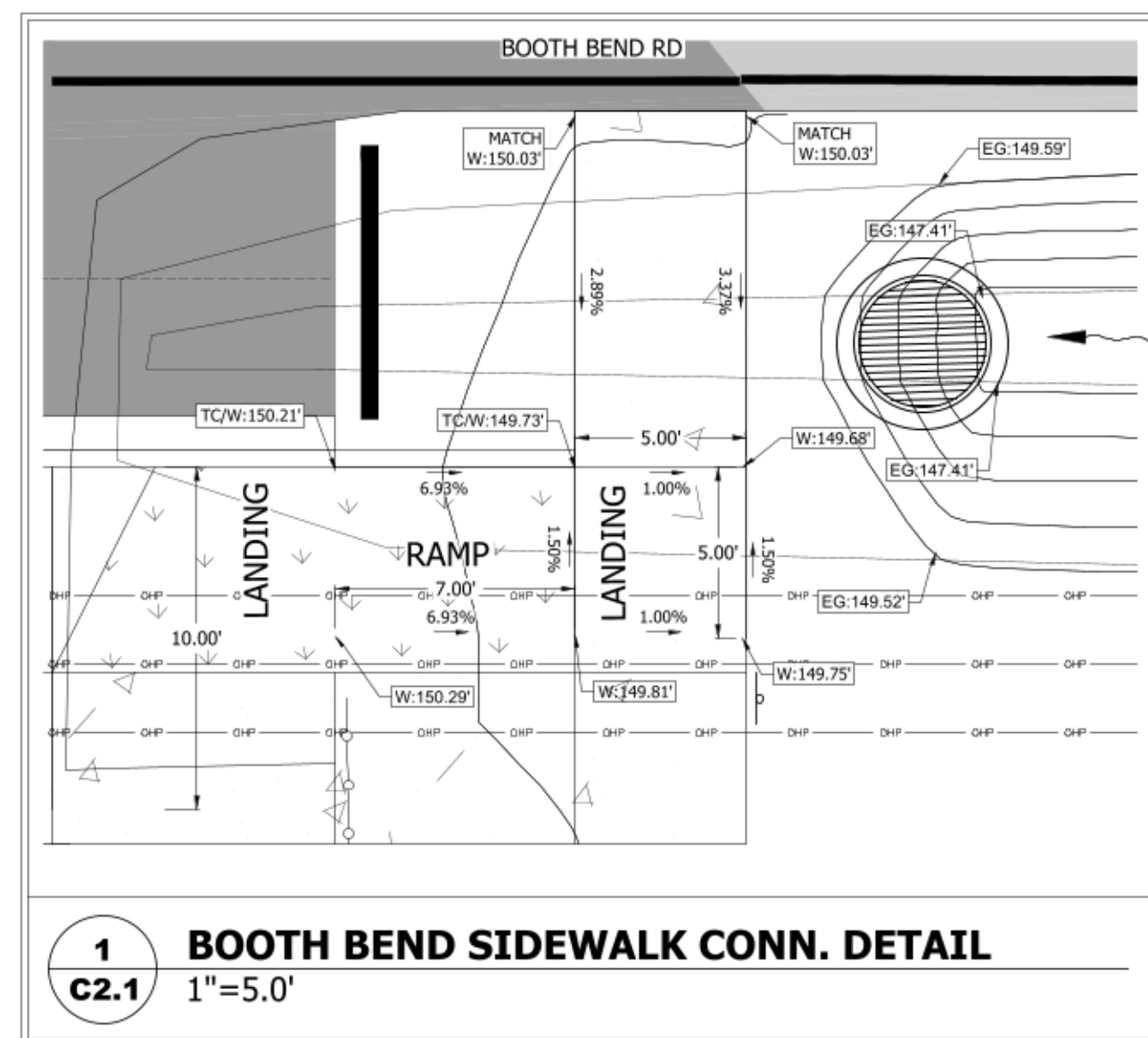
STORM DRAIN NOTES	
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CLIENT:

R.L. REIMERS COMPANY  
3939 OLD SALEM ROAD SUITE #200  
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**UDELL ENGINEERING  
AND  
LAND SURVEYING, LLC**

63 EAST ASH ST.  
EBANON, OREGON 97355  
(541) 451-5125 PH.  
(541) 451-1366 FAX



PLAN REVISIONS		DATE
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2	BOOTH BEND DESIGN	12/13/2023
3	ONSITE CITY COMMENTS	01/04/2024

DATE: JANUARY 29TH, 2024  
PROJECT: 23-196  
DRAWN BY: JRP, BV, MLM  
CHECKED BY: BV



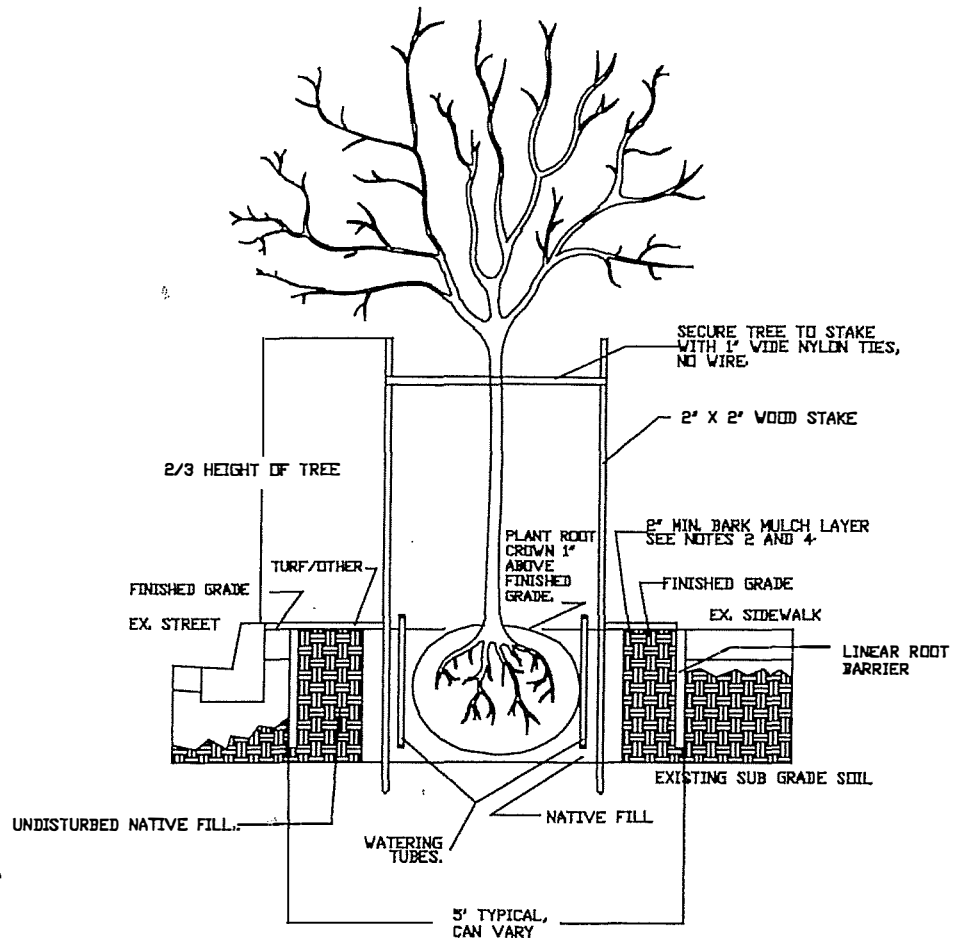
RENEWAL JUNE 30, 2024

Sheet C2.1

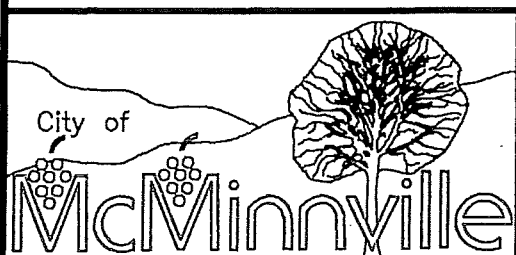
SCALE: SEE BARSCALE

## TREE PLANTING IN PARKWAY DETAIL

## SECTION



1. PLANTING PIT 2X ROOTBALL WIDTH.
2. DIG PLANTING PIT NO DEEPER THAN ROOTBALL.
3. BACKFILL WITH NATIVE MATERIAL.
4. TO MINIMIZE SIDEWALK AND TREE ROOT CONFLICTS, INSTALL LINEAR ROOT BARRIER; COMMERCIALLY ENGINEERED, 10 FEET LONG CENTERED ON THE TREE, 18" DEEP, ON THE CURB SIDE AND SIDEWALK SIDE OF THE TREE.
5. ON BALLED AND BURLAP TREES, CUT & PEEL AWAY WIRE FRAME FROM ROOTBALL; LEAVE BURLAP AND FRAME IN PLANTING HOLE.



MCMINNVILLE PUBLIC WORKS DIVISION  
PARKWAY TREE PLANTING DETAIL-

NOT TO SCALE

DATE  
MAY 2014

DRAWING NO. 34B





CLIENT:  
R.L. REIMERS COMPANY  
3939 OLD SALEM ROAD SUITE#200  
ALBANY, OREGON  
541-926-7766

UDELL ENGINEERING  
AND  
LAND SURVEYING, LLC  
63 EAST ASH ST.  
LEBANON, OREGON 97355  
(541) 451-5125 PH.  
(541) 451-1366 FAX

SITE PLAN  
2024 PROCESS AND OFFICE ADDITION  
EMPWR USA SITE  
750 SW BOOTH BEND RD  
MCMINNVILLE, OR. 97128

DATE: JANUARY 30TH, 2024  
PROJECT: 23-196  
DRAWN BY: BJ, M, M  
CHECKED BY: BJ

REGISTERED PROFESSIONAL  
ENGINEER  
S0041316  
OREGON  
JULY 21, 1998  
BILAN VANDETTA  
RENEWAL JUNE 30, 2024

- EXISTING ASPHALT SURFACE
- PROPOSED ASPHALT SURFACE
- LANDSCAPE SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE

PROPERTY INFO  
ADDRESS: 750 SW BOOTH BEND RD  
MAP: 04S04W29  
TAX LOT: 02600  
AREA: 7.23 AC./314,898 S.F.  
OWNER: BIG STEP PROPERTIES LLC  
ZONE: M-2 GENERAL INDUSTRIAL  
CURRENT USE: EMPWR PROCESSOR/MANUFACTURER

PARKING INFO  
EXISTING BUILDING: 103,958 S.F.  
BUILDING FOOTPRINT BEING DEMOLISHED: 4,022 S.F.  
PROPOSED BUILDING#1: 72,683 S.F.  
PROPOSED BUILDING#2: 6,623 S.F.  
PROPOSED ENTRY GATE BUILDING: 80 S.F.  
TOTAL: 179,322 S.F.  
PEAK EMPLOYEES: 175

(MCMINNVILLE MUNICIPAL CODE SPACES REQUIRED 17.60.060 D 1.)  
1 SPC./1000 S.F. OF FLOOR AREA, OR  
2 SPC./3 EMP. LARGEST SHIFT-PEAK SEASON  
\*SQUARE FOOTAGE SPACE CALCULATION CONTROLS REQUIRED PARKING SPACES.

REQUIRED PARKING: 180

PROVIDED PARKING: 180

COVERAGE INFO  
EXISTING BUILDING: 103,958 S.F. (33%)  
PROPOSED TOTAL BUILDING FOOTPRINT AFTER PROJECT: 179,322 S.F. (57%)  
PARKING/DRIVE AISLE/SIDEWALK: 119,214 S.F. (38%)

EXISTING LANDSCAPE: 3,338 S.F. (1.1%)  
PROPOSED LANDSCAPE: 14,218 S.F. (4.5%)  
TOTAL FINAL LANDSCAPE: 17,556 S.F. (5.6%)

REQUIRED LANDSCAPE: 16,362 S.F.

(EX) BLDG: 103,958 S.F.  
 $1 \text{ SPC./1000 S.F.} = 104 \text{ SPC.}$   
 $65\% \text{ STD} = 68 \text{ SPC. } (8.5' \times 19') = 161.5 \text{ ft}^2/\text{SPC.}$   
 $35\% \text{ COMP} = 36 \text{ SPC. } (8.0' \times 19') = 128 \text{ ft}^2/\text{SPC.}$

STD SPC = 10,982 S.F.  
COMP SPC = 4,608 S.F. } 15,590 S.F.

TOTAL: 119,548 S.F.

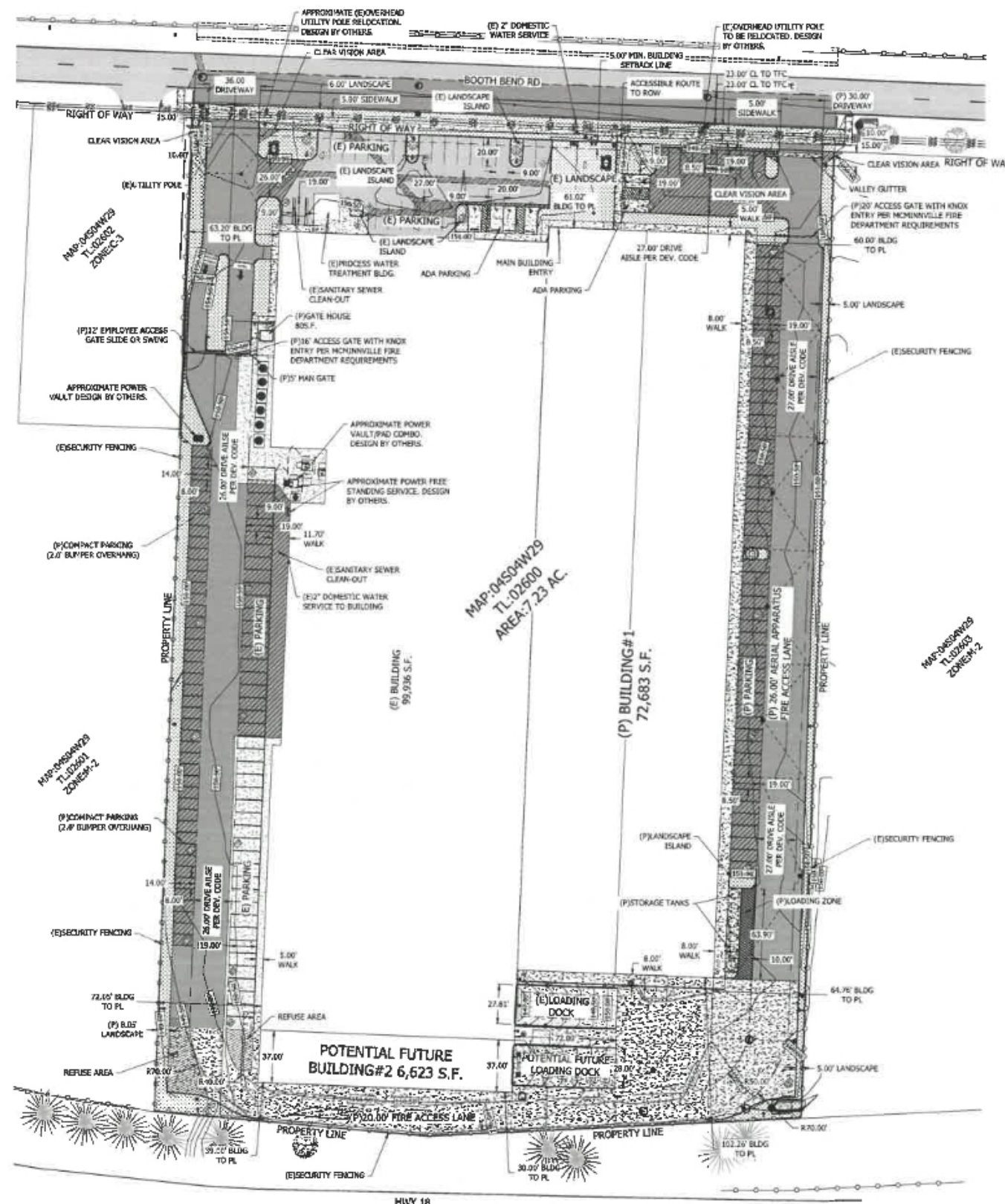
(P) BLDG: 72,683 S.F.  
6,623 S.F.  
80 S.F.

79,386 S.F.

$1 \text{ SPC./1000 S.F.} = 80 \text{ SPC.}$   
 $65\% \text{ STD} = 52 \text{ SPC.}$   
 $35\% \text{ STD} = 28 \text{ SPC.}$

STD SPC = 8,398 S.F.  
COMP SPC = 3,584 S.F. } 11,982 S.F.

TOTAL: 91,368 S.F.



ALC  
ELC  
 $\times 0.07 \times 314,989$

LANDSCAPE REQD'

$(79,386 + 11,982) \times 0.07 \times 314,989 = 16,851 \text{ S.F.}$



PLAN REVISIONS	DATE
1. MINBL. FIRE DEPT & BLDG DOWNSPOUT REVISIONS.	12/06/2023
2. BOOTH BEND DESIGN	12/13/2023
3. CRISTE CITY COMMENTS	01/04/2024

Sheet C105

SCALE: SEE BARSCALE

## **EXHIBIT 3 - STAFF REPORT**

**DATE:** February 7, 2024  
**TO:** Landscape Review Committee Members  
**FROM:** Tom Schauer, Senior Planner  
**SUBJECT:** Landscape Plan Review Application (L 51-23)

### **STRATEGIC PRIORITY & GOAL:**



#### **GROWTH & DEVELOPMENT CHARACTER**

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

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### **Report in Brief:**

This proceeding is a review by the Landscape Review Committee of a Landscape Plan Review application associated with a proposed development of a new U-Haul Facility, including a new 3-story building (~39,038 sf footprint and ~117,114 total sf) and a new one-story building of (~17,012 sf) for a U-Haul Moving and Storage store. The proposed use includes self-storage, U-Haul truck/trailer sharing or leasing, and related retail sales (~2,970 sf). The site has 12 existing buildings. As part of the new development, the applicant is proposing to remove nine buildings and retain three.

The property is located at 3120 NE Hwy 99W, Tax Lot R4415 00700. The property is split zoned C-3 (General Commercial) and M-1 (Light Industrial). The majority of the site, and the proposed new buildings, are on the C-3 zoned portion of the site.

Staff has reviewed the application for consistency with the applicable criteria, and recommends approval of the application, subject to the conditions specified in the attached Decision Document.

### **Discussion:**

#### ***Subject Property and Plan***

Please refer to the Decision Document for vicinity maps, proposed plan, and background information.

#### ***Summary of Criteria & Issues***

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

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#### ***Attachments:***

Attachment A – Decision, Conditions, Findings of Fact and Conclusionary Findings For L 48-23

As required in 17.57.070(B), the following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.
2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.
3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.
4. The development and use of islands and plantings therein to break up parking areas.
5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.
6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

The development includes a commercial use with a structure having a footprint larger than 25,000 square feet, so the site plan and landscape plan must also comply with the Large Format Commercial standards of Chapter 17.56 of the Zoning Ordinance.

The application was also reviewed to address the parking lot screening standards, trash enclosure standards, and vision clearance requirements.

### **Attachments**

1. Decision Document with Attached Application

### **Landscape Review Committee Options**

1. **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
2. **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
3. **CONTINUE** the application, requesting the applicant to submit more information or details for review.
4. **DENY** the application, providing findings of fact for the denial in the motion to deny.

### **Staff Recommendation:**

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied.

Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document.



**Suggested Motion:**

**BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE LANDSCAPE PLAN REVIEW APPLICATION L 51-23 SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT**



CITY OF MCMINNVILLE  
COMMUNITY DEVELOPMENT  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128  
503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE APPROVAL OF A LANDSCAPE PLAN REVIEW FOR PROPERTY AT 3120 NE HWY 99W**

**DOCKET:** L 51-23 (Landscape Plan Review)

**REQUEST:** Approval of a Landscape Plan Review for property at 3120 NE Hwy 99W

**LOCATION:** 3120 NE Hwy 99W, Tax Lot R4415 00700

**ZONING:** C-3 (General Commercial) and M-1 (Light Industrial)

**APPLICANT:** AMERCO Real Estate Company, c/o Dan Flatten on property owner Wade W. Miller and Patricia A. Miller, Co-Trustees of the Miller Family Trust, c/o Katherine L. Gowell

**STAFF:** Tom Schauer, Senior Planner

**DATE DEEMED COMPLETE:** January 18, 2024

**DECISION-MAKING BODY & ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.

**MEETING DATE & LOCATION:** February 7, 2024, McMinnville Community Development Center, 231 NE 5<sup>th</sup> Street, and via Zoom online meeting

**PROCEDURE:** Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

**CRITERIA:** The applicable criteria are specified in Section 17.57.070 (Area Determination – Planning factors) of the McMinnville Zoning Ordinance, McMinnville City Code.

**APPEAL:** The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.57.170 of the McMinnville Zoning Ordinance.

**COMMENTS:** This matter was referred to the following public agencies for comment: McMinnville Fire District, Police Department, Engineering Department, Building Department, Parks Department, Public Works Department, Waste Water Services, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County Planning Department; Frontier Communications; Comcast; Recology; Oregon Department of State Lands; Oregon Department of Transportation; and Northwest Natural Gas. Their comments are provided in Section IV this document.

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the Landscape Plan (L 51-23) **subject to the conditions of approval provided in Section II of this document.**

**DECISION: APPROVAL WITH CONDITIONS**

Planning Department: \_\_\_\_\_ Date: \_\_\_\_\_  
Heather Richards, Planning Director

## **I. APPLICATION SUMMARY:**

### ***Subject Property & Request***

The subject site is located at 3120 NE Hwy 99W, Tax Lot R4415 00700. **See Figure 1 (Vicinity Map).** It is approximately 7 acres in size. The property is split-zoned C-3 (General Commercial) and M-1 (Light Industrial). Surrounding properties are zoned C-3 (General Commercial), M-1 (Light Industrial), and M-2 (General Industrial). **See Figure 2 (Zoning Map).**

This is a Landscape Plan Review application associated with a proposed development of a new U-Haul Facility, including a new 3-story building (~39,038 sf footprint and ~117,114 total sf) and a new one-story building of (~17,012 sf) for a U-Haul Moving and Storage store. The proposed use includes self-storage, U-Haul truck/trailer sharing or leasing, and related retail sales (~2,970 sf). The site has 12 existing buildings. As part of the new development, the applicant is proposing to remove nine buildings and retain three. The majority of the site, and the proposed new buildings, are on the C-3 zoned portion of the site.

The applicant's Landscape Plan is shown as **Figure 3**. The application materials are also attached, and high resolution digital copies are available in the packet materials online.

The development includes a commercial use with a structure having a footprint larger than 25,000 square feet, so the site plan and landscape plan must also comply with the Large Format Commercial standards of Chapter 17.56 of the Zoning Ordinance.

The application was also reviewed to address landscaping and screening standards of other chapters of the Zoning Ordinance, including the parking lot screening standards, trash enclosure standards, and vision clearance standards.

The site has some constraints associated with easements and facilities for the BPA transmission line and overhead utilities.

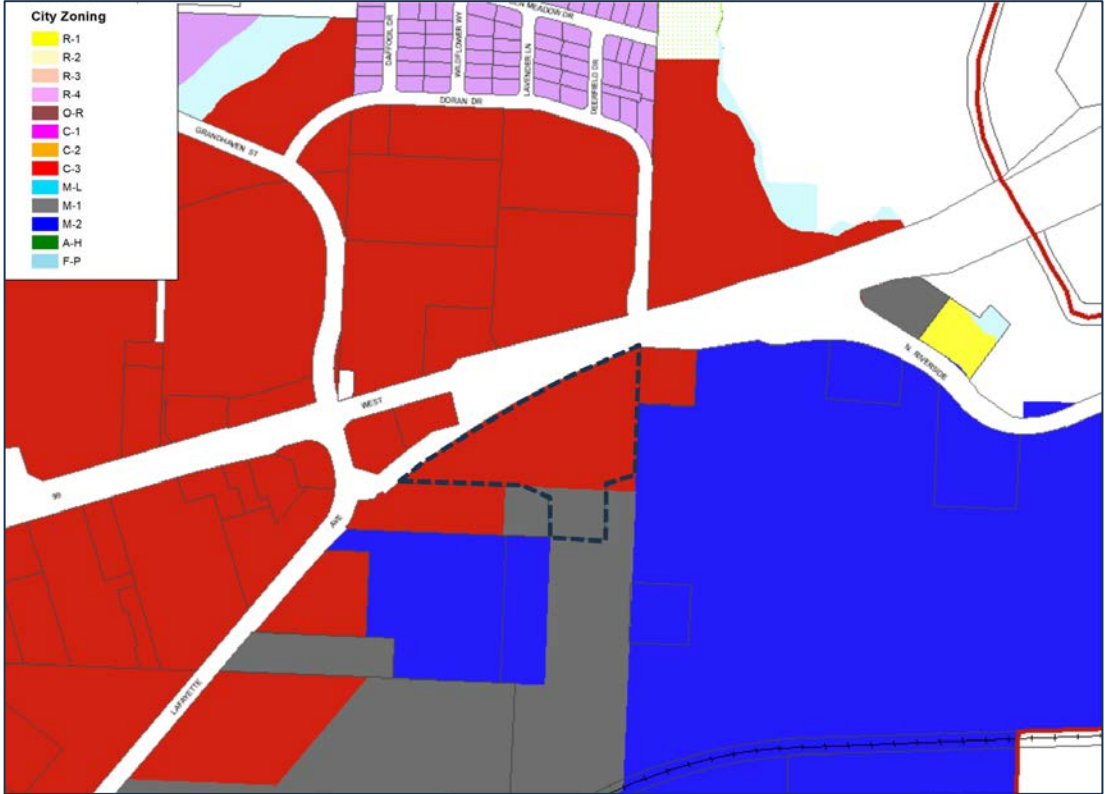
The front property line follows the right-of-way of the old alignment of Lafayette Avenue, so the property line doesn't parallel the physical improvements in the highway. There is a wedge shaped section of right-of-way between the property and the physical improvement. The street alignment is still paved, but is barricaded between the north end of Lafayette Avenue, just north of the property's westerly driveway, and the highway.

The applicant's site plan has not yet received all required approvals, including approval for Large Format Commercial Review LFR 1-23 or resolution of site plan review by Engineering, ODOT, and utility providers, which may affect the final site plan and landscape plan. Approval of the landscape plan is contingent on final approval of the site plan and consistency of the landscape plan with the final approved site plan. Potential issues that could affect the final plan include any stormwater detention that may be required, resolving conflicts between overhead utilities and the building, and access to utilities on the site within easements. If revisions are needed, minor changes can be approved by the Planning Director and major changes would be re-reviewed by the Landscape Review Committee.

Figure 1: Aerial Photo/Vicinity Map

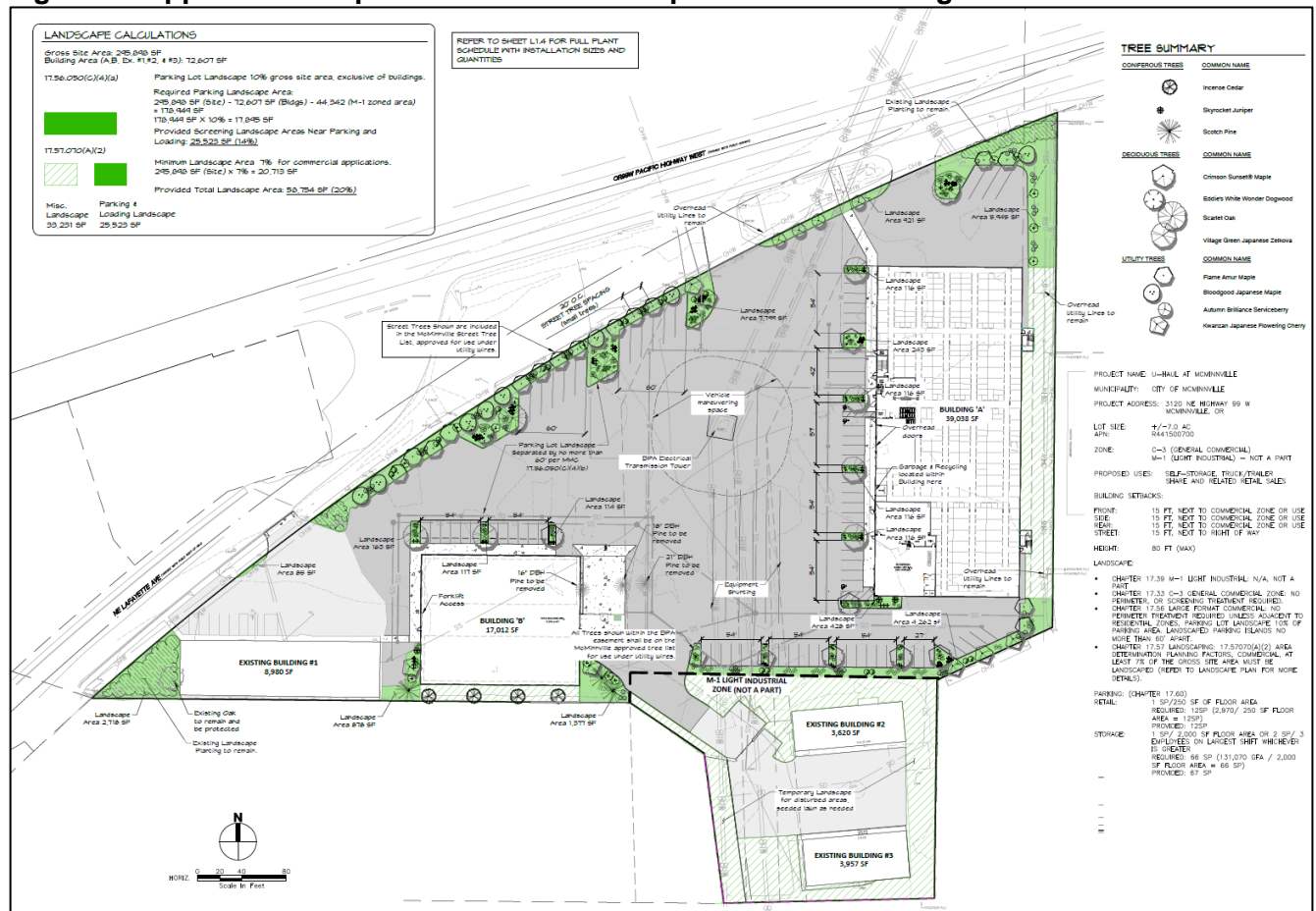


Figure 2: Zoning Map






























**Figure 4. Applicant's Proposed Overall Landscape Plan and Planting Plan**






Please note Sheet L 1.0 (above) provides the overall landscape plan for the site. However, Sheets L 1.1-1.3 provide the detailed planting information not shown Sheet L1.0, including planting and groundcover details. The plant schedule below is Sheet L 1.4 of the application submittal. The irrigation plan and details are provided on Sheets L 2.0 and 3.0-3.2. Please see the attached application materials for these pages.

Mature Height of Trees and Shrubs added for review purposes.  
Information from Oregon State U. online database for majority of plant material.

## PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	MATURE SIZE (HT.)
<b>CONIFEROUS TREES</b>					
	Calocedrus decurrens	Incense Cedar	6' HT. MIN	4	70'-110'
	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	6' HT. MIN	3	15'-20'
	Pinus sylvestris	Scotch Pine	6' HT. MIN	3	30'-60'
<b>DECIDUOUS TREES</b>					
	Acer truncatum x platanoides 'JFS-KW202'	Crimson Sunset® Maple	1.75' CAL. MIN. B&B	6	30'-35'
	Cornus x 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	1.75' CAL. MIN. B&B	1	40'
	Quercus coccinea	Scarlet Oak	1.75' CAL. MIN. B&B	3	70'-80'
	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	1.75' CAL. MIN. B&B	6	40'
<b>UTILITY WIRE TREES</b>					
	Acer ginnala 'Flame'	Flame Amur Maple	2" CAL. MIN. B&B	16	10'-20'
	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	MULTI-TRUNK 2" CAL.	9	15'-20'
	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	2" CAL. MIN. B&B	5	25'
	Prunus serrulata 'Kwanzan'	Kwanzan Japanese Flowering Cherry	2" CAL. MIN. B&B	10	20'-25'
<b>SHRUBS</b>					
	Berberis thunbergii 'Bagatelle'	Bagatelle Japanese Barberry	2 GAL 12" HT. MIN.	37	12 Inches
	Cornus sericea 'Variegata'	Variegated Red Twig Dogwood	3 GAL. 24" MIN.	38	72-96 Inches
	Cornus sericea 'Kelsey'	Kelsey Dwarf Red-Osier Dogwood	2 GAL 18" HT. MIN	65	24-30 Inches
	Juniperus squamata 'Blue Star'	Blue Star Juniper	2 GAL 18" HT. MIN	25	36 Inches
	Lonicera pileata 'Little Lemon Zest'	Little Lemon Zest Honeysuckle	2 GAL 18" HT. MIN	17	36 Inches
	Mahonia aquifolium	Oregon Grape	2 GAL 18" HT. MIN	27	36-120 Inches
	Morella californica	Pacific Wax Myrtle	3 GAL. 24" MIN.	31	120 Inches
	Nandina domestica 'Firepower'	Firepower Dwarf Heavenly Bamboo	2 GAL 18" HT. MIN	37	24-36 Inches
	Physocarpus opulifolius 'SMNPOBLR' TM	Ginger Wine Ninebark	3 GAL. 24" MIN.	21	72 Inches
	Pinus mugo var. pumilio	Dwarf Mugo Pine	2 GAL 18" HT. MIN	18	36 Inches
	Spiraea japonica 'Walburna'	Magic Carpet Spirea	2 GAL 18" HT. MIN	13	24-36 Inches
	Viburnum davidii	David Viburnum	2 GAL 18" HT. MIN	14	36-60 Inches
	Viburnum plicatum 'Mariesii'	Maries Doublefile Viburnum	3 GAL. 24" MIN.	15	96-120 Inches
<b>GRASSES</b>					
	Helictotrichon sempervirens	Blue Oat Grass	2 GAL	35	36 Inches
<b>PERENNIALS</b>					
	Rudbeckia fulgida 'Goldsturm'	Black-eyed Susan	1 GAL	30	24-36 Inches

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
<b>GROUND COVERS</b>							
	AU	Arctostaphylos uva-ursi	Kinnikinnick	4" POT	18" o.c.	1,437	
	FRA LIP	Fragaria x 'Lipstick'	Lipstick Strawberry	4" POT	18" o.c.	1,515	
	SL	Seeded Lawn variable	Hydroseed	---		39,466 sf	

[illegible]

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

## II. CONDITIONS:

1. This approval is contingent on approval of the Large Format Commercial Review (LFR 1-23) and any revisions that may be required. The site plan used for the landscape plan is still in review through a Large Format Commercial Review (LFR 1-23), and other agencies are still reviewing frontage improvements, civil drawings, and utility issues. If any changes are required to the site plan, a revised landscape plan shall be submitted, consistent with the revised site plan. Per 17.57.050(E), minor changes may be approved by the Planning Director. The applicant shall submit a revised landscape plan to the Planning Department for review and approval, incorporating

Attachment 1 – Application and Attachments

applicable revisions described in conditions below. In addition to the landscaping shown on the proposed landscape plan, provide the following:

- a. Street trees will be required together with the frontage improvements along the Hwy 99 frontage consistent with the extent of the frontage improvements. They shall be located either in a planter strip or behind the sidewalk if curb-tight sidewalk is the approved final design, consistent with the final design approval of Engineering and ODOT.
- b. Consistent with a revised site plan, to comply with 17.56.050(C)(2), a 10-foot wide continuous sidewalk shall be provided along the north side of Building A which abuts a customer parking area. It may be separated with a foundation planting bed as specified (C)(2)(b).
- c. Consistent with a revised site plan, the landscape plan shall be revised to provide a drivable surface to the sanitary sewer manholes within the sewer easements east of Building A. The entire length of the easement need not have a drivable surface as long as there adequate access agreements in place to allow access to the manholes to allow access from the parking lot area.
- d. Consistent with a revised site pan, the landscape plan shall be revised to show the location of 8 bicycle parking spaces.
- e. Consistent with a revised site pan, a pedestrian connection shall be provided between Buildings A and B, designed to be consistent with 17.56.050(C)(2)(e).
- f. The landscape plan shall clearly identify all raised curbing of landscape areas consistent with 17.56.050(C)(4).
- g. The loading dock shall be screened consistent with 17.56.050(A)(3).
- h. Any changes to the site plan or utility plan which may occur to rectify the conflict between overhead utilities shown over the southeast corner of Building A shall be shown on a revised landscape plan if the proposal impacts the landscape plan.
- i. Consistent with the application, all solid waste and recycling will be stored inside a building rather than in an external enclosure. No solid waste or solid waste container shall be stored outside if no enclosure has been constructed consistent with approval subject to the design standards of Chapter 17.61.
- j. Requirements for maintenance of landscaping in the right-of-way shall be identified by the applicant consistent with ODOT requirements.
- k. Any additional landscaping within the parking area that **may** be required as part of the LFR 1-23 review and decision to meet the 60-foot parking lot landscaping spacing requirement of 17.57.050(C)(4) shall be incorporated on the landscape plan unless a waiver is required and approved.
- l. If any above-ground stormwater facilities should be required or proposed as part of the drainage plan, those shall be incorporated into the landscape plan and approved by the Engineering Department.

2. Prior to start of work, obtain any applicable permits from ODOT for any work within the public right-of-way.

---

*Attachments:*

Attachment 1 – Application and Attachments

3. Prior to start of work, provide evidence that the Fire District has approved the circulation plan.
4. Prior to start of work, the applicant call contact the Engineering Department regarding any requirements for a grading and/or drainage plan.
5. The applicant shall obtain any applicable state, federal, and local permits for work.
6. The applicant shall contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to any planting excavation to ensure that underground utilities are not damaged.
7. All landscaping shall be installed and maintained to comply with vision clearance standards.
8. All landscaping approved by the Landscape Review Committee and required as conditions of approval shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement. Existing landscaping to be retained shall be considered part of the approved landscape plan. Temporary landscaping of disturbed areas on the M-1 portion of the site shall be completed as shown on the plan.
9. All street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade. All trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees shall be free of insects, diseases, mechanical injury, and other objectionable features when planted.
10. That planting of street trees shall be subject to the McMinnville design drawings and specification. The applicant shall provide root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree and the curb side of the tree, as applicable per standard. The root barrier protection shall be provided to a minimum depth of eighteen (18) inches. Two (2) deep watering tubes shall be provided to encourage deep rooting. Trees shall be staked per standard.
11. The applicant shall schedule an inspection with the McMinnville Public Works Superintendent of the installed root barrier and watering tubes prior to any street tree planting. Trees intended for planting shall be on-site and available for inspection. The applicant shall contact the McMinnville Public Works Superintendent, at (503) 434-7316 to schedule a planting inspection prior to backfilling.
12. The applicant is reminded that street trees are not to be planted within:
  - a. Five (5) feet of a private driveway or alley;
  - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
  - c. Twenty (20) feet of street light standards or street intersections.
13. Once approved, the applicant shall install landscaping as shown on the revised and approved landscape plans addressing the items above. Landscaping shall be installed prior to final inspection for the building permit, or the applicant shall provide financial surety equal to 120% of the installed landscaping cost as specified in the Zoning Ordinance, and landscaping shall be completed no later than 6 month from final inspection.
14. All street trees shall be continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner for one full growing season following

---

Attachments:

Attachment 1 – Application and Attachments



planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.

15. Lighting of parking and landscaped areas shall be directed into or on the site and away from property lines. Lighting shall be directed and/or shielded to place light on the intended target, and not result in skyward glare. Lighting shall be consistent with the Dark Skies Lighting standard of 17.56.050(C)(5).

16. Requirements of other agencies which are not specifically applicable to the landscape plan shall be addressed by the applicant at the applicable stage of the permitting and development project.

### **III. ATTACHMENTS:**

1. L 51-23 Application and Attachments (on file with the Planning Department)

### **IV. COMMENTS:**

This matter was referred to the following public agencies for comment: McMinnville Fire District, Police Department, Engineering Department, Building Department, Parks Department, Public Works Department, Waste Water Services, City Manager, and City Attorney; McMinnville Water and Light; McMinnville School District No. 40; Yamhill County Planning Department; Frontier Communications; Comcast; Recology; Oregon Department of State Lands; Oregon Department of Transportation; and Northwest Natural Gas.

Comments may still be received through February 7, 2024 and will be provided to the Committee before or at the meeting. The following comments were received:

#### ***McMinnville Engineering Department***

##### **LFR 1-23 and L 51-23 Suggested Conditions of Approval**

- The applicant will enter into a Construction Permit Agreement with the City's Engineering Department.
- ADA Sidewalk and Driveway Standards are now being applied to all new construction and remodels. These standards are intended to meet the current ADA Standards as shown in the PROWAG Design Guidelines. The standards can be found at the following webpage: <https://www.govinfo.gov/content/pkg/FR-2023-08-08/pdf/2023-16149.pdf> prior to final occupancy, the applicant shall construct new driveways and sidewalks in the right-of way that conform to these standards. If the applicant can show the existing driveways and sidewalks (or portions of) meet the current PROWAG Standards, then only those sections that do not meet the standard have to be improved. Contact Logan Adams for further information regarding these requirements.
- Frontage improvements will be required along ODOT Right-of-Way approximately 360' from the Eastern boundary of the property to the Western edge of the second driveway accessing HWY 99W. Improvements shall include the installation per ODOT standards of concrete curb and gutter, curb-tight sidewalk, a planter strip with street trees planted behind the sidewalk.
- Provide the City with approved ODOT permits for HWY 99W frontage Improvements.
- Provide the City with an approved 1200C Permit from DEQ.

---

*Attachments:*

Attachment 1 – Application and Attachments

- For any private sanitary sewer to remain the applicant shall evaluate the existing sanitary sewer system onsite for defects that allow inflow and infiltration (I&I) of rain water into the sanitary sewer system. The City has an aggressive I&I program that specifically targets aging sewer infrastructure. Prior to the issuance of a building permit, sewer to remain will be video inspected and any defects found in the sewer infrastructure, will be repaired or replaced. Contact the City Engineering Department for further information and assistance.
- The applicant shall secure all required state and federal permits, including, if applicable, those related to construction of the storm drain outfalls, the federal Endangered Species Act, Federal Emergency Management Act, and those required by the Oregon Division of State Lands, U.S. Army Corp of Engineers, and DEQ. Copies of the approved permits shall be submitted to the City prior to the City issuing permits.
- That the applicant submit evidence that all fill placed in the areas where building sites are expected is engineered. Evidence shall meet with the approval of the City Building Division and the City Engineering Division.
- That final development plans for the subject site include a detailed storm drainage plan which incorporates the requirements of City's Storm Drainage Master Plan. This plan must be submitted to, and approved by, the City Engineering Department prior to issuance of any development permits. Any utility easements needed to comply with the approved plan must be reflected on the final plat. If the final storm drainage plan incorporates the use of collection systems and easements, such must be private, rather than public, and private maintenance agreements must be approved by the City for them.
- The final development plans for the subject site include a detailed sanitary sewerage collection plan which incorporates the requirements of City's Collection Systems Facilities Plan. This plan must be submitted to, and approved by, the City Engineering Department prior to issuance of any development permits. Any utility easements needed to comply with the structures located within the subject site are required to connect to the sanitary sewer systems as soon as service is available.
- If final approved civil plans conflict with previously approved landscape and irrigation plans, the landscape and irrigation plans will need to be revised to reflect final civil design.
- Any landscape and irrigation required for any stormwater detention facilities will be reviewed with the civil engineering design submittal.
- The City will require all-weather access able to support City maintenance vehicles to City Manhole K-4-4 within the easement along the Eastern most boundary of the property.
- The applicant shall secure all required approvals from the Bonneville Power Administration for any proposed usage within the easement area, including for any changes that are made during the development review process. Copies of the approvals shall be submitted to the City prior to the City issuing permits.

### **McMinnville Water & Light**

MW&L has the following comments:

Water: Maintain clearances from new and existing public water facilities. See; FH-CLR, VAULTCLEAR, VR & WMCLEAR,

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Power: MW&L has a utility pole that is in conflict with proposed landscape and parking lot area. Pole will need to either be relocated, protected, or removed. Please contact Kevin Skipper, Customer Engineering Supervisor at McMinnville Water and Light (503) 472-6919 x 6 or by email [kas@mc-power.com](mailto:kas@mc-power.com), with any questions.

MW&L has underground power facilities located in the area. Prior to any digging or excavation, locates must be called in. Please contact Kevin Skipper, Customer Engineering Supervisor at McMinnville Water and Light (503) 472-6919 x 6 or by email [kas@mc-power.com](mailto:kas@mc-power.com), with any questions.

### **ODOT**

Thank you for notifying ODOT of the proposed development at 3120 NE Highway 99W in McMinnville. The site is adjacent to OR-99W (Pacific Hwy West, No. 091) and currently has three highway approaches that are presumed to be permitted at MP 35.27, 35.30, and 35.34. The applicant's site plan shows two approaches remaining (MP 35.30 and 35.34) with some minor modifications. These two approaches will need ODOT permits to upgrade their existing conditions.

Additionally, any frontage improvements that are required by the city along the 99W frontage will need to be reviewed and approved by ODOT. In previous conversations between ODOT and city staff, the initial idea was for frontage improvements to begin at the western driveway on 99W and to continue to the eastern property line. This is due to the unusual property lines and former highway alignment. The applicant will need to submit construction plans to ODOT for this work.

The applicant can contact the ODOT District 3 Permits office at 503-986-2900 to start the permitting process.

### **Public Comments**

No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance which does not require public notification. No public comments were received prior to the Planning Director's decision.

## **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

1. The application resubmittal was submitted on December 21, 2023. The application was deemed complete on January 18, 2024. Based on that date, the application is subject to a 30-day review timeframe.
2. Notice of the application was referred to public agencies for comment on January 19, 2024. Comments received from public agencies are addressed in the Decision Document.
3. No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
4. A public meeting was held by the Landscape Review Committee on February 7, 2024, to review the application and proposed landscape plan.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

1. **Location:** 3120 NE Hwy 99W, Tax Lot R4415 00700
2. **Size:** The lot is approximately 7 acres

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3. **Comprehensive Plan Map Designation:** Commercial/Industrial
4. **Zoning:** C -3/M-1
5. **Overlay Zones/Special Districts:** Airport Overlay Zone: Conical Surface
6. **Inventoried Significant Resources:**
  - a. **Historic Resources:** None identified.
  - b. **Other:** None identified.
7. **Other Features:** Some existing trees are proposed to be removed, including three pine trees in the vicinity of Building B (16", 18", and 21").
8. **Utilities:** The property is served with utilities.
9. **Transportation:** The front property line follows the right-of-way of the old alignment of Lafayette Avenue, so the property line doesn't parallel the physical improvements in the highway. There is a wedge shaped section of right-of-way between the property and the physical improvement. The street alignment is still paved, but is barricaded between the north end of Lafayette Avenue, just north of the property's westerly driveway, and the highway.

## **VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable planning factors for a Landscape Plan Review are specified in Section 17.57.070 of the Zoning Ordinance. The applicable standards for Street Trees are specified in Section 17.58.090 of the Zoning Ordinance

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated, but are to be undertaken in relation to all applicable land use requests.

### **Comprehensive Plan Volume II:**

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

**GOAL X 1:** *TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.*

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public

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meeting. Members of the public have access to provide testimony and ask questions during the public review. Review and recommendation of landscape plans by the Landscape Review Committee provides for a recommendation to the Planning Director by a City Council-appointed citizen committee.

### **McMinnville Zoning Ordinance**

The following Sections of the McMinnville Zoning Ordinance provide criteria applicable to the request:

### **Chapter 17.57 Landscaping**

**17.57.010 Purpose and intent.** *The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:*

- A. *Provide guidelines and standards that will:*
  - 1. *Reduce soil erosion and the volume and rate of discharge of storm water runoff.*
  - 2. *Aid in energy conservation by shading structures from energy losses caused by weather and wind.*
  - 3. *Mitigate the loss of natural resources.*
  - 4. *Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
  - 5. *Create safe, attractively landscaped areas adjacent to public streets.*
  - 6. *Require the planting of street trees along the City's rights-of-way.*
  - 7. *Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.*
  - 8. *Provide shade, and seasonal color.*
  - 9. *Reduce glare, noise and heat.*
- B. *Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.*
- C. *Unify development and enhance and define public and private places.*
- D. *Preserve existing mature trees.*
- E. *Enhance the urban forest and tree canopy.*
- F. *Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.*
- G. *Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.*
- H. *Support McMinnville as a community that cares about its appearance.*

*It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.*

*The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of*

*the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Subject to conditions of approval, the proposed landscape plan is consistent with the purpose of this chapter.

**17.57.030 Zones where required.** *Landscaping shall be required in the following zones except as otherwise noted:*

- A. R-4 (Multiple-Family Residential zone, except the construction of a Single-Family or Two-Family Residential unit);*
- B. C-1 (Neighborhood Business zone);*
- C. C-2 (Travel Commercial zone);*
- D. C-3 (General Commercial zone);*
- E. O-R (Office/Residential zone);*
- F. M-L (Limited Light Industrial zone);*
- G. M-1 (Light Industrial zone);*
- H. M-2 (General Industrial zone).*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED/APPLICABLE.** The proposed development is within the C-3 (General Commercial) zone and M-1 (Light Industrial Zone). The new development is in the C-3 portion of the site. Therefore, landscaping is required subject to landscaping requirements of commercial zones and the criteria and standards described in Chapter 17.57 – Landscaping.

**17.57.070 Area Determination – Planning Factors.**

**17.57.070(A).** *Landscaping shall be accomplished within the following ranges:*

- 2. Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*

**APPLICANT'S RESPONSE:** *[Please see the applicant's calculations on the Overall Landscape Plan. The calculations indicate 20% of total landscaped site area, including 14% parking lot and loading area landscaping].*

**FINDING: SATISFIED.** The applicant's calculations demonstrate the required percentage of landscaping will be exceeded.

**17.57.070(B).** *The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:*

**17.57.070(B)(1).** *Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant's plan demonstrates compatibility with the abutting commercial and industrial properties.

**17.57.070(B)(2).** *Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** With conditions of approval, the proposal will satisfy requirements for screening of the proposed use.

**17.57.070(B)(3).** *The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.*

**APPLICANT'S RESPONSE:** None.

**FINDING: NOT APPLICABLE.** Three trees in the vicinity of Building B are proposed for removal. Existing landscaping and existing oak tree on west side of site will be retained. The proposal is redevelopment of an existing site without natural areas to be retained.

**17.57.070(B)(4).** *The development and use of islands and plantings therein to break up parking areas.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has proposed islands and plantings including trees around the perimeter of the parking area. The interior of the parking and circulation area doesn't propose any interior parking spaces or landscape islands. The interior is partially constrained with a BPA easement and overhead utilities. In addition, the applicant has provided a vehicle circulation exhibit. The Large Format Commercial Review (LFR 1-23) of the property is pending, and no waiver has been requested. If required as part of the LFR 1-23 review, additional interior landscaping would need to be incorporated to address the 60-foot spacing requirements where not in conflict with circulation requirements or BPA restrictions.

**17.57.070(B)(5).** *The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** No prohibited trees are proposed. Where conditions of approval specify revisions to the plan, additional trees shall be selected consistent with the approved list and not select any of the prohibited trees noted above.

**17.57.070(B)(6).** *Suitable watering facilities or irrigation systems must be included in or near all planted areas.*

**APPLICANT'S RESPONSE:** [See applicant's irrigation plan].

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has submitted an irrigation plan with a proposed automatic irrigation system.

**17.57.070(C)** All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** This is a requirement of the Zoning Ordinance and has also been incorporated as a condition of approval.

#### **Chapter 17.58. Trees**

**17.58.010 Purpose.** *The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** With conditions of approval, the landscape plan will be consistent with the purpose of this chapter.

**17.58.080 Street Tree Planting—When Required.** *All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The final frontage improvements have not been approved. Pending final design of frontage improvements, street trees shall be provided within a planter strip or behind the sidewalk if it will be a curb-tight sidewalk, along the portion of the frontage to be improved with curb, gutter, and sidewalk.

#### **17.58.090 Street Tree Standards.**

**17.58.090(A).** *The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The proposed street trees are selected from the street tree list. Any revisions shall be consistent with the selection of suitable trees from the street tree list.

**17.58.090(B).** *Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well-*



*developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** A condition of approval is included to ensure that street trees shall meet City standards for size and quality at the time of planting.

**17.58.090(C).** *Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. [...]*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** A condition of approval is included to ensure that street trees shall meet this standard. The applicant's plan shows spacing consistent with these standards.

**17.58.090(D).** *When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three (3) feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four (4) feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** A condition of approval is included to ensure consistency with the street tree planting requirement based on the final sidewalk design with street trees to be either within a planted strip or behind back of sidewalk along the extent of the frontage improvements, with additional trees along the old Lafayette Avenue alignment.

**17.58.090(E).** *Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** A condition of approval is included to ensure that street trees shall meet this standard. McMinnville Water & Light has identified some potentially conflicting areas, and the landscape plan will need to be revised to meet these requirements as applicable.

**17.58.090(F).** *Existing street trees shall be retained unless approved by the Planning Director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Planning Director to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the*

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City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED/NOT APPLICABLE.** Street trees are not present along the Hwy 99 frontage. Trees and landscaping are proposed for retention and new trees and landscaping are proposed along the old Lafayette Avenue alignment.

**17.58.120 Street Tree Maintenance.**

- A. Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.
- B. Street tree plans, or landscape plans including street trees, shall be maintained in perpetuity. In the event that a street tree must be replaced, the adjacent property owner or developer shall plant a replacement tree of a species from the approved street tree or landscape plan.
- C. Maintenance of street trees, other than those located in the Downtown Tree Zone shall be the continuing obligation of the abutting property owner. The City shall undertake regular maintenance of street trees within the Downtown Tree Zone in accordance with appropriate horticultural practices including pruning and fertilizing to properly maintain the health of such trees.
- D. Street trees, as they grow, shall be pruned to provide at least eight (8) feet of clearance above sidewalks and thirteen (13) feet above local streets, fifteen (15) feet above collector streets, and eighteen (18) feet above arterial streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the City. Major pruning, as defined in Section 17.58.020, of a street tree must be approved by the City in accordance with Section 17.58.040.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** This is an applicable code requirement. In addition, a condition of approval has been included to ensure that the street trees are continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner for one full growing season following planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.

**Chapter 17.52. Airport Overlay Zone**

**17.52.030. General Restrictions**

**17.52.070. Conical Zone Restrictions.**

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The proposal doesn't conflict with the general restrictions or the height limits of the Conical Zone.

**Chapter 17.54. General Provisions**

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** This Chapter includes provisions addressing clear vision triangles. **See Section 17.54.080. See also Section 17.60.080(C)(4).** All landscaping shall be installed and maintained to comply with vision clearance standards.

**Chapter 17.56. Large Format Commercial Development**

An application for Large Format Commercial review has been submitted and is under separate review. Landscape-related provisions of Chapter 17.56 are addressed as part of this Landscape Plan Review. However, provisions related to additional landscaping within the interior area of the parking lot area will be finalized as part of the Large Format Commercial Review. There is a waiver process an applicant can request if a proposal doesn't meet all applicable standards of Chapter 17.56, subject to approval criteria. The applicant hasn't requested any waivers, and therefore the application is subject to all standards of Chapter 17.56.

**17.56.050 Development Standards**

...

**A. Building Facades**

...

**3. Loading Facilities.** *To aid in mitigating negative visual impacts commonly associated with off-street loading facilities, such facilities shall be visually screened by either a wall designed to architecturally complement the building exterior, an evergreen vegetative screen, or a combination of these two options. Solid waste and recycling enclosures shall be designed as required by Chapter 17.61 (Solid Waste and Recycling (Enclosure Plan) of the McMinnville Zoning Ordinance.*

**APPLICANT'S RESPONSE:** This standard is met. The landscape plan includes an evergreen vegetative screen along the front property boundary that creates a visual screen for the loading dock. We are proposing an enclosed refuse area that is located behind a locked overhead door and rolled out on trash day for the City pick-up meeting the required loading facility and refuse enclosure standards. Please refer to Civil/Landscape site plans by PACE Engineering dated Dec 2023, sheet L1.0.

**FINDING: SATISFIED WITH CONDITIONS.** As a condition of approval, the applicant shall provide screening of the loading dock.

**C. Site Design**

...

**2. Pedestrian Walkways.**

a. *Continuous 10-foot-wide pedestrian walkways shall be provided along the full length of any building facade featuring a customer entrance, and along any other building facade abutting customer parking areas for the distance that the parking lot abuts the building.*

**APPLICANT'S RESPONSE:** This standard is met. The site plan includes a 10-foot-wide pedestrian walkway.

b. *Continuous 10-foot-wide pedestrian walkways may be allowed to be separated from the building façade with planting beds for foundation landscaping except where features such as covered entrances, awnings or canopies are part of the building façade, wherein the walkway must abut the building façade. Such walkways shall include weather-protection features, such as awnings, within 30 feet of all customer entrances and connecting to the entrance(s).*

**APPLICANT'S RESPONSE:** This standard is met. Please refer to the project site plan and elevations providing pedestrian walkways with building façade featuring a customer entrance with shade canopies for weather protection. Please refer to Civil Plan Sheet C4.0 of the attached revised plan set, dated December 2023, by Brian Lee, Civil Engineer for walkways and the attached building imaging/elevations by A&M Associates, Inc., dated 10-24-23, for details.

- c. *Continuous six-foot-wide pedestrian walkways shall be provided from the sidewalk along the adjacent public or private street(s) to the principal customer entrance(s) of all large commercial structures. These pedestrian walkways shall feature abutting landscaped areas of no less than five feet in width for no less than 50 percent of the length from the building to the adjacent street.*

**APPLICANT'S RESPONSE:** This standard is met, as shown on the site and landscape plans. Please refer to Civil Plan Sheet C4.0 of the attached revised plan set, dated December 2023, by Brian Lee, Civil Engineer for walkways.

- d. *Pedestrian walkways shall be distinguished from driving surfaces through use of durable, low maintenance surface materials such as pavers, bricks, or scored or dyed concrete.*

**APPLICANT'S RESPONSE:** This standard is met, as shown on the plan set. The proposed design reflects the safest pedestrian walkways for U-Haul customers and is based on many years of experience in providing the services that will be offered at this site. Please refer to Civil Plan Sheet C4.0 of the attached revised plan set, dated December 2023, by Brian Lee, Civil Engineer for walkways.

- e. *Walkways within a site with multiple structures shall be located and aligned to directly and continuously connect all commercial buildings, and shall not be located and aligned solely based on the outline of a parking lot configuration. Walkways within parking lots shall be raised or enhanced with a paved surface not less than six (6) feet in width. Drive aisles leading to main entrances shall have walkways on each side of the drive aisle.*

**APPLICANT'S RESPONSE:** This standard is met, as shown on the plan set. The proposed design reflects the safest pedestrian walkways for U-Haul customers and is based on many years of experience in providing the services that will be offered at this site. Please refer to Civil and Landscape Plans of the attached revised plan set, dated December 2023, by Brian Lee, Civil Engineer and Brian Way, Landscape Architect.

- f. *Where it is necessary for the primary pedestrian access to cross drive aisles or other internal roadways, the pedestrian crossing shall emphasize and place priority on pedestrian access and safety. The material and layout of the pedestrian access shall be continuous as it crosses the driveway, with a break in continuity of the driveway paving and not in the pedestrian access way. The pedestrian crossings must be well-marked using pavement treatments, signs, striping, signals, lighting, traffic calming techniques, median refuge areas, or other design elements as may be approved.*

**APPLICANT'S RESPONSE:** This standard is met, as shown on the plan set. The proposed design reflects the safest pedestrian access routes and crossings with well-marked striping. This is based on many years of experience in providing the services that will be offered at this site. Please refer to Civil and Landscape Plans of the attached revised plan set, dated December 2023, by Brian Lee, Civil Engineer and Brian Way, Landscape Architect.

**FINDING (Section C.2(a)-(f): SATISFIED WITH CONDITIONS.** Conditions of approval have been included to address the design standards of the pedestrian walkways, to require a walkway along the north side of Building A abutting the parking lot area, and to require the on-site pedestrian connection between Buildings A and B, unless the applicant requests and obtains approval of waivers.

#### 5. Parking Lot Landscaping

*a. All parking facilities shall include landscaping to equal not less than ten percent (10%) of the gross site area supporting the proposed commercial development; exclusive of building footprint(s).*

*b. Landscaped peninsulas and islands shall be evenly distributed throughout all parking areas, and separated by no more than 60 feet, one from another. Such landscaped areas shall be provided with raised curbs, be a minimum of five feet in width, and shall each contain at least one deciduous tree. To achieve the maximum canopy coverage, all trees shall be non-columnar in form or as may be approved by the Landscape Review Committee.*

**APPLICANT'S RESPONSE:** This standard is met, as shown on the landscape plans. Please refer to Landscape Plans Sheets L1.0 – L 3.2 of the attached revised plan set, dated December 2023, by Brian Way, Landscape Architect for walkways

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has provided calculations demonstrating compliance with the 10% landscaping requirement. The landscape plan addresses the 60-foot spacing requirement for landscaping between the perimeter parking spaces. As part of LFR 1-23, there will be a determination of whether any additional landscaping is required within the interior of the parking and circulation area, considering the BPA easement and transmission line and truck maneuvering. No waiver was requested.

#### Chapter 17.60. Off-Street Parking and Loading

17.60.080(D)(1). Parking spaces along the outer boundaries of a parking area shall be contained by a curb or a bumper rail so placed to prevent a motor vehicle from extending over an adjacent property, sidewalk, or street.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Parking space abut landscape areas or sidewalks along buildings, and a condition of approval has been included to address requirements for curbing and wheel bumpers, including the requirements for Large Format Commercial Review that landscape planters be protected by raised curbs.

#### Chapter 17.61. Solid Waste and Recycling Enclosure Plan

##### 17.61.030. Guidelines and Standards.

*A. The location of an enclosure must allow for collection agency drive-in access. A fifty-foot (50) access approach is recommended. In addition to the approach, either an exit that allows the truck to move forward or a turn area with a minimum radius of 46.5 feet is preferred. Both approach and location shall be unobstructed and free of overhead wires and low hanging trees. An eighteen-foot (18) minimum height clearance above the enclosure approach is required and a thirty-two-foot (32) vertical clearance is required above the container itself. The enclosure shall be of sufficient size to store trash and recycling receptacles, the size of which shall be determined by the collection agency and will be based on proposed use. A minimum distance of two feet (2) is required between the container and existing or proposed*

Attachments:

Attachment 1 – Application and Attachments



- structures. The enclosure shall be a minimum of six feet (6) tall or six inches (6) higher than the top of the tallest container.
- B. Solid waste enclosures shall not be located within twenty feet (20) of a required front or exterior yard and should be placed at the rear of a building whenever possible. Should an enclosure be placed within a required landscaped front or exterior yard, additional landscaping must be provided elsewhere on the property to compensate for the encroachment into the required landscaped yard. Any modifications to required landscaping must meet the approval of the Landscape Review Committee.
  - C. Any trash or recycling enclosure which is visible from the street must provide landscaping around three (3) sides of the structure. Climbing vines and screening shrubs or hedges are appropriate, and landscaping must be a minimum of three feet (3) in height at the time of planting.
  - D. Where a commercial or industrial zone abuts a residential zone, enclosures must be placed a minimum of thirty feet (30) from any residential structure or as otherwise approved by the Planning Director.
  - E. Generally, the design of the structure should match the exterior surface of the building and can be constructed of masonry, wood or concrete blocks in combination with plant material capable of forming a complete evergreen hedge. The floor of the enclosure shall be a concrete holding pad which must extend eight feet (8) beyond the gates.
  - F. Gates that screen the containers are required and must remain closed at all times except at times of service.
  - G. Parking is prohibited in front of the enclosure and all parked vehicles must be located at a safe distance. A "No Parking" sign must be visibly placed on the gates of the enclosure.
  - H. Solid waste and recycling enclosures must be placed in a location that is compatible with the City of McMinnville's Fire Code.

**APPLICANT'S RESPONSE:** We are proposing an enclosed refuse area that is located behind a locked overhead door and rolled out on trash day for the City pick-up meeting the required...refuse enclosure standards.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant's narrative indicates solid waste and recycling will be kept within an enclosed building and rolled out on collection day. A condition of approval has been included addressing continued compliance with this standard.

TS



**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128  
(503) 434-7311 Office • (503) 474-4955 Fax

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**Office Use Only:**

File No. L 51-23

Date Received 11/6/2023

Fee \$1,207.00

Receipt No. 209021

Received by AW

569-23-000597-PLNG

## Landscape Plan Review Application

### Applicant Information

**Applicant is:** ☐ Property Owner ☒ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other \_\_\_\_\_

Applicant Name AMERCO Real Estate Company Phone 602-263-6502

Contact Name Dan Flatten, ADVP Phone 360-524-1789  
(If different than above)

Address 2727 N Central Avenue

City, State, Zip Phoenix, AZ 85004

Contact Email dan\_flatten@uhaul.com and zulema\_longoria@uhaul.com

### Property Owner Information

Property Owner Name c/o Katherine L. Gowell, Esq. Phone 503-472-5141  
(If different than above) Wade W Miller and Patricia A Miller, Co-Trustees of

Contact Name the Miller Family Trust U/A June 11, 2020 Phone 503-472-5141

Address PO Box 480

City, State, Zip McMinnville, OR 97128

Contact Email kgowell@hrglawyers.com

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 3120 NE Highway 99 W McMinnville OR 97128

Assessor Map No. R441500700 - - Total Site Area +/- 6.8 ac (+/-297,862 sf)

Subdivision Donation Land Claim of Madison Malone and Heirs Block T4S R4W, Willamette Meridian, Yamhill County  
Lot

Comprehensive Plan Designation Commercial Zoning Designation C3 (General Commercial)

### Landscaping Information

1. Total Landscaped Area: 58,464 sf
2. Percent Landscaped: 20% of gross area, 15% adjacent to parking and loading areas
3. Building Floor Area:  
New Structure: 56,050 sf Existing Structure: 16,575 sf Addition: N/A
4. Architect Name V. Brian Way, PLA Phone 425.827.2014  
(Landscape Architect; Engineer; or Other Designer)  
Contact Name Brian Lee, PE Phone 503.597.3222  
Address PACE Engineers 4500 Kruse Way, Suite 250  
City, State, Zip Lake Oswego, OR 97035-2564  
Contact Email brianl@paceengrs.com

In addition to this completed application, the applicant must provide the following:

- ☒ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- ☒ Payment of the applicable review fee, which can be found on the Planning Department web page.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

  
Applicant's Signature

11/2/2023  
Date

  
Property Owner's Signature

\_\_\_\_\_  
Date



FILE NAME: P:\1\10\23\23863 - AMERCO\_UHAUL MCMINNVILLE\CAD\ENGINEERING\ SHEETS\23863 LP.DWG  
SAVE TIME: 12/20/2023 4:18 PM  
PLOT TIME: 12/20/2023 4:18 PM  
USER NAME: BRIAN WAY  
XREF FILES: ###

LANDSCAPE CALCULATIONS

Gross Site Area: 295,898 SF  
Building Area (A,B, Ex. #1,#2, & #3): 72,607 SF

17.56.050(C)(4)(a) Parking Lot Landscape 10% gross site area, exclusive of buildings.  
Required Parking Landscape Area:  
295,898 SF (Site) - 72,607 SF (Bldgs) - 44,342 (M-1 zoned area)  
= 178,949 SF  
178,949 SF X 10% = 17,895 SF  
Provided Screening Landscape Areas Near Parking and Loading: 25,523 SF (14%)

17.57.070(A)(2) Minimum Landscape Area 7% for commercial applications.  
295,898 SF (Site) X 7% = 20,713 SF  
Provided Total Landscape Area: 58,754 SF (20%)

Misc. Landscape 33,231 SF  
Parking & Loading Landscape 25,523 SF

REFER TO SHEET L1.4 FOR FULL PLANT SCHEDULE WITH INSTALLATION SIZES AND QUANTITIES

TREE SUMMARY

CONIFEROUS TREES

COMMON NAME



Incone Cedar



Skyrocket Juniper



Scotch Pine

DECIDUOUS TREES

COMMON NAME



Crimson Sunset® Maple



Eddie's White Wonder Dogwood



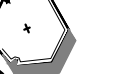
Scarlet Oak



Village Green Japanese Zelkova

UTILITY TREES

COMMON NAME



Flame Amur Maple



Bloodgood Japanese Maple



Autumn Brilliance Serviceberry

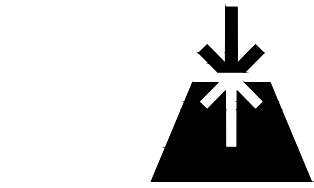


Kwanzan Japanese Flowering Cherry

PROJECT NAME: U-HAUL AT MCMINNVILLE  
MUNICIPALITY: CITY OF MCMINNVILLE  
PROJECT ADDRESS: 3120 NE HIGHWAY 99 W  
MCMINNVILLE, OR  
LOT SIZE: +/-7.0 AC  
APN: R441500700  
ZONE: C-3 (GENERAL COMMERCIAL)  
M-1 (LIGHT INDUSTRIAL) - NOT A PART  
PROPOSED USES: SELF-STORAGE, TRUCK/TRAILER  
SHARE AND RELATED RETAIL SALES  
BUILDING SETBACKS:  
FRONT: 15 FT, NEXT TO COMMERCIAL ZONE OR USE  
SIDE: 15 FT, NEXT TO COMMERCIAL ZONE OR USE  
REAR: 15 FT, NEXT TO COMMERCIAL ZONE OR USE  
STREET: 15 FT, NEXT TO RIGHT OF WAY  
HEIGHT: 80 FT (MAX)  
LANDSCAPE:

- CHAPTER 17.39 M-1 LIGHT INDUSTRIAL: N/A, NOT A PART
- CHAPTER 17.33 C-3 GENERAL COMMERCIAL ZONE: NO PERIMETER, OR SCREENING TREATMENT REQUIRED.
- CHAPTER 17.56 LARGE FORMAT COMMERCIAL: NO PERIMETER TREATMENT REQUIRED UNLESS ADJACENT TO RESIDENTIAL ZONES. PARKING LOT LANDSCAPE 10% OF PARKING AREA. LANDSCAPED PARKING ISLANDS NO MORE THAN 60' APART.
- CHAPTER 17.57 LANDSCAPING: 17.57070(A)(2) AREA DETERMINATION PLANNING FACTORS, COMMERCIAL, AT LEAST 7% OF THE GROSS SITE AREA MUST BE LANDSCAPED (REFER TO LANDSCAPE PLAN FOR MORE DETAILS).

PARKING: (CHAPTER 17.60)  
RETAIL: 1 SP/250 SF OF FLOOR AREA  
REQUIRED: 12SP (2,970/ 250 SF FLOOR AREA = 12SP)  
PROVIDED: 12SP  
STORAGE: 1 SP/ 2,000 SF FLOOR AREA OR 2 SP/ 3 EMPLOYEES ON LARGEST SHIFT WHICHEVER IS GREATER  
REQUIRED: 66 SP (131,070 GFA / 2,000 SF FLOOR AREA = 66 SP)  
PROVIDED: 67 SP



PACE Engineers  
4500 Kruse Way, Suite 250  
Lake Oswego, OR 97035  
p. 503.597.3222  
www.paceengrs.com



U-HAUL  
INTERNATIONAL, INC.

2727 N. CENTRAL AVE.  
PHOENIX, AZ 85004  
(541) 520-5479

U-HAUL MOVING & STORAGE  
- MCMINNVILLE STORE  
704076

OVERALL LANDSCAPE PLAN

SCALE: AS SHOWN  
DESIGNED BY: AAT  
DATE: 12/20/2023  
CHECKED BY: BDL

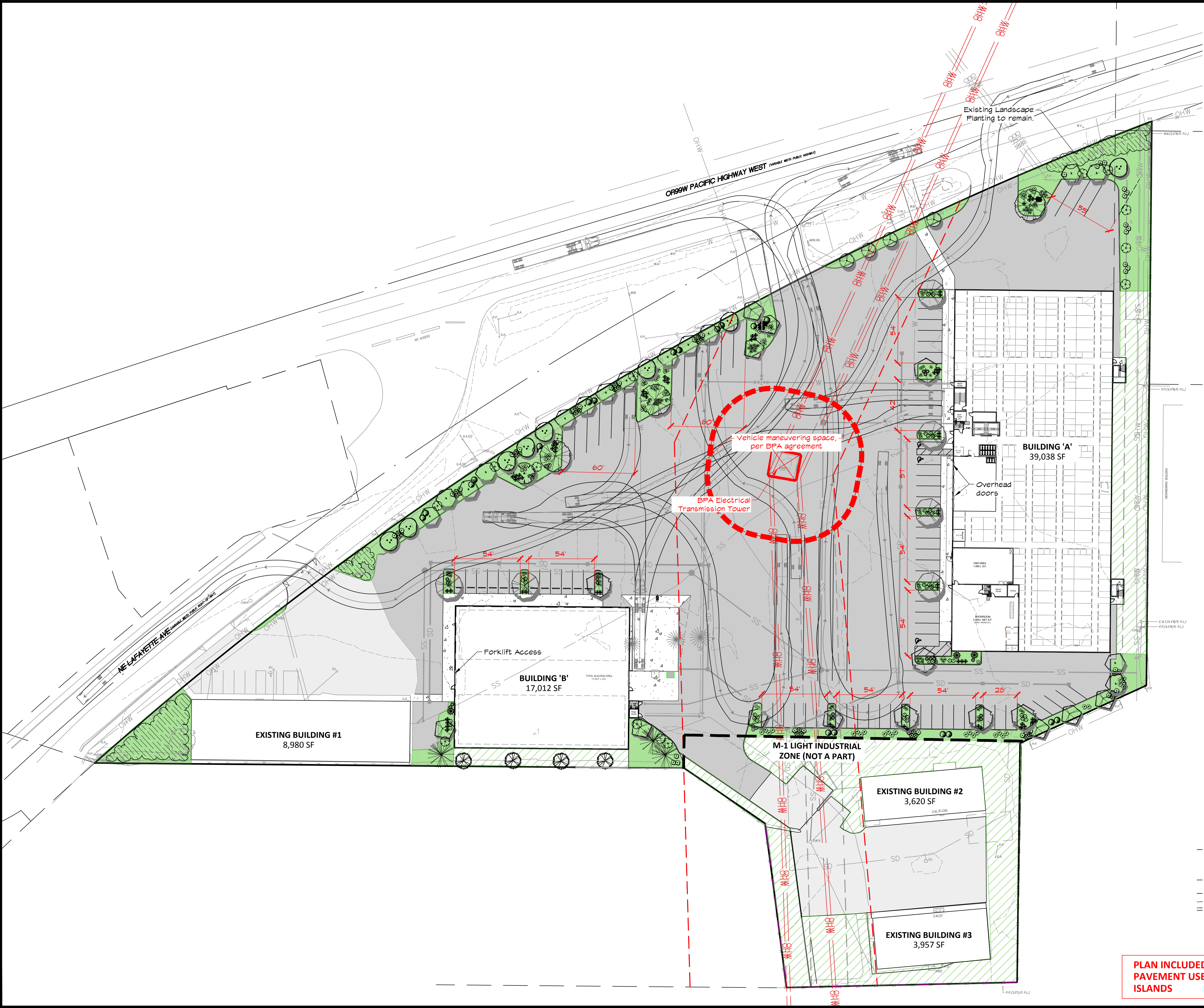
JOB NUMBER  
23863.00

DWG NAME:  
OVERALL LANDSCAPE PLAN

SHEET L1.0 OF 21



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USER NAME: BRIAN WAY  
XREF FILES: ###



### TREE SUMMARY

#### CONIFEROUS TREES

#### COMMON NAME



Incense Cedar



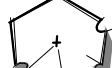
Skyrocket Juniper



Scotch Pine

#### DECIDUOUS TREES

#### COMMON NAME



Crimson Sunset® Maple



Eddie's White Wonder Dogwood



Scarlet Oak



Village Green Japanese Zelkova

#### UTILITY TREES

#### COMMON NAME



Flame Amur Maple



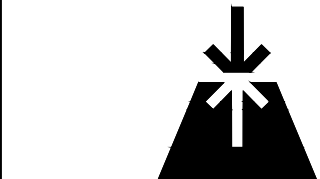
Bloodgood Japanese Maple



Autumn Brilliance Serviceberry



Kwanzan Japanese Flowering Cherry



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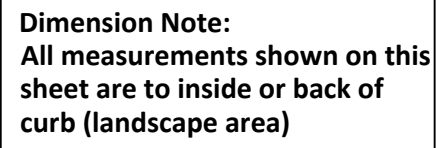
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704076**

VEHICLE CIRCULATION  
EXHIBIT

SCALE: AS SHOWN	DATE: 12/20/2023
DESIGNED BY: AAT	CHECKED BY: BDL
JOB NUMBER <b>23863.00</b>	
DWG NAME: VEHICLE CIRCULATION EXHIBIT	
SHEET <b>L1.0B</b> OF <b>21</b>	

PLAN INCLUDED FOR DESIGN REVIEW TO DEMONSTRATE  
PAVEMENT USE, PARKING AND ASSOCIATED LANDSCAPE  
ISLANDS

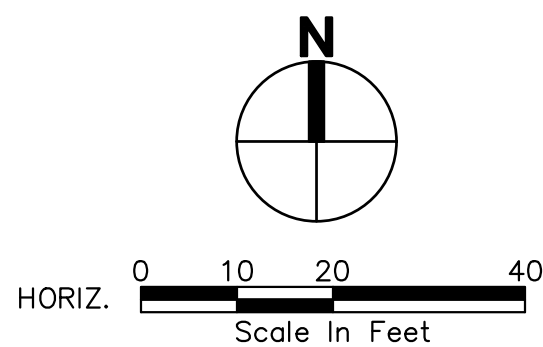
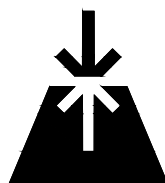




TOTAL BUILDING AREA  
17,012 ± S.F.

**CONTINUATION, SEE SHEET L1.2**

1. PREPARE SHRUB PLANTING BED PER  
DETAIL 3, SHEET L2.0
2. PREPARE TURF LAWN AREA PER DETAIL  
3, SHEET L2.0
3. INSTALL DECIDUOUS TREES PER DETAIL  
1, SHEET L2.0
4. INSTALL CONIFER OR MULTI-TRUNK  
TREE PER DETAIL 2, SHEET L2.0
5. INSTALL SHRUBS OR GRASSES PER  
DETAIL 4, SHEET L2.0

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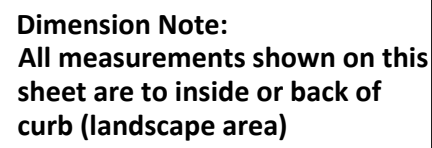
**U-HAUL MOVING & STORAGE  
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704076**

LANDSCAPE PLAN

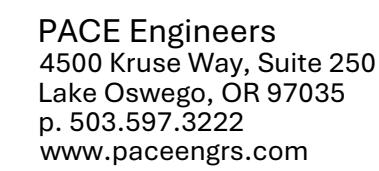
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DESIGNED BY: AAT	CHECKED BY: BDL
JOB NUMBER <b>23863.00</b>	
DWG NAME: LANDSCAPE PLAN	
SHEET <u>L1.1</u> OF <u>21</u>	



**CONTINUATION, SEE SHEET L1.1**



1. PREPARE SHRUB PLANTING BED PER  
DETAIL 3, SHEET L2.0
2. PREPARE TURF LAWN AREA PER DETAIL  
3, SHEET L2.0
3. INSTALL DECIDUOUS TREES PER DETAIL  
1, SHEET L2.0
4. INSTALL CONIFER OR MULTI-TRUNK  
TREE PER DETAIL 2, SHEET L2.0
5. INSTALL SHRUBS OR GRASSES PER  
DETAIL 4, SHEET L2.0



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LANDSCAPE PLAN

SCALE: AS SHOWN	DATE: 12/20/2023
DESIGNED BY: AAT	CHECKED BY: BDL
JOB NUMBER <b>23863.00</b>	
DWG NAME: LANDSCAPE PLAN	
SHEET <u>L1.2</u> OF <u>21</u>	



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USER NAME:BRIAN WAY
VREF FILES: //IIIIII
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**MATCHLINE, SEE SHEET L1.2**

**M-1 LIGHT INDUSTRIAL ZONE (NOT A PART)**

EXISTING -  
PARKING

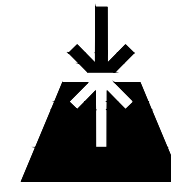
E.M./E.CAB

E.M.(2)

- P.P.(3.0'S/0 P.L.

## # LANDSCAPE NOTES

1. PREPARE SHRUB PLANTING BED PER  
DETAIL 3, SHEET L2.0
2. PREPARE TURF LAWN AREA PER DETAIL  
3, SHEET L2.0
3. INSTALL DECIDUOUS TREES PER DETAIL  
1, SHEET L2.0
4. INSTALL CONIFER OR MULTI-TRUNK  
TREE PER DETAIL 2, SHEET L2.0
5. INSTALL SHRUBS OR GRASSES PER  
DETAIL 4, SHEET L2.0



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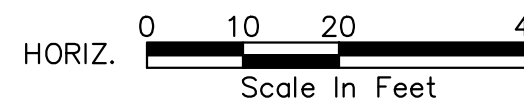
**U-HAUL  
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704076

LANDSCAPE PLAN



SCALE: AS SHOWN	DATE: 12/20/2023
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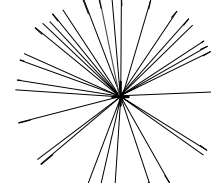
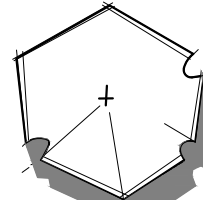
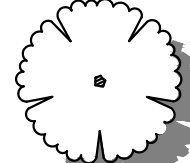
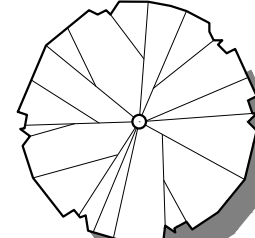
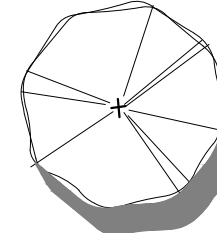
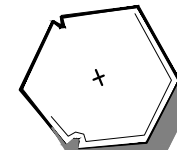


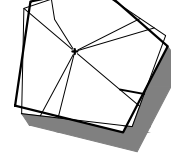
















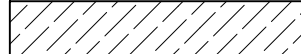

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**23863.00**

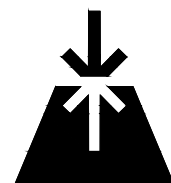
DWG NAME:  
LANDSCAPE PLAN

SHEET L1.3 OF 21

## PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY		
CONIFEROUS TREES						
	Calocedrus decurrens	Incense Cedar	6' HT. MIN	4		
	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	6' HT. MIN	3		
	Pinus sylvestris	Scotch Pine	6' HT. MIN	3		
DECIDUOUS TREES						
	Acer truncatum x platanoides 'JFS-KW202'	Crimson Sunset® Maple	1.75" CAL. MIN. B&B	6		
	Cornus x 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	1.75" CAL. MIN. B&B	1		
	Quercus coccinea	Scarlet Oak	1.75" CAL. MIN. B&B	3		
	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	1.75" CAL. MIN. B&B	6		
UTILITY WIRE TREES						
	Acer ginnala 'Flame'	Flame Amur Maple	2" CAL. MIN. B&B	16		
	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	MULTI-TRUNK 2" CAL.	9		
	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	2" CAL. MIN. B&B	5		
	Prunus serrulata 'Kwanzan'	Kwanzan Japanese Flowering Cherry	2" CAL. MIN. B&B	10		
SHRUBS						
	Berberis thunbergii `Bagatelle`	Bagatelle Japanese Barberry	2 GAL 12" HT. MIN.	37		
	Cornus sericea `Variegata`	Variegated Red Twig Dogwood	3 GAL. 24" MIN.	38		
	Cornus sericea `Kelsey`	Kelsey Dwarf Red-Osier Dogwood	2 GAL 18" HT. MIN.	65		
	Juniperus squamata `Blue Star`	Blue Star Juniper	2 GAL 18" HT. MIN.	25		
	Lonicera pileata `Little Lemon Zest`	Little Lemon Zest Honeysuckle	2 GAL 18" HT. MIN.	17		
	Mahonia aquifolium	Oregon Grape	2 GAL 18" HT. MIN.	27		
	Morella californica	Pacific Wax Myrtle	3 GAL. 24" MIN.	31		
	Nandina domestica `Firepower`	Firepower Dwarf Heavenly Bamboo	2 GAL 18" HT. MIN.	37		
	Physocarpus opulifolius `SMNPOBLR` TM	Ginger Wine Ninebark	3 GAL. 24" MIN.	21		
	Pinus mugo var. pumilio	Dwarf Mugo Pine	2 GAL 18" HT. MIN.	18		
	Spiraea japonica `Walbura`	Magic Carpet Spirea	2 GAL 18" HT. MIN.	13		
	Viburnum davidii	David Viburnum	2 GAL 18" HT. MIN.	14		
	Viburnum plicatum `Mariesii`	Maries Doublefile Viburnum	3 GAL. 24" MIN.	15		
GRASSES						
	Helictotrichon sempervirens	Blue Oat Grass	2 GAL	35		
PERENNIALS						
	Rudbeckia fulgida `Goldsturm`	Black-eyed Susan	1 GAL	30		
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
GROUND COVERS						
	AU	Arctostaphylos uva-ursi	Kinnikinnick	4" POT	18" o.c.	1,437
	FRA LIP	Fragaria x `Lipstick`	Lipstick Strawberry	4" POT	18" o.c.	1,515
	SL	Seeded Lawn variable	Hydroseed	---		39,466 sf

△	PROPOSED ADDITIONAL PARKING LOT ISLANDS	11/21/23
SYM	REVISION	DATE



**PACE Engineers**  
4500 Kruse Way, Suite 250  
Lake Oswego, OR 97035  
p. 503.597.3222  
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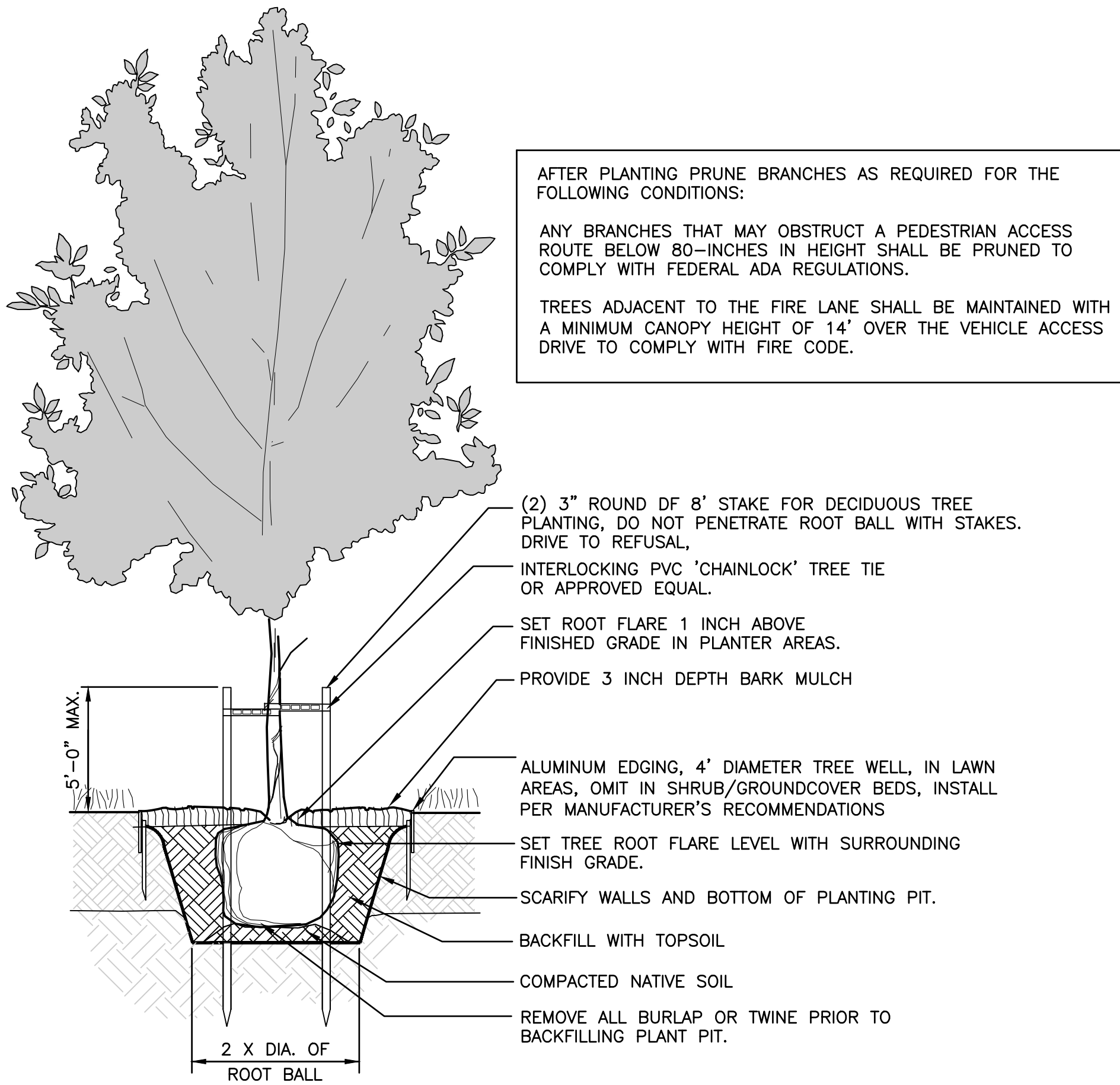
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## PLANTING SCHEDULE

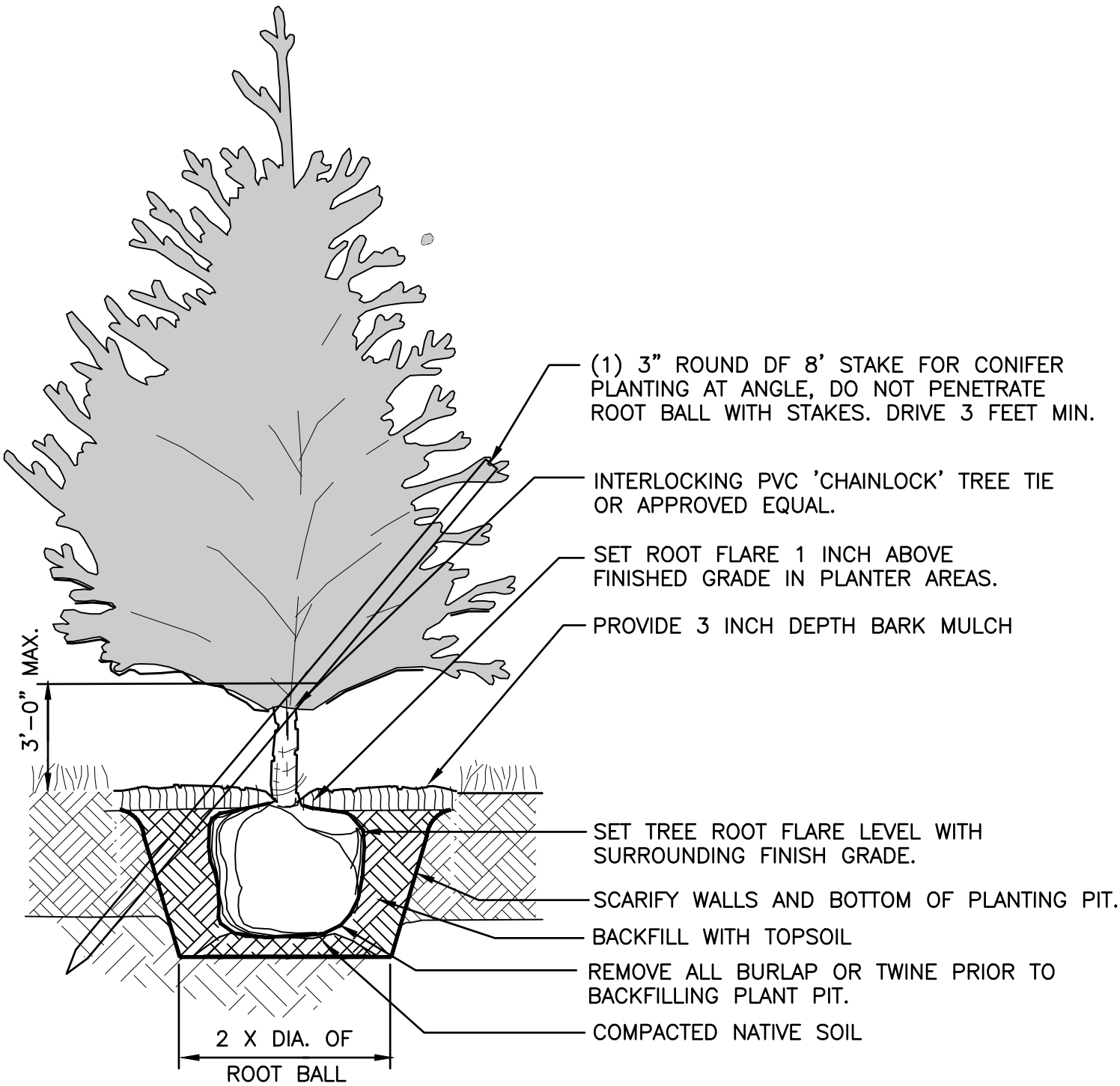
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DESIGNED BY: AAT	CHECKED BY: BDL
JOB NUMBER <b>23863.00</b>	
DWG NAME: PLANTING SCHEDULE	
SHEET <u>L1.4</u> OF <u>21</u>	



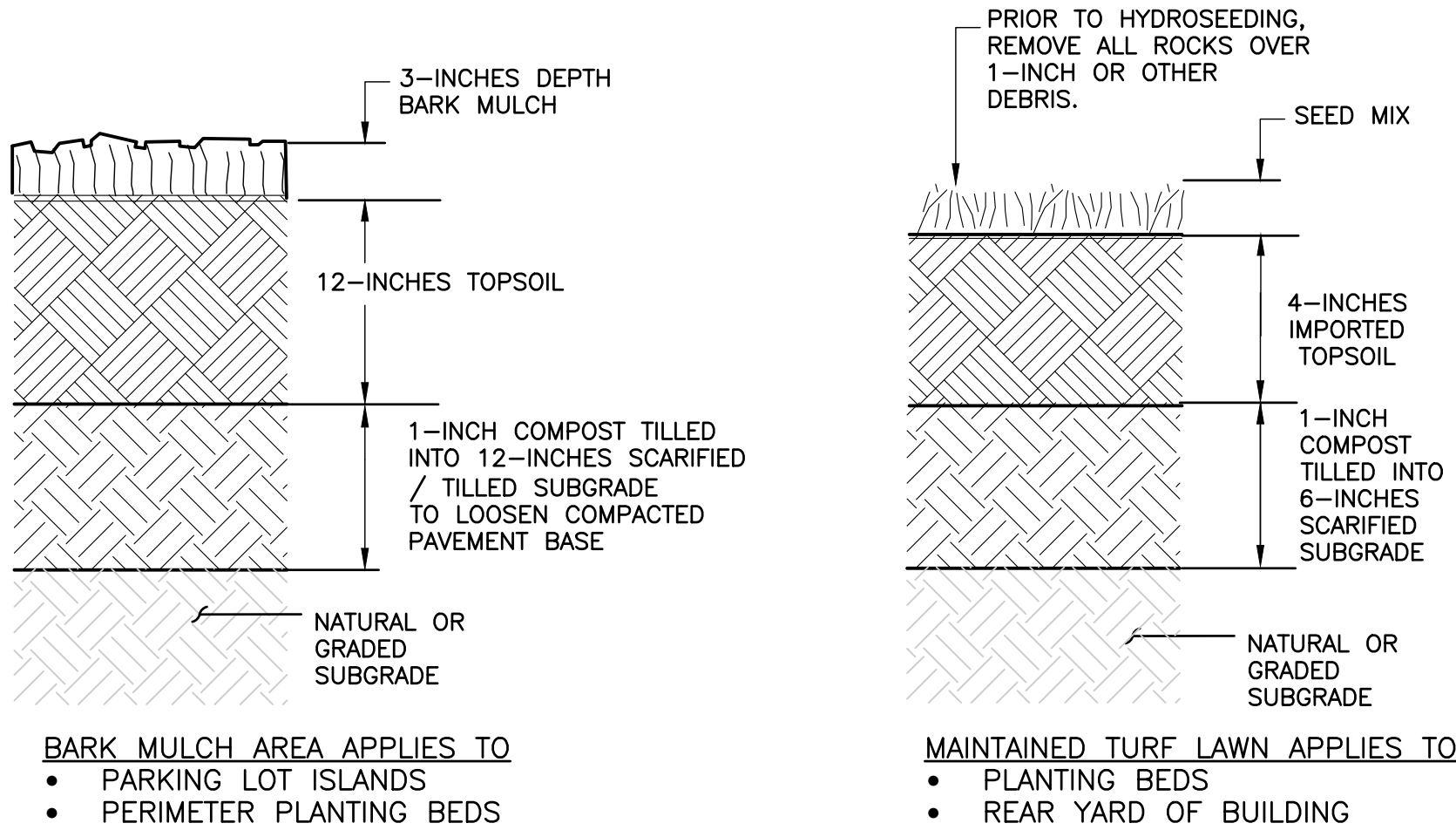
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PLOT TIME: 12/20/2023 4:18 PM  
USER NAME: BRIAN WAY  
XREF FILES: PACE34X22



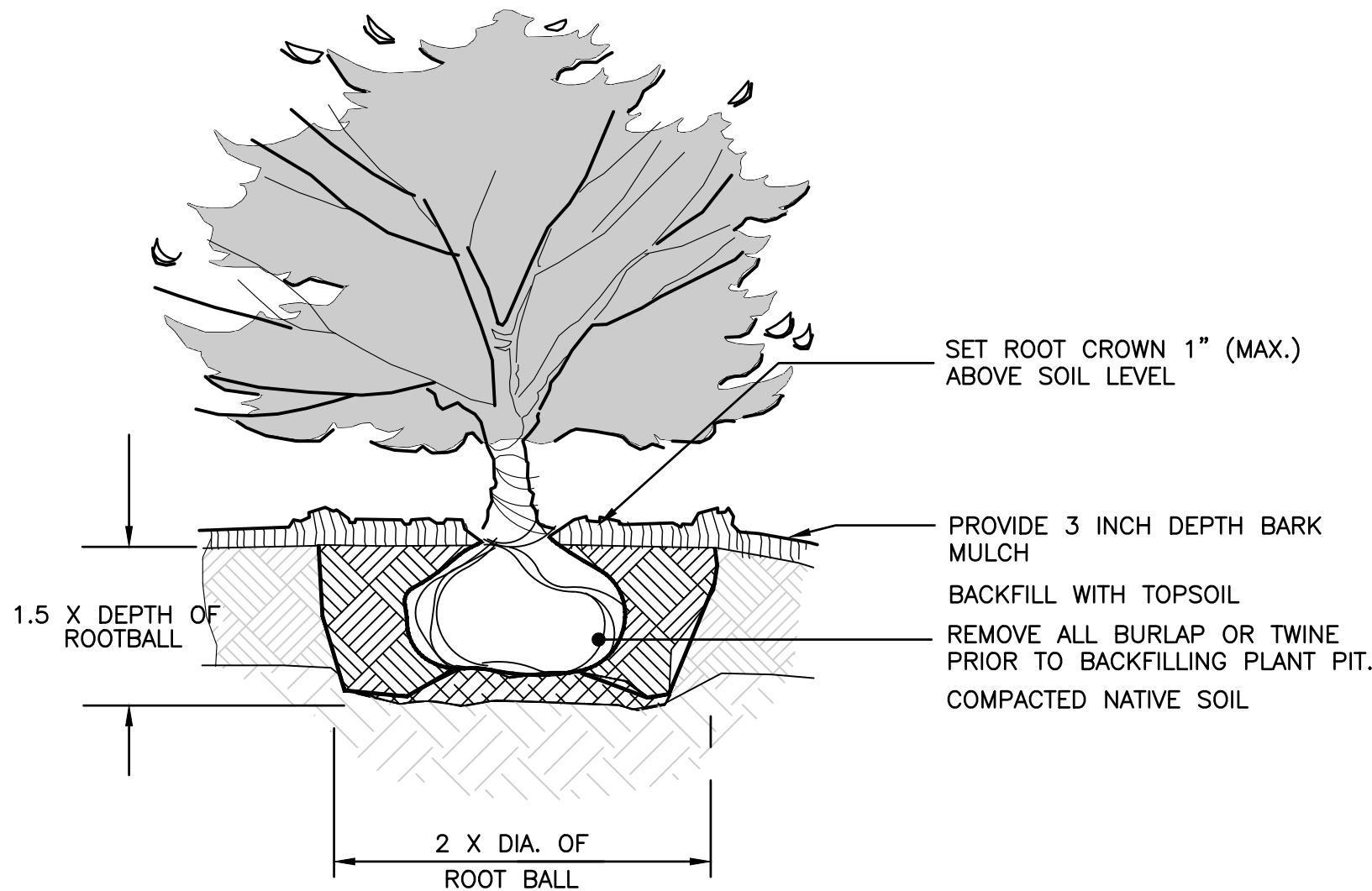
1 DECIDUOUS TREE PLANTING DETAIL  
NTS



2 CONIFER / MULTI TRUNK PLANTING DETAIL  
NTS



3 PLANTING PREPARATION  
NTS



4 SHRUB PLANTING DETAIL  
NTS

## GENERAL PLANTING NOTES

1. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR THIS PROJECT.
2. GRADING SHALL BE ACCEPTED PRIOR TO PLANT INSTALLATION. FINISHED GRADE FOR NEW PLANTING AREAS SHALL ALLOW FOR TOPSOIL AND ROCK MULCH AND 1-INCH CLEAR TO TOP OF CURB OR SIDEWALK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND HAULING ALL EXTRA DEBRIS AND EXCESS SOIL GENERATED BY THIS PROJECT.

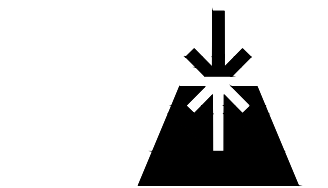
## PLANTING, FERTILIZING AND MAINTENANCE

4. ALL PLANTS SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMAN (AAN) GRADES AND STANDARDS AS PUBLISHED IN THE MOST RECENT Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" MANUAL. TREE CALIPER SHALL BE MEASURED SIX INCHES ABOVE THE ROOT FLARE.
5. AREAS DISTURBED BY GRADING AND NOT SHOWN AS PLANTING / LAWN AREAS SHALL BE SEEDED.
6. APPLY FERTILIZER TO ALL LAWN, GROUNDCOVER, SHRUB AND TREE PLANTING AREAS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR FERTILIZER TYPE (N-P-K RATIO) FOR LAWN, ORNAMENTAL SHRUBS, AND TREES.
7. THE ONGOING MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
8. CODE REQUIRED PLANTING SHALL BE MAINTAINED AS REQUIRED BY MMC 17.57.070(C) "ALL LANDSCAPE APPROVED THROUGH LANDSCAPE REVIEW COMMITTEE SHALL BE CONTINUALLY MAINTAINED, INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, AND REPLACEMENT."

## TOPSOIL, COMPOST AND MULCH

7. REMOVE SUBGRADE MATERIAL TO ACCOMMODATE TOPSOIL, ROCK MULCH, SOD LAWN WITH 1" CLEAR TO TOP OF CURB, SIDEWALK OR OTHER PAVED SURFACES.
  8. REFER TO PLANTING PREPARATION DETAIL SHEET THIS SHEET FOR TOPSOIL AND COMPOST REQUIREMENTS.
  9. TOPSOIL SHALL BE A TWO-WAY MIX OR APPROVED EQUAL, CONSISTING OF THE FOLLOWING: SOIL SHALL BE A MIXTURE OF 50% PURE COMPOST, AND 50% SAND, SANDY LOAM, OR SILTY SAND. THE COMPOST SHALL BE FULLY COMPOSTED AND MATURE ORGANIC MATERIALS. NO FRESH SAWDUST OR OTHER FRESH WOOD BY-PRODUCTS SHALL BE ADDED TO EXTEND THE VOLUME AFTER THE COMPOSTING PROCESS.
- CHEMICAL/PHYSICAL CHARACTERISTICS SHALL COMPLY WITH THE FOLLOWING:
- SCREEN SIZE (APPROX. PARTICLE SIZE) 7/16" MAXIMUM
  - TOTAL NITROGEN.25% MINIMUM
  - ORGANIC MATTER 50%
  - PH RANGE 5.5-7.5

11. BARK MULCH SHALL BE HEMLOCK / FIR MEDIUM GRIND.



PACE Engineers  
4500 Kruse Way, Suite 250  
Lake Oswego, OR 97035  
p. 503.597.3222  
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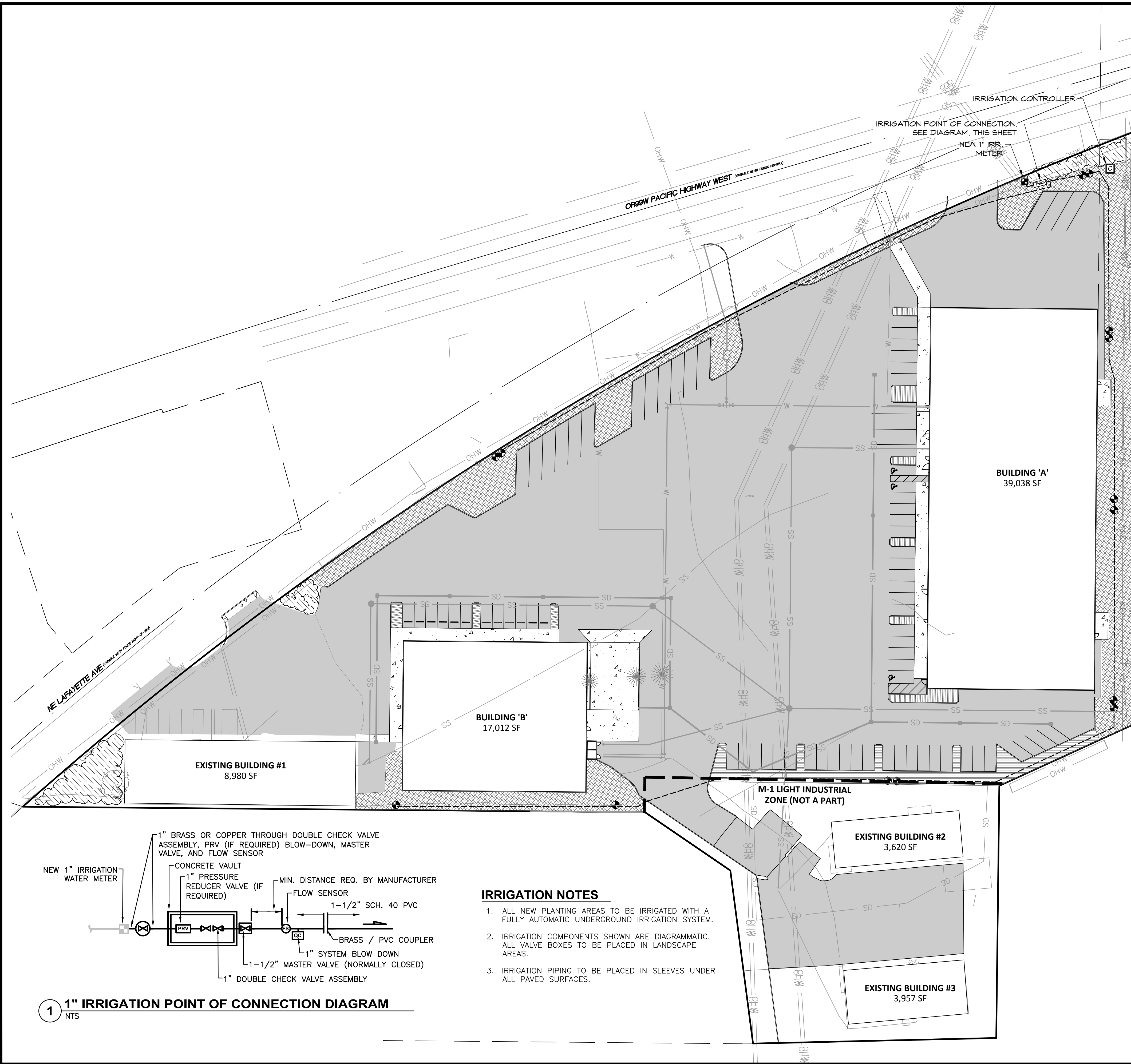
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LANDSCAPE DETAILS AND NOTES








SCALE:	DATE:
AS SHOWN	12/20/2023
DESIGNED BY:	CHECKED BY:
AAT	BDL
JOB NUMBER	
23863.00	
DWG NAME:	
LANDSCAPE DETAILS AND NOTES	
SHEET	L2.0 OF 21





FILE NAME: P:\KO\P23\23863\_AMERCO\_UHAUL\_MOMINVILLE\CAD\ENGINEERING\SHEETS\P23863\_IROWG  
SAVE TIME: 12/20/2023 4:12:18 PM  
PLOT TIME: 12/20/2023 4:18 PM  
USER NAME: BRIAN WAY  
XREF FILES: ###



## COMPONENT LEGEND

SYMBOL	MANUFACTURER / DESCRIPTION
	AUTOMATIC CONTROL VALVES RAIN BIRD PEB SERIES FOR SPRAY ZONES OR XCZ-100-PRB-R (0.3-20 GPM), XCZ-150-LCDR (15-60 GPM) FOR DRIP ZONES. FINAL SIZING TO BE NOTED BY CONTRACTOR.
	IRRIGATION MAIN LINE PIPING 1-1/2" SCHEDULE 40 PVC, SUGGESTED LOCATIONS SHOWN, CONTRACTOR TO ADJUST AS NEEDED
	LATERAL PIPING CLASS 200 SDR21, CONTRACTOR TO SIZE, 3/4" MIN. (NOT SHOWN)
	SLEEVING - SCHEDULE 40 PVC, SUGGESTED LOCATIONS SHOWN, CONTRACTOR TO SIZE, 2X SUM OF INTERIOR PIPE SIZES MIN.
	WIRE SLEEVE 2-INCH SCHEDULE 40 PVC
	QUICK COUPLER VALVE, 1" RAIN BIRD 44LR W/ 44K COUPLER KEY SH-1 HOSE SWIVEL AND 2049 LID KEY; SEE PLANS FOR LOCATIONS, CONNECT TO MAINLINE,
	NEW 1" IRRIGATION METER, SEE CIVIL PLAN FOR LOCATION
<div data-bbox="2219 395 2265 417" style="border: 1px solid black; padding: 2px; display: inline-block;">POC</div>	<u>IRRIGATION POINT OF CONNECTION</u> - IRRIGATION SHUT-OFF VALVE - DOUBLE CHECK VALVE ASSEMBLY - FEBCO 850U SEE DETAIL FOR SIZE - QUICK COUPLING VALVE - MASTER VALVE (BRASS VALVE)

### IRRIGATION SCHEDULE

DESCRIPTION	AREA
 SPRAY / ROTOR HEAD IRRIGATION	25,756 SF
 LANDSCAPE DRIPLINE IRRIGATION	5,328 SF

IRRIGATION PLAN IS DIAGRAMMATIC SHOWING  
DESIGN INTENT ONLY. IRRIGATION HEADS,  
LATERAL PIPING, AND VALVE INFORMATION  
WILL BE SHOWN IN FINAL DESIGN

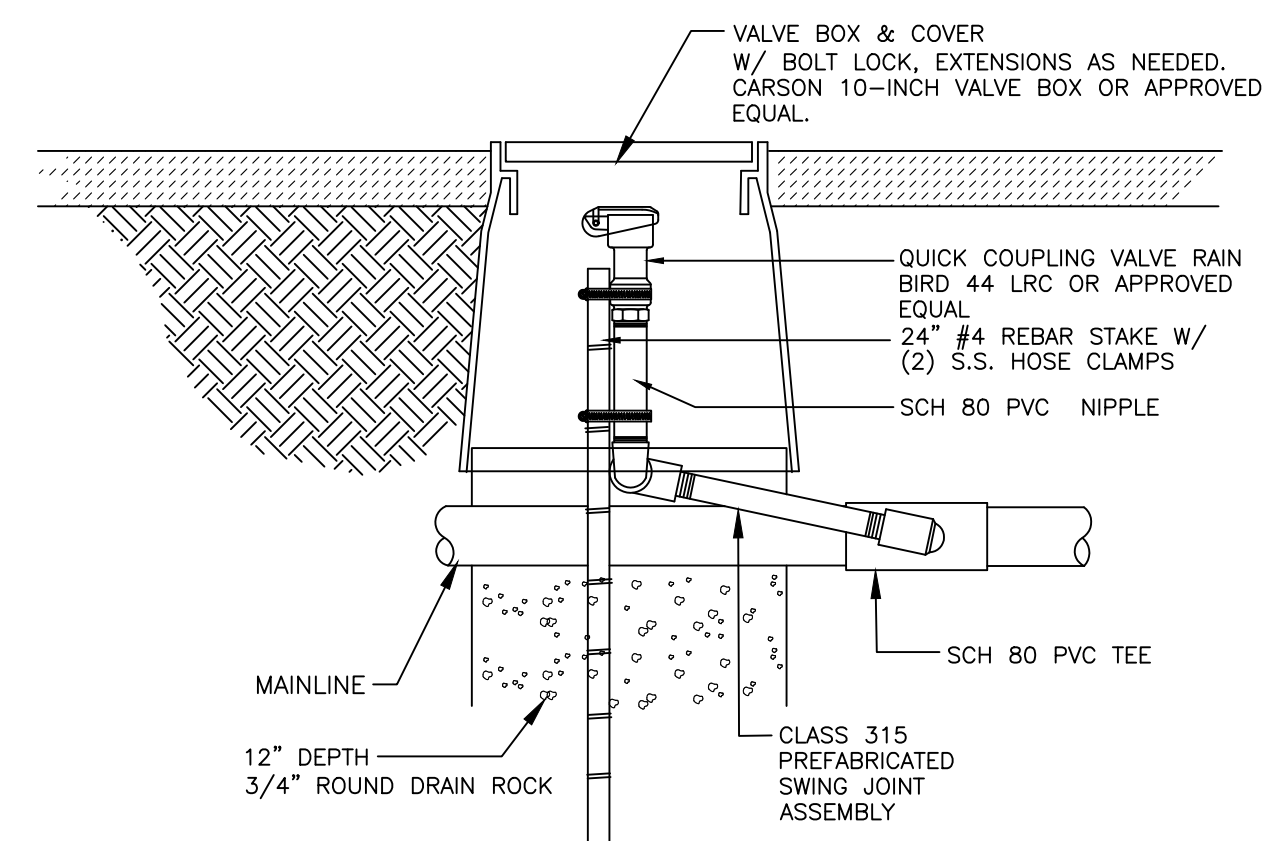
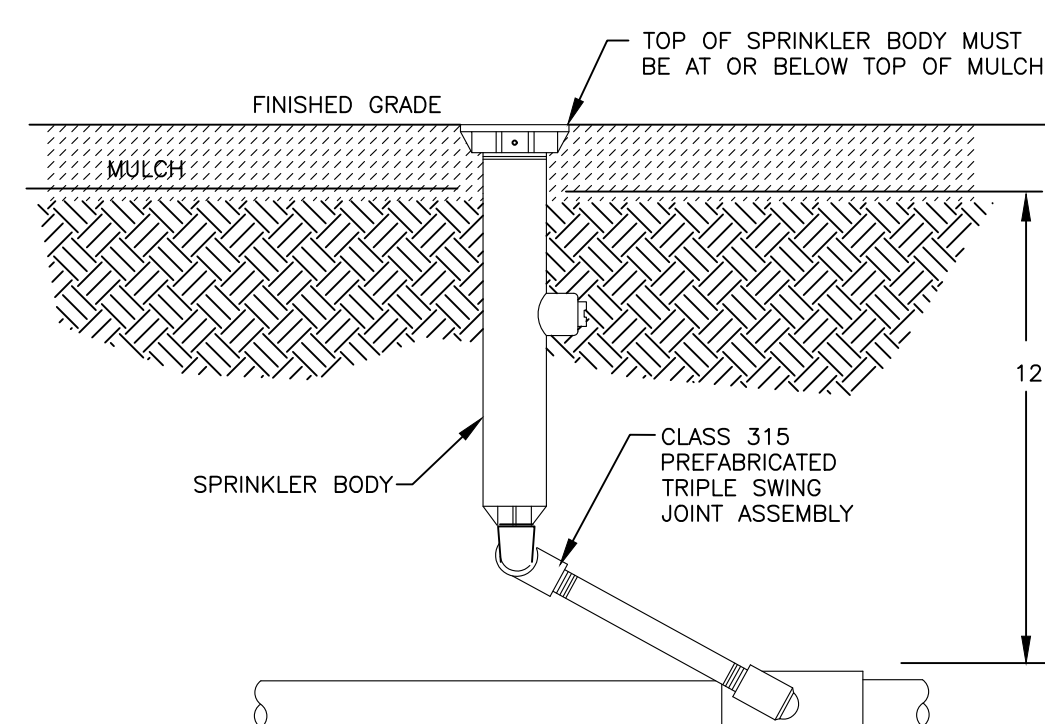
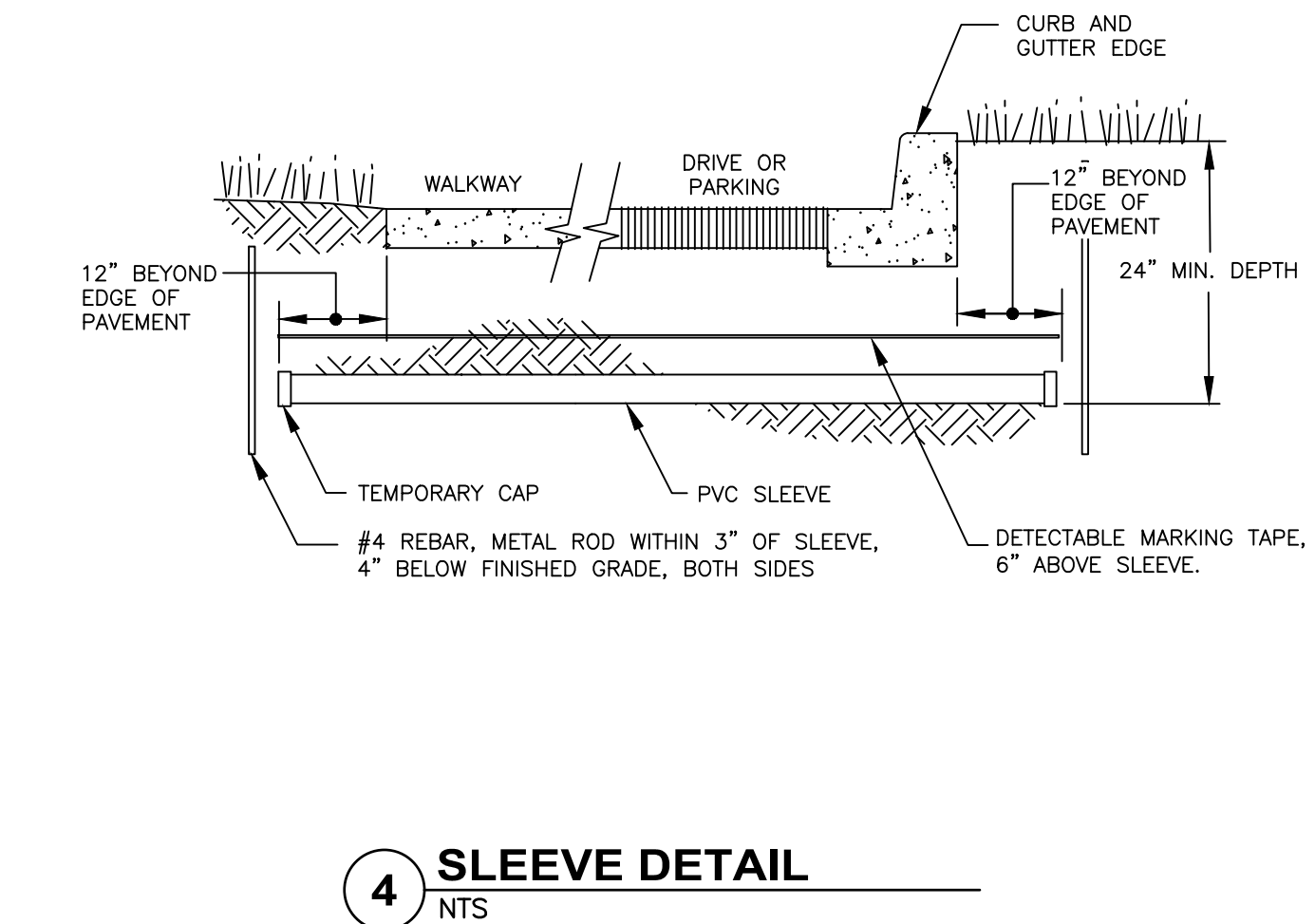
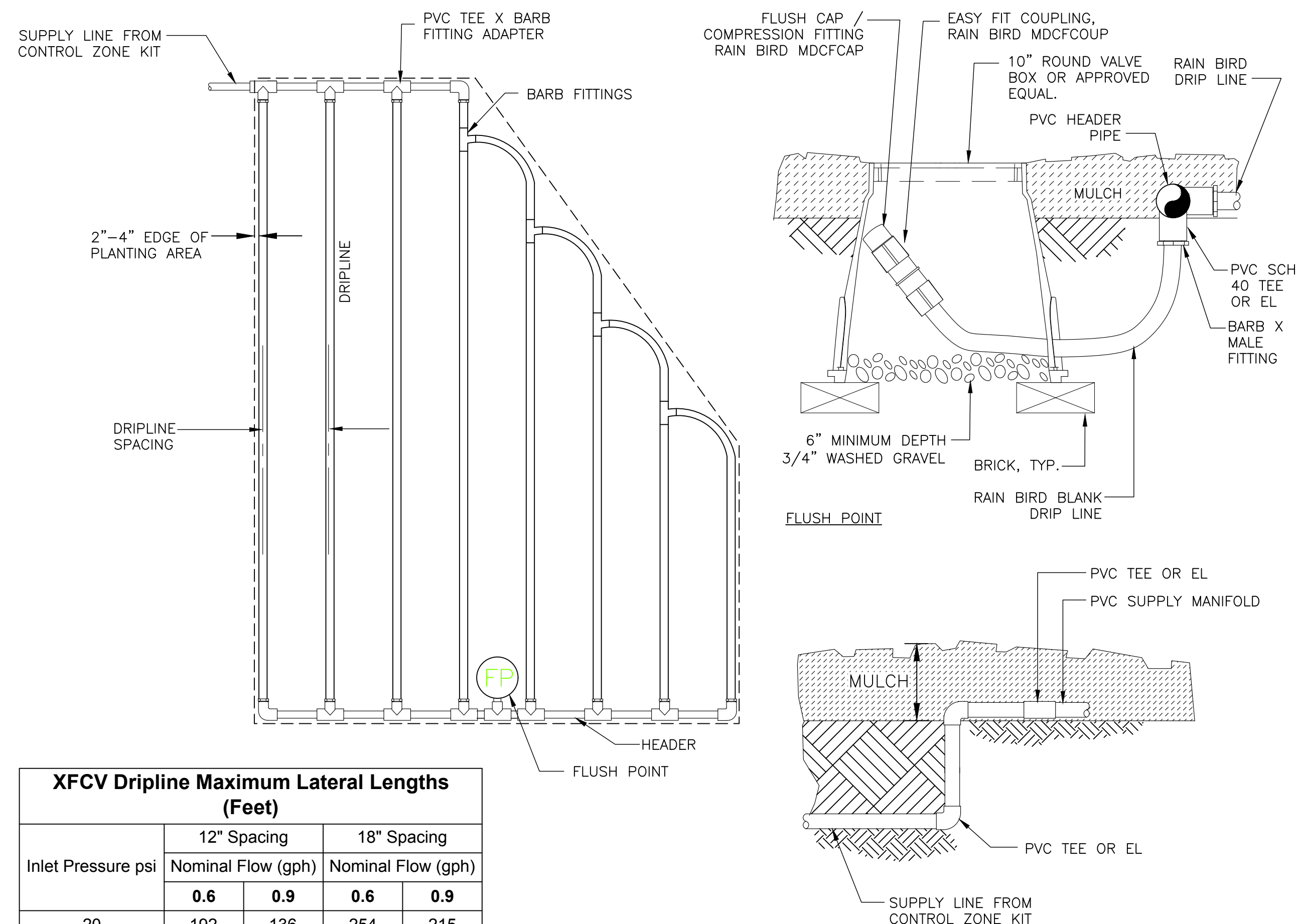
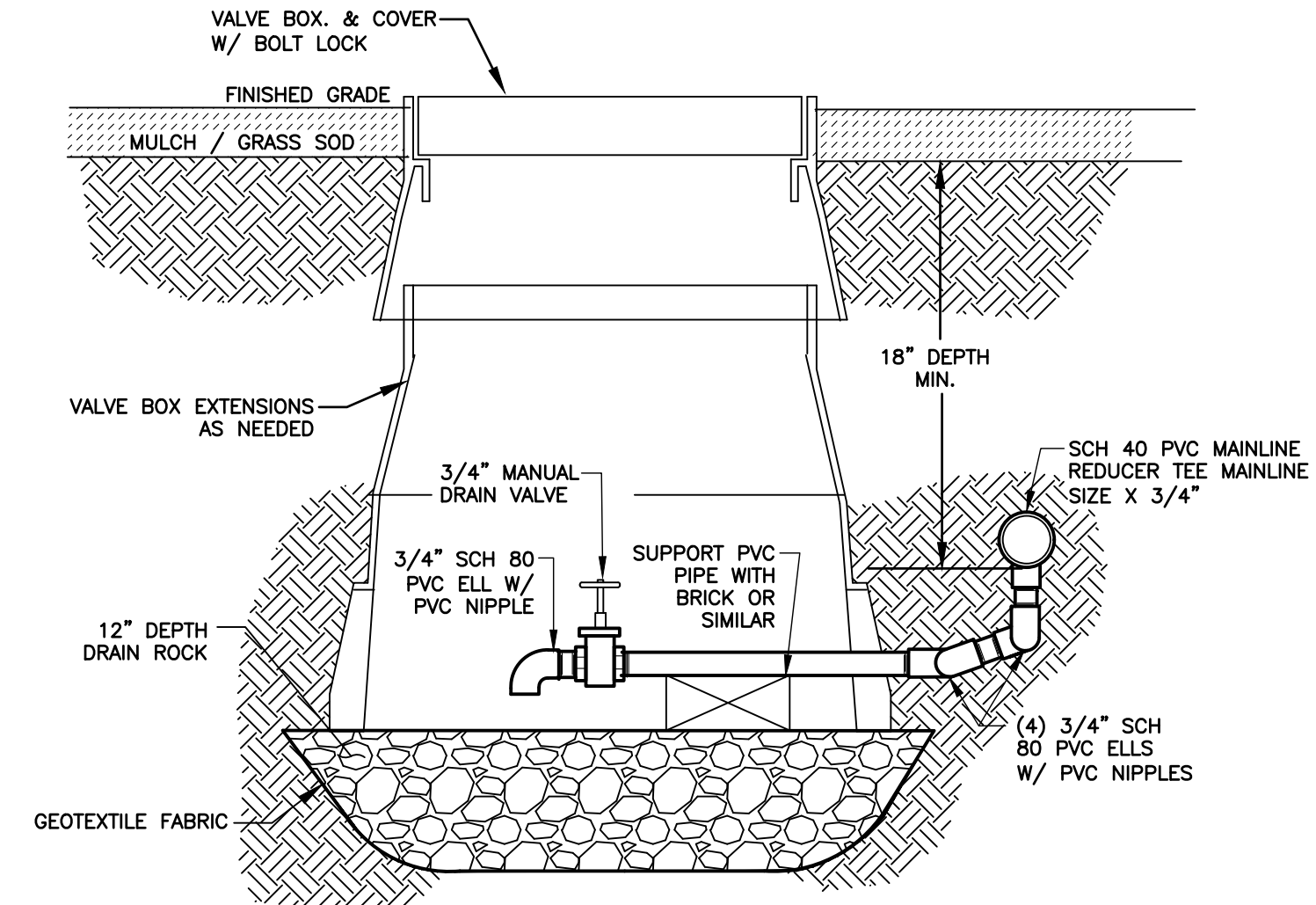
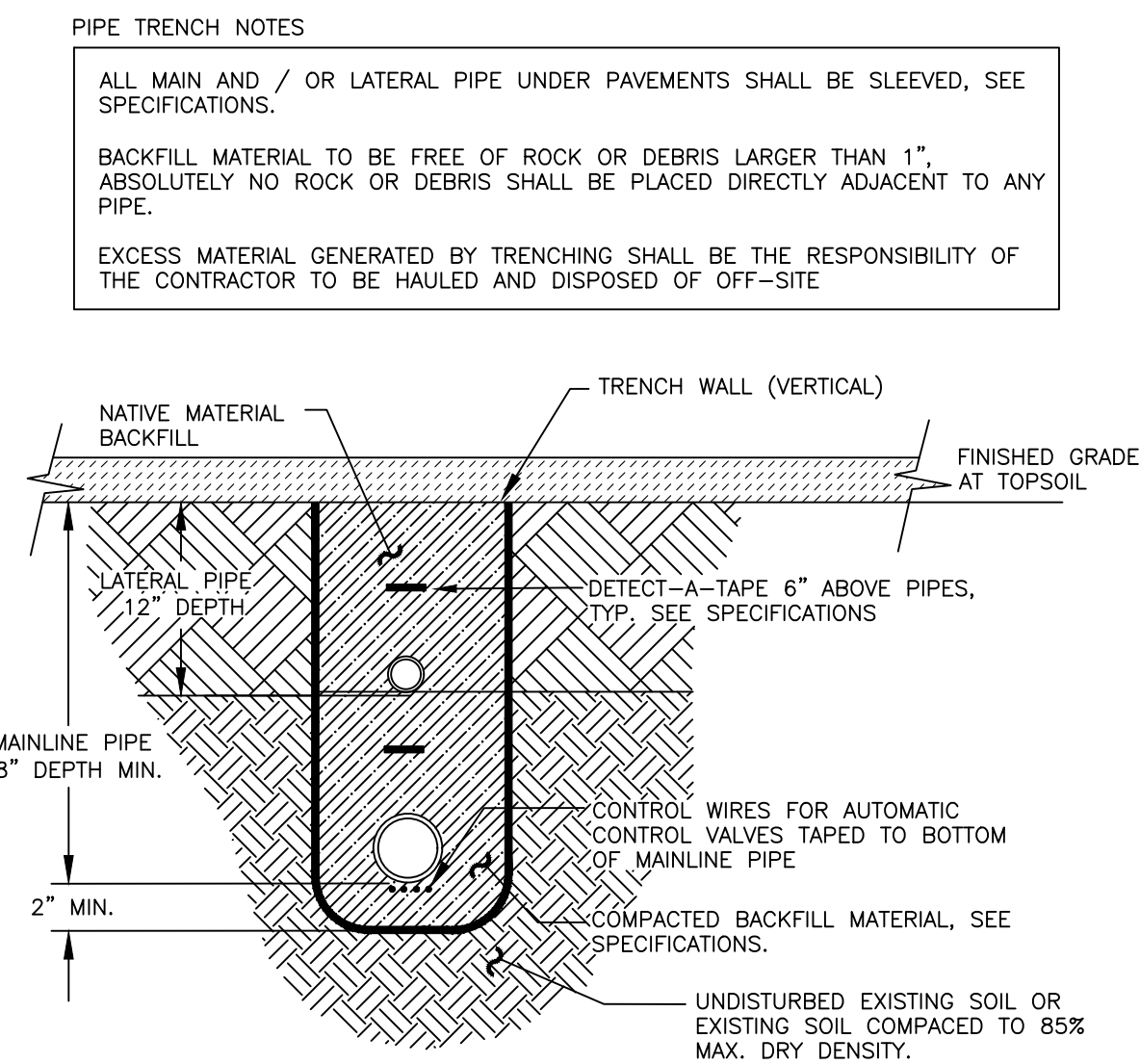
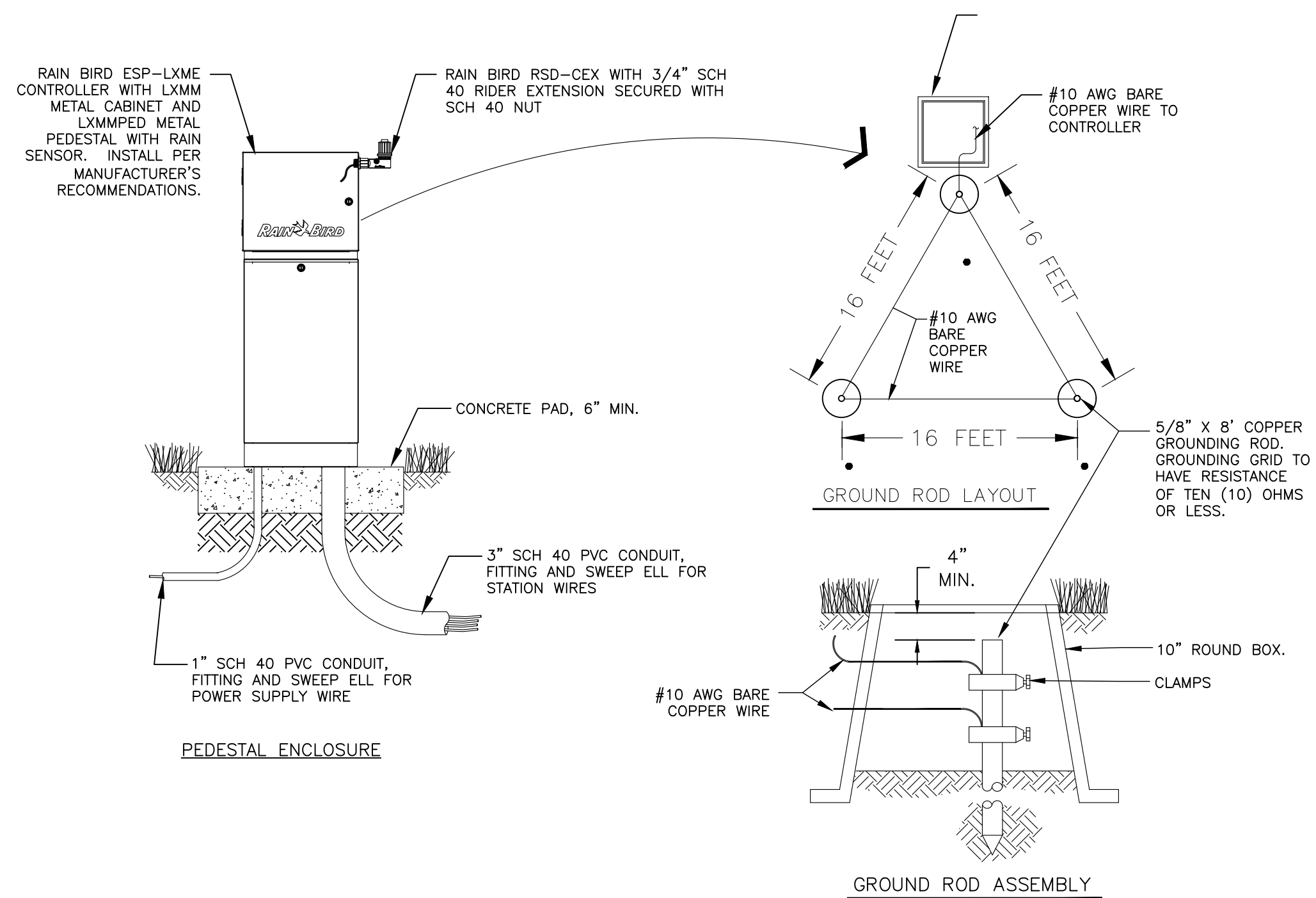


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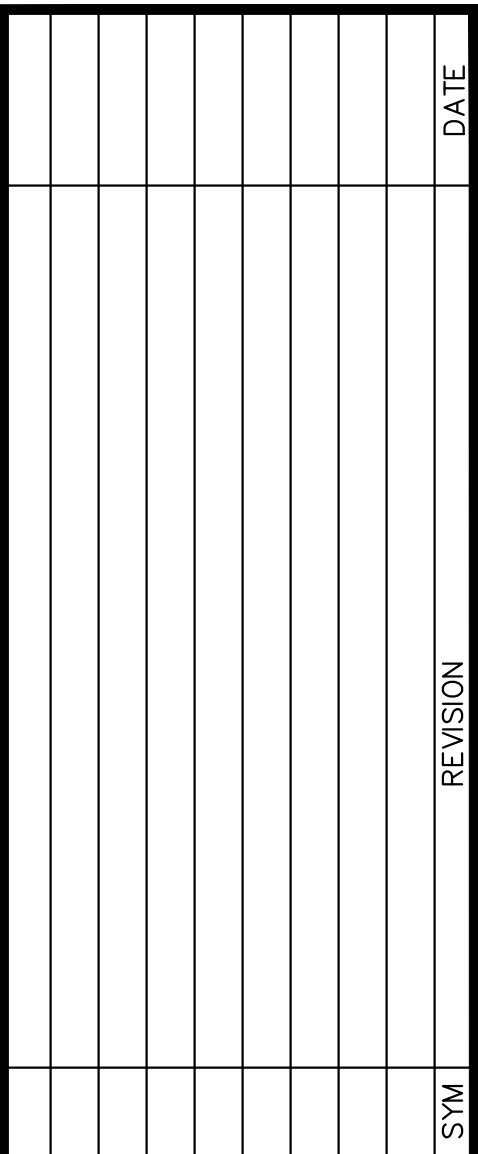
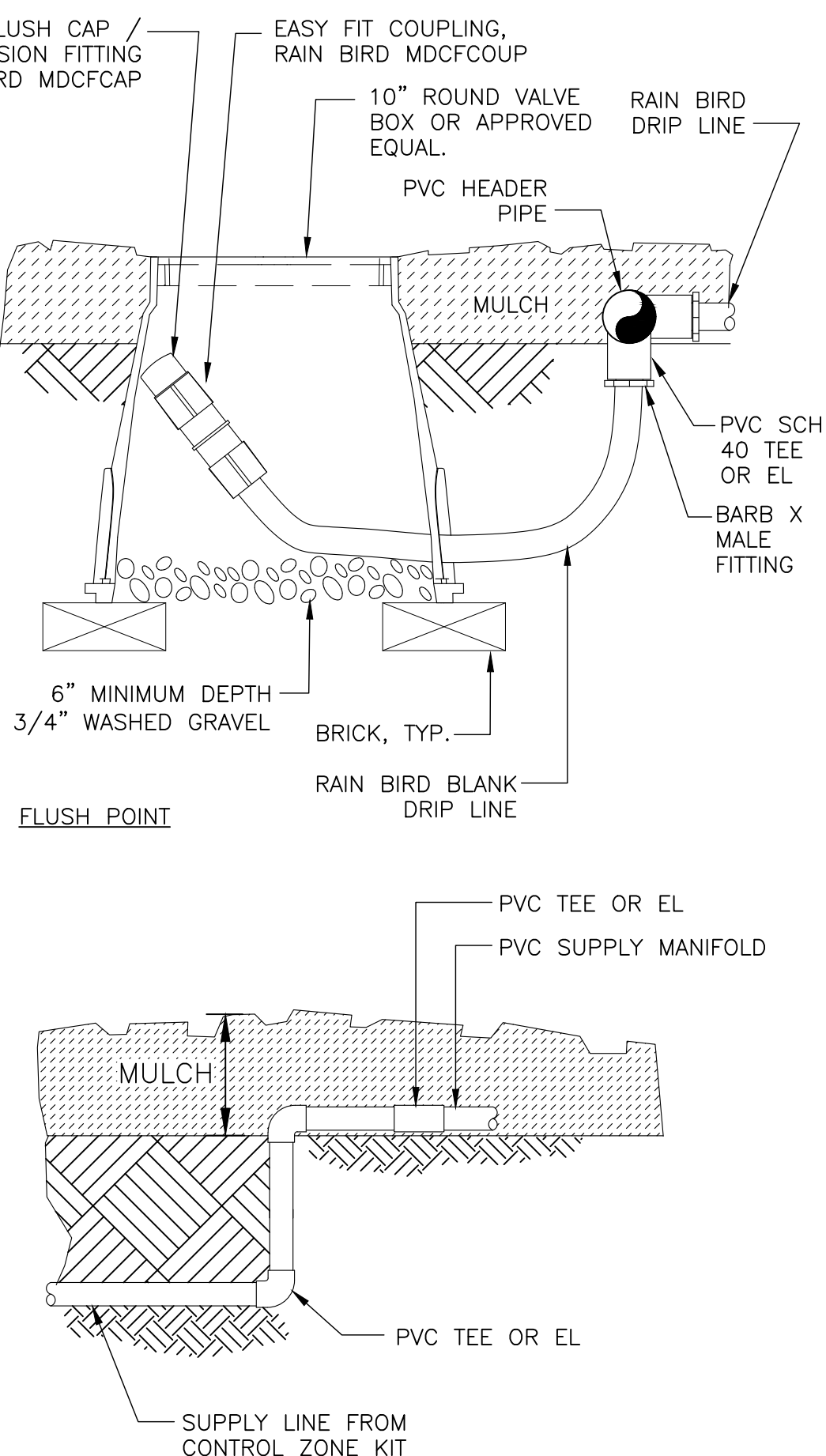
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<b>SCALE:</b> AS SHOWN	<b>DATE:</b> 12/20/2023	
<b>DESIGNED BY:</b> AAT	<b>CHECKED BY:</b> BDL	
<b>JOB NUMBER</b> <b>23863.00</b>		
<b>DWG NAME:</b> IRRIGATION PLAN		
<b>SHEET</b> <u>  L3.0  </u> <b>OF</b> <u>  21  </u>		





XFCV Dripline Maximum Lateral Lengths (Feet)				
Inlet Pressure psi	12" Spacing		18" Spacing	
	Nominal Flow (gph)		Nominal Flow (gph)	
	0.6	0.9	0.6	0.9
20	192	136	254	215
30	289	205	402	337
40	350	248	498	416
50	397	281	573	477
60	436	309	637	529



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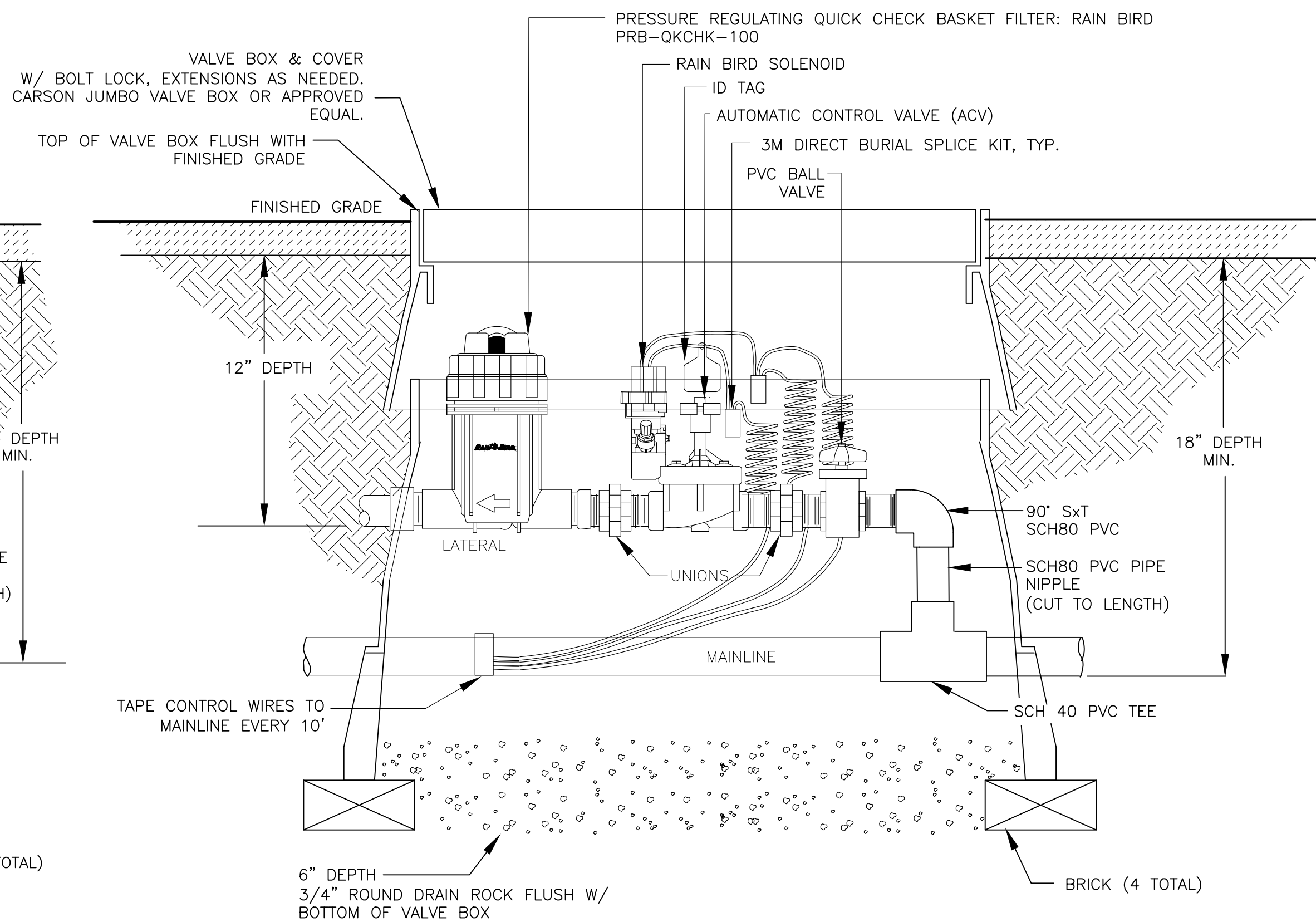
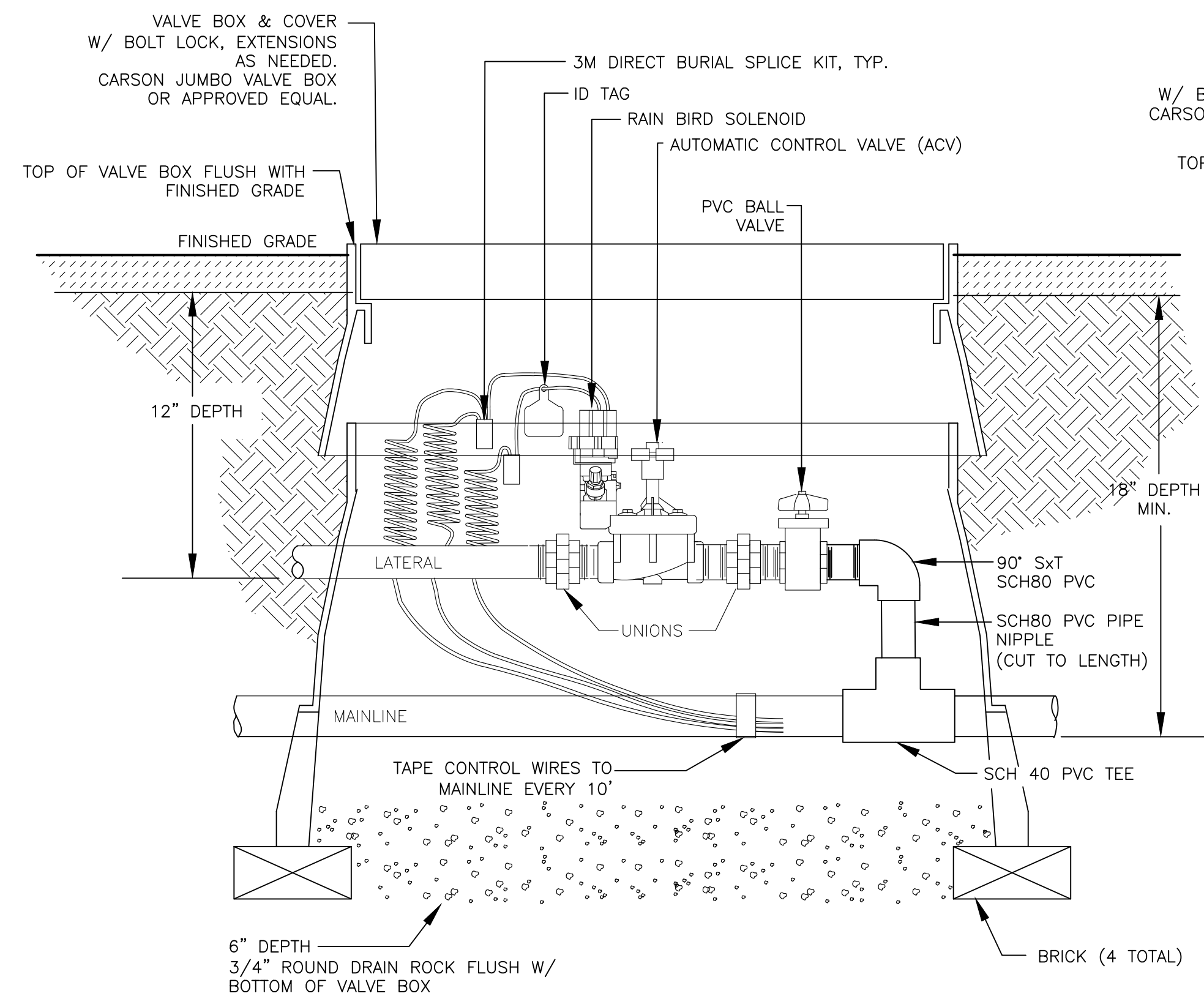
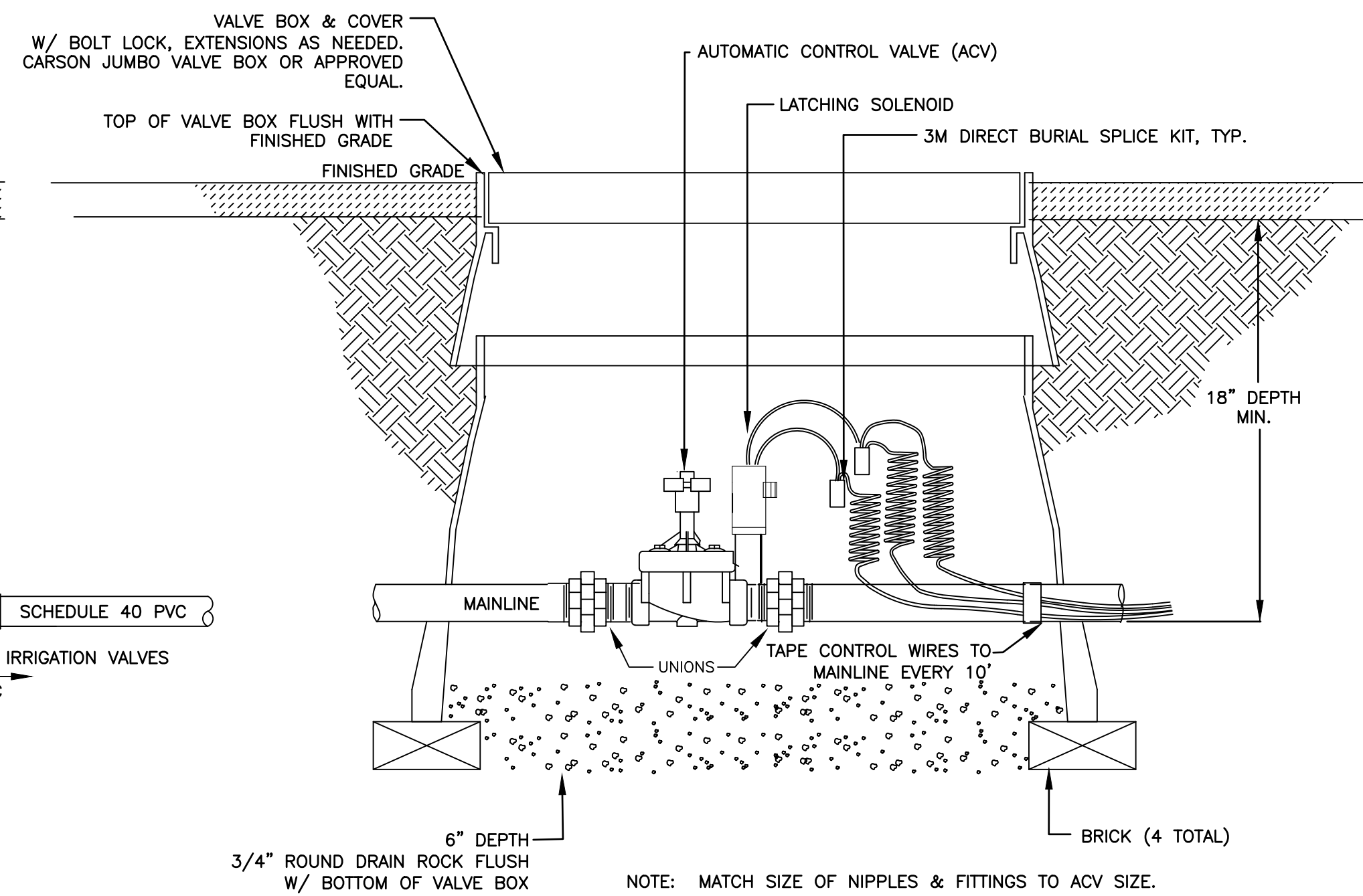
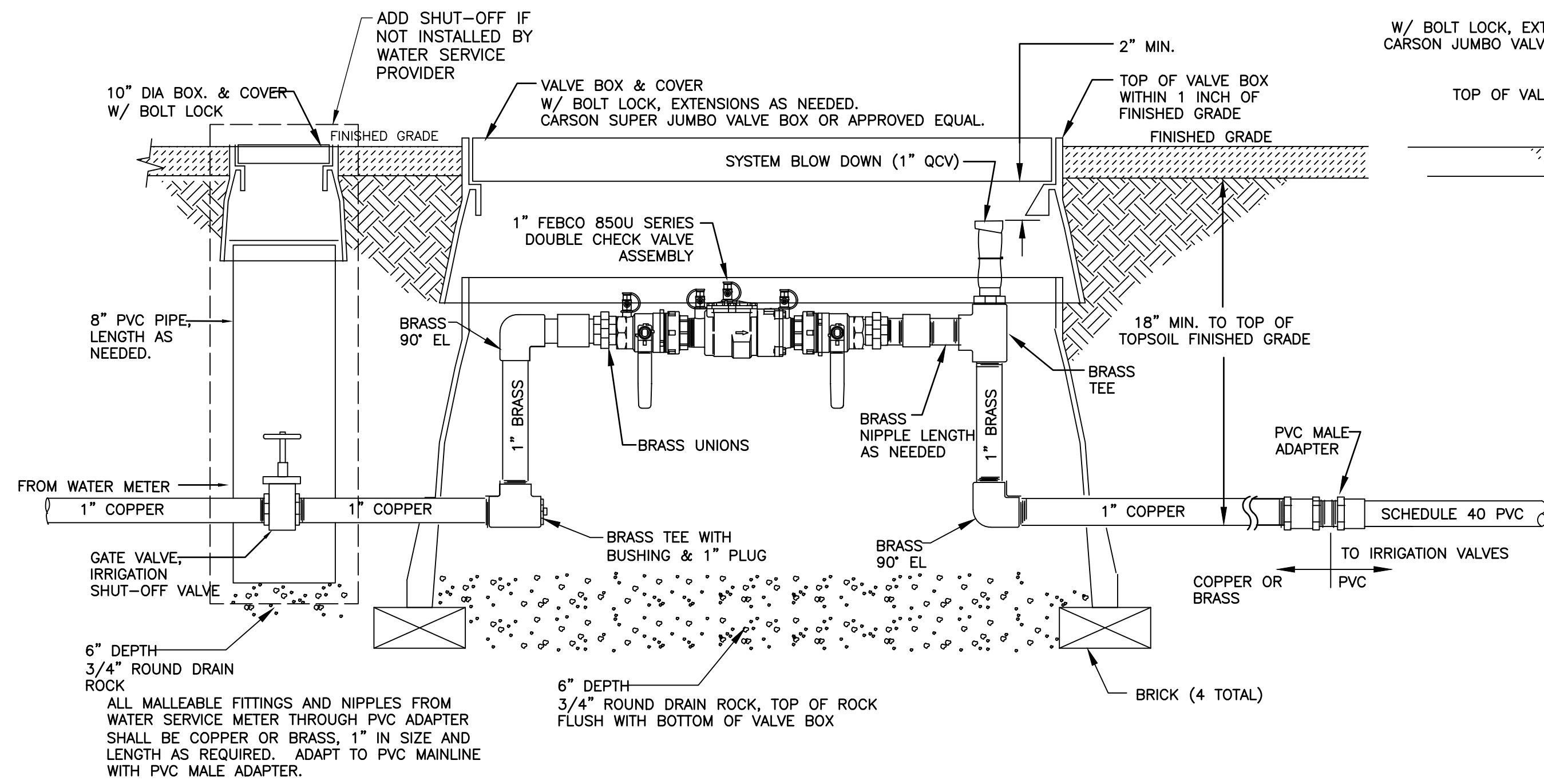
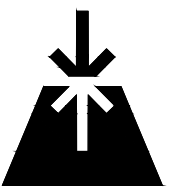
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## IRRIGATION DETAILS

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SHEET <u>L3.1</u> OF <u>21</u>	



[illegible]

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DWG NAME: IRRIGATION DETAILS	
SHEET <u>L3.2</u> OF <u>21</u>	

**From:** [Josh Kearns](#)  
**To:** [Tom Schauer](#)  
**Subject:** Street Trees  
**Date:** Tuesday, January 30, 2024 11:25:52 AM

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**This message originated outside of the City of McMinnville.**

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Tom,

I wanted to touch base with you to see if we can get street trees on the February LRC meeting agenda. I was part of developing the list of trees when I was on the committee and I have noticed something that we did not address the last time we amended the list. The goal of the list has to create a list of readily available, financially feasible, variation in sizes, and beautiful trees for the city of McMinnville. The problem that we created in the new list is that we didn't address the 2" caliper part of the list. Large faster growing trees are readily available and financially feasible, such as the Acer Rubrum. The issue is when you get to trees that fall into the ornamental category of trees, such as the acer palmatum and the cornus. These trees are much slower growing trees and nurseries do not hold onto them into the 2" caliper range making them not readily available or financially feasible. At 2" caliper an Acer rubrum has been in a nurseries hands for approximately 5 years to grow to this size. With a dogwood or Japanese maple they would have to hold onto them for between 15 and 20 years to reach the 2" cal. Size. Nurseries make these trees, when they do hold onto them that long, into Specimen trees and the price is overwhelming to be used as street trees and make more sense as single use specialty trees in Landscapes. These trees are ideal for beneath power lines due to their mature height growth but are not feasible sizes for street tree planting at this price point and size.

In the past smaller sizes of ornamental trees were accepted by the city as you can see on 1<sup>st</sup> street where we planted dogwoods in front of the Boho studio. Recently my palmatus at Stillwater were rejected due to not being 2" cal. So while the trees are ideal for their maturity height beneath power lines they are lacking in both availability and cost to be 2" caliper. As far as Stillwater goes I am doing my best to hunt all over the state to find replacements for the ones we planted but at best may only be able to find the in a 1.5" caliper and still pay a huge premium for the size. I do feel this is worth a discussion with the committee to decide on the viability of amending the size requirement when planting the ornamental tree varieties. I would love to sit in on that discussion and give my perspective if that is at all possible.

Thank You

*Josh Kearns*

**C and D Landscape Installation Co.  
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