



**Landscape Review Committee**  
**Hybrid In-Person & ZOOM Online Meeting**  
**Wednesday, December 17, 2025 - 12:00 PM**

*Please note that this meeting will be conducted in-person at the  
**McMinnville Community Development Center, 231 NE Fifth Street**, and via ZOOM.*

**Join ZOOM Meeting online via the following link:**

<https://mcminnvilleoregon.zoom.us/j/88138973805?pwd=dPNSRKB5dMDcGssb2682lKX3j3iMVq.1>

**Meeting ID: 881 3897 3805 Passcode: 766657**

**Or join ZOOM Meeting by phone via the following number: 1-669-444-9171**

<b>Committee Members</b>	<b>Agenda Items</b>
Jamie Fleckenstein, Chair	<b>1. Call to Order and Roll Call</b>
Brian Wicks, Vice Chair	<b>2. Minutes</b>
Carlton Davidson	<b>3. Citizen Comments</b>
Lee McCollins	<b>4. Action Items</b>
Eva Reutinger	A. <b>L 25-25:</b> Street Tree Plan and Landscape Plan Review for Dunn Place Planned Development, 235 NE Dunn Place, R4422CD 01700 ( <b>Exhibit 1</b> )
	B. <b>L 26-25:</b> Street Tree Plan and Landscape Plan Review for Hillcrest Subdivision Phase 9, Tax Lot R4524 00801 (no site address), ( <b>Exhibit 2</b> )
	<b>5. Committee Member Comments</b>
	<b>6. Staff Comments</b>
	<b>7. Adjournment</b>

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

\*Please note that these documents are also on the City's website, [www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov). You may also request a copy from the Planning Division.

## **EXHIBIT 1 - STAFF REPORT**

**DATE:** December 17, 2025  
**TO:** Landscape Review Committee Members  
**FROM:** Taylor Graybehl, Senior Planner  
**SUBJECT:** Landscape Plan Review Application L 25-25

### **STRATEGIC PRIORITY & GOAL:**



#### **GROWTH & DEVELOPMENT CHARACTER**

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

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### **Report in Brief:**

This proceeding is a review by the Landscape Review Committee (LRC) of an application for a street tree plan and landscape plan submitted by the applicant's representative Jason Flores, on behalf of Evergreen Court Townhomes, LLC. The application was submitted on November 18, 2025. The subject property is located at 235 NE Dunn Place, Tax Lot R4422CD 01700. ***See Figure 1.***

Staff has reviewed the application for consistency with the applicable criteria and recommends approval, subject to the conditions specified in the attached Decision Document.

### **Discussion:**

Please refer to the Decision Document for the conclusionary findings, additional maps, plans, and background information.

### ***Application Summary***

The application is for a street tree plan, and a landscape plan review for the open space tract, in for the Dunn Place Planned Development and Subdivision (PDA 1-23, S 1-23, TML 5-23). The applications are submitted to address the conditions of approval.

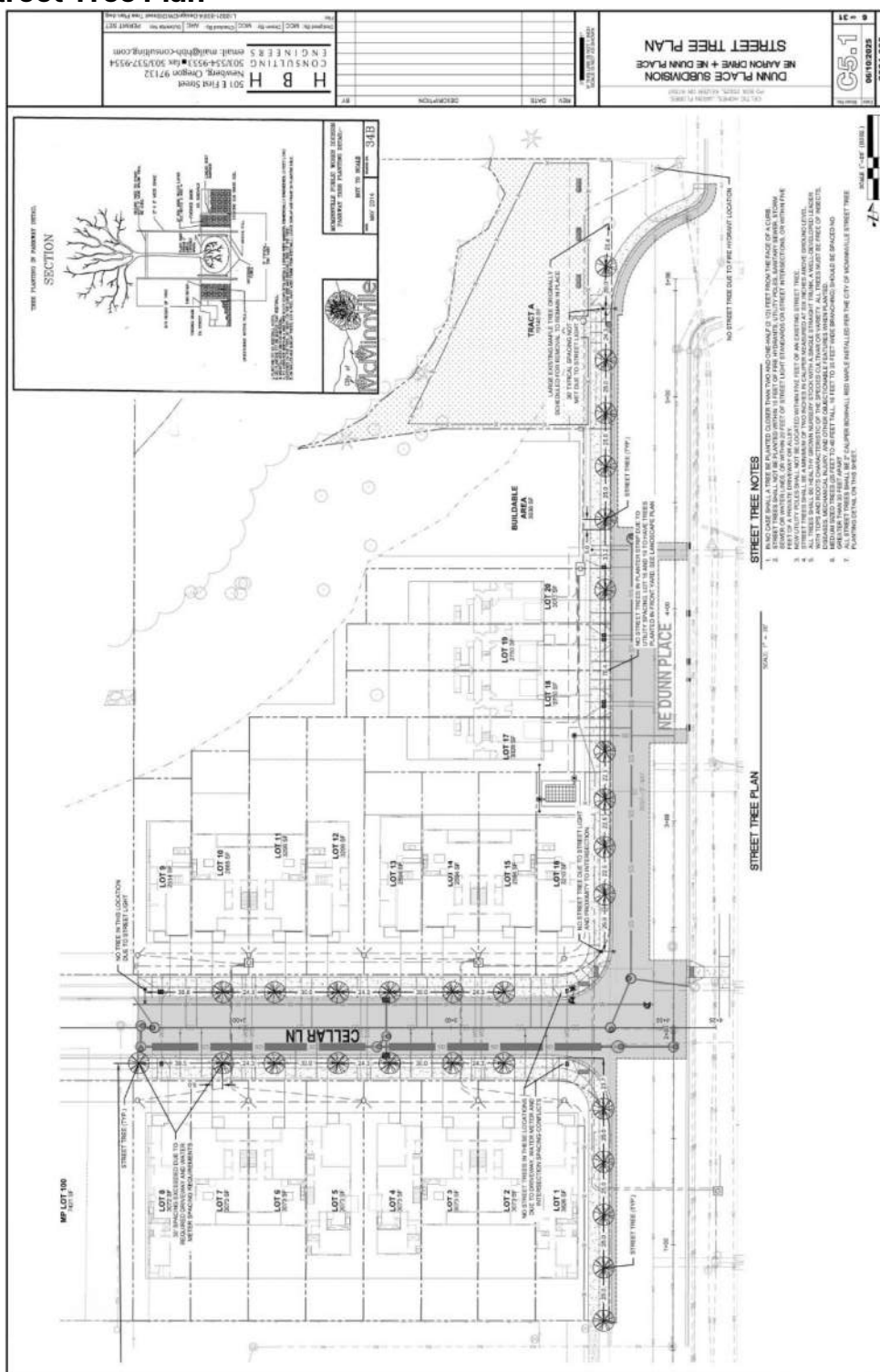
**Figure 1. Aerial Photo and Vicinity Map**



**Figure 2: Zoning Map**

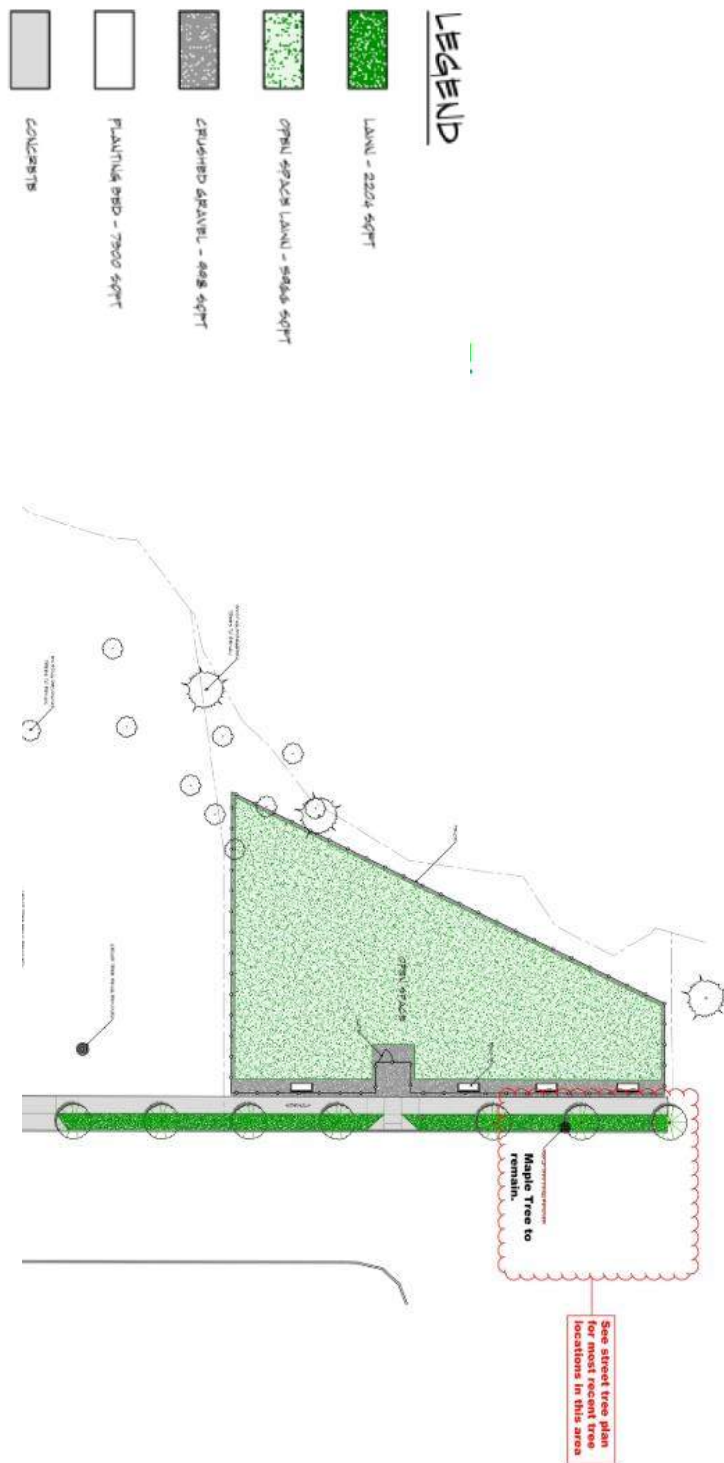


### Figure 3. Street Tree Plan



**Attachments:**  
*Attachment A – L 7-25 Decision Document*

**Figure 4. Landscape Plan (ENLARGED)**



### ***Review Process***

The application was submitted on November 18, 2025. The City of McMinnville did not provide public notice of the application, as Landscape Plan Review applications are reviewed by the process described in Chapter 17.57 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.

### ***Summary of Criteria and Issues***

Decisions and/or recommendations for approval of the application depend on whether the applications meet state regulations, the McMinnville Comprehensive Plan, and the McMinnville Municipal Code (MMC), and any specific conditions of approval of associated land use decisions. The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

Street Tree Plan applications are subject to Chapter 17.58. Landscape Plan Review applications are typically subject to Chapter 17.57 of the McMinnville Municipal Code (MMC). In this case, the landscape plan pertains to open space tracts within a subdivision and is subject to the conditions of approval of PDA 1-23, S 1-23, TML 5-23. Not all standards of Chapter 17.57 apply.

### **Attachments**

A. Decision Document with Attachments

### **Landscape Review Committee Options**

1. **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
2. **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
3. **CONTINUE** the application, requesting the applicant to submit more information or details for review.
4. **DENY** the application, providing findings of fact for the denial in the motion to deny.

### **Staff Recommendation:**

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied.

Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document.

### **Suggested Motion:**

**THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE LANDSCAPE**

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*Attachments:*

*Attachment A – L 7-25 Decision Document*

**PLAN REVIEW APPLICATION L 25-25 SUBJECT TO THE CONDITIONS SPECIFIED IN THE  
DECISION DOCUMENT**



**CITY OF MCMINNVILLE  
COMMUNITY DEVELOPMENT**

231 NE FIFTH STREET  
MCMINNVILLE, OR 97128  
503-434-7311

[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE  
APPROVAL OF A LANDSCAPE PLAN AND STREET TREE PLAN REVIEW FOR PROPERTY AT 235  
DUNN PLACE**

**DOCKET:** L 25-25 (Landscape Plan Review and Street Tree Plan)

**REQUEST:** Approval of street tree plan, and a landscape plan review of the open space tract in "Dunn Place" Planned Division Amendment, Subdivision, and Three Mile Lane Review (PDA 1-23, S 1-23, TML 5-23). The applications are submitted to address the conditions of approval.

**LOCATION:** 235 NE Dunn Place, Tax Lot R4422CD 01700

**ZONING/OVERLAY:** R-4 PD and F-P, Three Mile Lane Planned Development Overlay, Three Mile Lane Area Plan, Airport Overlay Zone

**APPLICANT:** Jason Flores, on behalf of Evergreen Court Townhomes, LLC

**STAFF:** Taylor Graybehl, Senior Planner

**DATE RECEIVED:** November 18, 2025

**DECISION-MAKING**

**BODY & ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.

**MEETING DATE**

**& LOCATION:** December 17, 2025, McMinnville Community Development Center, 231 NE 5<sup>th</sup> Street, and via Zoom online meeting

**PROCEDURE:** Landscape Plans and Street Tree Plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 for Landscape Plans (Plans-Submittal and review-Approval-Time limit for completion) and 17.58.100 for Street Tree Plans, of the McMinnville Zoning Ordinance.

**CRITERIA:** The applicable criteria that typically apply to a Landscape Plan Review are specified in Section 17.57.070 (Area Determination – Planning factors) of the McMinnville Zoning Ordinance; however, the landscape plan is for the open space tract in this phase of the subdivision and is subject to consistency with the conditions of approval for dockets PDA 1-23, S 1-23,

and TML 5-23. Street Trees Plans are reviewed for compliance with the street tree standards in Chapter 17.58.

**APPEAL:** The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.57.170 of the McMinnville Zoning Ordinance.

**COMMENTS:** This matter was referred to the following public agencies for comment: McMinnville Public Works and McMinnville Water and Light. Their comments are provided in this document. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

## DECISION

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the Landscape Plan (L 25-25) **subject to the conditions of approval provided in Section II of this document.**

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**DECISION: APPROVAL WITH CONDITIONS**

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Planning Staff: \_\_\_\_\_ Date: \_\_\_\_\_  
Taylor Graybehl, Senior Planner

Planning Department: \_\_\_\_\_ Date: \_\_\_\_\_  
David Berniker, Planning Manager

## I. APPLICATION SUMMARY:

### ***Subject Property***

The subject site is located at 235 NE Dunn Place, Tax Lot R4422CD 01700. ***See Figure 1 (Ariel/Vicinity Map).*** The property is zoned R-4 PD and F-P. ***See Figure 2 (Zoning Map).*** The property is also located within the Three Mile Lane Planned Development Overlay (Ordinance 4131/4572), within the boundary of the new Three Mile Lane Area Plan (adopted by Ordinance 5126). In 2024, the subject site had the following application(s) approved with conditions: PDA 1-23, S 1-23, and TML 5-23.

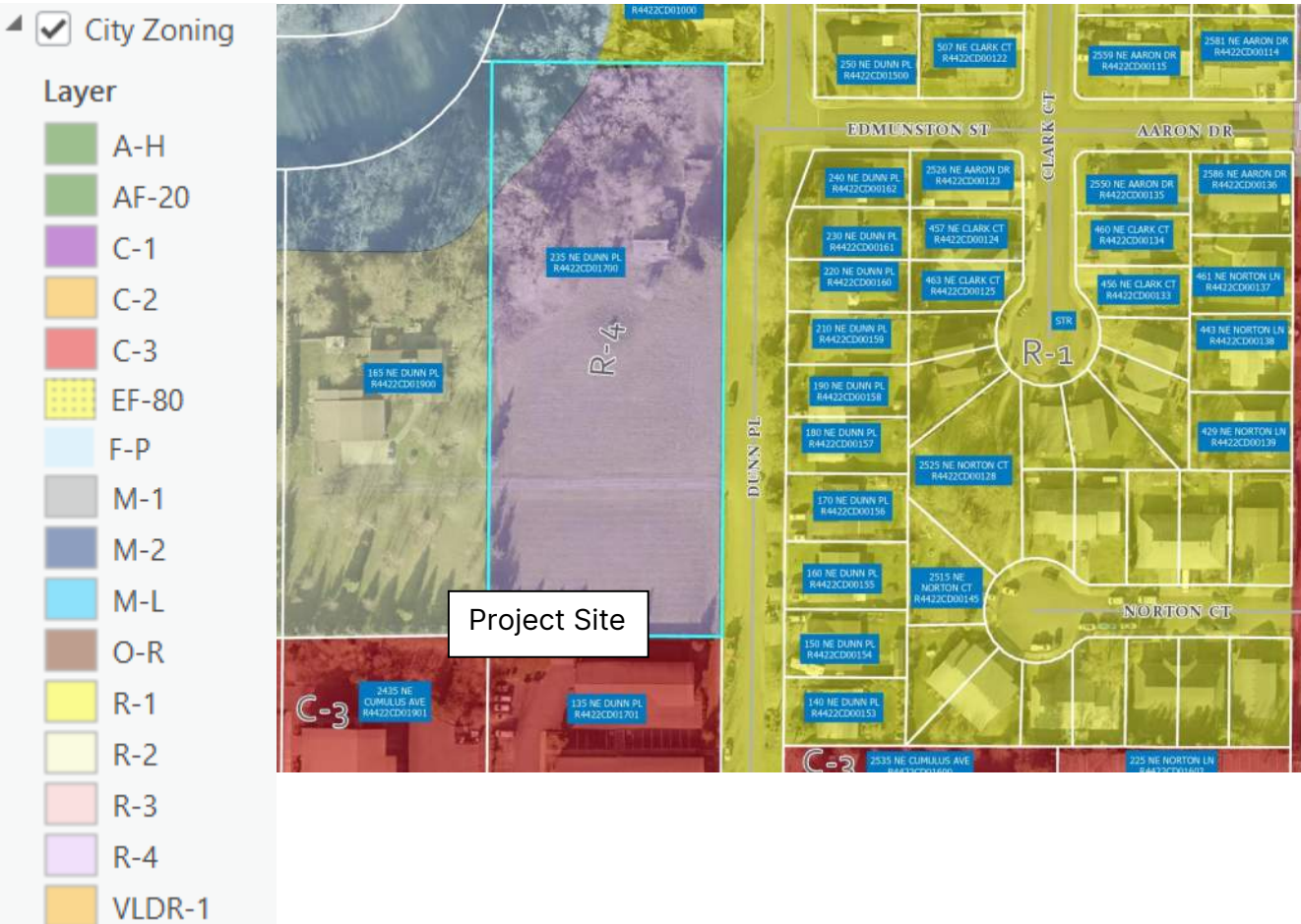
## Application

Approval of street tree plan (***see figure 3 Street Tree Plan***), and a landscape plan (***see figure 4 Landscape Plan***) review of the open space tract in “Dunn Place” Planned Division Amendment, Subdivision, and Three Mile Lane Review (PDA 1-23, S 1-23, TML 5-23). The applications are submitted to address the conditions of approval.

### Figure 1: Aerial Photo/Vicinity Map



Figure 2: Zoning Map



### Figure 3. Street Tree Plan

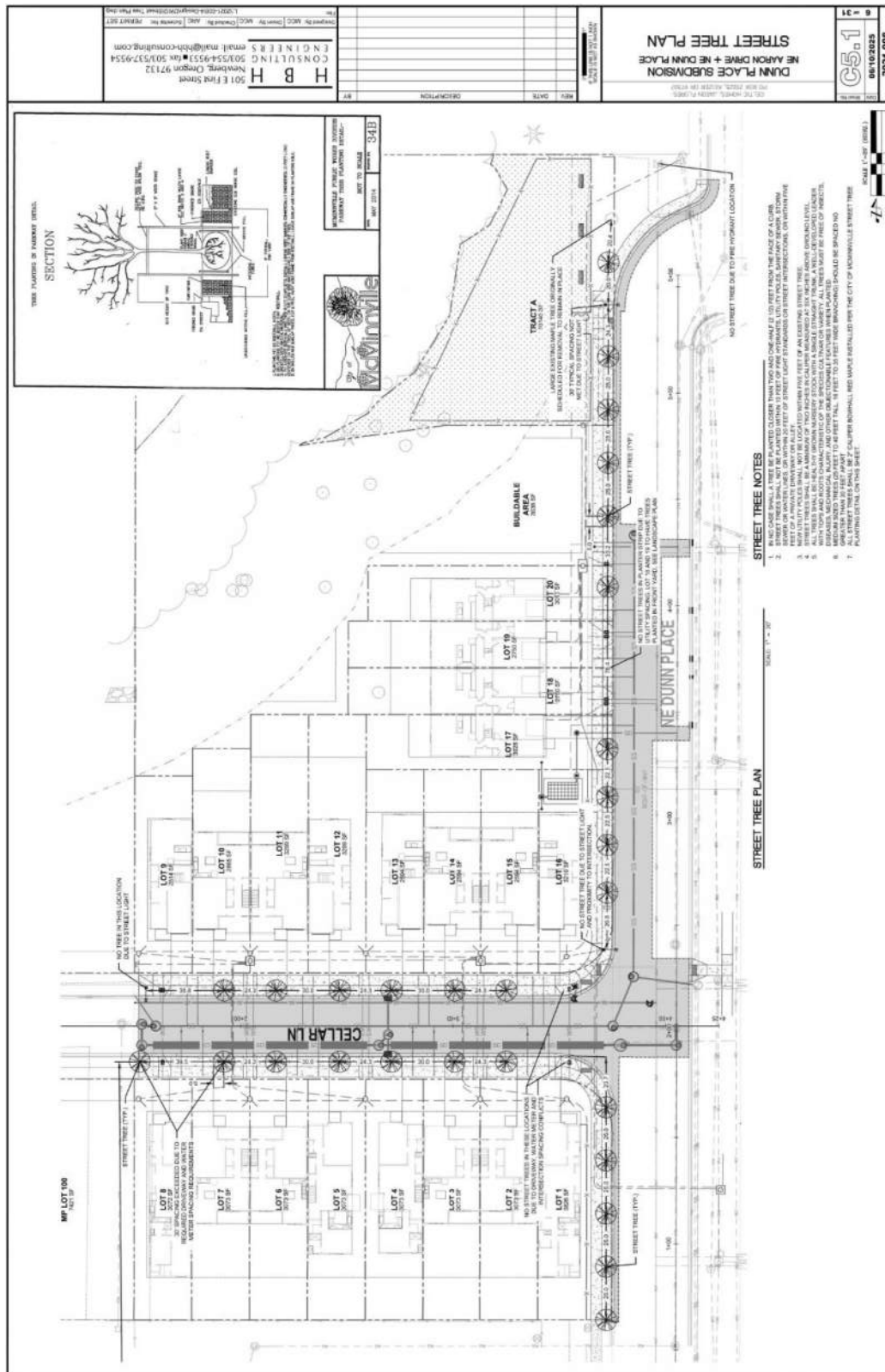
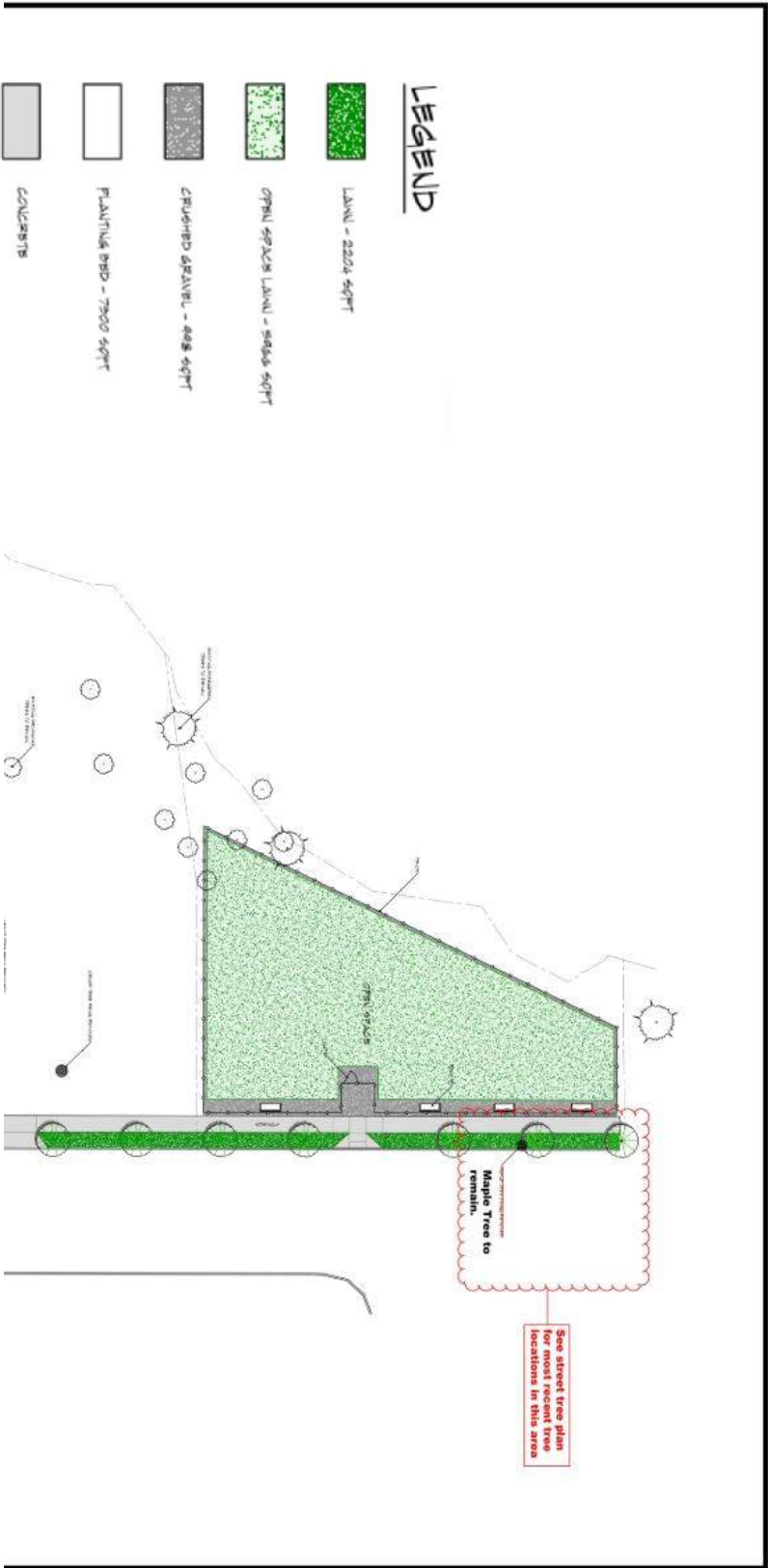


Figure 4. Landscape Plan (ENLARGED)



***Summary of Criteria***

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

The street tree plan is subject to the standards in Chapter 17.58. For the landscape plan, since this is for an open space tract in a subdivision, some of the provisions of 17.57 don't apply, while certain conditions of approval for the Planned Development, Subdivision, and Three Mile Lane Review apply.

**II. CONDITIONS:**

1. Prior to final plat, the applicant shall submit and receive approval of a revised landscape plan and street tree plan in compliance with the conditions of approval. (PDA 1-23, COA #8)
2. Any proposed modifications to the landscape plan shall be indicated and specified on the landscape plan and agreed to in writing by the applicant prior to final plat. (MMC 17.57.050(C))
3. Prior to final plat, all Tract A landscaping and street trees shall be installed or security in place, in accordance with condition of approval #36 of S 1-23.
4. Prior to the issuance of a final plat or return of security, landscaping shall be inspected by the Planning Director and designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan or street tree plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))
5. Prior to final plat, the applicant shall submit a revised landscape plan in conformance with MMC 17.57.060 with the following revisions:
  - a. Match the street configuration of the approved plans for Dunn Place.
6. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement in compliance with MMC 17.57.070(C).
7. Prior to final plat, the applicant shall submit a revised street tree plan with the tree species changed to one identified as "large" from the McMinnville Street Tree List, where trees are spaced more than 30 feet from a neighboring tree. Those trees to be revised include those in front of lot(s): 2, 7, 8, 10, 15, 16 (nearest to the corner), 17, 20, and the tree in front of the "buildable area" that is identified 33.2 feet away from the tree on lot 20.
8. Street trees shall be continually maintained for one full growing season following planting by the developer or property owner, including necessary watering, weeding, pruning, and replacement. (MMC 17.58.120(A))

9. Street trees shall be maintained in perpetuity, and if they must be replaced, they shall be maintained by the adjacent property owner or developer with a tree of a species from the McMinnville Street Tree list. (MMC 17.58.120(B))
10. Street trees shall be maintained continually per MMC 17.58.120(D):
  - a. This includes necessary watering, weeding, pruning, and replacement.
  - b. Street trees shall be pruned with at least
    - i. Eight (8) feet of clearance above sidewalks and
    - ii. Thirteen (13) feet of clearance above the abutting streets.
  - c. A permit shall be obtained prior to the removal or major pruning (removal of 20 percent of the tree canopy, tree topping, or disturbance of 10 percent of the root system) of any street tree.
11. Prior to final plat, the applicant shall submit a revised landscape plan that provides at least four of the options provided in MMC 17.11.110(C)(4).
12. Prior to final plat, the applicant shall submit a revised landscape plan designed to meet Policies 5, 7, and 20 of the Three Mile Lane Area Plan (Ordinance No. 5126).

### **III. ATTACHMENTS:**

1. (L 25-25) Application and Attachments (on file with the Planning Department)

### **IV. COMMENTS:**

#### ***Agency Comments***

This matter was referred to the following public agencies for comment: McMinnville Public Works and McMinnville Water and Light.

The following comments were received:

#### McMinnville Water and Light

MW&L has the following comments:

Water: This landscape plan matches what was agreed upon when drafting the water clearances. It is approved.

Electric: No Comments

#### ***Public Comments***

No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance which does not require public notification. No public comments were received prior to the Planning Director's decision.

### **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

1. The application was received on November 18, 2025. Based on that date, the application is subject to a 30-day review timeframe of December 18, 2025.

2. Notice of the application was referred to the following public agencies for comment on December 1, 2025: McMinnville Public Works and McMinnville Water and Light. Comments received from public agencies are addressed in the Decision Document.
3. No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
4. A public meeting was held by the Landscape Review Committee on December 17, 2025 to review the application and proposed landscape plan.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

1. **Location:** 235 NE Dunn Place, Tax Lot R4422CD 01700
2. **Size:** The lot is approximately 2.83 acres
3. **Comprehensive Plan Map Designation:** Commercial, Floodplain
4. **Zoning:** R-4 PD and F-P
5. **Overlay Zones/Special Districts:** Three Mile Lane Planned Development Overlay, Three Mile Lane Area Plan, Airport Overlay Zone
6. **Current Use:** Undeveloped
7. **Inventoried Significant Resources:**
  - a. **Historic Resources:** None
  - b. **Other:** None
8. **Other Features:**
  - a. **Natural Features:** The majority of the site is generally level. The northwest corner of the parcel is within the floodplain and contains a portion of the Yamhill River and riverbank, sloping steeply down to the river. That portion of the site is substantially covered with trees.
  - b. **Easements:** There is an existing 12' wide public utility easement and sidewalk easement along the Dunn Place frontage. (Instrument #2004-16131 and Partition Plat 2004-33) and a 30' wide access and utility easement corresponding to the location of the existing driveways (Instrument #2002-01501)
9. **Utilities:** Utilities are available to the property, and extensions will be necessary in conjunction with the proposed development.
10. **Transportation:** The subject property has frontage on NE Dunn Place. A new east-west street (NE Marjorie Lane) is proposed, connecting to NE Dunn Place. Dunn Place is functionally classified as a Local Street in the Transportation Systems Plan.

## **VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable planning factors for a Landscape Plan Review are specified in Section 17.57.070 of the Zoning Ordinance. The applicable standards for Street Trees are specified in Section 17.58.090 of the Zoning Ordinance.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed

request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated but are to be undertaken in relation to all applicable land use requests.

***Comprehensive Plan Volume II:***

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

***GOAL VI 1:*** *TO ENCOURAGE DEVELOPMENT OF A TRANSPORTATION SYSTEM THAT PROVIDES FOR THE COORDINATED MOVEMENT OF PEOPLE AND FREIGHT IN A SAFE AND EFFICIENT MANNER.*

*111.00 The City of McMinnville shall encourage the screening of developments within the core area that are adjacent to the rail lines. Screening could include landscaping, noise barriers, fencing, or other measures.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The subject site is not adjacent to a rail line.

***GOAL X 1:*** *TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.*

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

***Conditions of Approval for PDA 1-23 and S 1-23***

**PDA 1-23**

*8. Prior to subdivision final plat, submit a Street Tree Plan and a Landscape Plan for Tract A for review by the Landscape Review Committee. The landscape plan for Tract A shall be*

*consistent with the provisions of 17,11.110(C)(3) and (4) relative to the buildable area of the property and consistent with the Three Mile Lane Area Plan Policies.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #1.** The Landscape Plan for Tract A and the Street Tree Plan are both under review as part of this application. The applicant must comply with all associated conditions of approval prior to the submittal of the final plat.

**CONDITION OF APPROVAL #1:** Prior to final plat, the applicant shall submit and receive approval of a revised landscape plan and street tree plan in compliance with the conditions of approval. (PDA 1-23, COA #8)

**S 1-23**

*22. Street tree locations to be confirmed following utility and frontage improvement design. Location of utilities and street light shall be coordinated to maximize space available for street tree planting locations without utility and streetlight conflicts.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The proposed configuration of street trees, utilities, and frontage improvement design has been coordinated to maximize the number of street trees without conflict.

*36. Prior to final plat, all Tract A landscaping and street trees shall be installed or security in place.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #3:** Condition of approval #36 of S 1-23 establishes that Tract A landscaping and street trees shall be installed or security in place, prior to final plat.

Therefore, as a condition of approval, landscaping shall be completed prior to final plat rather than occupancy, or security provided prior to final plat, with landscaping to be completed within 6 months of final plat.

**CONDITION OF APPROVAL #3:** Prior to final plat, all Tract A landscaping and street trees shall be installed or security in place, in accordance with condition of approval #36 of S 1-23.

***McMinnville Zoning Ordinance***

The following Sections of the McMinnville Zoning Ordinance provide criteria applicable to the request:

**Chapter 17.57 Landscaping**

**17.57.010 Purpose and intent.** *The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:*

- A. *Provide guidelines and standards that will:*
  - 1. *Reduce soil erosion and the volume and rate of discharge of storm water runoff.*
  - 2. *Aid in energy conservation by shading structures from energy losses caused by weather and wind.*
  - 3. *Mitigate the loss of natural resources.*
  - 4. *Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
  - 5. *Create safe, attractively landscaped areas adjacent to public streets.*
  - 6. *Require the planting of street trees along the City's rights-of-way.*
  - 7. *Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.*
  - 8. *Provide shade, and seasonal color.*
  - 9. *Reduce glare, noise and heat.*
- B. *Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.*
- C. *Unify development and enhance and define public and private places.*
- D. *Preserve existing mature trees.*
- E. *Enhance the urban forest and tree canopy.*
- F. *Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.*
- G. *Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.*
- H. *Support McMinnville as a community that cares about its appearance.*

*It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.*

*The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Subject to conditions of approval detailed below, the proposed landscape plan is consistent with the purpose of this chapter.

**17.57.030 Zones where required.** *Landscaping shall be required in the following zones except as otherwise noted:*

- A. R-4 (Multiple-Family Residential zone, except the construction of a Single-Family or Two-Family Residential unit);*
- B. C-1 (Neighborhood Business zone);*
- C. C-2 (Travel Commercial zone);*
- D. C-3 (General Commercial zone);*
- E. O-R (Office/Residential zone);*
- F. M-L (Limited Light Industrial zone);*
- G. M-1 (Light Industrial zone);*
- H. M-2 (General Industrial zone).*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The landscape plan application is for the private open space tract. The above provisions wouldn't require a landscape plan for the residential development. However, the property is within a residential Planned Development (PDA 1-23). Condition #8 specifies:

- 8. Prior to subdivision final plat, submit a Street Tree Plan and a Landscape Plan for Tract A for review by the Landscape Review Committee. The landscape plan for Tract A shall be consistent with the provisions of 17.11.110(C)(3) and (4) relative to the buildable area of the property and consistent with the Three Mile Lane Area Plan Policies.

Therefore, the Landscape Plan for Tract A is required.

**17.57.040 Specific Uses Requiring Landscaping.**

- A. Churches, subject to the landscaping requirements of a multiple-dwelling development when in a residential zone and subject to the landscaping requirements of a commercial development when in a zone other than residential;*
- B. Utility substations, subject to the landscaping requirements of commercial uses.*
- C. Mobile home park, subject to the requirements of a multiple-dwelling development;*
- D. Multiple-dwelling, commercial, and industrial uses in residential planned developments, subject to the landscaping requirements of the type of use in the planned development.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED/APPLICABLE.** The landscape plan application is for the private open space tract. The above provisions wouldn't require a landscape plan for the residential development. However, the property is within a residential Planned Development (PDA 1-23). Condition #8 specifies:

- 8. Prior to subdivision final plat, submit a Street Tree Plan and a Landscape Plan for Tract A for review by the Landscape Review Committee. The landscape

plan for Tract A shall be consistent with the provisions of 17.11.110(C)(3) and (4) relative to the buildable area of the property and consistent with the Three Mile Lane Area Plan Policies.

Therefore, the Landscape Plan for Tract A is required.

**17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.**

**17.57.050(A).** *At the time the applicant applies for a building permit, they shall submit, for the Landscape Review Committee, two copies of a landscaping and plot plan. If the plot plan and landscaping plan are separate documents, two copies of each shall be submitted. These may be submitted to the Building Department to be forwarded to the Planning Department.*

1. *No building permit shall be issued until the landscaping plan has been approved.*
2. *The landscaping plan may be used as the plot plan required for a building permit, provided all information required for a building permit is provided;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #1.** The landscape plan application is for the private open space tract, not a building permit. Condition of approval #8 for the residential Planned Development (PDA 1-23) requires the submittal of a landscape plan for review by the Landscape Review Committee prior to final plat. As a condition of approval, the applicant shall provide a revised landscape plan consistent with the conditions of approval prior to submittal of final plat.

**CONDITION OF APPROVAL #1:** Prior to final plat, the applicant shall submit and receive approval of a revised landscape plan and street tree plan in compliance with the conditions of approval. (PDA 1-23, COA #8)

**17.57.050(B).** *Landscaping review shall occur within 30 (thirty) days of submission of the plans. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action to be taken on the plans. A failure to review within 30 (thirty) days shall be considered as approval of the plan;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The application and fee were received on November 18, 2025. Within 30 days of submission, the Landscape Review Committee met and heard on the proposal on December 17, 2025. The applicant was notified of the time and place of review.

**17.57.050(C).** *The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #2.** The proposed conditions of approval make the landscape plan compatible with this chapter's purpose, intent, and requirements. The applicant is required to submit a revised landscape plan for review and approval prior to final plat. If the applicant seeks modification of the approved landscape plan it must be agreed to in writing prior to the issuance of a building permit.

**CONDITION OF APPROVAL #2:** Any proposed modifications to the landscape plan shall be indicated and specified on the landscape plan and agreed to in writing by the applicant prior to final plat. (MMC 17.57.050(C))

**17.57.050(D).** *Occupancy permits may be issued prior to the complete installation of all required landscaping if security equal to 120 percent of the cost of landscaping, as determined by the Planning Director is filed with the City assuring such installation within a time specified by the Planning Director, but not to exceed six months after occupancy. The applicant shall provide the estimates of landscaping materials and installation to the satisfaction of the Planning Director prior to approval of the security. "Security" may consist of a faithful performance bond payable to the City, cash, certified check, time certificate of deposit, or assignment of a savings account, and the form shall meet with the approval of the City Attorney. If the installation of the landscaping is not completed within the period specified by the Planning Director, or within an extension of time authorized by the Landscape Review Committee, the security may be used by the City to complete the installation. Upon completion of the installation, inspection, and approval, any portion of the remaining security deposited with the City shall be returned. The final landscape inspection shall be made prior to any security being returned. Any portions of the plan not installed, not installed properly, or not properly maintained shall cause the final inspection and/or approval to be postponed until the project is completed or cause the security to be used by the City;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #3.** This landscape plan for the private open space tract pertains to a subdivision rather than a building permit. Condition of approval #36 of S 1-23 establishes that Tract A landscaping and street trees shall be installed or security in place, prior to final plat.

*36. Prior to final plat, all Tract A landscaping and street trees shall be installed or security in place.*

Therefore, as a condition of approval, landscaping shall be completed prior to final plat rather than occupancy, or security provided prior to final plat, with landscaping to be completed within 6 months of final plat.

**CONDITION OF APPROVAL #3:** Prior to final plat, all Tract A landscaping and street trees shall be installed or security in place, in accordance with condition of approval #36 of S 1-23.

**17.57.050(E).** *All completed landscape projects shall be inspected by the Planning Director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed,*

*as determined by the Planning Director or their designee, as long as they do not alter the character and aesthetics of the original plan.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #4.** As stated above, this landscape plan is for the private open space tract, not for a building permit. Landscaping shall be installed or secured prior to final plat. Issuance of final plat or return of security requires the inspection of the landscape project by the Planning Director or their designee which finds the landscaping in compliance with the approved plans. Minor changes in the landscape plan shall be allowed by the Planning Director or their designee in some cases.

**CONDITION OF APPROVAL #4:** Prior to the issuance of a final plat or return of security, landscaping shall be inspected by the Planning Director and designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan or street tree plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))

**17.57.060 Plans** - Information to be Included. The following information shall be included in the plans submitted under Section 17.57.050:

- A. Existing locations of trees over six inches in diameter, their variety (common or botanical name) and indication of whether they are to remain or to be removed from the site. In the event a large number of trees are to be retained and if no construction or construction access is required through or within the rip line of the trees, the general area with the number of trees involved may be given in lieu of listing and locating each tree;
- B. The location in which new plantings will be made and the variety (common or botanical name), and size of all new trees, shrubs, groundcover and lawns;
- C. The percentage of the gross area to be landscaped;
- D. Any equipment proposed for recreation uses;
- E. All existing and proposed site features including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, raised planters, or other open spaces so that the review committee may be fully knowledgeable of the project when discussing the application;
- F. The location of watering facilities or irrigation systems, or construction notes on the landscape plan detailing the type of watering facilities or irrigation systems that will be installed;
- G. All of the information on the plot plan for the building permit.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #5.**

- A. **Satisfied:** The applicant has identified the location of trees on-site. Two (2) trees have been identified in close proximity to the open space. Both trees are identified as remaining.
- B. **Satisfied:** The location and variety of new plantings have been identified. The area is to be planted as a lawn.
- C. **Not Applicable:** This provision doesn't apply to this landscape plan. Instead, the minimum open space area requirements of MMC 17.11.110 apply.

- D. **Satisfied:** Benches are indicated within the open space.
- E. **Satisfied:** The applicant proposes an open space enclosed by a fence. The open space is primarily lawn, with four benches, accessible via crushed gravel from a gate adjacent to the street.
- F. **Satisfied:** The irrigation plan provided indicates Rainbird spray heads to provide watering to the proposed lawn.
- G. **Satisfied with Condition:** The plans street configuration does not match that of the Street Tree Plan. Plans will need to be revised to match the proposed street configuration.

**CONDITION OF APPROVAL #5:** Prior to final plat, the applicant shall submit a revised landscape plan in conformance with MMC 17.57.060 with the following revisions:

- a. Match the street configuration of the approved plans for Dunn Place.

**17.57.070 Area Determination – Planning Factors.**

**17.57.070(A).** *Landscaping shall be accomplished within the following ranges:*

1. *Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*
2. *Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*
3. *Multiple-dwelling, twenty-five percent of the gross area. This may be reduced to not less than fifteen percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*
4. *A parking lot or parking structure built in any zone providing parking spaces as required by the zoning ordinance shall be landscaped in accordance with the commercial requirements set forth above in subsection 2 of this section.*
5. *Any addition to or expansion of an existing structure or parking lot which results in additional lot coverage shall be landscaped as follows: Divide the amount of additional lot coverage (building area, not including basement or upper floors, plus required parking and loading zones) by the amount of the existing lot coverage (building area, not including basement or upper floors, plus required parking and loading zones), multiply by the percentage of landscaping required in the zone, multiply by the total lot area of both the original development and the addition; however, the total amount of the landscaping shall not exceed the requirements set forth in this subsection.*

- a. ALC (additional  
lot coverage)      **X** % of landscaping      **X**      Total lot area  
ELC (Existing  
Lot Coverage)      required

- b. *Landscaping to be installed on an addition or expansion may be spread over the entire site (original and addition or expansion projects) with the approval of the review committee;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** This provision doesn't apply to this landscape plan. Instead, the minimum open space area requirements of MMC 17.11.110 apply. The proposed multi-phase planned development and subdivision were found to comply with the area requirements for the phases in total. There is no parking lot proposed as part of the open space tracts.

**17.57.070(B).** *The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:*

**17.57.070(B)(1).** *Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The proposed uses of the open space tract are consistent with the Planned Development, Subdivision, and Three Mile Lane approvals, subject to the conditions of approval.

**17.57.070(B)(2).** *Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The proposed uses of the open space tract are consistent with the Planned Development, Subdivision, and Three Mile Lane approvals, subject to the conditions of approval.

**17.57.070(B)(3).** *The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The applicant proposes to retain all trees on Tract A and maintain the existing grade.

**17.57.070(B)(4).** *The development and use of islands and plantings therein to break up parking areas.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** No parking areas are proposed.

**17.57.070(B)(5).** *The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** No parking areas are proposed.

**17.57.070(B)(6).** *Suitable watering facilities or irrigation systems must be included in or near all planted areas.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The landscape plans indicated new lawn areas to be irrigated by spray heads.

**17.57.070(C).** *All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #6.** This is a requirement of the Zoning Ordinance and has also been incorporated as a condition of approval.

**CONDITION OF APPROVAL #6:** All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement in compliance with MMC 17.57.070(C).

### **Chapter 17.58 Trees**

**17.58.010 Purpose.** *The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant is subject to the standards of Chapter 17.58 including the purpose statement. The proposed conditions of approval bring the project into compliance with this section.

**17.58.080 Street Tree Planting—When Required.** All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.

**APPLICANT'S RESPONSE:** None.

**FINDING: APPLICABLE.** This is an application for a street tree plan for Dunn Place Subdivision and was required as a condition of approval for the subdivision. Therefore, as required by this section, a street tree plan per MMC 17.58.100 is required and is subject to the standards of MMC 17.58.090.

**17.58.090 Street Tree Standards.**

**17.58.090(A).** The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The proposed street tree plans include species identified from the McMinnville Street Tree list. The applicant has proposed 30 Bowhall Red Maple.

**17.58.090(B).** Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well- developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

**APPLICANT'S RESPONSE:** See plans, notes #4, 5, 7.

**FINDING: SATISFIED.** The applicant's plan indicates street trees shall be a minimum of 2" caliper and of health and shape in conformance with this criterion (see notes #4, 5, 7).

**17.58.090(C).** Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. Within commercial and industrial development staggered, or irregular spacing is permitted, as may be approved by the McMinnville Landscape Review Committee. When planting replacement trees within the Downtown Tree Zone, consideration shall be given to the height of adjacent buildings.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #7.** The proposed plans do not comply with the established minimum spacing requirements. The Applicant has proposed planting Bowhall Red Maple, which is identified as “medium” in size and should therefore be no more than 30 feet apart. However, in some locations, there are more than 30 feet between trees due in part to required utility spacing and other buffer requirements established in MMC 17.58.090(C). In those cases where street trees are located more than 30 feet apart, a “large” tree is required.

**CONDITION OF APPROVAL #7:** Prior to final plat, the applicant shall submit a revised street tree plan with the tree species changed to one identified as “large” from the McMinnville Street Tree List, where trees are spaced more than 30 feet from a neighboring tree. Those trees to be revised include those in front of lot(s): 2, 7, 8, 10, 15, 16 (nearest to the corner), 17, 20, and the tree in front of the “buildable area” that is identified 33.2 feet away from the tree on lot 20.

**17.58.090(D).** *Except as provided in this Section, street trees shall be planted within a curbside planter strip or tree wells consistent with the applicable standards and dimensions of the City’s adopted Complete Street standards, with the street trees centered between back of curb and front of sidewalk. However, where a street with sidewalk was previously constructed to a different standard, the Manager may authorize deviation to the street tree planting standards, with street trees planted in a narrower planter strip or behind the sidewalk. Except when authorized by the Manager, street trees shall not be planted within a curbside landscape strip narrower than four (4) feet in width between the sidewalk and curb. When nonconforming conditions do not allow for trees to be planted in tree wells or planter strips along major collector or arterial streets per the adopted Complete Street standards, street trees adjacent to major collector streets or arterial streets shall be placed a minimum of five (5) feet from the back edge of the sidewalk. Except when authorized by the Director, a street tree shall not be planted closer than two and one-half (2 1/2) feet from the face of a curb. These standards may be superseded by design drawings and specifications as periodically developed and adopted by the City.*

**APPLICANT’S RESPONSE:** See plans note #1.

**FINDING: SATISFIED.** Proposed plans and note #1 comply with these standards.

**17.58.090(E).** *Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.*

**APPLICANT’S RESPONSE:** See plans note #2 & 3 and other notes.

**FINDING: SATISFIED.** The applicant’s plan demonstrates compliance with these separation requirements.

**17.58.090(F).** *Existing street trees shall be retained unless approved by the Planning Director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Planning Director to save existing street trees. Any street tree removed through demolition or construction within*

*the street right-of-way, or as approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.*

**APPLICANT RESPONSE:** None.

**FINDING: STATISIFIED.** There are no existing street trees to be retained.

**17.58.100 Street Tree Plans**

**17.58.100(A)(1).** *Subdivisions and Partitions: Street tree planting plans shall be submitted to the Landscape Review Committee for review and approval prior to the filing of a final subdivision or partition plat.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The street tree plan fulfills this requirement.

**17.58.100(A)(2).** *Commercial, Industrial, Parking Lots, and Multi-dwelling Residential Development: Landscape plans, to include street tree planting as may be required by this ordinance, shall be submitted to the Landscape Review Committee for review and approval prior to the issuance of a building permit.*

**APPLICANT'S RESPONSE:** None.

**FINDING: NOT APPLICABLE.**

**17.58.110 Street Tree Planting**

**17.58.110(A).** *Residential subdivisions and partitions.*

*1. Planting Schedule: Street trees required of residential subdivisions and partitions shall be installed prior to submittal of a final subdivision plat or partition plat. As an alternative the applicant may file a surety bond or other approved security to assure the planting of the required street trees, as prescribed in Section 17.53.153.*

**APPLICANT'S RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #3.** As a condition of approval, street trees shall be installed, or financial surety shall be provided consistent with condition of approval #36 of S 1-23.

**CONDITION OF APPROVAL #3:** Prior to final plat, all Tract A landscaping and street trees shall be installed or security in place, in accordance with condition of approval #36 of S 1-23.

**17.58.120 Street Tree Maintenance.**

- A. *Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.*
- B. *Street tree plans, or landscape plans including street trees, shall be maintained in perpetuity. In the event that a street tree must be replaced, the adjacent property owner or developer shall plant a replacement tree of a species from the approved street tree or landscape plan.*
- C. *Maintenance of street trees, other than those located in the Downtown Tree Zone shall be the continuing obligation of the abutting property owner. The City shall undertake regular maintenance of street trees within the Downtown Tree Zone in accordance with appropriate horticultural practices including pruning and fertilizing to properly maintain the health of such trees.*
- D. *Street trees, as they grow, shall be pruned to provide at least eight (8) feet of clearance above sidewalks and thirteen (13) feet above local streets, fifteen (15) feet above collector streets, and eighteen (18) feet above arterial streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the City. Major pruning, as defined in Section 17.58.020, of a street tree must be approved by the City in accordance with Section 17.58.040.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS OF APPROVAL #8 TO #10.** This is an applicable code requirement. In addition, a condition of approval has been included to ensure that the street trees are continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner for one full growing season following planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.

**CONDITION OF APPROVAL #8.** Street trees shall be continually maintained for one full growing season following planting by the developer or property owner, including necessary watering, weeding, pruning, and replacement. (MMC 17.58.120(A))

**CONDITION OF APPROVAL #9.** Street trees shall be maintained in perpetuity, and if they must be replaced, they shall be maintained by the adjacent property owner or developer with a tree of a species from the McMinnville Street Tree list. (MMC 17.58.120(B))

**CONDITION OF APPROVAL #10.** Street trees shall be maintained continually per MMC 17.58.120(D):

- a. This includes necessary watering, weeding, pruning, and replacement.
- b. Street trees shall be pruned with at least
  - i. Eight (8) feet of clearance above sidewalks and
  - ii. Thirteen (13) feet of clearance above the abutting streets.
- c. A permit shall be obtained prior to the removal or major pruning (removal of 20 percent of the tree canopy, tree topping, or disturbance of 10 percent of the root system) of any street tree.

#### **Chapter 17.54. General Provisions**

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The installation of landscaping is subject to standards found within Chapter 17.54 General Provisions, including Section 17.54.080 Clear Vision Area. As proposed, no plant exceeds the maximum permitted height within the clear vision area.

**Chapter 17.11 Residential Design and Development Standards**

**17.11.110. Planned Development Residential Design and Development Standards.**

...

C. Required Elements, Common Open Space. All Residential Planned Developments over four units shall meet the fundamental and supplemental requirements for Common Open Space.

...

3. Fundamental Requirements.

- a. A common open space shall be provided that is centrally located and designed with a clear function that enhances the livability of residents in the planned development. These functions shall include passive and active uses. The open space shall be accessible to all residents and if possible be fronted by clearly defined unit entrances. The common open space shall serve as the focus of surrounding buildings. Entries and windows shall face the common open space to provide informal surveillance. Common open space shall be accessible to all residents.
- b. Common open space shall be a minimum of 15 percent of the planned development. Passive open space shall not be more than 5 percent of the planned development.
- c. When vehicular areas are located between dwellings and common open space, clearly defined pathways shall be provided to enhance pedestrian safety.
- d. Pathway surface shall be clearly marked and differentiated from the vehicular area with paint or alternative paving material.
- e. Common open space shall have a minimum dimension of 20 feet at the narrowest part.
- f. Walkways are required between dwellings and common open space.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** Tract A was identified as the location for common open space as part of approval PDA 1-23, S 1-2, TML 5-23. The proposed common open space location is within Tract A in compliance with the approval.

4. Supplemental Requirements. Provide at least four of the options listed below.

- a. Provide opportunities for formal and informal recreational use by residents of all ages. This could be a shared recreational facility including sport fields, play structure, bike track, courts, swimming pool, or other options.
- b. Provide tall deciduous trees for summer shade and winter solar access. When possible, preserve and incorporate large existing trees at least 9 inches in diameter as a focal point of open spaces.
- c. Enhance the usability of the space through the inclusion of elements including seating, outdoor lighting, weather protection and/or shade structures, and art, among other features.
- d. Incorporate landscaping that receives at least 50 percent of its irrigation from harvested rainwater.
- e. Provide opportunities for food cultivation. Include a community garden and/or incorporate cultivated species into the landscaping.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #11.** The applicant has proposed a common open space tract enclosed by a fence, primarily lawn, with four benches accessed by a gravel path. The open spaces do not provide opportunities for formal recreational use in conformance with subsection (a). Trees are proposed to remain along the southeast corner of the Tract, but otherwise, tall deciduous trees have not been provided, and the project does not meet subsection (b). Four seating elements (benches) have been proposed, but no outdoor light, weather protection, or other features have been implemented, and the project does not meet subsection (c). The applicant has not identified how the project will comply with the harvested rainwater requirement of subsection (d). The plans do not provide opportunities for food cultivation as required by subsection (e). The applicant will be required to submit a revised landscape plan that demonstrates compliance with the MMC 17.11.110(C)(4) by providing at least four of the options provided within.

**CONDITION OF APPROVAL #11:** Prior to final plat, the applicant shall submit a revised landscape plan that provides at least four of the options provided in MMC 17.11.110(C)(4).

#### **Chapter 17.52. Airport Overlay Zone**

...

**17.52.030 General Restrictions.** *No use in the Airport Overlay Zone shall:*

- A. *Create electrical interference with navigational signals or radio communication between the airport and aircraft; or*
- B. *Otherwise endanger or interfere with the landing, takeoff, or maneuvering of aircraft intending to use the airport.*

...

**17.52.060 Horizontal Zone Restrictions.** *The following uses are prohibited in the Horizontal Zone:*

*Any structure which exceeds a height greater than 309 feet above MSL except that a structure may be constructed to a vertical height no greater than 35 feet above the ground in the Eola Hills.*

...

**FINDING (Chapter 17.52): SATISFIED.** The subject property is within the Airport Overlay Zone, which is comprised of several sub-areas. The subject property is within the Horizontal Zone. 17.52.030, General Restrictions, and 17.52.060, Horizontal Zone Restrictions, apply to the subject property.

The general restrictions of the Airport Overlay Zone will continue to be applicable to the property and the operation of the use since it is located within the Airport Overlay Zone. There is nothing related to the residential use or development that is expected to create electrical interference or otherwise endanger or interfere with the landing, takeoff, or maneuvering of aircraft intending to use the airport.

The proposed structures will not exceed a height greater than 309 feet above mean sea level (MSL). The published airport elevation is 163 above MSL, so a building exceeding 309 feet above MSL would be approximately 146 feet tall.

#### ***Three Mile Lane Area Plan <sup>1</sup>(Ordinance No. 5126)***

<sup>1</sup>[https://www.mcminnvilleoregon.gov/sites/default/files/fileattachments/planning/page/23174/ordinance\\_no\\_5126\\_-\\_exhibit\\_a\\_-\\_3mlap\\_area\\_plan\\_document\\_-\\_final\\_november\\_8\\_2022.pdf](https://www.mcminnvilleoregon.gov/sites/default/files/fileattachments/planning/page/23174/ordinance_no_5126_-_exhibit_a_-_3mlap_area_plan_document_-_final_november_8_2022.pdf)

**Policies.** *The following policies shall guide development and future planning decisions in the Three Mile Lane area. These policies implement the Three Mile Lane Area Plan goals and describe how Great Neighborhood Principles are expected to be expressed in the future growth and development of the Three Mile Lane Area.*

- Policy 5. New gathering spaces will be designed to incorporate natural areas and views.
- Policy 7. Require native landscape plantings with seasonal variation and tree plantings that include shade streets with mature tree canopy.
- Policy 20. Encourage site design and architecture that visibly convey the historic or current industry on the site (e.g., aviation, winemaking).

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #12.** The above policies apply to the project. As the applicant will be required to redesign the common open space to comply with standards, they will need to ensure compliance with those policies. The common open space shall be designed to incorporate natural areas and views (Policy 5), with native landscaping (Policy 7), and with features (benches, lights, trash receptacles, etc.) that visibly convey aviation/winemaking (Policy 20).

**CONDITION OF APPROVAL #12:** Prior to final plat, the applicant shall submit a revised landscape plan designed to meet Policies 5, 7, and 20 of the Three Mile Lane Area Plan (Ordinance No. 5126).

**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128

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## Landscape Plan Review Application

**Applicant Information**
**Applicant is:** ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other \_\_\_\_\_
Applicant Name **Jason Flores** Phone **503-580-6422**
 Contact Name \_\_\_\_\_ Phone \_\_\_\_\_  
*(If different than above)*
Address **PO Box 20025**City, State, Zip **Keizer, OR 97307**Contact Email **jason@celticbulthomes.com****Property Owner Information**
 Property Owner Name **Evergreen Court Townhomes LLC** Phone \_\_\_\_\_  
*(If different than above)*
Contact Name **Jason Flores** Phone **503-580-6422**Address **PO Box 20025**City, State, Zip **Keizer, OR 97307**Contact Email **jason@celticbulthomes.com****Site Location and Description***(If metes and bounds description, indicate on separate sheet)*Property Address **235 NE Dunn Place, Taxlot 1700**Assessor Map No. **SEC22 R4W T4S SW1/4 SE1/4** Total Site Area **2.83 Acres**Subdivision **Dunn Place Subdivision** Block \_\_\_\_\_ Lot **1700**Comprehensive Plan Designation **Residential** Zoning Designation **R4**

### Landscaping Information

1. Total Landscaped Area: **87,650 SF**
2. Percent Landscaped: **71%**
3. Building Floor Area:  
New Structure: \_\_\_\_\_ Existing Structure: \_\_\_\_\_ Addition: \_\_\_\_\_
4. Architect Name **HBH Consulting Engineers** Phone **503-554-9553**  
(Landscape Architect; Engineer; or Other Designer)  
Contact Name **Micah Cisneros** Phone \_\_\_\_\_  
Address **501 E First St.**  
City, State, Zip **Newberg, Oregon 97132**  
Contact Email **mcisneros@hbh-consulting.com**

In addition to this completed application, the applicant must provide the following:

- ☐ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- ☐ Payment of the applicable review fee, which can be found on the Planning Department web page.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date

10/2/2025

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date

10/2/2025







## EXHIBIT 2 - STAFF REPORT

**DATE:** December 17, 2025  
**TO:** Landscape Review Committee Members  
**FROM:** Tom Schauer, Senior Planner  
**SUBJECT:** Landscape Plan Review and Street Tree Plan Application L 26-25, Hillcrest Phase 9

### STRATEGIC PRIORITY & GOAL:



#### GROWTH & DEVELOPMENT CHARACTER

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

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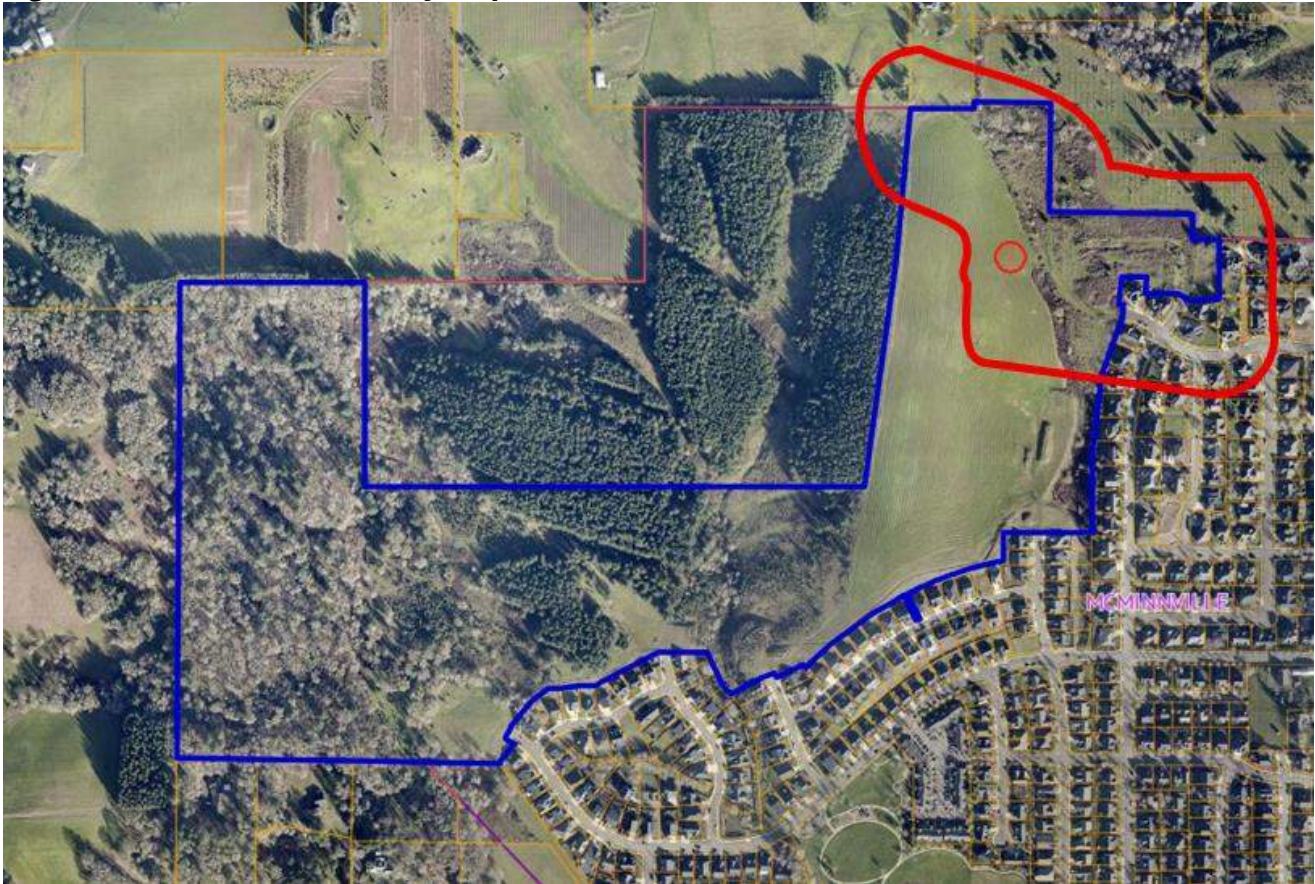
### Report in Brief:

This proceeding is a review by the Landscape Review Committee (LRC) of an application for a street tree plan and landscape plan for Hillcrest Phase 9 submitted by the applicant's representative Maggie Gordon, AKS Engineering & Forestry, LLC on behalf of applicant and property owner Holt Holdings, LLC, c/o Beau Roberts. The landscape plan application is for Tracts H, I, and J, which are to be privately owned and maintained by a Homeowner's Association. Tract H is a proposed stormwater facility, Tract I is a proposed dog park, and Tract J is a proposed neighborhood park. These reviews are to address a condition of approval of the land use decisions for the Hillcrest Planned Development and Subdivision applications, PDA 1-24 and S 3-24.

The application was submitted on November 21, 2025. (The civil plan submitted to the Engineering Division for Phase 9 plan review also included these sheets). The application must be reviewed by the Landscape Review Committee within 30 days. The subject property is a portion of tax lot R4524 00801. It is a vacant property and doesn't currently have an assigned site address. Phases 7 and 8 are currently in process of constructing public improvements.

The aerial photo/vicinity map is provided in this staff report. **(Figure 1)**. Please refer to the attached decision document for more detailed background information and exhibits, including reduced copies of the applicant's landscape plan and street tree plans. Please refer to the attached application materials for high resolution pdfs of the applicant's landscape plan and street tree plan sheets.

**Figure 1. Aerial Photo / Vicinity Map**



**Note 1:** Standard landscape plans are now subject to staff review, but street tree plans still require review by the Landscape Review Committee. Therefore, a consolidated review provides for review of both applications by the Landscape Review Committee. A code amendment is in process to make standard street tree plans subject to staff review, but that ordinance is not yet adopted or in effect.

**Note 2:** Part of the landscape plan includes “green” stormwater management facilities, and is subject to review by the Engineering Division.

### **Background and Discussion:**

Please refer to the Decision Document for a more detailed background and discussion of this application and the detailed findings.

### **Review Process**

This application was referred to McMinnville Public Works, McMinnville Engineering, and McMinnville Water & Light for agency comment. Comments received from agencies are provided in the attached decision document.

---

#### **Attachments:**

Attachment A – L 26-25 Decision Document and Attachments

The procedure for review of these applications doesn't include mailed notification to surrounding property owners. Therefore, no mailed notice was provided, and no public comments were received prior to the Landscape Review Committee meeting.

### ***Summary of Criteria and Issues***

Decisions and/or recommendations for approval of the application depend on whether the applications meet state regulations, the McMinnville Comprehensive Plan, and the McMinnville Municipal Code (MMC), and any specific conditions of approval of associated land use decisions. The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

Street Tree Plan applications are subject to Chapter 17.58. Landscape Plan Review applications are typically subject to Chapter 17.57 of the McMinnville Municipal Code (MMC). In this case, the landscape plan pertains to open space tracts within a subdivision and is subject to the conditions of approval of PDA 1-24 and S 3-24. Not all standards of Chapter 17.57 apply. The attached decision document summarizes the key issues and provides detailed findings regarding the applicable criteria.

Key issues addressed in the decision document, findings, and conditions include:

- Need to use the City's current standard drawing for street tree installation.
- Need to specify street trees which are 2" caliper per City standard rather than 1.5" caliper as proposed in the applicant's submittal.
- In some locations, specified trees are small/narrow trees that are substantially spaced farther apart than specified in City standards.

### **Attachments**

A. Decision Document with Attachments

### **Landscape Review Committee Options**

1. **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
2. **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
3. **CONTINUE** the application, requesting the applicant to submit more information or details for review.
4. **DENY** the application, providing findings of fact for the denial in the motion to deny.

### **Staff Recommendation:**

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied.

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*Attachments:*

*Attachment A – L 26-25 Decision Document and Attachments*

Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document.

**Suggested Motion:**

**BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE LANDSCAPE PLAN REVIEW APPLICATION AND STREET TREE PLAN APPLICATION (DOCKET L 26-25) SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT**



**CITY OF MCMINNVILLE**  
**COMMUNITY DEVELOPMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128  
503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE APPROVAL OF A STREET TREE PLAN AND LANDSCAPE PLAN REVIEW FOR A PORTION OF TAX LOT R4524 00801 (NO SITE ADDRESS ASSIGNED) FOR PHASE 9 OF THE HILLCREST PLANNED DEVELOPMENT AND SUBDIVISION**

**DOCKET:** L 26-25 (Street Tree Plan and Landscape Plan Review)

**REQUEST:** Application for a street tree plan, and a landscape plan review for the open space tracts, in Hillcrest Phase 9, one of the phases approved for the Hillcrest Planned Development and Subdivision (Dockets PDA 1-24 and S 3-24). The applications are submitted to address the conditions of approval.

**LOCATION:** Tax Lot R4524 00801

**ZONING/Overlay:** R-2 PD

**APPLICANT:** Applicant's representative Maggie Gordon, AKS Engineering & Forestry, LLC on behalf of applicant and property owner Holt Holdings, LLC, c/o Beau Roberts

**STAFF:** Tom Schauer, Senior Planner

**DATE RECEIVED:** November 21, 2025

**DECISION-MAKING BODY & ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.

**MEETING DATE & LOCATION:** December 17, 2025, McMinnville Community Development Center, 231 NE 5<sup>th</sup> Street, and via Zoom online meeting

**PROCEDURE:** Landscape Plans and Street Tree Plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 for Landscape Plans (Plans-Submittal and review-Approval-Time limit for completion) and 17.58.100 for Street Tree Plans, of the McMinnville Zoning Ordinance.

**CRITERIA:** The applicable criteria that typically apply to a Landscape Plan Review are specified in Section 17.57.070 (Area Determination – Planning factors) of the McMinnville Zoning Ordinance; however, the landscape plan is for the open space tract in this phase of the subdivision and is subject to consistency with the conditions of approval for dockets PDA 1-24 and S 3-

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## **I. APPLICATION SUMMARY:**

### ***Subject Property***

The application is for a street tree plan, and a landscape plan review for the open space tracts, in Hillcrest Phase 9, one of the phases approved for the Hillcrest Planned Development and Subdivision (Dockets PDA 1-24 and S 3-24). The applications are submitted to address the conditions of approval.

This application for a street tree plan and landscape plan was submitted by the applicant's representative Maggie Gordon, AKS Engineering & Forestry, LLC on behalf of applicant and property owner Holt Holdings, LLC, c/o Beau Roberts. The application was submitted on November 21, 2025. The subject property is a portion of tax lot R4524 00801. It is a vacant property and doesn't currently have an assigned site address. It is zoned R-2 PD. Phases 7 and 8 are currently under construction. ***See Figure 1 for Aerial Photo and Vicinity Map. See Figure 2 for Zoning Map. See Figure 3 for approximate Phase 9 location.***

***Figure 1. Aerial Photo and Vicinity Map***

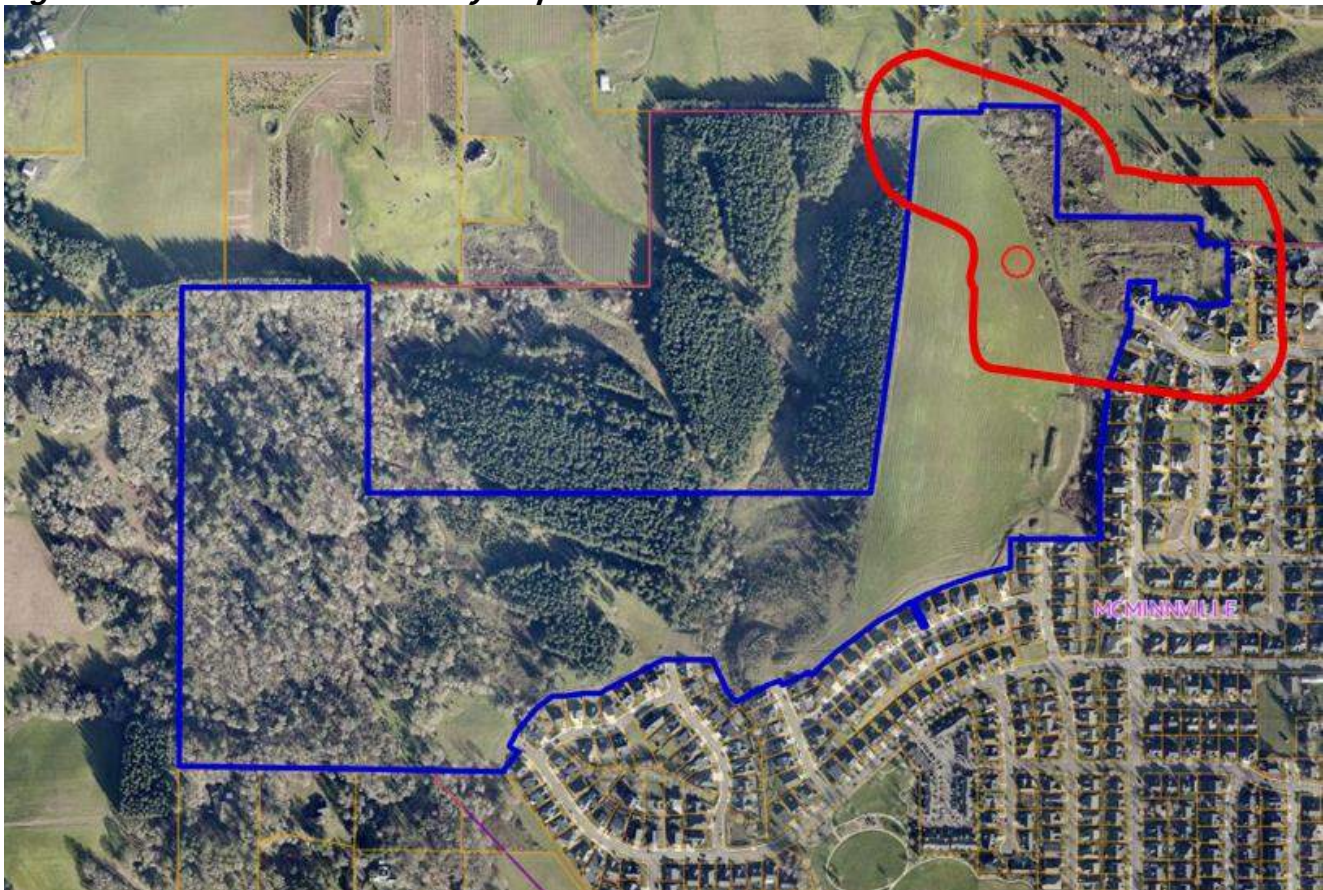


Figure 2. Zoning Map

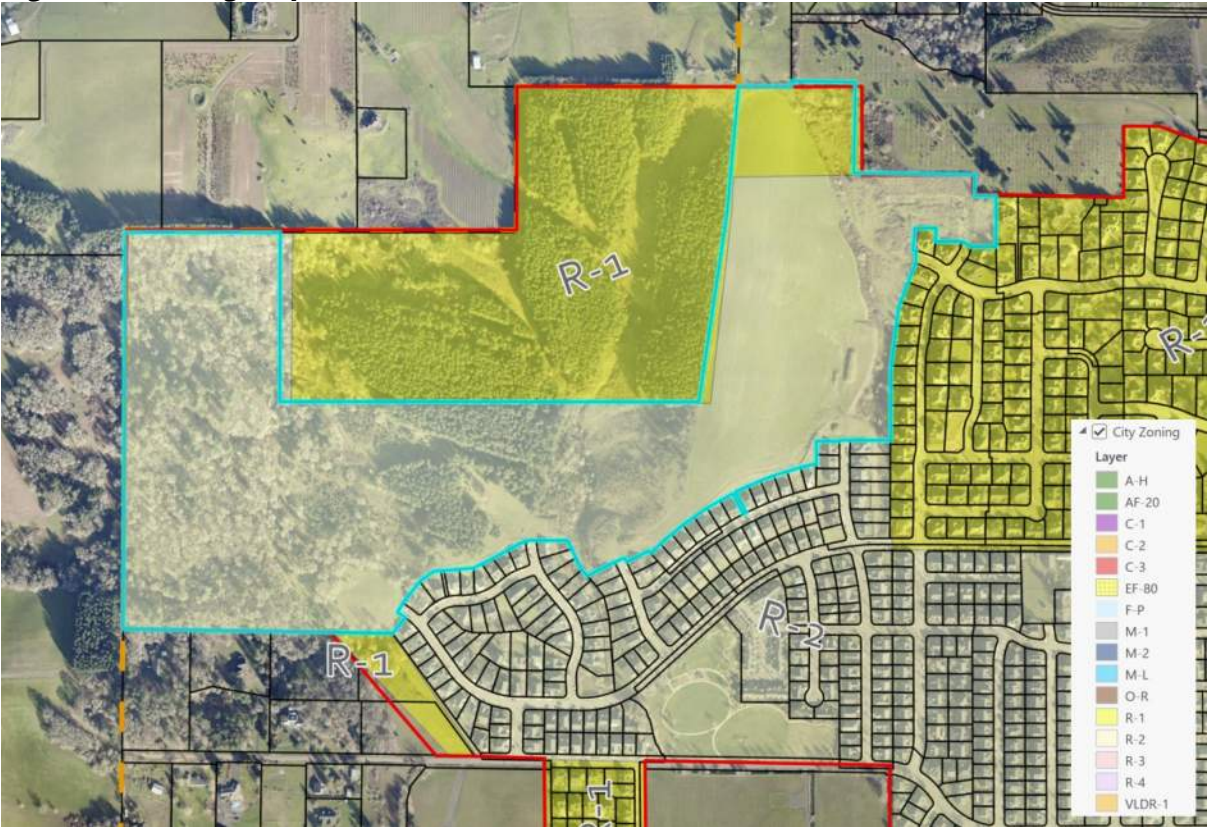
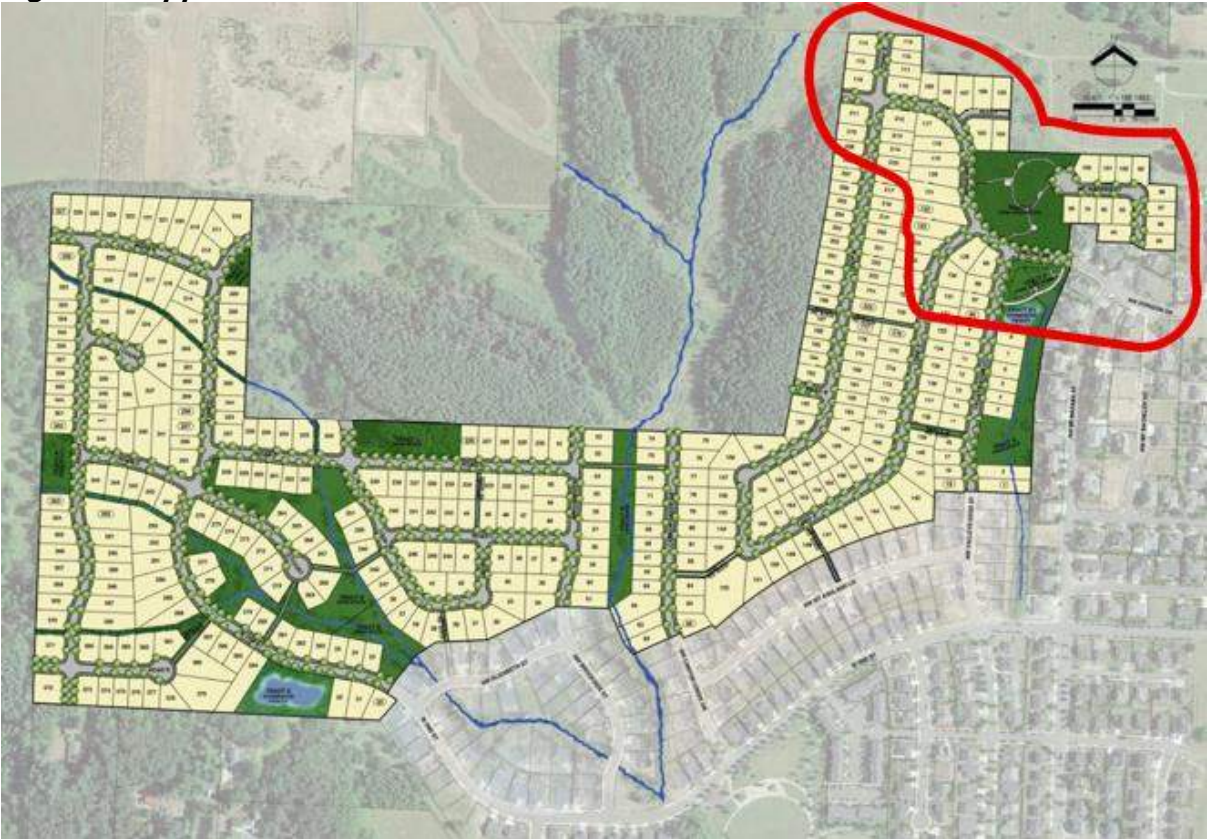
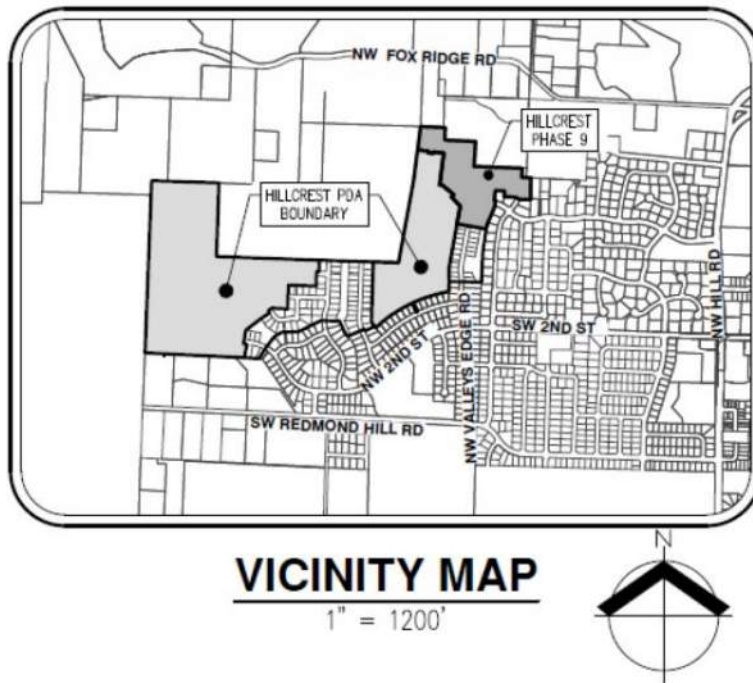


Figure 3. Approximate Phase 9 Location

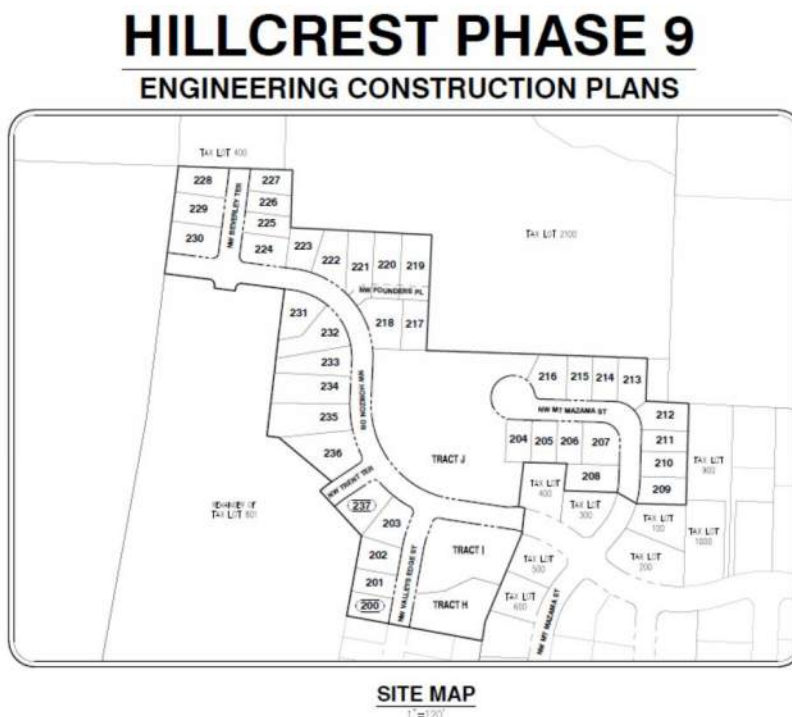


**Figure 4** provides a Vicinity Map that shows Phase 9 relative to Phases 7 and 8 and the remainder of the Hillcrest area corresponding to Phases 10 and later. **Figure 5** provides a site map for Phase 9.

**Figure 4. Vicinity Map - Phases**



**Figure 5. Phase 9 Site Map**



**Figure 6** provides an overview map of the street tree plan and landscape plan for Phase 9.

**Figure 6. Overview Map - Phase 9 Street Tree Plan and Landscape Plan Site Map**

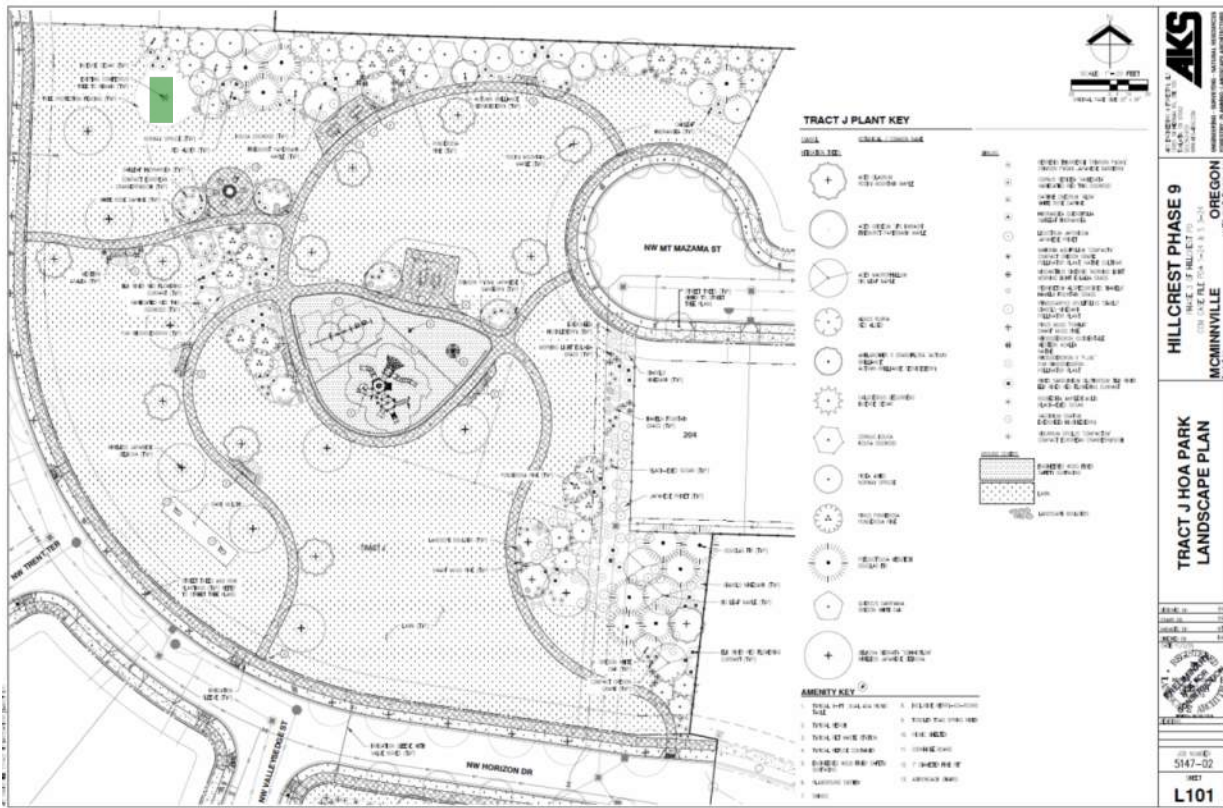


### **Landscape Plan**

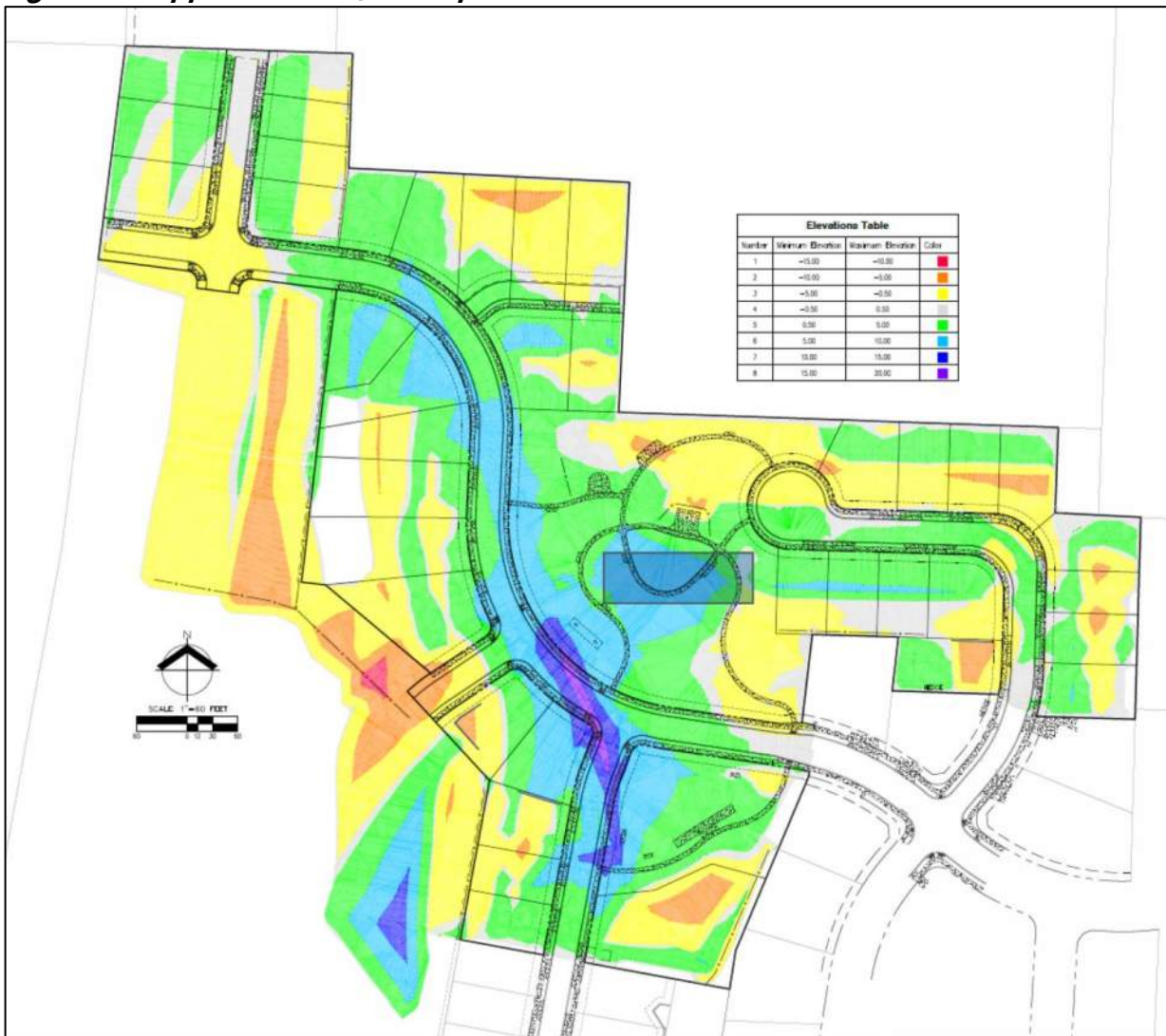
The landscape plan application is for Tracts H, I, and J, which are to be privately owned and maintained by a Homeowner's Association. Tract H is a proposed stormwater facility, Tract I is a proposed dog park, and Tract J is a proposed park, which at approximately 2.5 acres, would generally be classified as a pocket park or small neighborhood park based on size and amenities. **See Figures 7a-c** for landscape plan, **7d** for proposed tree retention/removal map tree, and **7e** for cut/fill map. **Please see attached application for full resolution pdfs.**

[illegible][illegible]

Figure 7c. Applicant's Landscape Plan for Open Space Tract J (park)



**Figure 7e. Applicant's Cut/Fill Map**



The land use decision includes conditions of approval that specify mitigation of trees removed within all of the development phases. The Landscape Review Committee doesn't need to review mitigation issues associated with the landscape plans, which will be conducted by staff for compliance with the conditions. The following context is provided for information only.

There are significantly fewer existing trees within Phase 9 than some phases. With their civil plan set, the applicant provided their tree retention/removal plan for Phase 9. Staff has included excerpts below. The applicant has also submitted a cut/fill map with this application.

Within the area of the open space tracts, there are three existing trees, all within Tract J: two 6" deciduous trees to be removed and a 14" conifer to be retained. The trees to be removed are closer to the right-of-way where more extensive cut and fill will occur. The 14" conifer is located where there won't be significant cut/fill, so the tree and surrounding area can be protected from disturbance.

There are no existing trees within Tracts H and I. There are trees on abutting properties with trunks near the property lines of the three tracts, and the tree removal/retention plan

shows tree protection measures within the tracts where the dripline/root zone of the trees on abutting parcels may extend into these tracts.

The landscape plan also shows planting of new trees in the tract that would include 100 trees of 1.5" caliper in Tract J (Sheets L101 and L102) and 60 new trees of 1.5" caliper in Tracts H and I (labeled as Tract I on Sheet L103). Sheet L105 shows the planting plan for the portion of Tract H within the fenced stormwater facility, which includes an additional 16 trees of 1.5" caliper.

In summary, the landscape plan for the open space tracts in Phase 9 provides the following:

- **Tract H: Stormwater Tract.** The landscape plan for this tract is partially provided on **Sheets L101 and L102** for the portion outside the fenced stormwater facility and on **Sheet L105** for the portion within the fenced stormwater facility. This is a tract for a "green" stormwater management facility. The design of the facility itself is reviewed by the Engineering Division to ensure it meets performance standards for stormwater management. This tract doesn't include public access. The stormwater facility is fenced, and has a maintenance access near the south side near a gate into the facility. The facility generally has trees planted around the perimeter, and there are shrubs and grasses south of the maintenance access point where it abuts a lot to the south.
- **Tract I: Dog Park Tract.** This tract provides a fenced dog park at the southeast corner of the intersection. It is generally characterized by shrubs and tree plantings around the perimeter of the fenced area. The groundcover within the fenced area is proposed to be lawn with some trees also within the fenced area. A walkway generally runs along the southerly border of the dog park providing an additional pedestrian connection between the two cross streets. South of the walkway is an area planted in lawn and a row of trees that generally separates the dog park from the stormwater facility.
- **Tract J: Park Tract.** This tract is located north and east of Horizon Drive and at the terminus of other streets. It includes pedestrian connections from the end of the cul-de-sac through the park to locations near other street intersections and/or pedestrian facilities/parks across Horizon Drive. This tract includes walking loops with more centrally located amenities in different "zones": playground equipment within a wood fiber-surfaced area, bench seating by the playground equipment and in other distributed locations near treed areas and open lawn, a covered picnic shelter with picnic tables, uncovered picnic tables near a treed area, and a fire pit surrounded with Adirondack seating. This tract includes open lawn and an area for cornhole games. More heavily treed areas are proposed abutting properties to the north and east including sloped areas. Flowers, shrubs and grasses are proposed over utilities where trees could pose conflicts along the east side.

In aggregate, all of the private open space tracts in Phases 7 and later are required to meet condition #20 of PDA 1-24. Tracts I and J meet a portion of this requirement:

20. Prior to start of construction of the first phase, the applicant shall submit an application for a landscape plan review to the Planning Division that provides detailed plans for the specific design and amenities for the open space tracts consistent with the facilities described in the application which shall demonstrate compliance with the MMC 17.11.110.

For the open space tracts, the developer shall provide a landscape plan identifying all of the landscaping and amenities planned for both the active and passive open space tracts that would be appropriate for serving approximately 1,200 people, including playground equipment, shelters, lighting, signage, benches, tables, landscaping and any other amenities planned. The active open space should include a playlot for pre-school children, apparatus for older children, open space for informal games and play activities, shaded areas, shelter, passive seating areas, etc. All equipment (furnishings and playground) will need to be commercially grade with focused play events that serve 2-5 years old and 5-12 years old.

The applicant's street tree plan is excepted below as **Figure 8**. Please see high resolution pdf attached as part of the application. The plan generally provides for four different street trees. These are all trees included on the City's street tree list as "small trees". There are some streets where the size and spacing of the street trees significantly exceeds the spacing standard based on tree size specified in Chapter 17.58.

In addition, the applicant will need to use the updated standard drawing for street trees with the correct specification for root barrier, staking, and deep watering tubes.

The applicant has also specified all street trees as 1.5" caliper rather than the 2" caliper standard specified in Chapter 17.58, and this will need to be revised.

**STREET TREE SCHEDULE**

NO.	QTY	DESCRIPTION	REMARKS	DATE
1	10	RED GREEN JAPANESE	REDUCED FERTILIZER RATE	12" DB. CAL. 100' 40' 3000'
2	10	WEeping WHITE BIRCH	REDUCED FERTILIZER RATE	12" DB. CAL. 100' 40' 3000'
3	10	LANDSCAPE BIRCH x PALM TREE	REDUCED FERTILIZER RATE	12" DB. CAL. 100' 40' 3000'
4	10	BLACK BIRCH TREE	REDUCED FERTILIZER RATE	12" DB. CAL. 100' 40' 3000'

**STREET TREE KEY**

SYMBOL	DESCRIPTION
(Circle with dot)	RED GREEN JAPANESE
(Circle with cross)	WEeping WHITE BIRCH
(Circle with horizontal lines)	LANDSCAPE BIRCH x PALM TREE
(Circle with vertical lines)	BLACK BIRCH TREE
(Hatched area)	PLANTING AREA
(Circle with 'X')	TREE PIT

**HILLCREST PHASE 9**  
 HILLCREST PHASE 9  
 CON. CASE FILE NO. 12-14 & 15-24-1  
 McMinnville, Oregon  
 12-14-15

**STREET TREE PLANTING PLAN (E)**  
 5147-02  
 C119

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

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certain conditions of approval for the Planned Development and Subdivision apply. Those are addressed in the findings.

## **II. CONDITIONS:**

1. The applicant shall submit a revised street tree plan and landscape plan with the following for approval:
  - a. Upon final utility design, the applicant shall submit a revised street tree plan and landscape plan to the Planning Division for review, to reflect the conditions of this decision and any other revisions made. The applicant shall obtain Planning approval of the plan before incorporating the revised plans into the final civil plan set.
  - b. Street Tree Plan.
    - i. The applicant shall update the specified street trees from 1.5" caliper to 2" caliper consistent with the City's street tree planting standard. The applicant may need to specify some different trees if some of the specified trees are not available in 2" caliper.
    - ii. The applicant shall update the street tree planting specification in the plan set (on Sheet C120) to the City's current specification. Please see the City's August 2025 standard drawing 34B. This current specification provides for the root barrier along the back of curb and along the sidewalk to be 10 feet in width centered at the street tree, deep watering tubes, and staking.
    - iii. Based on the proposed spacing and size of some street trees, the applicant shall select different street trees from the City's street tree list which have wider canopy at maturity, such that size and spacing are consistent with MMC 17.58.090(C). Trees shall be selected from trees on the list with specifications for mature height and width consistent with the spacing and suitable for the planter strip size. Locations where different trees are to be specified include Trent Terrace, Beverly Terrace, and Mt. Mazama, where the spacing predominantly exceeds the spacing standard to a significant extent for the selected trees for the majority of the tree locations. The applicant may also be able to amend the plan to provide for additional trees such that the spacing standards would be achieved, provided that wouldn't create additional unavoidable utility conflicts. In most locations, there should be at least one street tree per lot frontage.
    - iv. Where spacing of driveways is 35 feet or greater, the applicant may also consider planting more smaller trees between each pair of driveways to achieve spacing of 20 feet with trees planted five feet away from the driveway aprons, which may require adjustments to locations of utility services, to be approved by Engineering and McMinnville Water & Light.
    - v. **Note:** *Tree retention and removal shall be consistent with the Planning Development and Subdivision conditions of approval and reviewed for approvals by staff separate from this decision.*
  - c. Landscape Plan.
    - i. The final landscape plan shall include site furnishings as specified or if there are substitutions, they shall provide at least equivalent capacity and functionality as those indicated on the site furnishings details. Accessible

features shall be provided as shown on plans. Any changes to specified furnishings on the plans shall be submitted to and reviewed by staff for this determination of equivalency.

- ii. Show any proposed on-site lighting. On-site lighting on private tracts shall be private unless explicitly approved. Indicate the method of shielding/downcast lighting to demonstrate artificial lighting which may be provided shall be deflected as not to shine or create glare in any residential zone or on any adjacent dwelling. (MMC 17.57.070(B)(1)
- iii. Together within the site furnishings and amenities in Phase 9, in aggregate with other phases, the facilities shall be consistent with the requirement specified in Condition #20 of PDA 1-24.
- iv. Trees specified for retention within and abutting the open space tracts shall be retained and protection measures shall be in place prior to construction.
- v. The final design of the engineered stormwater facility shall be subject to approval by the Engineering Division.

2. Tree mitigation calculations are separate from and not part of this decision.

3. Prior to final plat:

- a. The applicant shall install landscaping per the approved landscape plan or shall provide financial surety equal to 120% of the installed cost of landscaping as evidenced by a quote, and the applicant shall complete landscaping within 6 months of final plat and prior to release of surety. Landscaping shall be inspected by the Planning Director or designee and found to be in compliance with the approved plans. Minor alternations to the landscape plan may be allowed as determined by the Planning Director or designee, as long as they do not alter the character and aesthetics of the approved plans.
- b. An automatic irrigation system shall be installed consistent with the design/build provisions described in the application, including ability to isolate the irrigation for the community garden from the rest of the site. Note: landscaping and irrigation are the responsibility of the applicant. Ongoing maintenance of the private open space tract is the responsibility of a Homeowner's Association
- c. Per Condition 3(h) of S 3-24, street trees shall be planted in accordance with the approved street tree plan. All required trees shall be installed by the applicant prior to final platting, or security equal to 120 percent of the cost of installing the required street trees shall be posted with the City. The amount and for of security shall be as required by the Planning Director.

For trees not installed prior to final platting, each year the applicant/owner shall install street trees, from November 1 to March 1, adjacent to those properties on which a structure has been constructed and has received final occupancy, or adjacent to any non-buildable tracts for which street trees are required. This planting schedule shall continue until all platted lots have been planted with street trees.

It shall be the applicant's responsibility to relocate trees as may be necessary to accommodate individual building plans. The applicant shall also be responsible for the maintenance of the street trees, and for the replacement of any trees that may die due to neglect or vandalism, for two years from the date of planting.

4. The applicant should call for locates (dial 811) for all underground utilities prior to digging. This is a free service, and upon request, utility locations can be flagged without marking up hard surfaces.
5. Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted. (MMC Section 17.58.090(B)).
6. The trees shall be planted to spacing standards established in Section 17.58.090(E) of the [Zoning Ordinance](#), not to be planted within:
  - a. Five (5) feet of a private driveway or alley;
  - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm, or water line; or
  - c. Twenty (20) feet of street light standards or street intersections.Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.
7. The applicant shall contact Public Works Operations (503-434-7316) for planting inspection prior to backfilling the planted trees.
8. Landscaping shall be continually maintained consistent with the approved plan and shall remain in compliance with vision clearance standards of MMC Chapter 17.54.
9. Street trees shall be continually maintained for one full growing season following planting by the developer or property owner, including necessary watering, weeding, pruning, and replacement. (MMC 17.58.120(A))
10. Street trees shall be maintained in perpetuity, and if they must be replaced, appropriate permits shall be obtained, and they shall be maintained by the adjacent property owner or developer with a tree of a species from the McMinnville Street Tree list. (MMC 17.58.120(B))
11. Street trees shall be maintained continually per MMC 17.58.120(D):
  - a. This includes necessary watering, weeding, pruning, and replacement.
  - b. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.
  - c. Street trees, as they grow, shall be pruned to provide at least 8 feet of clearance above sidewalks and 13 feet above local streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the City.
  - d. A permit shall be obtained prior to the removal or major pruning (removal of 20 percent of the tree canopy, tree topping, or disturbance of 10 percent of the root system) of any street tree.

### **III. ATTACHMENTS:**

1. (L 26-25) Application and Attachments (on file with the Planning Department)

### **IV. COMMENTS:**

#### ***Agency Comments***

##### **McMinnville Water & Light**

MW&L has the following comments:

Water: This landscape plan incorporates the appropriate minimum distances from all public water main facilities indicated on MW&L's specifications. The plan is approved.

Electric: The power plan for this subdivision is still under design/review with McMinnville Water and Light. The landscape plan may need revised following completion of the power design to accommodate the necessary clearances around energized electrical equipment.

##### **McMinnville Engineering Division**

The McMinnville Engineering Division provided additional comments as part of the civil plan submittal and review.

#### ***Public Comments***

No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance which does not require public notification. Street Tree plans are reviewed per 17.58.100 which does not require public notification. No public comments were received prior to the Planning Director's decision.

### **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

1. The application was received on November 21, 2025. Based on that date, the application is subject to a 30-day review timeframe of December 21, 2025.
2. The Street Tree Plan and Landscape Plan were previously submitted as part of the Civil Plan set for this phase of the subdivision. The Engineering Divisions reviewed the plans and included other departments and agencies in that review process. Other agencies and utility providers may have also provided comments through that plan review
4. No public notice of the application was provided by the City of McMinnville, as Street Tree Plan and Landscape Plan Review applications are reviewed by the process described in Sections 17.57.050 and 17.58.100 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
5. A public meeting was held by the Landscape Review Committee on December 17, 2025, to review the application and proposed street tree plan and landscape plan.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

- 1. Location:** (No site address assigned), part of Tax Lot R4524 00801, Phase 9 of Hillcrest Planned Development and Subdivision
- 2. Size:** Tax Lot 801 is approximately 106 acres. This is the street tree plan and landscape plan for Hillcrest Phase 9 of the multi-phase planned development and subdivision.
- 3. Comprehensive Plan Map Designation:** Residential
- 4. Zoning:** R-2 PD
- 5. Current Use:** Undeveloped (Phases 7 and 8 are under construction but not yet platted)
- 6. Inventoried Significant Resources:**
  - a. **Historic Resources:** None identified within this phase.
  - b. **Other:** None identified within this phase.
- 7. Other Features:**
  - a. Wetlands. None identified within this phase.
  - b. Trees. The applicant's tree retention/removal plan shows existing trees within and abutting this phase, and those proposed for retention and removal.
  - c. Topography. The property is steeply sloping and subject to grading.
- 8. Utilities:** Utilities will be extended as part of the subdivision.
- 9. Transportation:** Streets will be extended as part of the subdivision.

## **VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable planning factors for a Landscape Plan Review are specified in Section 17.57.070 of the Zoning Ordinance. The applicable standards for Street Trees are specified in Section 17.58.090 of the Zoning Ordinance.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated but are to be undertaken in relation to all applicable land use requests.

### ***Comprehensive Plan Volume II:***

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

## ***CHAPTER X. CITIZEN INVOLVEMENT AND PLAN AMENDMENT***

**GOAL X 1:** *TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.*

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for*

*review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT'S RESPONSE:** N/A

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public meeting.

## **CHAPTER IX. URBANIZATION**

### **GREAT NEIGHBORHOOD PRINCIPLES**

1. **Natural Feature Preservation.** *Great Neighborhoods are sensitive to the natural conditions and features of the land.*
  - a. *Neighborhoods shall be designed to preserve significant natural features including, but not limited to, watercourses, sensitive lands, steep slopes, wetlands, wooded areas, and landmark trees.*

**APPLICANT'S RESPONSE:** N/A

**FINDING: SATISFIED WITH CONDITIONS.** The site will be subject to extensive grading. There are limited wooded areas within this phase and the open space tracts. Trees specified for retention and protection shall be retained, and protection measures shall be in place prior to start of construction.

7. **Accessibility.** *Great Neighborhoods are designed to be accessible and allow for ease of use for people of all ages and abilities.*
  - a. *To the best extent possible all features within a neighborhood shall be designed to be accessible and feature elements and principles of Universal Design.*

**APPLICANT'S RESPONSE:** N/A

**FINDING: SATISFIED.** The applicant's plan provides for accessible features and amenities.

### **McMinnville Zoning Ordinance**

The following Sections of the McMinnville Zoning Ordinance provide criteria applicable to the request:

#### **Chapter 17.57 Landscaping**

**17.57.010 Purpose and intent.** *The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:*

- A. *Provide guidelines and standards that will:*
  - 1. *Reduce soil erosion and the volume and rate of discharge of storm water runoff.*
  - 2. *Aid in energy conservation by shading structures from energy losses caused by weather and wind.*
  - 3. *Mitigate the loss of natural resources.*
  - 4. *Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
  - 5. *Create safe, attractively landscaped areas adjacent to public streets.*
  - 6. *Require the planting of street trees along the City's rights-of-way.*
  - 7. *Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.*
  - 8. *Provide shade, and seasonal color.*
  - 9. *Reduce glare, noise and heat.*
- B. *Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.*
- C. *Unify development and enhance and define public and private places.*
- D. *Preserve existing mature trees.*
- E. *Enhance the urban forest and tree canopy.*
- F. *Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.*
- G. *Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.*
- H. *Support McMinnville as a community that cares about its appearance.*

*It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.*

*The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** Subject to conditions of approval detailed below, the proposed landscape plan is consistent with the purpose of this chapter.

**17.57.030 Zones where required.** *Landscaping shall be required in the following zones except as otherwise noted:*

- A. *R-4 (Multiple-Family Residential zone, except the construction of a Single-Family or Two-Family Residential unit);*
- B. *C-1 (Neighborhood Business zone);*
- C. *C-2 (Travel Commercial zone);*

- D. C-3 (General Commercial zone);*
- E. O-R (Office/Residential zone);*
- F. M-L (Limited Light Industrial zone);*
- G. M-1 (Light Industrial zone);*
- H. M-2 (General Industrial zone).*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** The landscape plan application is for the private open space tract. The above provisions wouldn't require a landscape plan for the residential development. However, the property is within a residential Planned Development (PDA 1-24, Ordinance 5155). Condition #20 specifies:

20. Prior to start of construction of the first phase, the applicant shall submit an application for a landscape plan review to the Planning Division that provides detailed plans for the specific design and amenities for the open space tracts consistent with the facilities described in the application which shall demonstrate compliance with the MMC 17.11.110.

For the open space tracts, the developer shall provide a landscape plan identifying all of the landscaping and amenities planned for both the active and passive open space tracts that would be appropriate for serving approximately 1,200 people, including playground equipment, shelters, lighting, signage, benches, tables, landscaping and any other amenities planned. The active open space should include a playlot for pre-school children, apparatus for older children, open space for informal games and play activities, shaded areas, shelter, passive seating areas, etc. All equipment (furnishings and playground) will need to be commercially grade with focused play events that serve 2-5 years old and 5-12 years old.

This condition is related to the provisions of MMC 17.11.110 which require open space for residential Planned Developments (findings below). The landscape plan for this phase is consistent with the above condition. As a condition, amenities on private open space tracts in future phases, together with those in Phase 7-9 will need to include additional amenities consistent with this condition.

**17.57.040 Specific Uses Requiring Landscaping.**

- A. Churches, subject to the landscaping requirements of a multiple-dwelling development when in a residential zone and subject to the landscaping requirements of a commercial development when in a zone other than residential;*
- B. Utility substations, subject to the landscaping requirements of commercial uses.*
- C. Mobile home park, subject to the requirements of a multiple-dwelling development;*
- D. Multiple-dwelling, commercial, and industrial uses in residential planned developments, subject to the landscaping requirements of the type of use in the planned development.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED.** The landscape plan application is for the private open space tract. The above provisions wouldn't require a landscape plan for the residential development. However, the

property is within a residential Planned Development (PDA 1-24, Ordinance 5155). Condition #20 required a landscape plan and landscaping consistent with this condition (see above).

**17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.**

**17.57.050(A).** *At the time the applicant applies for a building permit, they shall submit, for the Landscape Review Committee, two copies of a landscaping and plot plan. If the plot plan and landscaping plan are separate documents, two copies of each shall be submitted. These may be submitted to the Building Department to be forwarded to the Planning Department.*

1. *No building permit shall be issued until the landscaping plan has been approved.*
2. *The landscaping plan may be used as the plot plan required for a building permit, provided all information required for a building permit is provided;*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** The landscape plan application is for the private open space tracts. The above provisions wouldn't require a landscape plan for the residential development. However, the property is within a residential Planned Development (PDA 1-24, Ordinance 5155). Condition #20 required submittal of a landscape plan prior to start of construction of the first phase. As a condition or approval, the applicant shall provide a revised landscape plan consistent with the conditions of approval prior to start of construction of this phase.

**17.57.050(B).** *Landscaping review shall occur within 30 (thirty) days of submission of the plans. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action to be taken on the plans. A failure to review within 30 (thirty) days shall be considered as approval of the plan;*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED.** The application and fee were received on November 21, 2025. Within 30 days of submission, the Landscape Review Committee met and heard on the proposal on December 17, 2025. The applicant was notified of the time and place of review.

**17.57.050(C).** *The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** The proposed conditions of approval make the landscape plan compatible with this chapter's purpose, intent, and applicable requirements. Some of the standards of this chapter are not applicable to the landscape plan for this open space tract, but are subject to the conditions of approval for the planned development and subdivision approval. As a condition of approval, the applicant shall submit a revised landscape plan consistent with the conditions of approval.

**17.57.050(D).** *Occupancy permits may be issued prior to the complete installation of all required landscaping if security equal to 120 percent of the cost of landscaping, as determined by the*

*Planning Director is filed with the City assuring such installation within a time specified by the Planning Director, but not to exceed six months after occupancy. The applicant shall provide the estimates of landscaping materials and installation to the satisfaction of the Planning Director prior to approval of the security. "Security" may consist of a faithful performance bond payable to the City, cash, certified check, time certificate of deposit, or assignment of a savings account, and the form shall meet with the approval of the City Attorney. If the installation of the landscaping is not completed within the period specified by the Planning Director, or within an extension of time authorized by the Landscape Review Committee, the security may be used by the City to complete the installation. Upon completion of the installation, inspection, and approval, any portion of the remaining security deposited with the City shall be returned. The final landscape inspection shall be made prior to any security being returned. Any portions of the plan not installed, not installed properly, or not properly maintained shall cause the final inspection and/or approval to be postponed until the project is completed or cause the security to be used by the City;*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** This landscape plan for the private open space tracts pertain to a subdivision rather than a building permit. Therefore, as a condition of approval, landscaping shall be completed prior to final plat rather than occupancy, or security provided prior to final plat, with landscaping to be completed within 6 months of final plat.

**17.57.050(E).** *All completed landscape projects shall be inspected by the Planning Director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed, as determined by the Planning Director or their designee, as long as they do not alter the character and aesthetics of the original plan.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** Prior to final plat or release of security, landscaping shall be inspected by the Planning Director or designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))

**17.57.060 Plans** - *Information to be Included. The following information shall be included in the plans submitted under Section 17.57.050:*

- A. Existing locations of trees over six inches in diameter, their variety (common or botanical name) and indication of whether they are to remain or to be removed from the site. In the event a large number of trees are to be retained and if no construction or construction access is required through or within the rip line of the trees, the general area with the number of trees involved may be given in lieu of listing and locating each tree;*
- B. The location in which new plantings will be made and the variety (common or botanical name), and size of all new trees, shrubs, groundcover and lawns;*
- C. The percentage of the gross area to be landscaped;*
- D. Any equipment proposed for recreation uses;*
- E. All existing and proposed site features including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, raised planters, or other open spaces so that*

- the review committee may be fully knowledgeable of the project when discussing the application;*
- F. *The location of watering facilities or irrigation systems, or construction notes on the landscape plan detailing the type of watering facilities or irrigation systems that will be installed;*
- G. *All of the information on the plot plan for the building permit.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant shall submit a revised landscape plan consistent with the conditions of approval.

**17.57.070 Area Determination – Planning Factors.**

**17.57.070(A).** *Landscaping shall be accomplished within the following ranges:*

1. *Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*
2. *Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*
3. *Multiple-dwelling, twenty-five percent of the gross area. This may be reduced to not less than fifteen percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*
4. *A parking lot or parking structure built in any zone providing parking spaces as required by the zoning ordinance shall be landscaped in accordance with the commercial requirements set forth above in subsection 2 of this section.*
5. *Any addition to or expansion of an existing structure or parking lot which results in additional lot coverage shall be landscaped as follows: Divide the amount of additional lot coverage (building area, not including basement or upper floors, plus required parking and loading zones) by the amount of the existing lot coverage (building area, not including basement or upper floors, plus required parking and loading zones), multiply by the percentage of landscaping required in the zone, multiply by the total lot area of both the original development and the addition; however, the total amount of the landscaping shall not exceed the requirements set forth in this subsection.*
  - a. 

ALC (additional			
<u>lot coverage</u>	<b>X</b>	% of landscaping	<b>X</b>
ELC (Existing		required	Total lot area
Lot Coverage)			
  - b. *Landscaping to be installed on an addition or expansion may be spread over the entire site (original and addition or expansion projects) with the approval of the review committee;*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED.** This provision doesn't apply to this landscape plan. Instead, the minimum open space area requirements of MMC 17.11.110 apply. The proposed multi-phase planned development and subdivision were found to comply with those area requirements for the phases in total. There is no parking lot proposed as part of the open space tract.

**17.57.070(B).** *The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:*

**17.57.070(B)(1).** *Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED.** The proposed uses of the open space tract are consistent with the Planned Development and Subdivision approvals. The "use zones" with more active areas are located to provide separation from abutting lots, and portions of the tracts abutting lots generally include screening and more heavily treed areas.

**17.57.070(B)(2).** *Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED.** The proposed uses of the open space tracts are consistent with the Planned Development and Subdivision approvals. The more active areas are separated from abutting residential lots, and plantings and screening are incorporated in suitable areas where screening is warranted.

**17.57.070(B)(3).** *The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** The tracts will include some significant grading related to the necessary street and utility grades to serve the development. There are limited existing trees and areas to be graded will be replanted with substantially more trees than those to be removed from the open space tracts.

**17.57.070(B)(4).** *The development and use of islands and plantings therein to break up parking areas.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: NOT APPLICABLE.** No parking areas are proposed.

**17.57.070(B)(5).** *The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** No parking areas are proposed. See conditions of approval for the street tree plan. The proposed street trees are on the approved street tree list, but a condition of approval of the street tree plan requires selection of different trees from the street tree list which will have a wider canopy at maturity to meet spacing standards.

**17.57.070(B)(6).** *Suitable watering facilities or irrigation systems must be included in or near all planted areas.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED.** The landscape plan notes specify an automatic irrigation system (design/build). The private open space tract will be privately maintained by a Homeowner's Association.

**17.57.070(C).** *All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: SATISFIED WITH CONDITIONS.** This is a requirement of the Zoning Ordinance and has also been incorporated as a condition of approval.

### **Chapter 17.58 Trees**

**17.58.080 Street Tree Planting—When Required.** *All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.*

**APPLICANT'S RESPONSE:** N/A.

**FINDING: APPLICABLE.** This is an application for a street tree plan for Phase 9 of the Hillcrest Subdivision and was required as a condition of approval for the subdivision. Therefore, as required by this section, a street tree plan per MMC 17.58.100 is required and is subject to the standards of MMC 17.58.090.

### **17.58.090 Street Tree Standards.**

**17.58.090(A).** *The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.*

**APPLICANT RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITIONS** The four types of trees proposed as street trees are on the City's street tree list. They are included in the "small" trees on the street tree list.

**McMinnville Street Tree List**

**Recommended Small Tree Species**

Scientific Name Common Name	Minimum Planter Width (ft.)	Under Wires?	Mature Height (ft.)	Canopy Width (ft.)	Tree Form	Flowers	Fall Color	Native	Comments
<i>Acer buergerianum</i> Trident Maple	4	No	30	25		n/a			Tolerant of many urban conditions; year-round interest
<i>Acer griseum</i> Paperbark Maple	4	Yes	25	20		n/a			Attractive peeling coppery bark
<i>Acer griseum</i> 'JFS-KW8AGRI' Fireburst Paperbark Maple	4	Yes	25	18		n/a			Outstanding form and fall color, coppery peeling bark
<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' Autumn Brilliance Serviceberry	4	Yes	20	15					Attractive spring flowers, fall color
<i>Lagerstroemia indica x fauriei</i> 'Tuscarora' Tuscarora Crape Myrtle	4	Yes	20	20					Four season interest
<i>Lagerstroemia indica x fauriei</i> 'Tuscarora' Tuscarora Crape Myrtle	4	Yes	20	20					Four season interest

As a condition of approval to address 17.58.090(C), based on the proposed spacing of the street trees, the applicant will need to select some different street trees from the approved street tree list for certain streets which have wider canopy at maturity. This is predominantly on Founders Place, Mt. Mazama, and Beverly. See 17.58.090(C) below. Those trees shall also be selected from the street tree list.

**17.58.090(B).** *Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well- developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.*

**APPLICANT RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITIONS.** The applicant's plan specifies 1.5-inch caliper trees for street trees. The City standard for new street trees is a minimum of 2-inch caliper trees. As a condition, the applicant shall revise the street tree plan to specify minimum 2-inch caliper trees. This code provision regarding the health and characteristics of the street trees is also incorporated as a condition of approval.

**17.58.090(C).** *Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. Within commercial and industrial development staggered, or irregular spacing is permitted, as may be approved by the McMinnville Landscape Review Committee. When planting replacement trees within the Downtown Tree Zone, consideration shall be given to the height of adjacent buildings.*

**APPLICANT RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITIONS.** Per the street tree list, the selected trees have a mature canopy width of between 15-20 feet. Therefore, There are numerous areas, predominantly on Founders Place, Mt. Mazama, and Beverly where the majority of specified trees don't meet the spacing requirements.

The applicant shall predominantly achieve the spacing standards through one or more of the following: Select trees from the street tree list that have a mature size consistent with the trees described in this section for the spacing width and suitable for planting in the planter strip width specified on the street tree list, specify additional tree locations when it doesn't create unavoidable utility conflicts. There should generally be at least one street tree per lot frontage.

In addition, where spacing between driveways is 35 feet or greater, the applicant may also consider planting two smaller trees between each pair of driveways to achieve spacing of 20 feet with trees planted 5 feet away from the driveway aprons, which may require adjustments to locations of utility services, to be approved by Engineering and McMinnville Water & Light.

The proposed street tree plan shows generally even spacing of street trees.

**17.58.090(D).** *Except as provided in this Section, street trees shall be planted within a curbside planter strip or tree wells consistent with the applicable standards and dimensions of the City's adopted Complete Street standards, with the street trees centered between back of curb and front of sidewalk. However, where a street with sidewalk was previously constructed to a different standard, the Manager may authorize deviation to the street tree planting standards, with street trees planted in a narrower planter strip or behind the sidewalk. Except when authorized by the Manager, street trees shall not be planted within a curbside landscape strip narrower than four (4) feet in width between the sidewalk and curb. When nonconforming conditions do not allow for trees to be planted in tree wells or planter strips along major collector or arterial streets per the adopted Complete Street standards, street trees adjacent to major collector streets or arterial streets shall be placed a minimum of five (5) feet from the back edge of the sidewalk. Except when authorized by the Director, a street tree shall not be planted closer than two and one-half (2 1/2) feet from the face of a curb. These standards may be superseded by design drawings and specifications as periodically developed and adopted by the City.*

**APPLICANT RESPONSE: N/A.**

**FINDING: SATISFIED.** The applicant's plan provides for planting of street trees within a planter strip consistent with the City's complete street standards.

**17.58.090(E).** *Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.*

**APPLICANT RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITIONS.** The applicant's plan demonstrates compliance with these separation requirements. The revisions required as conditions of approval shall demonstrate compliance with these separation requirements.

**17.58.090(F).** *Existing street trees shall be retained unless approved by the Planning Director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Planning Director to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.*

**APPLICANT RESPONSE: N/A.**

**FINDING: SATISFIED/NOT APPLICABLE.** There are no existing street trees to be removed or retained within the project area. Where existing street trees have trunks on abutting properties, the root zones shall be protected during construction.

**17.58.100 Street Tree Plans**

**A. Submittal.**

**17.58.100(A)(1).** *Subdivisions and Partitions: Street tree planting plans shall be submitted to the Landscape Review Committee for review and approval prior to the filing of a final subdivision or partition plat.*

**APPLICANT'S RESPONSE: N/A.**

**FINDING: SATISFIED.** The street tree plan submittal fulfills this requirement.

**17.58.100(A)(2).** *Commercial, Industrial, Parking Lots, and Multi-dwelling Residential Development: Landscape plans, to include street tree planting as may be required by this ordinance, shall be submitted to the Landscape Review Committee for review and approval prior to the issuance of a building permit.*

**APPLICANT'S RESPONSE: N/A.**

**FINDING: NOT APPLICABLE.**

**17.58.110 Street Tree Planting**

**17.58.110(A).** *Residential subdivisions and partitions.*

*1. Planting Schedule: Street trees required of residential subdivisions and partitions shall be installed prior to submittal of a final subdivision plat or partition plat. As an alternative the applicant may file a surety bond or other approved security to assure the planting of the required street trees, as prescribed in Section 17.53.153.*

**APPLICANT'S RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITIONS.** As a condition of approval, street trees shall be installed or financial surety shall be provided consistent with applicable code.

**17.58.110(B).** *Commercial, Industrial, Multi-dwelling, Parking Lot Development.*

*1. Planting Schedule: Street trees required of a commercial, industrial, multi-dwelling, or parking lot development shall be installed at the time all other required landscaping is installed.*

**APPLICANT'S RESPONSE: N/A.**

**FINDING: NOT APPLICABLE.**

**17.58.120 Street Tree Maintenance.**

- A. Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.*
- B. Street tree plans, or landscape plans including street trees, shall be maintained in perpetuity. In the event that a street tree must be replaced, the adjacent property owner or developer shall plant a replacement tree of a species from the approved street tree or landscape plan.*
- C. Maintenance of street trees, other than those located in the Downtown Tree Zone shall be the continuing obligation of the abutting property owner. The City shall undertake regular maintenance of street trees within the Downtown Tree Zone in accordance with appropriate horticultural practices including pruning and fertilizing to properly maintain the health of such trees.*
- D. Street trees, as they grow, shall be pruned to provide at least eight (8) feet of clearance above sidewalks and thirteen (13) feet above local streets, fifteen (15) feet above collector streets, and eighteen (18) feet above arterial streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the City. Major pruning, as defined in Section 17.58.020, of a street tree must be approved by the City in accordance with Section 17.58.040.*

**APPLICANT'S RESPONSE: N/A**

**FINDING: SATISFIED WITH CONDITIONS.** The provisions of this section are applicable code requirements. In addition, conditions of approval have been included to ensure that the street trees are continually maintained consistent with the provisions of this section.

**17.58.040(H).** *The planting of street trees shall be subject to the design drawings and specifications developed by the City in May 2014, as may be subsequently amended. Specific design drawings and specifications have been developed for trees outside the Downtown Tree Zone. Such design specifications may be periodically updated by the City to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees to minimize the potential for sidewalk / tree root conflict.*

**APPLICANT'S RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITIONS.** The City street tree specification shown on the applicant's landscape plan is not the current specification. As a condition of approval, the applicant shall update the street tree plan to include the current specification (August 2025). The current specification provides for the root barrier along the back of curb and along the sidewalk to be 10 feet in width, centered at the street tree, and also provides for deep watering tubes and staking.

**Chapter 17.54. General Provisions**

**APPLICANT'S RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITIONS.** The installation of landscaping is subject to standards found within Chapter 17.54 General Provisions, including Section 17.54.080 Clear Vision Area. As proposed, no plant exceeds the maximum permitted height within a clear vision area.

**17.11.110. Planned Development Residential Design and Development Standards.**

...

***(C). Required Elements, Common Open Space***

...

***3. Fundamental Requirements.***

- a. A common open space shall be provided that is centrally located and designed with a clear function that enhances the livability of residents in the planned development. These functions shall include passive and active uses. The open space shall be accessible to all residents and if possible be fronted by clearly defined unit entrances. The common open space shall serve as the focus of surrounding buildings. Entries and windows shall face the common open space to provide informal surveillance. Common open space shall be accessible to all residents.*
- b. Common open space shall be a minimum of 15 percent of the planned development. Passive open space shall not be more than 5 percent of the planned development.*
- c. When vehicular areas are located between dwellings and common open space, clearly defined pathways shall be provided to enhance pedestrian safety.*
- d. Pathway surface shall be clearly marked and differentiated from the vehicular area with paint or alternative paving material.*
- e. Common open space shall have a minimum dimension of 20 feet at the narrowest part.*
- f. Walkways are required between dwellings and common open space.*

**APPLICANT'S RESPONSE: N/A.**

**FINDING: SATISFIED WITH CONDITIONS.** The open space tracts were previously approved as part of the Planned Development and Subdivision.

The design of the landscape plan for this tract is subject to Landscape Plan review consistent with this section. Together with the common open space and amenities in this Phase, the open space tracts and amenities in other phases shall in aggregate meet the requirements of this section and Condition #20 of PDA 1-24.



**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128  
(503) 434-7311 Office • (503) 474-4955 Fax  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**Office Use Only:**

File No. L 26-25  
Date Received 11-21-25  
Fee \$3,121.14  
Receipt No. \_\_\_\_\_  
Received by JH

## Landscape Plan Review Application

### Applicant Information

Applicant is: ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other \_\_\_\_\_

Applicant Name Holt Holdings OR, LLC Phone \_\_\_\_\_

Contact Name Beau Roberts Phone Please contact applicant's Rep  
(If different than above)

Address 1301 SE Tech Center Drive, Suite 150

City, State, Zip Vancouver, WA 98686

Contact Email Please contact applicant's Rep

Applicant's Representative  
AKS Engineering & Forestry, LLC  
Maggie Gordon  
503.563.6151  
gordonm@aks-eng.com

### Property Owner Information

Property Owner Name Holt Holdings OR, LLC Phone \_\_\_\_\_  
(If different than above)

Contact Name Rian Tuttle Phone Please contact applicant's Rep

Address 1301 SE Tech Center Drive, Suite 150

City, State, Zip Vancouver, WA 98686

Contact Email Please contact applicant's Rep

### Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address No Address - Hillcrest Phase 9

Assessor Map No. R4 - 524 - Tax Lot 801 Total Site Area \_\_\_\_\_

Subdivision Hillcrest Block \_\_\_\_\_ Lot Tax Lot 801

Comprehensive Plan Designation Residential Zoning Designation R-2

# Landscape Plan Review Information & Submittal Requirements



Planning Department  
231 NE Fifth Street • McMinnville, OR 97128  
(503) 434-7311 Office • (503) 474-4955 Fax  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

## Overview

It is recognized that quality landscaping not only enhances the appearance of the City, but also benefits the health of the general public. In McMinnville, landscaping is required for any development within commercial or industrial zoned areas, as well as for certain specific uses such as multiple-family, churches, schools, utility substations, and manufactured home parks. A landscape plan for such development is required at the time of building permit application, consistent with the requirements as defined in Section 17.57.040 (Plans – Information to be included) of the Zoning Ordinance. The submitted landscape plan is reviewed by the Landscape Review Committee (LRC), a five-member committee appointed by the City Council and comprised of qualified landscape professionals.

## Application Submittal

The following materials must be provided at the time of submittal, or the application will not be accepted for processing.

- ☒ A completed Landscape Review application form.
- ☒ Two (2) copies of the proposed landscape plan (drawn to scale, with a north arrow, legible, and of a reproducible size) containing the following information:
  - The location of existing trees over six inches in diameter, their variety (common or botanical name), and indication of whether they are to remain or be removed from the site;
  - The quantity, location, size, and variety (common or botanical name) of all new plantings and landscaping;
  - The percentage of the gross area to be landscaped;
  - Any equipment proposed for recreation areas;
  - All existing and proposed site features, including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, or other open spaces;
  - Building location and dimensions and lot location and dimensions (all information on building permit plot plan); and
  - Irrigation plan.
- ☒ Payment of the applicable review fee.

## Review Process

A landscape plan, once determined to be complete, is then scheduled for review by the LRC as stated in Chapter 17.57 (Landscaping) of the Zoning Ordinance. The LRC may approve, approve with conditions, or deny a submitted landscape plan based upon the factors found in Section 17.57.050 (Area Determination – Planning factors). The decision made by the LRC may be appealed to the Planning Commission, as stated in Section 17.72.170 (Appeal from Ruling of Planning Director) of the Zoning Ordinance.

## Landscaping Information

1. Total Landscaped Area: 129,941 Sq Ft
2. Percent Landscaped: 82.1%
3. Building Floor Area:  
 New Structure: N/A Existing Structure: N/A Addition: N/A
4. Architect Name AKS Engineering & Forestry, LLC Phone   
 (Landscape Architect; Engineer; or Other Designer)  
 Contact Name Kirsti Hauswald Phone 503.563.6151  
 Address 12965 SW Herman Road, Suite 100  
 City, State, Zip Tualatin, OR 97062  
 Contact Email kirstif@aks-eng.com

In addition to this completed application, the applicant must provide the following:

- ☒ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- ☒ Payment of the applicable review fee, which can be found on the Planning Department web page.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

Signed by:  
Brian Roberts  
 Applicant's Signature Holt Holdings OR, LLC  
 a Delaware limited liability company  
 By: Holt Group Holdings, LLC  
 a Delaware limited liability company  
 Its: Sole Member

11/17/2025 | 8:53 AM PST  
 Date

DocuSigned by:  
Rian Tuttle  
 Property Owner's Signature,  
 Authorized Signer

11/17/2025 | 9:21 AM PST  
 Date

LD Director Reviewed/Approved - x





## Submittal Transmittal

AKS Engineering & Forestry LLC | 12965 SW Herman Rd. Suite 100 Tualatin, OR 97062

FROM: Maggie Gordon  
AKS Engineering & Forestry LLC  
12965 SW Herman Rd.  
Suite 100  
Tualatin, OR 97062  
gordonm@aks-eng.com  
503-563-6151

TO: James.Howe@mcminnvilleoregon.gov  
James.Howe@mcminnvilleoregon.gov

PROJECT:	Hillcrest PD - Holt 5147-02	DATE SENT:	11/20/2025
SUBJECT:	CoMc Landscape Review	ID:	00266
PURPOSE:	For Review	VIA:	Info Exchange

REMARKS: Hi James - please follow the link to the Landscape Review submittal for Hillcrest Phase 9. I will have the hard copies of the plans and the check delivered to you tomorrow.

Please let me know if there is anything else you need.

Thank you,  
Maggie

### CONTENTS

QTY:	DATED	DESCRIPTION:	ACTION:
1	11/3/2025	5147-02 Hillcrest PD Tree Tables.xlsx	
QTY:	DATED	DESCRIPTION:	ACTION:
1	11/20/2025	251114 CoMc Ph 9 Landscape Review Application (002).pdf	
QTY:	DATED	DESCRIPTION:	ACTION:
1	11/20/2025	5147-02 20251103 Hillcrest PH9 Sub 1 .pdf	
QTY:	DATED	DESCRIPTION:	ACTION:
1	11/3/2025	5147-02 20251103 Hillcrest Tree Mitigation Tracker.pdf	
QTY:	DATED	DESCRIPTION:	ACTION:
1	11/20/2025	5147-02 20251119 Check No 14488 in amt \$3,121.14.pdf	
QTY:	DATED	DESCRIPTION:	ACTION:
1	11/20/2025	5147-02 20251120 PH9 Cut-Fill Map.pdf	

## Submittal Transmittal

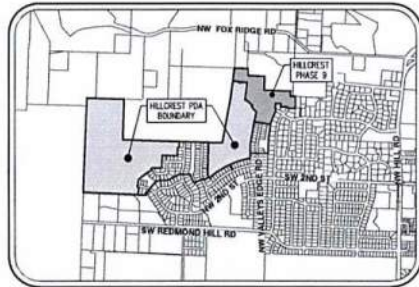
DATE: 11/20/2025  
ID: 00266

### COPIES

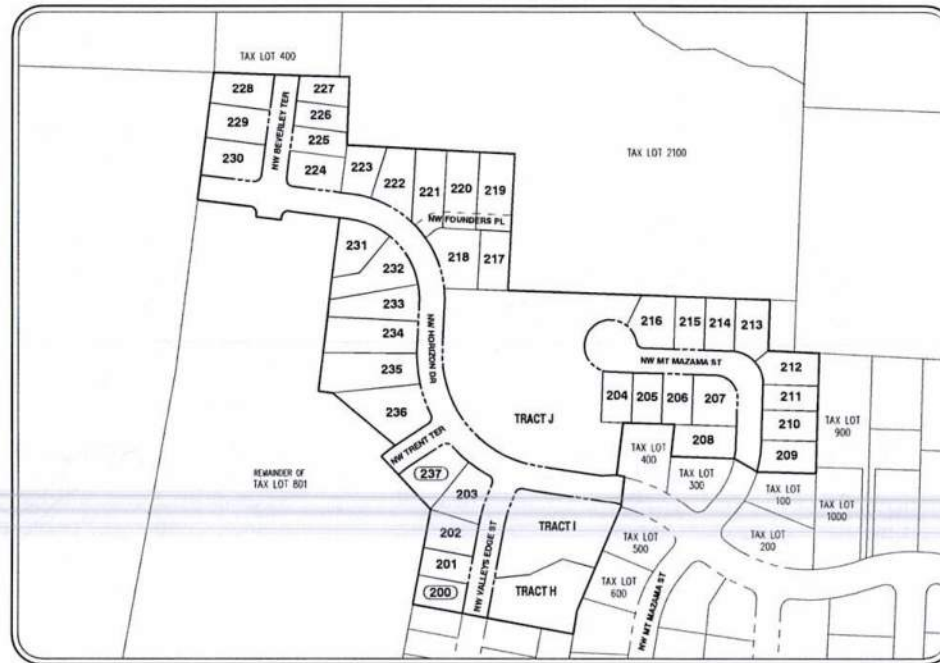
Trevor Synkelma	(AKS Engineering & Forestry LLC)
Sean Laskowski	(AKS Engineering & Forestry LLC)
Tom Schauer	(City of McMinnville)

# HILLCREST PHASE 9

## ENGINEERING CONSTRUCTION PLANS



**VICINITY MAP**  
1" = 1200'



**SITE MAP**  
1" = 120'

### PROPERTY DESCRIPTION:

REMAINDER OF TAX LOT 801 (YAMHILL COUNTY TAX MAP R4524) LOCATED IN THE CENTER OF THE EAST 1/2 OF SECTION 45, CITY OF MCMINNVILLE, YAMHILL COUNTY, OREGON

### VERTICAL DATUM:

VERTICAL DATUM: ELEVATIONS ARE BASED ON CITY OF MCMINNVILLE BENCHMARK AT THE INTERSECTION OF 2ND STREET AND WEST HILLS DRIVE, WITH A NGVD 29 ELEVATION OF 170.38 FEET.

### PROJECT LOCATION:

LOCATED NORTH OF NW 2ND ST, WEST OF NW VALLEY'S EDGE RD, SOUTH OF NW FOX RIDGE RD, MCMINNVILLE, OREGON

### EXISTING LAND USE:

VACANT LAND

### PROJECT PURPOSE:

PHASE 9 OF HILLCREST PLANNED DEVELOPMENT WITH 38 SINGLE-FAMILY LOTS.  
CITY OF MCMINNVILLE CASE FILE PDA 1-24 & S 3-34

### DEVELOPER/OWNER

HOLT HOMES, INC  
CONTACT: BEAU ROBERTS  
1301 SE TECH CENTER DRIVE, SUITE 150  
VANCOUVER, WA 98683  
PHONE: 360-787-6538

### ENGINEERING/ SURVEYING/LANDSCAPE ARCHITECTURE FIRM

AKS ENGINEERING AND FORESTRY, LLC  
CONTACT: M. TREVOR SYNKELMA, PE, LSIT  
12965 SW HERMAN ROAD, SUITE 100  
TUALATIN, OR 97062  
PHONE: 503-563-6151  
EMAIL: TREVORS@AKS-ENG.COM

### GEOTECHNICAL ENGINEER

COLUMBIA WEST ENGINEERING, INC.  
CONTACT: SHAWN DIMKE PE, GE  
11917 NE 95TH STREET  
VANCOUVER, WA 98682  
PHONE: 503-880-5245

### UTILITY CONTACTS

#### PUBLIC WORKS

CITY OF MCMINNVILLE  
CONTACT: JAMES LOFTON, P.E.  
1900 ME RIVERSIDE DR.  
MCMINNVILLE, OR 97128  
PHONE: 503-474-5119

#### POWER, WATER, LIGHTING

MCMINNVILLE WATER AND LIGHT  
855 NE MARSH LANE  
MCMINNVILLE, OR 97128  
CONTACT (POWER): RYAN TIMM  
PHONE (POWER): 503-472-6919 EXT.3  
CONTACT (WATER): STEVE WENDELL  
PHONE (WATER): 503-435-3112

#### CABLE

COMCAST CABLE  
CONTACT: PHIL CURTIS  
150 NW LEWISBURG AVENUE  
CORVALLIS, OR 97330  
PHONE: 541-230-0079

#### GAS

NW NATURAL GAS  
220 NW 2ND AVENUE  
PORTLAND, OR 97209  
CONTACT: BRIAN KELLEY  
PHONE: 503-226-4211 x2427  
EMERGENCY PHONE: 503-226-4211 x3213

#### COMMUNICATIONS

ZIPLY COMMUNICATIONS  
CONTACT: JOHN BIELEC  
4155 SW CEDAR HILLS BLVD  
BEAVERTON, OR 97005  
PHONE: 503-991-6520

### ATTENTION EXCAVATORS

OREGON LAW REQUIRES CONTRACTOR TO COMPLY WITH RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090. COPIES OF RULES MAY BE OBTAINED BY CONTACTING THE UTILITY LOCATE CENTER AT (503) 232-1987.



Know what's below.  
Call before you dig.



**HILLCREST PHASE 9**

PHASE 9 OF HILLCREST PD  
CON CASE FILE PDA 1-24 & S 3-34

OREGON

MCMINNVILLE

COVER SHEET WITH  
VICINITY AND SITE MAP

DESIGNED BY: STL  
DRAWN BY: JAZ  
MANAGED BY: MTS  
CHECKED BY: MTS

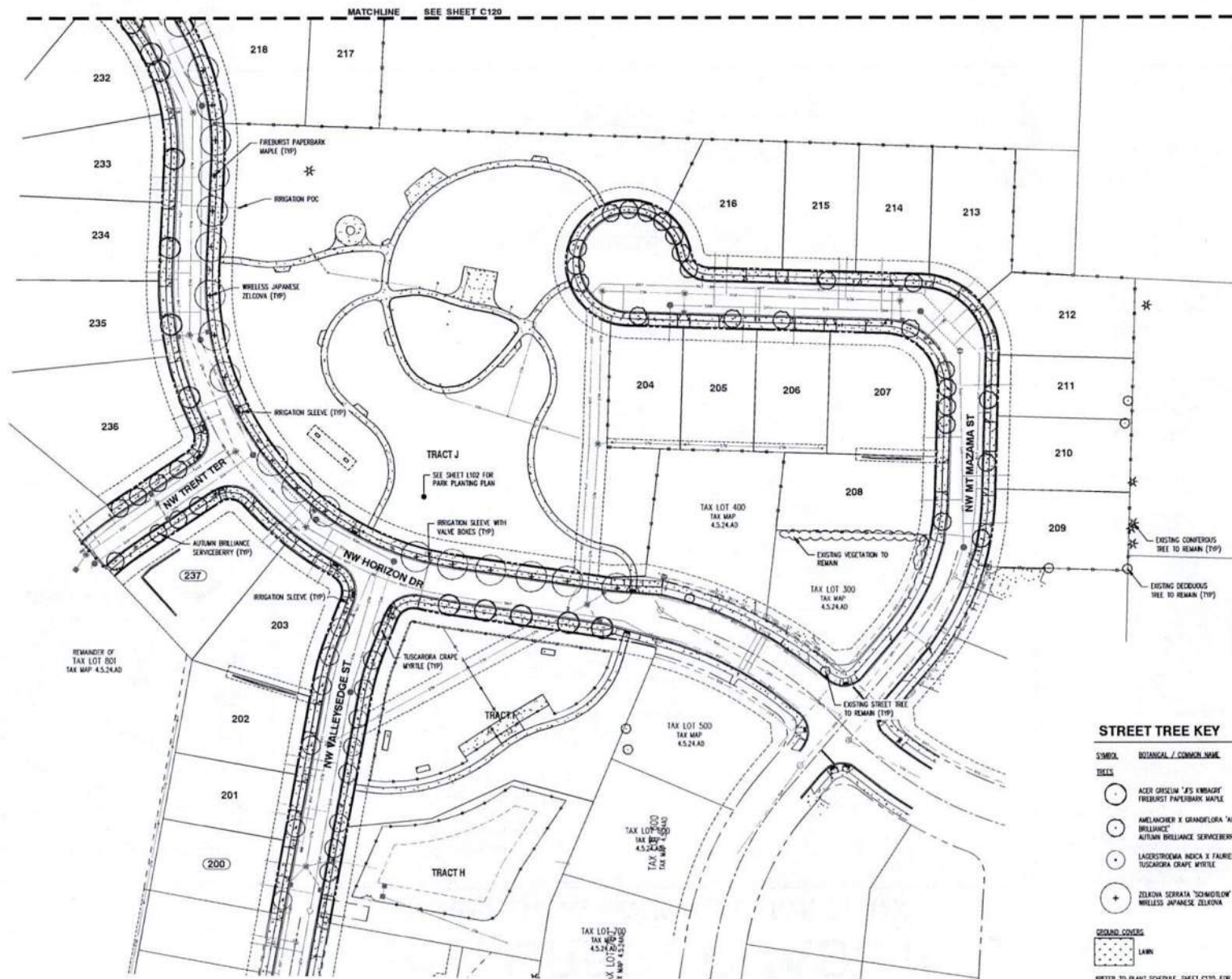
DATE: 11/3/25

PRELIMINARY  
NOT FOR  
CONSTRUCTION

FIGURE

JOB NUMBER  
5147-02

SHEET  
C000

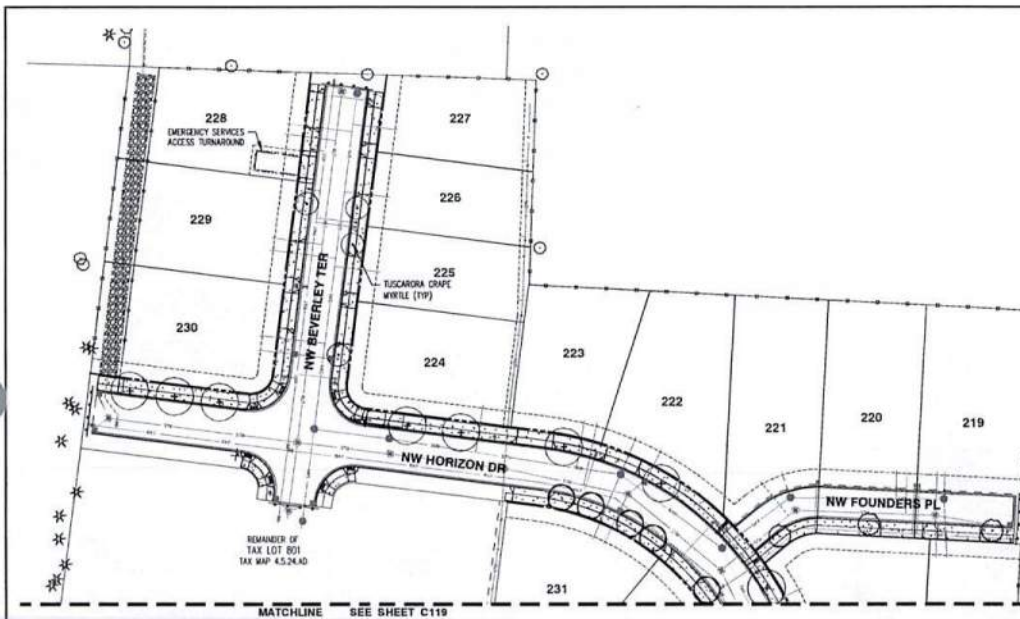


# STREET TREE KEY

SYMBOL	BOTANICAL / COMMON NAME
	ACER GREGGII "JFS KIMBART"
	FIREBURST PAPERBARK MAPLE
	AMELANCHIER X GRANDIFLORA "AUTUMN BRILLIANCE"
	AUTUMN BRILLIANCE SERVICEBERRY
	LAZARSTROPHIA INDICA X FAUREI "TUSCARORA"
	TUSCARORA CRAFT WHITLEY
	ZELKOVA SERRATA "SCHMIDTLOFF"
	WIRELESS JAPANESE ZELKOVA

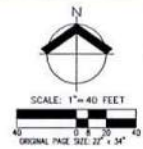
GROUND COVERS	
	LAWN

\*REFER TO PLANT SCHEDULE, SHEET C120, FOR QUANTITIES AND PLANT SIZING



# STREET TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
<b>MIGRATION TREES</b>					
	18	ACER GISELM 'JFS KIMBACH'	FREBURST PAPERBARK MAPLE	1.5" MIN. CAL. BAB AS SHOWN	
	35	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	1.5" MIN. CAL. BAB AS SHOWN	
	19	LAZARSTROVIA INDICA X FAUREI 'TUSCARORA'	TUSCARORA GRAPE MYRTLE	1.5" MIN. CAL. BAB AS SHOWN	
	26	ZELKOVA SERRATA 'SCHMETLOW'	WIRELESS JAPANESE ZELKOVA	1.5" MIN. CAL. BAB AS SHOWN	
<b>GROUND COVERS</b>					
	15,370 SF ±	LAWN: NORTHWEST SUPREME LAWN SEED MIX BY SUNMARK SEEDS (OR APPROVED EQUAL). BASKET 3 PERENNIAL RIVERGRASS (LOUAIN PERENNE VAR. BASKET 3) 30% CUTLER 8 PERENNIAL RIVERGRASS (LOUAIN PERENNE VAR. CUTLER 8) 30% GARNET CREEPING RED FESCUE (FESTUCA RUBRA VAR. GARNET) 15% WINDWARD CHEROKEE FESCUE (FESTUCA RUBRA SPP. TALLAX VAR. WINDWARD) 15% APPLY AT A RATE OF 8 LBS. PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER.			

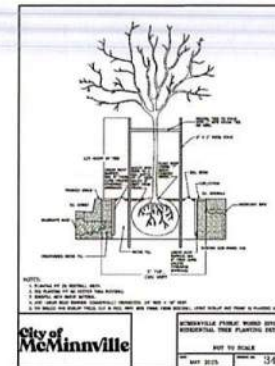


## GENERAL RIGHT-OF-WAY LANDSCAPING NOTES:

1. ALL PLANTS AND LANDSCAPING WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO APPLICABLE CITY OF MCMINNVILLE LANDSCAPE DESIGN STANDARDS, INCLUDING BUT NOT LIMITED TO SECTIONS 17.57 AND 17.58.
2. PLANT LAYOUT AND SCHEDULES AS SHOWN ARE INTENDED TO PORTRAY DESIGN INTENT ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE SITE AND VERIFYING PLANT AND MATERIAL QUANTITIES PRIOR TO ORDERING AND CONSTRUCTION. IF DISCREPANCIES OCCUR BETWEEN THE PLANS AND SCHEDULES, DESIGN INTENT SHALL PREVAIL. ORDER QUANTITIES LISTED.
3. FIELD ADJUSTMENTS, INCLUDING PLANT SUBSTITUTIONS AND MINOR ADJUSTMENTS TO TREE LOCATIONS, MAY BE NECESSARY DUE TO NURSERY STOCK UNAVAILABILITY, UNFORESEEN SITE CONDITIONS, OR FINAL DRIVEWAY AND UTILITY LOCATIONS. REWORKING MUST COMPLY WITH CITY OF MCMINNVILLE DESIGN STANDARDS, INCLUDING TREE CLEARANCE REQUIREMENT TO UTILITIES, LIGHTS, DRIVEWAYS, ETC. STREET TREE SUBSTITUTIONS MAY BE ALLOWED IN THE CASE OF NURSERY STOCK UNAVAILABILITY. ALL STREET TREE SUBSTITUTIONS MUST BE OF SIMILAR FORM AND FUNCTION AND CHOSEN FROM THE CITY'S APPROVED STREET TREE LIST FOR THE APPROPRIATE PLANTER WIDTH.
4. PLANT MATERIAL SHALL BE HEALTHY, EVENLY BRANCHED, AND OF TYPICAL FORM FOR THEIR SPECIES, CONFORMING TO SIZE AND QUALITY GRADE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND 2002 (CURRENT EDITION). TREES SHALL HAVE A STRONG CENTRAL LEADER.
5. INSTALLER QUALIFICATIONS:  
LANDSCAPING AND IRRIGATION WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR LICENSED AND BONDED IN THE STATE OF OREGON.
- 5.1. LANDSCAPING WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED "BEST PRACTICE" INDUSTRY STANDARDS, SUCH AS THOSE ADOPTED BY THE OREGON LANDSCAPE CONTRACTORS' BOARD (OLCB).
- 5.2. CONTRACTOR SHALL COORDINATE LANDSCAPING WORK WITH GENERAL CONTRACTOR AND OWNER, INCLUDING ANY NECESSARY HARDSCAPING AND IRRIGATION SLEEVING LOCATIONS, TO MINIMIZE DELAY TO OTHER TRADE WORK.
6. SOIL PREPARATION:  
6.1. STREET SECTION PLANTERS SHALL HAVE A MINIMUM 24" DEPTH TOPSOIL FOR PLANT HEALTH PLUS AN ADDITIONAL 12" OF AVAILABLE NON-COMPACTED SUBSOIL. TOPSOIL SHALL BE DARK BROWN IN COLOR AND HAVE A MINIMUM ORGANIC CONTENT OF 10% EXISTING ON-SITE. STOCKPILED TOPSOIL MAY BE USED IF IT MEETS THE ABOVE REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL TESTING IF REQUIRED.
- 6.2. PRIOR TO PLANT INSTALLATION, ALL PLANTING AREAS SHALL BE BROUGHT TO GRADE SHOWING IN GRADING PLANS. GRADE SHALL BE SMOOTH, HAVE NO LOW OR HIGH SPOTS WHERE WATER MAY COLLECT, AND BE FREE FROM DEBRIS INCLUDING STICKS, ROCKS, CLAY LUMPS, ETC. OVER 3/4" DIAMETER AND OTHER DELETERIOUS MATERIAL. HURDLES TO PLANT GROWTH CONTRACTOR SHALL REMOVE AND PROPERLY DEPOSE OF UNSUITABLE MATERIALS OFF-SITE IN SUCH A MANNER TO MEET ALL APPLICABLE REGULATIONS.
- 6.3. CONTRACTOR SHALL THOROUGHLY WATER, SETTLE ALL PLANTER STRIPS AFTER PLANTING TO REMOVE AIR POCKETS. AFTER WATERING, CONTRACTOR SHALL CORRECT ANY INADEQUATE PLANTING BY ADDING OR REMOVING SOIL TO MEET FINISH GRADE REQUIREMENTS.
7. ALL RIGHT-OF-WAY STREETSIDE PLANTER STRIPS SHALL HAVE LAWN OR OTHER VEGETATIVE GROUNDCOVER.
- 7.1. TURF AREAS SHALL BE PLANTED IN SPECIES NORMALLY FOUND AS PERMANENT LAWN IN WESTERN OREGON, SUCH AS IMPROVED PERENNIAL RIES AND FESCUES, AND BE EITHER SEED OR SODDED AT OWNER'S DISCRETION, DEPENDENT ON WEATHER CONDITIONS.
- 7.2. STREET TREES AND LAWN IN FRONT OF OPEN SPACE TRACTS (TRACTS 2H & I) AND THEIR ASSOCIATED IRRIGATION SYSTEMS SHALL BE INSTALLED BY THE DEVELOPER/OWNER.
- 7.3. STREET TREES AND LAWN IN FRONT OF INDIVIDUAL LOTS AND THEIR ASSOCIATED IRRIGATION SYSTEMS SHALL BE INSTALLED BY THE HOMEOWNER / HOMEOWNER AT TIME OF LOT DEVELOPMENT AND BE MAINTAINED BY THE ADJACENT HOMEOWNER.
8. ALL REQUIRED STREET TREES SHALL BE INSTALLED PRIOR TO SUBMITTAL OF THE FINAL SUBDIVISION PLAT OR, ALTERNATIVELY, A SURETY BOND OR OTHER APPROVED SECURITY TO ASSURE PLANTING OF THE REQUIRED STREET TREES MAY BE FILED.
9. DOUBLE STAKE ALL TREES UNLESS OTHERWISE SPECIFIED. CENTER STREET TREES IN PLANTER STRIP BETWEEN CURB AND SIDEWALK. TREES SHALL BE STAKED IN SUCH A WAY AS TO NOT INTERFERE WITH NORMAL VEHICULAR OR PEDESTRIAN USE (I.E. PARALLEL TO THE CURB/SIDEWALK).
10. ROOT BARRIER SHALL BE INSTALLED FOR STREET TREES IN COMPLIANCE WITH THE CITY OF MCMINNVILLE PUBLIC WORKS DIVISION PARKWAY TREE PLANTING DETAIL, DRAWING NUMBER 346.
11. STREET TREE CLEARANCE REQUIREMENTS:  
11.1. NO STREET TREE SHALL BE PLANTED WITHIN 10' OF ANY FIRE HYDRANT, UTILITY POLE, SANITARY SEWER, STORM SEWER OR WATER LINES, OR WITHIN 20' OF ANY STREET LIGHT STANDARDS OR STREET INTERSECTIONS, OR WITHIN 5' OF ANY PRIVATE DRIVEWAY OR ALLEY, OR AS REQUIRED BY THE CURRENT EDITION OF THE CITY'S DESIGN STANDARDS. ADJUST PLANTING ON SITE AS NECESSARY TO

- 11.2. AVOID CONFLICTS WITH UTILITIES, METERS, LIGHTS, DRIVEWAY LOCATIONS, ETC. TREES SHALL BE PRUNED TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF 8' ABOVE SIDEWALKS, 15' ABOVE LOCAL STREETS, 15' ABOVE COLLECTOR STREETS AND 18' ABOVE ARTERIAL STREETS. TREE PRUNING SHALL NOT DAMAGE THE STRUCTURAL INTEGRITY OF THE TREE'S CANOPY AND BE PRUNED AND MAINTAINED TO NATURAL ARBORIST ASSOCIATION (NAA) STANDARDS FOR SHADE TREES.
- 11.3. MINOR FIELD ADJUSTMENT MAY BE MADE TO MEET REQUIRED CLEARANCES AND AS NEEDED TO ACCOMMODATE UNFORESEEN SITE CONDITIONS.
12. SMALL OR NARROW STATURE TREES (UNDER 25 FEET TALL AND LESS THAN 16 FEET WIDE BRANCHING) SHOULD BE SPACED NO GREATER THAN 20 FEET APART; MEDIUM SIZED TREES (25 FEET TO 40 FEET TALL, 16 FEET TO 20 FEET WIDE BRANCHING) SHOULD BE SPACED NO GREATER THAN 30 FEET APART; AND LARGE TREES (OVER 40 FEET TALL AND MORE THAN 20 FEET WIDE BRANCHING) SHOULD BE SPACED NO GREATER THAN 40 FEET APART. WITHIN RESIDENTIAL DEVELOPMENTS, STREET TREES SHOULD BE EVENLY SPACED.
13. CONTRACTOR SHALL CONTINUALLY MAINTAIN ALL STREET TREES AND RIGHT-OF-WAY LANDSCAPING ANYTIME OPEN SPACE TRACTS (TRACTS 2H & I), INCLUDING NECESSARY WATERING, WEEDING, PRUNING AND REPLACEMENT OF DEAD PLANT MATERIALS, UNTIL THE DATE OF FINAL ACCEPTANCE. AFTER FINAL ACCEPTANCE THE DEVELOPER/OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THESE PLANTINGS IN PERPETUITY. STREET TREES AND LAWN/GROUNDCOVER ADJACENT TO INDIVIDUAL LOTS SHALL BE INSTALLED, MAINTAINED, AND WATERED BY THE ADJACENT LOT OWNER.
14. MULCH: APPLY MULCH AROUND STREET TREES A MINIMUM OF 3' LONG BY THE FULL WIDTH OF PLANTER STRIP TO PROTECT TREES AND RETAIN SOIL. MULCH, WHICH SHALL BE 3" DEEP AND CONSIST OF WELL-AEZED DARK HICKORY OR FIR, MICHAM GRASS, UNDER AND AROUND ALL STREET TREES IN PLANTER STRIPS, SHALL BE TAKEN TO AVOID COVERING ROOT GROWTH OF TREES. TREES SHALL BE SET ABOVE SOIL LEVEL SO THAT THE CROWN OF THE ROOTBALL IS FLUSH WITH THE FINISH GRADE OF MULCH APPLICATION.
15. IRRIGATION: IRRIGATION FOR STREET TREE BEDS SHALL BE INSTALLED AT THE TIME OF STREET TREE INSTALLATION. THE IRRIGATION SYSTEM SHALL BE "DESIGN-BUILD" BY THE LANDSCAPE CONTRACTOR AND INCLUDE ALL WORK MATERIALS, AND LABOR NECESSARY FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM PER CITY OF MCMINNVILLE STANDARDS.
- 15.1. ALL WORK SHALL CONFORM TO THE "UNIFORM PLUMBING CODE" AND THE "NATIONAL ELECTRIC CODE" AS MODIFIED BY THE STATE OF OREGON UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR REQUIRED, AS WELL AS ASIM INTERNATIONAL SPECIFICATIONS PERTAINING TO PIPES, JOINTS, FITTINGS, ETC.
- 15.2. COORDINATE CONTROLLER LOCATION, SLEEVING LOCATIONS, POWER SOURCES, AND

- 15.3. OTHER NECESSARY SYSTEM COMPONENTS WITH GENERAL CONTRACTOR AND OWNER PRIOR TO INSTALLATION OF PAVEMENT/PAVING SURFACING. BATTERY OPERATED CONTROLLERS MAY BE CONSIDERED IF APPROVED BY THE OWNER. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO DOING WORK. CONTRACTOR SHALL PROTECT ANY UTILITIES AND FACILITIES THAT REMAIN IN PLACE. ANY LOCATED UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
- 15.4. PROVIDE PLAN WITH HEAD, VALVE, AND PIPE LAYOUT, DOUBLE CHECK VALVE, AND CONTROLLER TYPE/LOCATION TO OWNER FOR APPROVAL PRIOR TO INSTALLING IRRIGATION SYSTEM.
- 15.5. WATERSHED OVERSPRAY DUTY NON-IRRIGATED AND HARDSCAPED AREAS. PLACEMENT SHALL CONSIDER MATURE PLANT GROWTH AND PROVIDE COMPLETE (HEAD-TO-HEAD) COVERAGE.
- 15.6. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ELECTRICAL AND PLUMBING PERMITS, BACKFLOW TESTING, AND STATIC WATER PRESSURE TESTING.
16. GUARANTEE: ALL RIGHT-OF-WAY LANDSCAPE MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE-YEAR TO SURVIVE IN GOOD CONDITION. LANDSCAPE CONTRACTOR SHALL GUARANTEE REPLACEMENT OF DEAD OR DYING PLANT MATERIALS AT NO ADDITIONAL COST TO THE DEVELOPER EXCEPT IN CASES OF GROSS NEGLIGENCE OR VANDALISM DURING THE FIRST YEAR AFTER FINAL ACCEPTANCE.
17. NOTIFY THE CITY 48 HOURS PRIOR TO INSTALLATION OF THE STREET TREES. THE CITY WILL INSPECT THE INSTALLATION OF STREET TREES.



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**HILLCREST PHASE 9**  
PHASE 3 OF HILLCREST PD  
CON. CASE FILE NO. 1-24 & S-3-24  
MCMINNVILLE  
TULSA COUNTY, OKLA. MAP 43.24

## STREET TREE PLANTING PLAN (W), PLANTING SCHEDULE, AND NOTES

DESIGNED BY:	BNF
DRAWN BY:	BNF
MANAGED BY:	MKS
CHECKED BY:	KAM
DATE: 10/20/2024	
REVISION:	
JOB NUMBER:	5147-02
SHEET:	C120

# HILLCREST PHASE 9

## LANDSCAPE COVER SHEET

### LANDSCAPE GENERAL NOTES

- PLANT LAYOUT AND SCHEDULES AS SHOWN ARE INTENDED TO PORTRAY DESIGN INTENT. CHANGES AND ADJUSTMENTS TO PLANT SPECIES, SIZES, SPACING, QUANTITIES, LOCATIONS, ETC. MAY BE APPROVED DUE TO UNFORESEEN SITE CONDITIONS, UTILITY INSTALLATION, FINAL DRIVEWAY LOCATIONS, NURSERY STOCK AVAILABILITY, ETC. PRIOR TO FINAL INSTALLATION WHERE ALLOWABLE UNDER THE CITY OF MCMINNVILLE'S DESIGN STANDARDS. IF DISCREPANCIES OCCUR BETWEEN THE LAYOUT AND SCHEDULES, DESIGN INTENT PREVAILS OVER QUANTITIES LISTED. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH SITE CONDITIONS AND VERIFYING PLANT QUANTITIES AND MATERIALS PRIOR TO BEGINNING CONSTRUCTION.
- PLANT MATERIAL SHALL BE HEALTHY, EVENLY BRANCHED, AND OF TYPICAL FORM FOR THEIR SPECIES, CONFORMING TO SIZE AND QUALITY GRADE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.2 (CURRENT EDITION). TREES SHALL HAVE A STRONG CENTRAL LEADER.
- INSTALLER QUALIFICATIONS:
  - LANDSCAPING AND IRRIGATION WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR LICENSED AND BONDED IN THE STATE OF OREGON.
  - LANDSCAPING WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED "BEST PRACTICE" INDUSTRY STANDARDS, SUCH AS THOSE ADOPTED BY THE OREGON LANDSCAPE CONTRACTORS' BOARD (OLCB).
  - CONTRACTOR SHALL PROMPTLY COORDINATE LANDSCAPE WORK WITH GENERAL CONTRACTOR AND OWNER, INCLUDING ANY NECESSARY HANDSICAPING AND IRRIGATION SLEEVING LOCATIONS, TO MINIMIZE DELAY TO OTHER TRADE WORK.
- SOIL PREPARATION:
  - PRIOR TO PLANT INSTALLATION, ALL ORNAMENTAL PLANTING BED AREAS IN TRACTS J & H SHALL BE BROUGHT TO GRADE SHOWN IN GRADING PLANS AND HAVE ADEQUATE TOPSOIL OF SUFFICIENT HEALTH AND FERTILITY TO SUPPORT NORMAL PLANT GROWTH AND ESTABLISHMENT. TOPSOIL SOURCES MAY BE EITHER NON-CONTRACTED EXISTING NATIVE SOIL, FROM TOPSOIL SOURCES STOCKPILED ON SITE, OR IMPORTED IF REQUIRED TO MAKE UP TOTAL AMOUNTS. TOPSOIL IN THESE AREAS SHALL BE A MINIMUM OF 12" DEEP, HAVE A PH OF 5.5-7.5, ORGANIC MATTER CONTENT OF 3-10%, AND BE FREE FROM SEEDS INCLUDING STICKS, ROCKS, GLASS, LUMPS, ETC. OVER 3/4" DIAMETER AND OTHER DEBRIS. MATERIAL HARMFUL TO PLANT GROWTH. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF UNSUITABLE MATERIALS OFF-SITE IN SUCH A MANNER TO MEET ALL APPLICABLE REGULATIONS. CONTRACTOR SHALL PROVIDE SOIL TEST FOR SOIL FOR APPROVAL PRIOR TO PROCEEDING WITH PLANTING.
  - GRADE SHALL BE SMOOTH, HAVE NO LOW OR HIGH SPOTS WHERE WATER MAY COLLECT.
  - IRRIGATION PLANTINGS SHALL BE POCKET PLANTED IN EXISTING SOIL. KEEP EXCAVATIONS TO THE MINIMUM SIZE PRACTICABLE TO LIMIT SOIL DISTURBANCE.
  - CONTRACTOR SHALL THOROUGHLY WATER SETTLE ALL PLANTS AFTER PLANTING TO REMOVE AIR POCKETS. AFTER WATERING, CONTRACTOR SHALL CORRECT ANY HIGH/LOW SPOTS BY ADDING OR REMOVING SOIL TO MEET FINISH GRADE REQUIREMENTS.
- DOUBLE STAKE ALL TREES 1.5" CAL. AND GREATER UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL CONTINUALLY MAINTAIN ALL OPEN SPACE TRACTS (TRACTS J & H), INCLUDING NECESSARY WATERING, WEEDING, PRUNING, AND REPLACEMENT OF DEAD PLANT MATERIALS, UNTIL THE DATE OF FINAL ACCEPTANCE. AFTER FINAL ACCEPTANCE, THE DEVELOPER/OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THESE PLANTINGS IN PERPETUITY.
- MULCH: APPLY 3" DEEP WELL-AGED MEDIUM GRIND OR SHREDED DARK HEMLOCK OR FIR BARK MULCH UNDER AND AROUND ALL PLANTINGS. TREES IN LAWN AREAS SHALL HAVE A MINIMUM 3" DIAMETER BARK MULCH RING CENTERED ON THE TRUNK FOR EASE OF MAINTENANCE. CARE SHALL BE TAKEN TO AVOID COVERING FOLIAGE OR ROOT CROWNS OF PLANTS. PLANTS SHALL BE SET ABOVE SOIL LEVEL SO THAT THE CROWN OF THE ROOTBALL IS FLUSH WITH THE FINISH GRADE OF MULCH APPLICATION.
- IRRIGATION: IRRIGATION SHALL BE INSTALLED AT THE TIME OF PLANT INSTALLATION. THE IRRIGATION SYSTEM SHALL BE "TICKER-HEAD" BY THE LANDSCAPE CONTRACTOR AND INCLUDE ALL WORK, MATERIALS, AND LABOR NECESSARY FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM PER CITY OF MCMINNVILLE STANDARDS. PERMANENT IRRIGATION SHALL BE PROVIDED IN TRACTS J & H.
  - ALL WORK SHALL CONFORM TO THE "UNIFORM PLUMBING CODE" AND THE "NATIONAL ELECTRIC CODE" AS MODIFIED BY THE STATE OF OREGON UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR REQUIRED, AS WELL AS ASTM INTERNATIONAL SPECIFICATIONS PERTAINING TO PIPES, SOLVENT CEMENTS, FITTINGS, ETC.
  - COORDINATE CONTROLLER LOCATION, SLEEVING LOCATIONS, POWER SOURCES, AND OTHER NECESSARY SYSTEM COMPONENTS WITH GENERAL CONTRACTOR AND OWNER PRIOR TO INSTALLATION OF PAVEMENT/HARD SURFACING. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO DOING WORK. CONTRACTOR SHALL PROTECT ANY UTILITIES AND FACILITIES THAT REMAIN IN PLACE. ANY LOCATED UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
  - PROVIDE PLAN WITH HEAD, VALVE, AND PIPE LAYOUT, DOUBLE CHECK VALVE, AND CONTROLLER TOP/LOCATION TO DEVELOPER FOR APPROVAL PRIOR TO INSTALLING IRRIGATION SYSTEM. BATTERY OPERATED CONTROLLERS MAY BE CONSIDERED IF APPROVED BY THE DEVELOPER.
  - MINIMIZE OVERLAY ON NON-IRRIGATED AND HANDSICAPED AREAS. PLACEMENT SHALL CONSIDER MATURE PLANT GROWTH AND PROVIDE COMPLETE (HEAD-TO-HEAD) COVERAGE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ELECTRICAL AND PLUMBING PERMITS, BACKFLOW TESTING, AND STATIC WATER PRESSURE TESTING.
- GUARANTEE: ALL LANDSCAPE MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE-YEAR TO SURVIVE IN GOOD CONDITION. LANDSCAPE CONTRACTOR SHALL GUARANTEE REPLACEMENT OF DEAD OR DYING PLANT MATERIALS AT NO ADDITIONAL COST TO THE OWNER EXCEPT IN CASES OF GROSS NEGLIGENCE OR VANDALISM DURING THE FIRST YEAR AFTER FINAL ACCEPTANCE.



SITE MAP

1"=120'



### SHEET INDEX

- L100 LANDSCAPE COVER SHEET AND NOTES
- L101 PARK LANDSCAPE PLANS
- L102 DOGPARK LANDSCAPE PLANS
- L103 LANDSCAPE PLANTING DETAILS AND PLANT SCHEDULE
- L104 LANDSCAPE SITE FURNISHING DETAILS
- L105 PLAYGROUND SURFACING AND EQUIPMENT NOTES
- L106 PLAYGROUND EQUIPMENT DETAILS
- L107 STORMWATER FACILITY PLANTING PLAN
- L108 STORMWATER FACILITY NOTES & PLANTING SCHEDULE

### ATTENTION EXCAVATORS

OREGON LAW REQUIRES CONTRACTOR TO COMPLY WITH RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090. COPIES OF RULES MAY BE OBTAINED BY CONTACTING THE UTILITY LOCATE CENTER AT (503) 232-1987.



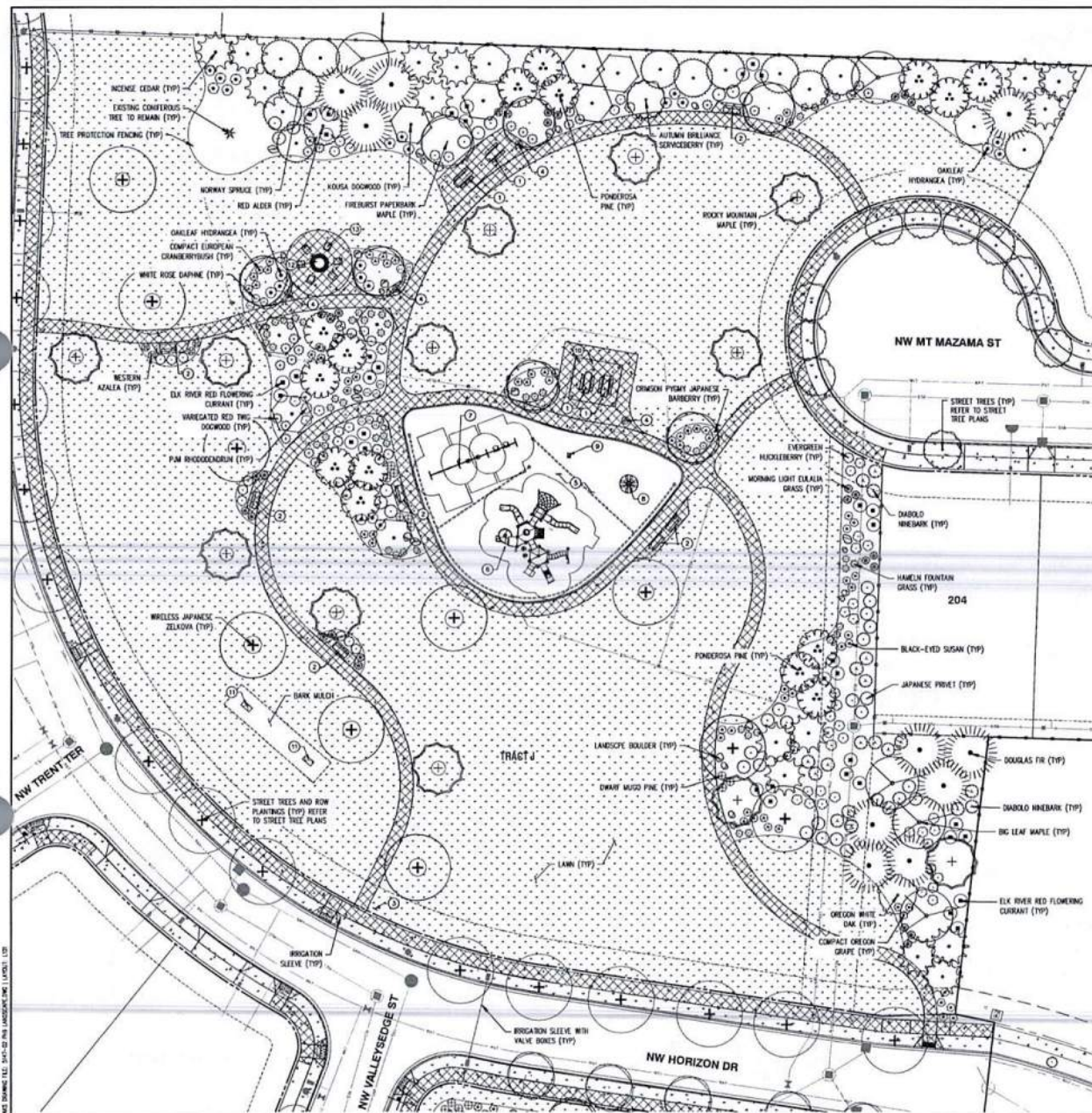
Know what's below.  
Call before you dig.



**HILLCREST PHASE 9**  
PHASE 3 OF HILLCREST PD  
COM CASE FILE PDA 1-24 & S 3-24  
**OREGON**  
**MCMINNVILLE**  
TAMAR COOK, P.E., M.A.S.P. 45274

**LANDSCAPE COVER SHEET AND NOTES**

DESIGNED BY:	BNF
DRAWN BY:	BNF
REVIEWED BY:	MKS
CHECKED BY:	KAR
DATE: 11/17/25	
JOB NUMBER <b>5147-02</b>	
SHEET <b>L100</b>	



### TRACT J PLANT KEY

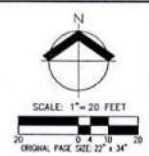
SYMBOL BOTANICAL / COMMON NAME

- |  |  |
|--|--|
| <p>WETLAND TREES</p> <ul style="list-style-type: none"> <li>ACER GLABRUM</li> <li>ROCKY MOUNTAIN MAPLE</li> <li>ACER DREUM "J'S KINGSIDE"</li> <li>FIREBURN PAPERBARK MAPLE</li> <li>ACER MACROPHYLLUM</li> <li>BIG LEAF MAPLE</li> <li>ALNUS RUPEA</li> <li>AMELANCHIER X GRANIFLORA "AUTUMN BRILLIANCE"</li> <li>AUTUMN BRILLIANCE SERVICEBERRY</li> <li>CALOCORUS DECORATUS</li> <li>INCENSE CEDAR</li> <li>CORNUS KOUSA</li> <li>KORSA DOGWOOD</li> <li>PICEA ABIES</li> <li>MORNING SPRUCE</li> <li>PRINUS POMEROSA</li> <li>POMEROSA PINE</li> <li>PSEUDOTSUGA MENDOCINO</li> <li>DOUGLAS FIR</li> <li>QUERCUS GARRYANA</li> <li>OREGON WHITE OAK</li> <li>ZELKOVA SERRATA "SCHWIDLOW"</li> <li>WIRELESS JAPANESE ZELKOVA</li> </ul> | <p>SHRUBS</p> <ul style="list-style-type: none"> <li>BERBERIS THUNBERGII "ORANGE PUNCH"</li> <li>ORANGE PUNCH JAPANESE BARBERRY</li> <li>CORNUS SERICEA "VARIEGATA"</li> <li>VARIEGATED RED TINE DOGWOOD</li> <li>DAPHNE ODORATA "ALBA"</li> <li>WHITE ROSE DAPHNE</li> <li>HYDRANGEA QUERCIFOLIA</li> <li>OAKLEAF HYDRANGEA</li> <li>LEUCOSTRUM JAPONICUM</li> <li>JAPANESE PRINCE</li> <li>MAHONIA AQUIFOLIUM "COMPACTA"</li> <li>COMPACT OREGON GRAPE</li> <li>POLLINATOR PLANT, NATIVE CULTIVAR</li> <li>MISCHAMUS SINENSIS "MORNING LIGHT"</li> <li>MORNING LIGHT EULALIA GRASS</li> <li>PENNSYLVANIA ALPHELOIDES "HAMELIN"</li> <li>HAMELIN FOUNTAIN GRASS</li> <li>PHYSOCARPUS OPULIFOLIUS "DIABLO"</li> <li>DIABLO HINEBARK</li> <li>POLLINATOR PLANT</li> <li>PRINUS MUDD "PUMILLO"</li> <li>DWARF MUDD PINE</li> <li>RHODODENDRON OCCIDENTALE</li> <li>WESTERN AZALEA</li> <li>NATIVE RHODODENDRON X "P.J.M."</li> <li>PAM RHODODENDRON</li> <li>POLLINATOR PLANT</li> <li>RIBES SANGUINEUM</li> <li>GLUTINOSUM "ELK RIVER"</li> <li>ELK RIVER RED FLOWERING CURRANT</li> <li>RIBES CORDIFOLIUM</li> <li>BLACK-EYED SUSAN</li> <li>VACCINIUM OXYCOCOS</li> <li>EUROPEAN HUCKLEBERRY</li> <li>VOLUNKIA SPALUS "COMPACTA"</li> <li>COMPACT EUROPEAN CRANBERRYBUSH</li> </ul> |
|--|--|

- GROUND COVERS
- ENGINEERED WOOD FIBER SAFETY SURFACING
  - LAWN
  - LANDSCAPE BOULDERS

### AMENITY KEY

- |   |                               |
|---|-------------------------------|
| 1. TYPICAL 8'-FT. DUAL ADA PONDIC TABLE   | 8. INCLUSIVE MERRY-GO-ROUND   |
| 2. TYPICAL BENCH                          | 9. TODDLER TREAD SPRING REXER |
| 3. TYPICAL PET WASTE STATION              | 10. PONDIC SHELTER            |
| 4. TYPICAL REFUSE CONTAINER               | 11. CORNHOLE BOARD            |
| 5. ENGINEERED WOOD FIBER SAFETY SURFACING | 12. 7" DIAMETER FIRE PIT      |
| 6. PLAYGROUND SYSTEM                      | 13. ADJUSTABLE CHAIRS         |
| 7. SWINGS                                 |                               |



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WWW.AKS-INC.COM

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**FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE**

**HILLCREST PHASE 9**  
PHASE 3 OF HILLCREST PD  
CON CASE FILE POA 1-24 & S 3-24

**OREGON**  
**MCMINNVILLE**  
TULSA COUNTY TAX MAP 43.24

**TRACT J HOA PARK**  
**LANDSCAPE PLAN**

DESIGNED BY: BNF  
DRAWN BY: BNF  
MANAGED BY: MTS  
CHECKED BY: KMH  
DATE: 11/14/2023  
**REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT**  
STATE OF OREGON

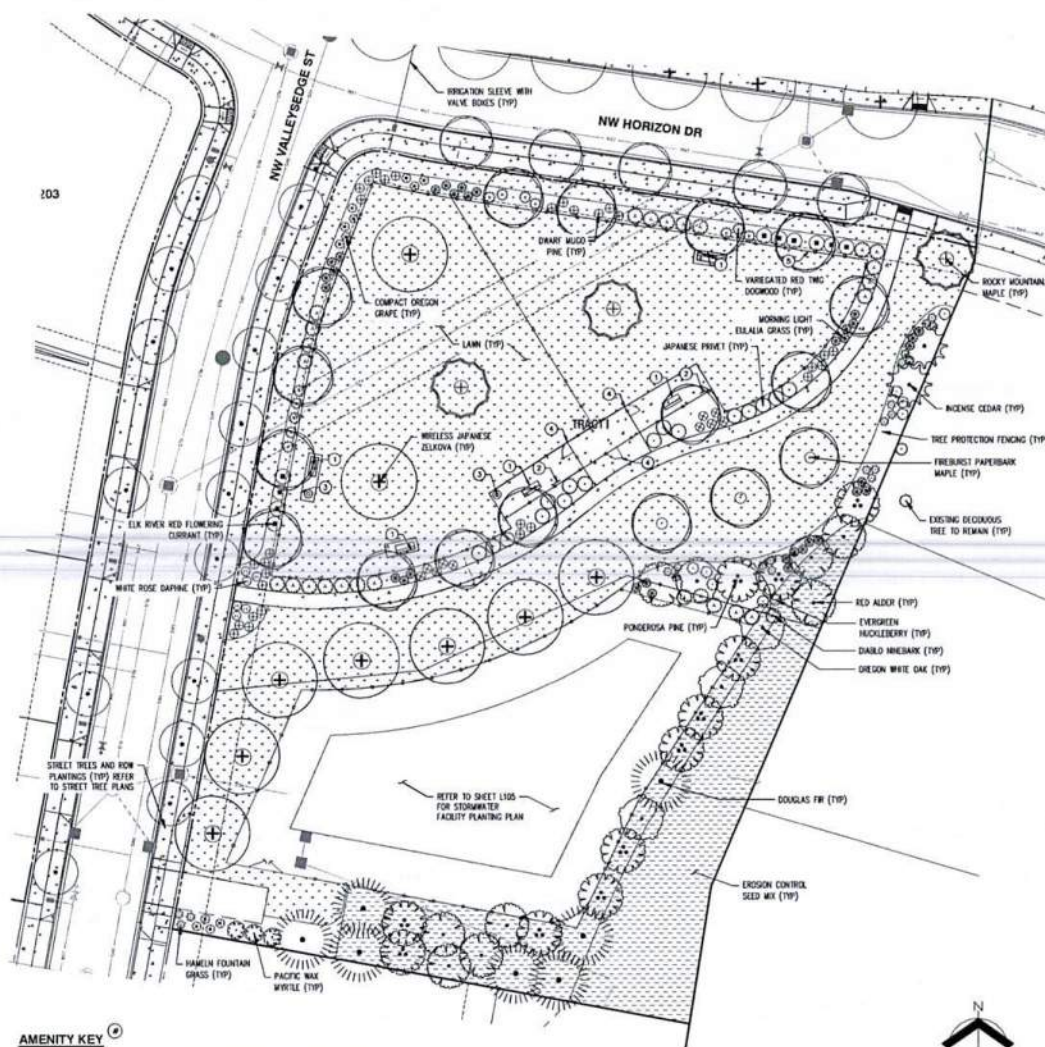
JOB NUMBER  
**5147-02**

SHEET  
**L101**

**TRACT J PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
MIGRATION TREES					
	12	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	1.5" MIN. CAL. BAB	AS SHOWN
	7	ACER GRISEUM "JFS KIMBACH"	FREIBURGER PAPERBARK MAPLE	1.5" MIN. CAL. BAB	AS SHOWN
	5	ACER MACROPHYLLUM	BIG LEAF MAPLE	1.5" MIN. CAL. BAB	AS SHOWN
	1	ALNUS RUBRA	RED ALDER	1.5" MIN. CAL. BAB	AS SHOWN
	1	AMELANCHIER x GRANDIFLORA "AUTUMN BRILLIANCE"	AUTUMN BRILLIANCE SERVICEBERRY	1.5" MIN. CAL. BAB	AS SHOWN
	15	CALOCEDRUS DECURRENS	INCENSE CEDAR	1.5" MIN. CAL. BAB	AS SHOWN
	8	CORNUS KOUSA	KOUSA DOGWOOD	1.5" MIN. CAL. BAB	AS SHOWN
	12	PICEA ABIES	NORWAY SPRUCE	1.5" MIN. CAL. BAB	AS SHOWN
	15	PINUS PONDEROSA	PONDEROSA PINE	1.5" MIN. CAL. BAB	AS SHOWN
	10	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	1.5" MIN. CAL. BAB	AS SHOWN
	3	QUERCUS GARRYANA	OREGON WHITE OAK	1.5" MIN. CAL. BAB	AS SHOWN
	10	ZELKOVA SERRATA "SCHMIDTLEIN"	WIRELESS JAPANESE ZELKOVA	1.5" MIN. CAL. BAB	AS SHOWN
SYMBOL QTY DESCRIPTION					
GROUND COVERS					
	15,441 SF	ENGINEERED WOOD FIBER	SAFETY SURFACING		
	5,875 SF	LAWN	NORTHWEST SUPREME LAWN SEED MIX BY SUMMARY SEEDS (OR APPROVED EQUIV.) DASHER 3 PERENNIAL Ryegrass (Lolium perenne var. DASHER 3), JOE CUTLER 8 PERENNIAL Ryegrass (Lolium perenne var. CUTLER 8), SUN CARPET creeping red fescue (Festuca rubra var. CARPET), 15% WHOLEWORT CHERMIS FESCUE (Festuca rubra ssp. PALACE var. WHOLEWORT) 15% APPLY AT A RATE OF 8 LBS. PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER.		
LANDSCAPE Boulders: ANGULAR BASALT, ONEITE OR LOCAL SOURCES PREFERRED. NATURAL GRAYS AND TANS. PLACE SPLIT FACE TOWARDS PRIMARY VIEW FOR A NATURAL APPEARANCE. A MINIMUM OF 1/3 OF THE TOTAL BOULDER HEIGHT SHALL BE BURIED FOR STABILITY. SIZE BOULDERS ACCORDINGLY. APPROXIMATE SIZE VARIANCES SHALL BE: --APPROXIMATELY 1/4 OF THE TOTAL WITH A MINIMUM OF 24" EXPOSED HEIGHT ABOVE GRADE --APPROXIMATELY 1/2 OF THE TOTAL WITH A MINIMUM OF 36" EXPOSED HEIGHT ABOVE GRADE --APPROXIMATELY 1/4 OF THE TOTAL WITH A MINIMUM 42" EXPOSED HEIGHT ABOVE GRADE					

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
GROUND COVERS					
	15,441 SF	ENGINEERED WOOD FIBER	SAFETY SURFACING		
	5,875 SF	LAWN	NORTHWEST SUPREME LAWN SEED MIX BY SUMMARY SEEDS (OR APPROVED EQUIV.) DASHER 3 PERENNIAL Ryegrass (Lolium perenne var. DASHER 3), JOE CUTLER 8 PERENNIAL Ryegrass (Lolium perenne var. CUTLER 8), SUN CARPET creeping red fescue (Festuca rubra var. CARPET), 15% WHOLEWORT CHERMIS FESCUE (Festuca rubra ssp. PALACE var. WHOLEWORT) 15% APPLY AT A RATE OF 8 LBS. PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER.		
LANDSCAPE Boulders: ANGULAR BASALT, ONEITE OR LOCAL SOURCES PREFERRED. NATURAL GRAYS AND TANS. PLACE SPLIT FACE TOWARDS PRIMARY VIEW FOR A NATURAL APPEARANCE. A MINIMUM OF 1/3 OF THE TOTAL BOULDER HEIGHT SHALL BE BURIED FOR STABILITY. SIZE BOULDERS ACCORDINGLY. APPROXIMATE SIZE VARIANCES SHALL BE: --APPROXIMATELY 1/4 OF THE TOTAL WITH A MINIMUM OF 24" EXPOSED HEIGHT ABOVE GRADE --APPROXIMATELY 1/2 OF THE TOTAL WITH A MINIMUM OF 36" EXPOSED HEIGHT ABOVE GRADE --APPROXIMATELY 1/4 OF THE TOTAL WITH A MINIMUM 42" EXPOSED HEIGHT ABOVE GRADE					





- NOTES:
1. FENCE MATERIAL SHALL BE NO. 11 GAUGE GALVANIZED STEEL FABRIC WITH BONDED VINYL COATING (BLACK).
  2. FENCE POSTS SHALL BE GALVANIZED STEEL WITH TOP CAPS AND SET 2 FEET DEEP IN CONCRETE.
  3. CROSS BARS SHALL CONNECT ADJACENT FENCE POSTS WITH DIAGONAL BRACES AT CORNERS AND ENDS.
  4. SET PLAN FOR LOCATION OF FENCE.
  5. ALL FENCING MATERIALS INCLUDING CHAIN LINK FABRIC, POSTS, BARS, ETC.) SHALL BE COVERED WITH BLACK-COLORED VINYL COATING. THE COLOR SHOULD BE THE SAME FOR ALL FENCING MATERIALS.
  6. 5" HIGH FENCE: CONCRETE POST BASE SHALL BE 12" MINIMUM DIAMETER X 36" DEEP, 3,000 PSI CONCRETE.



- NOTES
1. DOUBLE STAKE TREES, STAKES NOT REQUIRED ON TREES LESS THAN 3" DBL. DUE SPACES OUTSIDE OF ROOTBALL.
  2. FINE GRADE OF SOIL/HAUL NOT NEEDED UNDER ROOT FLARE, KEEP HOLLOW A MINIMUM OF 3" FROM BARK OF TREE.
  3. REMOVE ALL WEEDS, WEEDS, BARKS, TWIGS, AND OTHER NON-COMPATIBLE MATERIALS FROM THE TREE FOOTBALL PRIOR TO PLANTING. TREES IN CONTAINERS SHALL HAVE THEIR ROOTBALLS DISPOSED AND CHECKED FOR CIRCUING ROOTS.
  4. CONTRACTOR SHALL WATER-SEAL PLANTING HOLES TO REMOVE AIR POCKETS PRIOR TO SPREADING MULCH.
  5. TREES PLANTED ON SLOPES SHALL BE PLANTED IN A VERTICAL (UPPER) POSITION; CONTRACTOR SHALL CUT DOWN SMALL SHEDS AND BARKFILL DOWNHILL SIDE OF PLANTING HOLE TO CREATE A LEVEL PLANTING AREA; POSITION ROOTS PRIOR TO SLOPE ELEVATION; NO SOIL BUILDUP SHALL OCCUR DURING PLANTING.



- NOTES:
1. BACETERIAL SOIL MIX SHALL BE 2/3 ORGANIC MATERIALS & 1/3 NATIVE TOPSOIL (NATIVE TOPSOIL ONLY IN WATCHDOG AREA)
  2. REMOVE ALL CONTAMINANTS, METAL, TINE, TAGS, AND OTHER NON-BiodeGRADABLE MATERIALS PRIOR TO PLANTING.
  3. ALL CONTAMINATED PLANT STOCK SHALL BE VIOLENT, FREE OF DISEASE AND PESTS, EXACTLY FULFILL AND BE FULLY ROOTED IN THE CONTAINER IN WHICH THEY ARE DELIVERED. ALL PLANTS SHALL FOLLOW AND MEET 280.1 STANDARDS FOR NURSERY STOCK FOR CONTAINER SIZE, HEIGHT, ETC.
  4. CONTRACTOR SHALL WATER-SETTLE PLANTING HOLES TO REMOVE AIR POCKETS PRIOR TO SPREADING MULCH.
  5. CARE SHALL BE TAKEN TO AVOID COVERING ROOT CROWN OF PLANTS WITH BARN MULCH.
  6. SHRUBS PLANTED ON SLOPES SHALL BE PLANTED IN A VERTICAL (UPRIGHT) POSITION. CONTRACTOR SHALL CUT OUT AND REMOVE ALL EXCESS BARK MULCH. SLOPE PLANTING SHALL BE PLANTED TO CREATE A LEVEL PLANTING AREA. POSITION ROOT CROWN AT EXACT DEPTH OF PLANTING. SLOPE PLANTING SHALL BE PLANTED TO CREATE A LEVEL PLANTING AREA. POSITION ROOT CROWN AT EXACT DEPTH OF PLANTING.



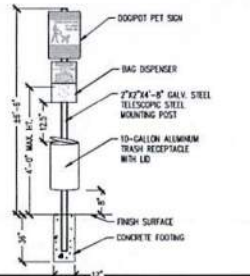
- NTS  
NOTES:
- 1. BACKFILL: SOIL MAY SHALL BE 1/3 ORGANIC MATERIALS AND 2/3 NATIVE TOPSOIL.
  - 2. REMOVE ALL CONTAINERS, METAL, TRUNK, TAGS, AND OTHER NON-BIODEGRADABLE MATERIALS PRIOR TO PLANTING.
  - 3. ALL LANDSCAPED PLANT STOCK MAY BE WOODRIDS, FREE OF DISEASE AND PESTS, FULLY FORMED, AND BE FULLY ROOTED IN THE CONTAINER IN WHICH THEY ARE DELIVERED. ALL PLANTS SHALL FOLLOW AND MEET STANDARDS FOR NURSERY STOCK FOR CONTAINER SIZE, HEIGHT, ETC.
  - 4. CONTRACTOR SHALL WATER-SETTLE PLANTING HOLES TO REMOVE AIR POCKETS PRIOR TO SPREADING MULCH. DO NOT COVER PLANTAGE OR ROOT SYSTEMS OF GROUNDCOVER PLANTS.
  - 5. GROUNDCOVER PLANTS PLANTED ON SLOPES SHALL BE POSTERONED SO THAT THEIR LEADERS FOLLOW THE NATURAL GRADE OF THE SLOPE.



- [illegible]

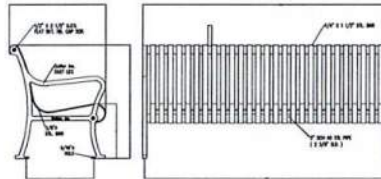


- NTS  
NOTES:
1. SOIL MIX FOR TREE PLANTING TO BE 1/3 ORGANIC MATERIALS, 1/3 TOPSOIL, AND 1/3 SANDY LOAM.
  2. REMOVE ALL WIRES, METAL BASKETS, TRUNK, AND OTHER NON-COMPOSTABLE MATERIALS FROM TREE ROOTBALL PRIOR TO PLANTING.



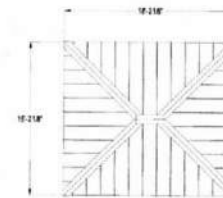
**1 TYPICAL DOG WASTE STATION DETAIL**

NOTES:  
1. FINAL HEIGHT OF SIGN AND POST TO BE 44"-6" ABOVE FINISH GRADE.  
2. DETAIL IS PROVIDED FOR REFERENCE ONLY. INSTALL PER MANUFACTURER INSTRUCTIONS.  
3. REFER TO LANDSCAPE PLAN FOR PRODUCT LOCATIONS.



**2 TYPICAL BENCH DETAIL**

NOTES:  
1. DETAIL IS PROVIDED FOR REFERENCE ONLY. NO LOGO. COMPARABLE SUBSTITUTES MAY BE APPROVED.  
2. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS.  
3. REFER TO LANDSCAPE PLANS FOR PRODUCT LOCATIONS.



PLAN VIEW



SIDE VIEW



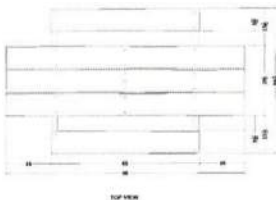
FRONT VIEW



SIDE VIEW

**3 CONCEPTUAL 16' X 18' PICNIC SHELTER ELEVATION**

NOTES:  
1. DETAIL IS PROVIDED FOR REFERENCE ONLY. COMPARABLE SUBSTITUTES MAY BE APPROVED.  
2. REFER TO LANDSCAPE PLANS FOR PRODUCT LOCATIONS.



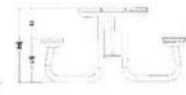
TOP VIEW



PERSPECTIVE VIEW



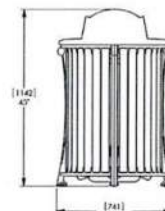
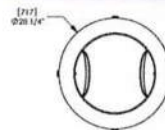
SIDE VIEW



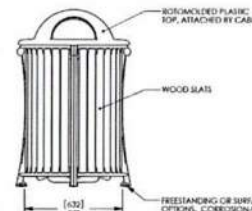
SIDE VIEW

**4 8-FT DUAL ADA PICNIC TABLE DETAIL**

NOTES:  
1. DETAIL IS PROVIDED FOR REFERENCE ONLY. COMPARABLE SUBSTITUTES MAY BE APPROVED.  
2. DETAIL IS PROVIDED FOR REFERENCE ONLY. NO LOGO. COMPARABLE SUBSTITUTES MAY BE APPROVED.  
3. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS.  
4. REFER TO LANDSCAPE PLANS FOR PRODUCT LOCATIONS.



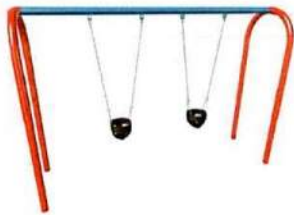
FRONT VIEW



FRONT VIEW

**5 TYPICAL REFUSE CONTAINER DETAIL**

NOTES:  
1. DETAIL IS PROVIDED FOR REFERENCE ONLY. NO LOGO. COMPARABLE SUBSTITUTES MAY BE APPROVED.  
2. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS.  
3. REFER TO LANDSCAPE PLANS FOR PRODUCT LOCATIONS.



TODDLER BUCKET SEATS



2 BELT SWINGS (AGES 5-12)



2 ACCESSIBLE SWINGS

1 SWING IMAGE

NTS  
NOTE:  
1. DETAIL IS FOR REFERENCE ONLY. INSTALL PER MANUFACTURER INSTRUCTIONS.  
2. REFER TO LANDSCAPE PLAN FOR PRODUCT SPECIFICATIONS AND LOCATION.  
3. COLORS TO BE DETERMINED BY OWNER.



3 CONCEPTUAL TODDLER TOAD SPRING RIDER IMAGE

NTS  
NOTE:  
1. DETAIL IS FOR REFERENCE ONLY. INSTALL PER MANUFACTURER INSTRUCTIONS.  
2. REFER TO LANDSCAPE PLAN FOR PRODUCT SPECIFICATIONS AND LOCATION.  
3. COLORS TO BE DETERMINED BY OWNER.



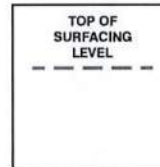
4 CONCEPTUAL INCLUSIVE MERRY-GO-ROUND IMAGE

NTS  
NOTE:  
1. DETAIL IS FOR REFERENCE ONLY. INSTALL PER MANUFACTURER INSTRUCTIONS.  
2. REFER TO LANDSCAPE PLAN FOR PRODUCT SPECIFICATIONS AND LOCATION.  
3. COLORS TO BE DETERMINED BY OWNER.



6 CONCEPTUAL PLAYGROUND SYSTEM IMAGE

NTS  
NOTE:  
1. DETAIL IS FOR REFERENCE ONLY. INSTALL PER MANUFACTURER INSTRUCTIONS.  
2. REFER TO LANDSCAPE PLAN FOR PRODUCT SPECIFICATIONS AND LOCATION.  
3. COLORS TO BE DETERMINED BY OWNER.



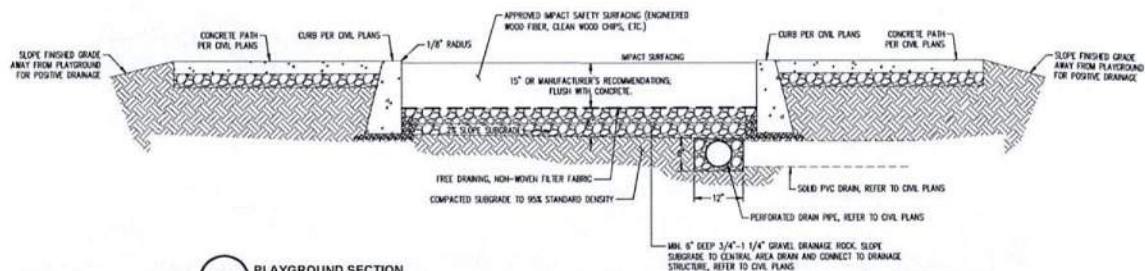
2 SAFETY SURFACING LEVEL STICKER EXAMPLE

NTS  
NOTE:  
1. CONTRACTOR TO INSTALL PERMANENT STICKER, SIMILAR TO THE ABOVE EXAMPLE, ON ALL PLAY STRUCTURE POSTS TO INDICATE LEVEL AT WHICH SAFETY SURFACING MUST BE MAINTAINED.



5 AGE USE STICKER

NTS  
NOTE:  
1. DETAIL IS FOR REFERENCE ONLY. INSTALL PER MANUFACTURER INSTRUCTIONS FOR EACH PLAY EQUIPMENT PIECE.



7 PLAYGROUND SECTION

NTS  
NOTES:  
1. DETAIL IS FOR REFERENCE ONLY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. REFER ALSO TO LANDSCAPE DETAIL PLANS.  
2. CONCRETE SHALL BE 3000 PSI MIN. (CLASS II) 3/4" SLUMP (MAX). COMPACTED SUBGRADE & AGGREGATE TO 95% OF MAXIMUM DRY DENSITY PER T-99 OR AS SHOWN ON ENGINEERING PLANS.  
3. SAFETY SURFACING SHALL BE CLEAN WOOD CHIPS, ENGINEERED WOOD FIBER, OR OTHER TYPE RECOMMENDED BY THE PLAYGROUND EQUIPMENT MANUFACTURER.  
3.1. IF USED, ENGINEERED WOOD FIBER TO BE MANUFACTURED FROM SIZE-CONTROLLED SOFTWOODS AND/OR HARDWOODS THAT AVERAGE 1"-2" IN LENGTH AND CONTAIN A MAXIMUM OF 1% FINE PARTICLES. NON-TOXIC AND DOES NOT CONTAIN PAINT, CHEMICALS, ADDITIVES, OR ANY OTHER HAZARDOUS MATERIALS. CONTAINS MINIMAL BARK, AND IS FREE OF TWIG, LEAF DEBRIS, AND ORGANIC MATERIAL.  
4. PLAYGROUND AREA SHALL MEET ASTM F-1487 STANDARDS FOR PLAY EQUIPMENT AND ASTM F-1292 FOR IMPACT SURFACING. COORDINATE WITH MANUFACTURER FOR PLAY EQUIPMENT HEIGHTS, FALL AREA, AND IMPACT SURFACE THICKNESS.  
5. LACE PLAY EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SAFE USE ZONES. CONFORM WITH MANUFACTURER PRIOR TO SETTING EQUIPMENT.  
6. FILTER FABRIC TO BE NON-WOVEN, FREE DRAINING, AND FLOW THROUGH.  
7. REFER TO CIVIL PLANS FOR DRAINAGE STRUCTURE LOCATION AND CONNECTION. REFER TO CIVIL PLANS FOR CURB LOCATIONS AND DETAILS.

### SITE AMENITIES AND FURNISHINGS NOTES

1. SET FINGERING, MORTISE, JOINTS, MATERIALS, AND DETAILS ARE PROVIDED FOR THE CONTRACTOR TO CONSIDER. THE CONTRACTOR SHALL SUBMIT A PROPOSAL FOR THE FINGERING, JOINTS, MORTISES, MATERIALS, AND DETAILS TO BE PROVIDED FOR THE PROJECT.
2. IF A SET FINGERING, MORTISE, JOINTS, MATERIALS, AND DETAILS IS REQUIRED FOR THE PROJECT, THE CONTRACTOR SHALL SUBMIT A PROPOSAL FOR THE FINGERING, JOINTS, MORTISES, MATERIALS, AND DETAILS TO BE PROVIDED FOR THE PROJECT.
3. THE CONTRACTOR SHALL SUBMIT A PROPOSAL FOR THE FINGERING, JOINTS, MORTISES, MATERIALS, AND DETAILS TO BE PROVIDED FOR THE PROJECT.
4. THE CONTRACTOR SHALL SUBMIT A PROPOSAL FOR THE FINGERING, JOINTS, MORTISES, MATERIALS, AND DETAILS TO BE PROVIDED FOR THE PROJECT.
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11. THE CONTRACTOR SHALL SUBMIT A PROPOSAL FOR THE FINGERING, JOINTS, MORTISES, MATERIALS, AND DETAILS TO BE PROVIDED FOR THE PROJECT.
12. THE CONTRACTOR SHALL SUBMIT A PROPOSAL FOR THE FINGERING, JOINTS, MORTISES, MATERIALS, AND DETAILS TO BE PROVIDED FOR THE PROJECT.
13. THE CONTRACTOR SHALL SUBMIT A PROPOSAL FOR THE FINGERING, JOINTS, MORTISES, MATERIALS, AND DETAILS TO BE PROVIDED FOR THE PROJECT.

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FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE



- and planning (p. 347-49) and landscape (p. 400-401).



**AKS**  
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**HILLCREST PHASE 9**  
PHASE 3 OF HILLCREST PD  
COM CASE FILE PDA 1-24 & S 3-24  
**MCMINNVILLE OREGON**

TRACT H STORMWATER  
PLATNING PLAN, NOTES  
AND PLANTING SCHEDULE

DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 MANAGED BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: 11/3/25

**REGISTERED**  
**ARCHITECT**  
**STATE OF CALIFORNIA**  
**NO. 10000**  
**EXPIRATION DATE: 12/31/2026**

BY: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

JOB NUMBER  
**5147-02**

SHEET  
**L105**



**Tree Mitigation Tracker**  
**Hillcrest Subdivision**  
**AKS # 5147-02**  
**11/03/2025**

**TREE MITIGATION TRACKER - ACTUAL**

MITIGATION TOTALS - ACTUAL					
	Lot Trees <sup>1</sup> (By Homebuild)	Open Space Trees <sup>2</sup> (By Developer)	Total Trees Planted <sup>3</sup>	Mitigation Requirement <sup>4</sup>	Cumulative Mitigation <sup>5</sup>
Phase 7	97	10	107	0	107
Phase 8	348	397	745	316	536
Phase 9	96	177	273	12	797
Phase 10	159	0	159	9	947
Phase 11	147	0	147	1	1093
Phase 12	336	520	856	1157	793
Phase 13	140	5	145	441	496
Phase 14	165	14	179	495	180
Phase 15	120	0	120	456	-156
Total	1608	1123	2731	2887	

<sup>1</sup> Trees planted on lots per individual lot Building Permits

<sup>2</sup> Trees planted in open spaces per Site Development Landscape Plans

<sup>3</sup> Total Trees Planted = Lot Trees + Open Space Trees

<sup>4</sup> Mitigation Trees required per Site Development Tree Preservation and Removal Plans

<sup>5</sup> Cumulative Mitigation = Total Trees Planted - Mitigation Requirement

Green Fill = Quantity per Approved or Submitted Plans

No Fill = Assumptions from Land Use

**TREE MITIGATION TRACKER - LAND USE ASSUMPTIONS**

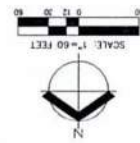
MITIGATION TOTALS - ASSUMED AT LAND USE (FOR REFERENCE ONLY)					
	Lot Trees <sup>1</sup> (By Homebuild)	Open Space Trees <sup>2</sup> (By Developer)	Total Trees Planted <sup>3</sup>	Mitigation Requirement <sup>4</sup>	Cumulative Mitigation <sup>5</sup>
Phase 7	97	28	125	0	125
Phase 8	348	236	584	418	291
Phase 9	114	61	175	15	451
Phase 10	159	0	159	9	601
Phase 11	147	0	147	2	746
Phase 12	336	520	856	1157	445
Phase 13	140	5	145	441	149
Phase 14	165	14	179	495	-167
Phase 15	120	0	120	456	-503
Total	1626	863	2489	2992	





**Elevations Table**

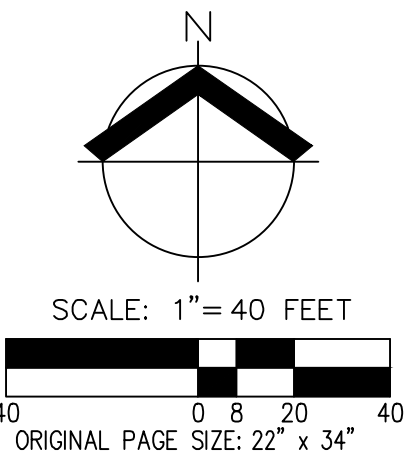
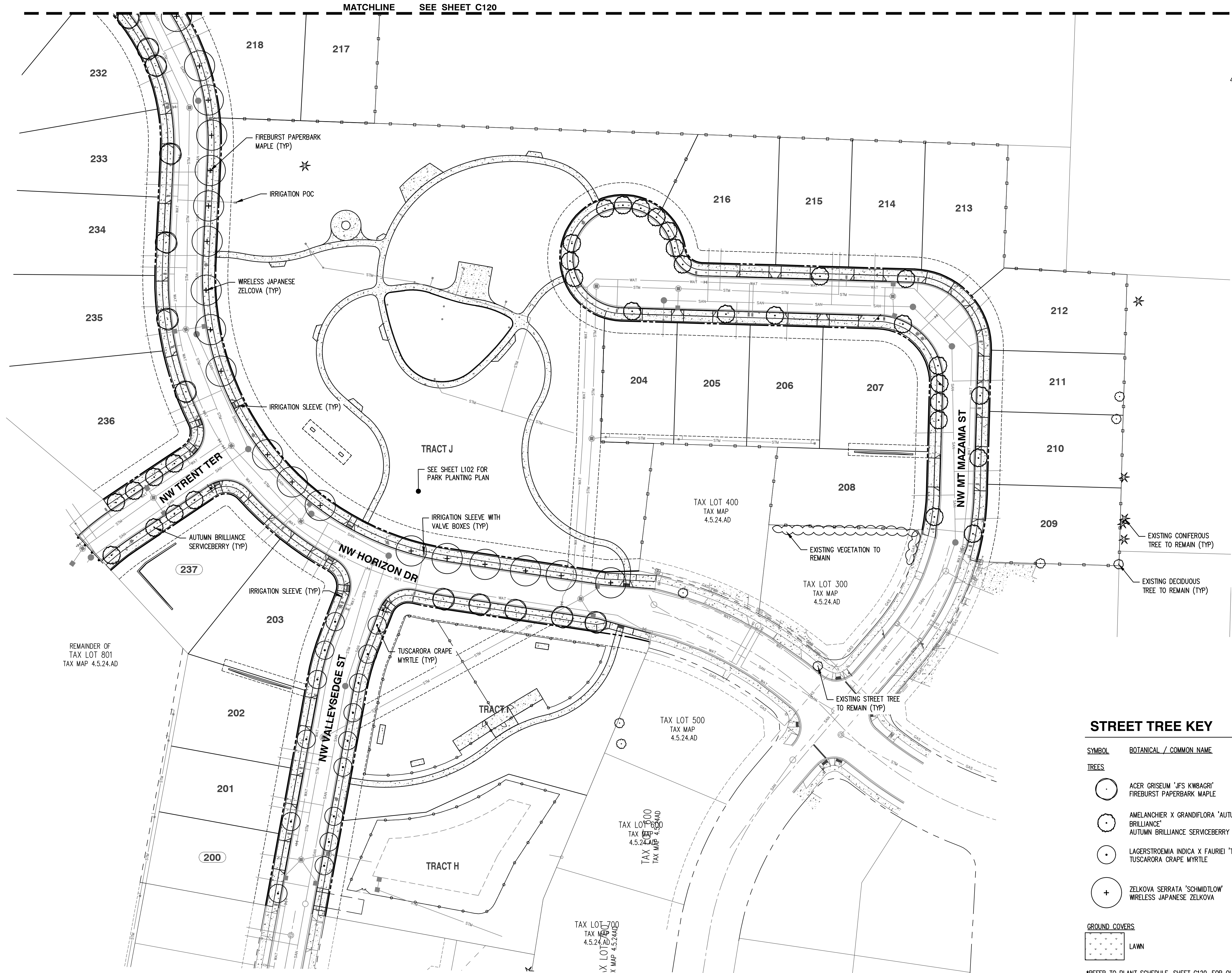
Number	Minimum Elevation	Maximum Elevation	Color
1	-10.00	-5.00	Red
2	-10.00	-5.00	Orange
3	-5.00	0.00	Yellow
4	0.00	5.00	Light Green
5	5.00	10.00	Green
6	5.00	10.00	Blue
7	10.00	15.00	Dark Blue
8	15.00	20.00	Purple








AKS DRAWING FILE: 5147-02\_P119 STREET TREES.DWG LAYOUT: C119



STREET TREE KEY

SYMBOL	BOTANICAL / COMMON NAME
TREES	
	ACER GRISEUM 'JF'S KWBAGRI' FIREBURST PAPERBARK MAPLE
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE SERVICEBERRY
	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' TUSCARORA GRAPE MYRTLE
	ZELKOVA SERRATA 'SCHMIDTLOW' WIRELESS JAPANESE ZELKOVA

GROUND COVERS	
	LAWN

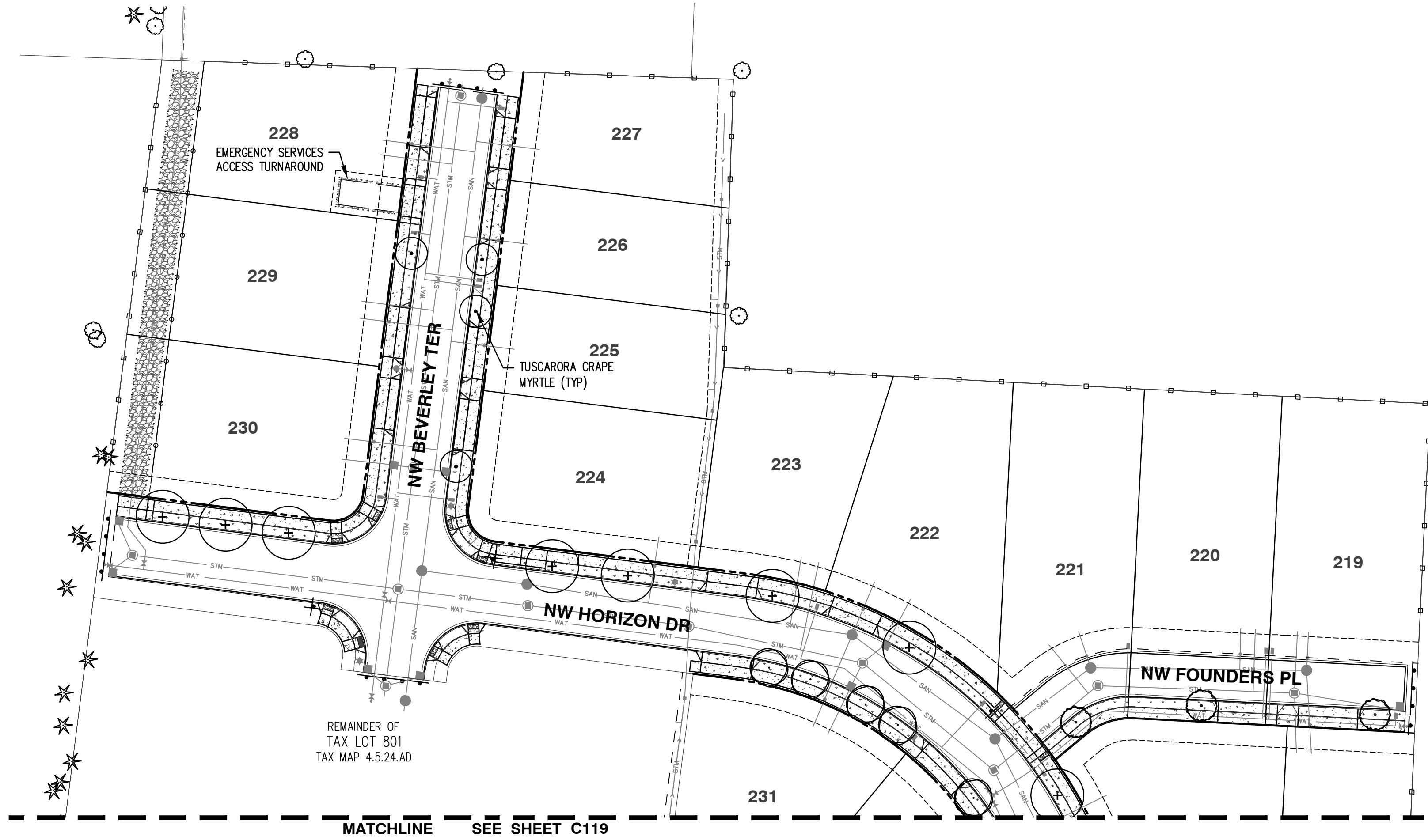
\*REFER TO PLANT SCHEDULE, SHEET C120, FOR QUANTITIES AND PLANT SIZING.

**HILLCREST PHASE 9**  
PHASE 3 OF HILLCREST PD  
COM CASE FILE PDA 1-24 & S 3-24  
**MCMINNVILLE**  
YAMHILL COUNTY TAX MAP 4.5.24

**STREET TREE**  
**PLANTING PLAN (E)**

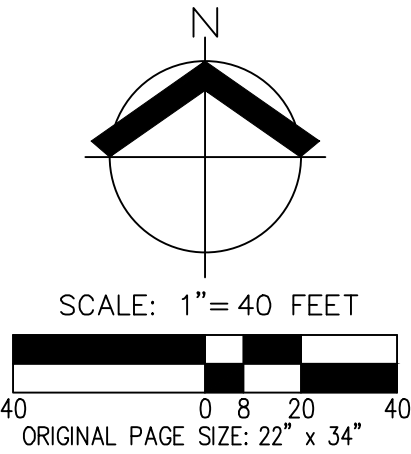
DESIGNED BY:	BNF
DRAWN BY:	BNF
MANAGED BY:	MTS
CHECKED BY:	KAH
DATE:	11/3/25
REVISIONS	
JOB NUMBER <b>5147-02</b>	
SHEET <b>C119</b>	

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### STREET TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
MITIGATION TREES					
	16	ACER GRISEUM 'JFS KWBAGRI'	FIREBURST PAPERBARK MAPLE	1.5" MIN. CAL. B&B	AS SHOWN
	35	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	1.5" MIN. CAL. B&B	AS SHOWN
	19	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA'	TUSCARORA CRAPE MYRTLE	1.5" MIN. CAL. B&B	AS SHOWN
	26	ZELKOVA SERRATA 'SCHMIDTLOW'	WIRELESS JAPANESE ZELKOVA	1.5" MIN. CAL. B&B	AS SHOWN
SYMBOL	QTY	DESCRIPTION			
GROUND COVERS					
	15,370 SF ±	LAWN: NORTHWEST SUPREME LAWN SEED MIX BY SUNMARK SEEDS (OR APPROVED EQUAL): DASHER 3 PERENNIAL RYEGRASS (LOLIUM PERENNE VAR. DASHER 3) 35%; CUTTER II PERENNIAL RYEGRASS (LOLIUM PERENNE VAR. CUTTER II) 35%; GARNET CREEPING RED FESCUE (FESTUCA RUBRA VAR. GARNET) 15%; WINDWARD CHEWINGS FESCUE (FESTUCA RUBRA SPP FALLAX VAR. WINDWARD) 15%. APPLY AT A RATE OF 8 LBS. PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER.			

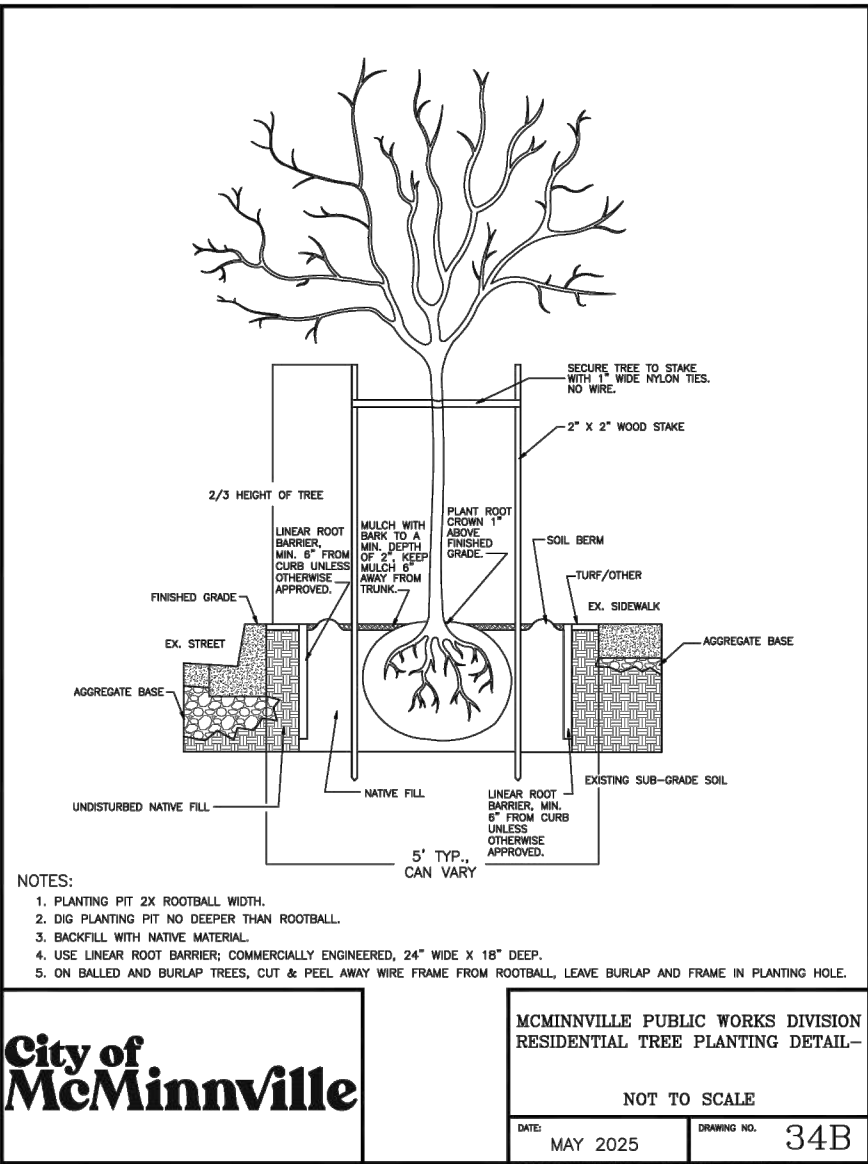


### GENERAL RIGHT-OF-WAY LANDSCAPING NOTES:

- ALL PLANTS AND LANDSCAPING WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO APPLICABLE CITY OF MCMINNVILLE LANDSCAPE DESIGN STANDARDS, INCLUDING BUT NOT LIMITED TO SECTIONS 17.57 AND 17.58.
- PLANT LAYOUT AND SCHEDULES AS SHOWN ARE INTENDED TO PORTRAY DESIGN INTENT ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE SITE AND VERIFYING PLANT AND MATERIAL QUANTITIES PRIOR TO BIDDING AND CONSTRUCTION. IF DISCREPANCIES OCCUR BETWEEN THE PLANS AND SCHEDULES, DESIGN INTENT SHALL PREVAIL OVER QUANTITIES LISTED.
- FIELD ADJUSTMENTS, INCLUDING PLANT SUBSTITUTIONS AND MINOR ADJUSTMENTS TO TREE LOCATIONS, MAY BE NECESSARY DUE TO NURSERY STOCK UNAVAILABILITY, UNFORESEEN SITE CONDITIONS, OR FINAL DRIVEWAY AND UTILITY LOCATIONS. REVISIONS MUST COMPLY WITH CITY OF MCMINNVILLE DESIGN STANDARDS, INCLUDING TREE CLEARANCE REQUIREMENT TO UTILITIES, LIGHTS, DRIVEWAYS, ETC. STREET TREE SUBSTITUTIONS MAY BE ALLOWED IN THE CASE OF NURSERY STOCK UNAVAILABILITY. ALL STREET TREE SUBSTITUTIONS MUST BE OF SIMILAR FORM AND FUNCTION AND CHOSEN FROM THE CITY'S APPROVED STREET TREE LIST FOR THE APPROPRIATE PLANTER WIDTH.
- PLANT MATERIAL SHALL BE HEALTHY, EVENLY BRANCHED, AND OF TYPICAL FORM FOR THEIR SPECIES, CONFORMING TO SIZE AND QUALITY GRADE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.2 (CURRENT EDITION). TREES SHALL HAVE A STRONG CENTRAL LEADER.
- INSTALLER QUALIFICATIONS:
  - LANDSCAPING AND IRRIGATION WORK WITHIN THE RIGHT-OF-WAY SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR LICENSED AND BONDED IN THE STATE OF OREGON.
  - LANDSCAPING WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED 'BEST PRACTICE' INDUSTRY STANDARDS, SUCH AS THOSE ADOPTED BY THE OREGON LANDSCAPE CONTRACTOR'S BOARD (OLCB).
  - CONTRACTOR SHALL PROMPTLY COORDINATE LANDSCAPE WORK WITH GENERAL CONTRACTOR AND OWNER, INCLUDING ANY NECESSARY HARDSCAPING AND IRRIGATION SLEEVING LOCATIONS, TO MINIMIZE DELAY TO OTHER TRADE WORK.
- SOIL PREPARATION:
  - STREET SIDE/ROW PLANTERS SHALL HAVE A MINIMUM 24" DEPTH TOPSOIL FOR PLANT HEALTH PLUS AN ADDITIONAL 12" OF AVAILABLE NON-COMPACTED SUBSOIL. TOPSOIL SHALL BE DARK BROWN IN COLOR AND HAVE A MINIMUM ORGANIC CONTENT OF 10%. EXISTING ON-SITE STOCKPILED TOPSOIL MAY BE USED IF IT MEETS THE ABOVE REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL TESTING IF REQUIRED.
  - PRIOR TO PLANT INSTALLATION, ALL PLANTING AREAS SHALL BE BROUGHT TO GRADE SHOWN IN GRADING PLANS. GRADE SHALL BE SMOOTH, HAVE NO LOW OR HIGH SPOTS WHERE WATER MAY COLLECTION, AND BE FREE FROM DEBRIS INCLUDING STICKS, ROCKS, CLAY LUMPS, ETC. OVER 3/4" DIAMETER AND OTHER DELETERIOUS MATERIAL HARMFUL TO PLANT GROWTH. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF UNSUITABLE MATERIALS OFF-SITE IN SUCH A MANNER TO MEET ALL APPLICABLE REGULATIONS.
  - CONTRACTOR SHALL THOROUGHLY WATER SETTLE ALL PLANTER STRIPS AFTER PLANTING TO REMOVE AIR POCKETS. AFTER WATERING, CONTRACTOR SHALL CORRECT ANY HIGH/LOW SPOTS BY ADDING OR REMOVING SOIL TO MEET FINISH GRADE REQUIREMENTS.
  - ALL RIGHT-OF-WAY STREETSIDE PLANTER STRIPS SHALL HAVE LAWN OR OTHER VEGETATIVE GROUNDCOVER.
    - TURF AREAS SHALL BE PLANTED IN SPECIES NORMALLY FOUND AS PERMANENT LAWNS IN WESTERN OREGON, SUCH AS IMPROVED PERENNIAL RYES AND FESCUES, AND BE EITHER SEEDED OR SODDED AT OWNER'S DISCRETION, DEPENDENT ON WEATHER CONDITIONS.
    - STREET TREES AND LAWN IN FRONT OF OPEN SPACE TRACTS (TRACTS J.H. & I.) AND THEIR ASSOCIATED IRRIGATION SYSTEMS SHALL BE INSTALLED BY THE DEVELOPER/HOA.
    - STREET TREES AND LAWN IN FRONT OF INDIVIDUAL LOTS AND THEIR ASSOCIATED IRRIGATION SYSTEMS SHALL BE INSTALLED BY THE HOMEOWNER / HOMEBUILDER AT TIME OF LOT DEVELOPMENT AND BE MAINTAINED BY THE ADJACENT HOMEOWNER.
  - ALL REQUIRED STREET TREES SHALL BE INSTALLED PRIOR TO SUBMITTAL OF THE FINAL SUBDIVISION PLAT OR, ALTERNATIVELY, A SURETY BOND OR OTHER APPROVED SECURITY TO ASSURE PLANTING OF THE REQUIRED STREET TREES MAY BE FILED.
  - DOUBLE STAKE ALL TREES UNLESS OTHERWISE SPECIFIED. CENTER STREET TREES IN PLANTER STRIP BETWEEN CURB AND SIDEWALK. TREES SHALL BE STAKED IN SUCH A WAY AS TO NOT INTERFERE WITH NORMAL VEHICULAR OR PEDESTRIAN USE (I.E. PARALLEL TO THE CURB/SIDEWALK).
  - ROOT BARRIER SHALL BE INSTALLED FOR STREET TREES IN COMPLIANCE WITH THE CITY OF MCMINNVILLE PUBLIC WORKS DIVISION PARKWAY TREE PLANTING DETAIL, DRAWING NUMBER 34B.
  - STREET TREE CLEARANCE REQUIREMENTS:
    - NO STREET TREE SHALL BE PLANTED WITHIN 10' OF ANY FIRE HYDRANT, UTILITY POLE, SANITARY SEWER, STORM SEWER OR WATER LINES; OR WITHIN 20' OF ANY STREET LIGHT STANDARDS OR STREET INTERSECTIONS; OR WITHIN 5' OF ANY PRIVATE DRIVEWAY OR ALLEY, OR AS REQUIRED BY THE CURRENT EDITION OF THE CITY'S DESIGN STANDARDS. ADJUST PLANTING ON SITE AS NECESSARY TO

- AVOID CONFLICTS WITH UTILITIES, METERS, LIGHTS, DRIVEWAY LOCATIONS, ETC. TREES SHALL BE PRUNED TO PROVIDE A MINIMUM VERTICAL CLEARANCE OF 8' ABOVE SIDEWALKS, 13' ABOVE LOCAL STREETS, 15' ABOVE COLLECTOR STREETS AND 18' ABOVE ARTERIAL STREETS. TREE PRUNING SHALL NOT DAMAGE THE STRUCTURAL INTEGRITY OF THE TREE'S CANOPY AND BE PRUNED AND MAINTAINED TO NATURAL ARBORIST ASSOCIATION (NAA) STANDARDS FOR SHADE TREES.
- MINOR FIELD ADJUSTMENT MAY BE MADE TO MEET REQUIRED CLEARANCES AND AS NEEDED TO ACCOUNT FOR UNFORESEEN SITE CONDITIONS.
- SMALL OR NARROW STATURE TREES (UNDER 25 FEET TALL AND LESS THAN 16 FEET WIDE BRANCHING) SHOULD BE SPACED NO GREATER THAN 20 FEET APART; MEDIUM SIZED TREES (25 FEET TO 40 FEET TALL, 16 FEET TO 35 FEET WIDE BRANCHING) SHOULD BE SPACED NO GREATER THAN 30 FEET APART; AND LARGE TREES (OVER 40 FEET TALL AND MORE THAN 35 FEET WIDE BRANCHING) SHOULD BE SPACED NO GREATER THAN 40 FEET APART. WITHIN RESIDENTIAL DEVELOPMENTS, STREET TREES SHOULD BE EVENLY SPACED.
- CONTRACTOR SHALL CONTINUALLY MAINTAIN ALL STREET TREES AND RIGHT-OF-WAY LANDSCAPING ABUTTING OPEN SPACE TRACTS (TRACTS J.H. & I.), INCLUDING NECESSARY WATERING, WEEDING, PRUNING AND REPLACEMENT OF DEAD PLANT MATERIALS, UNTIL THE DATE OF FINAL ACCEPTANCE. AFTER FINAL ACCEPTANCE THE DEVELOPER/HOA SHALL BE RESPONSIBLE FOR MAINTAINING THESE PLANTINGS IN PERPETUITY. STREET TREES AND LAWN/GROUNDCOVER ADJACENT TO INDIVIDUAL LOTS SHALL BE INSTALLED, MAINTAINED, AND WATERED BY THE ADJACENT LOT OWNER.
- MULCH: APPLY MULCH AROUND STREET TREES A MINIMUM OF 3' LONG BY THE FULL WIDTH OF PLANTER STRIP TO PROTECT TREES AND RETAIN SOIL MOISTURE. MULCH SHALL BE 3" DEEP AND CONSIST OF WELL-AGED DARK HEMLOCK OR FIR, MEDIUM GRIND, UNDER AND AROUND ALL STREET TREES IN PLANTER STRIPS. CARE SHALL BE TAKEN TO AVOID COVERING ROOT CROWN OF TREES. TREES SHALL BE SET ABOVE SOIL LEVEL SO THAT THE CROWN OF THE ROOTBALL IS FLUSH WITH THE FINISH GRADE OF MULCH APPLICATION.
- IRRIGATION: IRRIGATION FOR STREET TREE BEDS SHALL BE INSTALLED AT THE TIME OF STREET TREE INSTALLATION. THE IRRIGATION SYSTEM SHALL BE 'DESIGN-BUILD' BY THE LANDSCAPE CONTRACTOR AND INCLUDE ALL WORK, MATERIALS, AND LABOR NECESSARY FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM PER CITY OF MCMINNVILLE STANDARDS.
  - ALL WORK SHALL CONFORM TO THE 'UNIFORM PLUMBING CODE' AND THE 'NATIONAL ELECTRIC CODE' AS MODIFIED BY THE STATE OF OREGON UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR REQUIRED, AS WELL AS ASTM INTERNATIONAL SPECIFICATIONS PERTAINING TO PIPES, SOLVENT CEMENTS, FITTINGS, ETC.
  - COORDINATE CONTROLLER LOCATION, SLEEVING LOCATIONS, POWER SOURCES, AND

- OTHER NECESSARY SYSTEM COMPONENTS WITH GENERAL CONTRACTOR AND OWNER PRIOR TO INSTALLATION OF PAVEMENT/HARD SURFACING. BATTERY OPERATED CONTROLLERS MAY BE CONSIDERED IF APPROVED BY THE OWNER. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO DOING WORK. CONTRACTOR SHALL PROTECT ANY UTILITIES AND FACILITIES THAT REMAIN IN PLACE. ANY LOCATED UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
- PROVIDE PLAN WITH HEAD, VALVE, AND PIPE LAYOUT, DOUBLE CHECK VALVE, AND CONTROLLER TYPE/LOCATION TO OWNER FOR APPROVAL PRIOR TO INSTALLING IRRIGATION SYSTEM.
- MINIMIZE OVERSPRAY ONTO NON-IRRIGATED AND HARDSCAPED AREAS. PLACEMENT SHALL CONSIDER MATURE PLANT GROWTH AND PROVIDE COMPLETE (HEAD-TO-HEAD) COVERAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ELECTRICAL AND PLUMBING PERMITS, BACKFLOW TESTING, AND STATIC WATER PRESSURE TESTING.
- GUARANTEE: ALL RIGHT-OF-WAY LANDSCAPE MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE-YEAR TO SURVIVE IN GOOD CONDITION. LANDSCAPE CONTRACTOR SHALL GUARANTEE REPLACEMENT OF DEAD OR DYING PLANT MATERIALS AT NO ADDITIONAL COST TO THE DEVELOPER EXCEPT IN CASES OF GROSS NEGLECT OR VANDALISM DURING THE FIRST YEAR AFTER FINAL ACCEPTANCE.
- NOTIFY THE CITY 48 HOURS PRIOR TO INSTALLATION OF THE STREET TREES. THE CITY WILL INSPECT THE INSTALLATION OF STREET TREES.



## STREET TREE PLANTING PLAN (W), PLANTING SCHEDULE, AND NOTES

DESIGNED BY:	BNF
DRAWN BY:	BNF
MANAGED BY:	MTS
CHECKED BY:	KAH
DATE:	11/3/25
REGISTERED PROFESSIONAL ARCHITECT RENEWED: 06/30/2026	
REVISIONS	
JOB NUMBER 5147-02	
SHEET C120	

## HILLCREST PHASE 9 PHASE 3 OF HILLCREST PD COM CASE FILE PDA 1-24 & S 3-24 MCMINNVILLE OREGON YAMHILL COUNTY TAX MAP 4.524

# HILLCREST PHASE 9

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## LANDSCAPE COVER SHEET

## LANDSCAPE GENERAL NOTES

1. PLANT LAYOUT AND SCHEDULES AS SHOWN ARE INTENDED TO PORTRAY DESIGN INTENT, CHANGES AND ADJUSTMENTS TO PLANT SPECIES, SIZES, SPACING, QUANTITIES, LOCATIONS, ETC. MAY BE APPROVED BY THE UNFORESEEN SITE CONDITIONS, UTILITY INSTALLATION, FINAL DRIVEWAY LOCATIONS, NURSERY STOCK AVAILABILITY, ETC. PRIOR TO FINAL INSTALLATION WHERE ALLOWABLE UNDER THE CITY OF MCMINNVILLE'S DESIGN STANDARDS. IF DISCREPANCIES OCCUR BETWEEN THE LAYOUT AND SCHEDULES, DESIGN INTENT PREVAILS OVER QUANTITIES LISTED. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH SITE CONDITIONS AND VERIFYING PLANT QUANTITIES AND MATERIALS PRIOR TO BIDDING AND CONSTRUCTION.
2. PLANT MATERIAL SHALL BE HEALTHY, EVENLY BRANCHED, AND OF TYPICAL FORM FOR THEIR SPECIES, CONFORMING TO SIZE AND QUALITY GRADE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.2 (CURRENT EDITION). TREES SHALL HAVE A STRONG CENTRAL LEADER.
3. INSTALLER QUALIFICATIONS:
  - 3.1. LANDSCAPING AND IRRIGATION WORK SHALL BE PERFORMED BY A LANDSCAPE CONTRACTOR LICENSED AND BONDED IN THE STATE OF OREGON.
  - 3.2. LANDSCAPING WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED 'BEST PRACTICE' INDUSTRY STANDARDS, SUCH AS THOSE ADOPTED BY THE OREGON LANDSCAPE CONTRACTOR'S BOARD (OLCB).
  - 3.3. CONTRACTOR SHALL PROMPTLY COORDINATE LANDSCAPE WORK WITH GENERAL CONTRACTOR AND OWNER, INCLUDING ANY NECESSARY HARDSCAPING AND IRRIGATION SLEEVING LOCATIONS, TO MINIMIZE DELAY TO OTHER TRADE WORK.
4. SOIL PREPARATION:
  - 4.1. PRIOR TO PLANT INSTALLATION, ALL ORNAMENTAL PLANTING BED AREAS IN TRACTS J & H SHALL BE BROUGHT TO GRADE SHOWN IN GRADING PLANS AND HAVE ADEQUATE TOPSOIL OF SUFFICIENT HEALTH AND FERTILITY TO SUPPORT NORMAL PLANT GROWTH AND ESTABLISHMENT. TOPSOIL SOURCES MAY BE EITHER NON-COMPACTED EXISTING NATIVE SOIL, FROM TOPSOIL SOURCES STOCKPILED ON SITE, OR IMPORTED IF REQUIRED TO MAKE UP TOTAL AMOUNTS. TOPSOIL IN THESE AREAS SHALL BE A MINIMUM OF 12" DEEP, HAVE A PH OF 5.5-7.5, ORGANIC MATTER CONTENT OF 3-10%, AND BE FREE FROM DEBRIS INCLUDING STICKS, ROCKS, CLAY LUMPS, ETC OVER 3/4" DIAMETER AND OTHER DELETERIOUS MATERIAL HARMFUL TO PLANT GROWTH. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF UNSUITABLE MATERIALS OFF-SITE IN SUCH A MANNER TO MEET ALL APPLICABLE REGULATIONS. CONTRACTOR SHALL PROVIDE SOIL TEST FOR SOIL FOR APPROVAL PRIOR TO PROCEEDING WITH PLANTING.
  - 4.2. GRADE SHALL BE SMOOTH, HAVE NO LOW OR HIGH SPOTS WHERE WATER MAY COLLECT.
  - 4.3. MITIGATION PLANTINGS SHALL BE POCKET PLANTED IN EXISTING SOIL. KEEP EXCAVATIONS TO THE MINIMUM SIZE PRACTICABLE TO LIMIT SOIL DISTURBANCE.
  - 4.4. CONTRACTOR SHALL THOROUGHLY WATER SETTLE ALL PLANTS AFTER PLANTING TO REMOVE AIR POCKETS. AFTER WATERING, CONTRACTOR SHALL CORRECT ANY HIGH/LOW SPOTS BY ADDING OR REMOVING SOIL TO MEET FINISH GRADE REQUIREMENTS.
5. DOUBLE STAKE ALL TREES 1.5" CAL. AND GREATER UNLESS OTHERWISE SPECIFIED.
6. CONTRACTOR SHALL CONTINUALLY MAINTAIN ALL OPEN SPACE TRACTS (TRACTS J & H), INCLUDING NECESSARY WATERING, WEEDING, PRUNING, AND REPLACEMENT OF DEAD PLANT MATERIALS, UNTIL THE DATE OF FINAL ACCEPTANCE. AFTER FINAL ACCEPTANCE THE DEVELOPER/HOA SHALL BE RESPONSIBLE FOR MAINTAINING THESE PLANTINGS IN PERPETUITY.
7. MULCH: APPLY 3" DEEP WELL-AGED MEDIAN GRASS OR SHREDED DARK HEMLOCK OR FIR BARK MULCH UNDER AND AROUND ALL PLANTINGS. TREES IN LAWN AREAS SHALL HAVE A MINIMUM 3" DIAMETER BARK MULCH RING CENTERED ON THE TRUNK FOR EASE OF MAINTENANCE. CARE SHALL BE TAKEN TO AVOID COVERING FOLIAGE OR ROOT CROWNS OF PLANTS. PLANTS SHALL BE SET ABOVE SOIL LEVEL SO THAT THE CROWN OF THE ROOTBALL IS FLUSH WITH THE FINISH GRADE OF MULCH APPLICATION.
8. IRRIGATION: IRRIGATION SHALL BE INSTALLED AT THE TIME OF PLANT INSTALLATION. THE IRRIGATION SYSTEM SHALL BE "DESIGN-BUILD" BY THE LANDSCAPE CONTRACTOR AND INCLUDE ALL WORK, MATERIALS, AND LABOR NECESSARY FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM PER CITY OF MCMINNVILLE STANDARDS. PERMANENT IRRIGATION SHALL BE PROVIDED IN TRACTS J & I.
  - 8.1. ALL WORK SHALL CONFORM TO THE "UNIFORM PLUMBING CODE" AND THE "NATIONAL ELECTRIC CODE" AS MODIFIED BY THE STATE OF OREGON UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR REQUIRED, AS WELL AS ASTM INTERNATIONAL SPECIFICATIONS PERTAINING TO PIPES, SOLVENT CEMENTS, FITTINGS, ETC.
  - 8.2. COORDINATE CONTROLLER LOCATION, SLEEVING LOCATIONS, POWER SOURCES, AND OTHER NECESSARY SYSTEM COMPONENTS WITH GENERAL CONTRACTOR AND OWNER PRIOR TO INSTALLATION OF PAVEMENT/HARD SURFACING. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO DOING WORK. CONTRACTOR SHALL PROTECT ANY UTILITIES AND FACILITIES THAT REMAIN IN PLACE. ANY LOCATED UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
  - 8.3. PROVIDE PLAN WITH HEAD, VALVE, AND PIPE LAYOUT, DOUBLE CHECK VALVE, AND CONTROLLER TYPE/LOCATION TO DEVELOPER FOR APPROVAL PRIOR TO INSTALLING IRRIGATION SYSTEM. BATTERY OPERATED CONTROLLERS MAY BE CONSIDERED IF APPROVED BY THE DEVELOPER.
  - 8.4. MINIMIZE OVERSPRAYS TO NON-IRRIGATED AND HARDSCAPED AREAS. PLACEMENT SHALL CONSIDER MATURE PLANT GROWTH AND PROVIDE COMPLETE (HEAD-TO-HEAD) COVERAGE.
  - 8.5. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ELECTRICAL AND PLUMBING PERMITS, BACKFLOW TESTING, AND STATIC WATER PRESSURE TESTING.
9. GUARANTEE: ALL LANDSCAPE MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE-YEAR TO SURVIVE IN GOOD CONDITION. LANDSCAPE CONTRACTOR SHALL GUARANTEE REPLACEMENT OF DEAD OR DYING PLANT MATERIALS AT NO ADDITIONAL COST TO THE OWNER EXCEPT IN CASES OF GROSS NEGLIGENCE OR VANDALISM DURING THE FIRST YEAR AFTER FINAL ACCEPTANCE.



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| L103 | LANDSCAPE PLANTING DETAILS AND PLANT SCHEDULE |
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AKS DRAWING FILE: 5147-02 PH9 LANDSCAPE.DWG | LAYOUT: L100

## ATTENTION EXCAVATORS

OREGON LAW REQUIRES CONTRACTOR TO COMPLY WITH RULES ADOPTED BY OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090. COPIES OF RULES MAY BE OBTAINED BY CONTACTING THE UTILITY LOCATE CENTER AT (503) 232-1987.



Know what's **below**.  
**Call** before you dig.

## HILLCREST PHASE 9

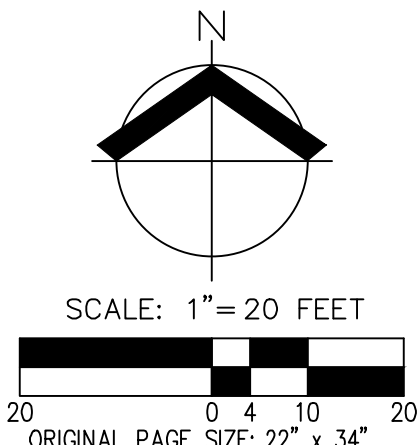
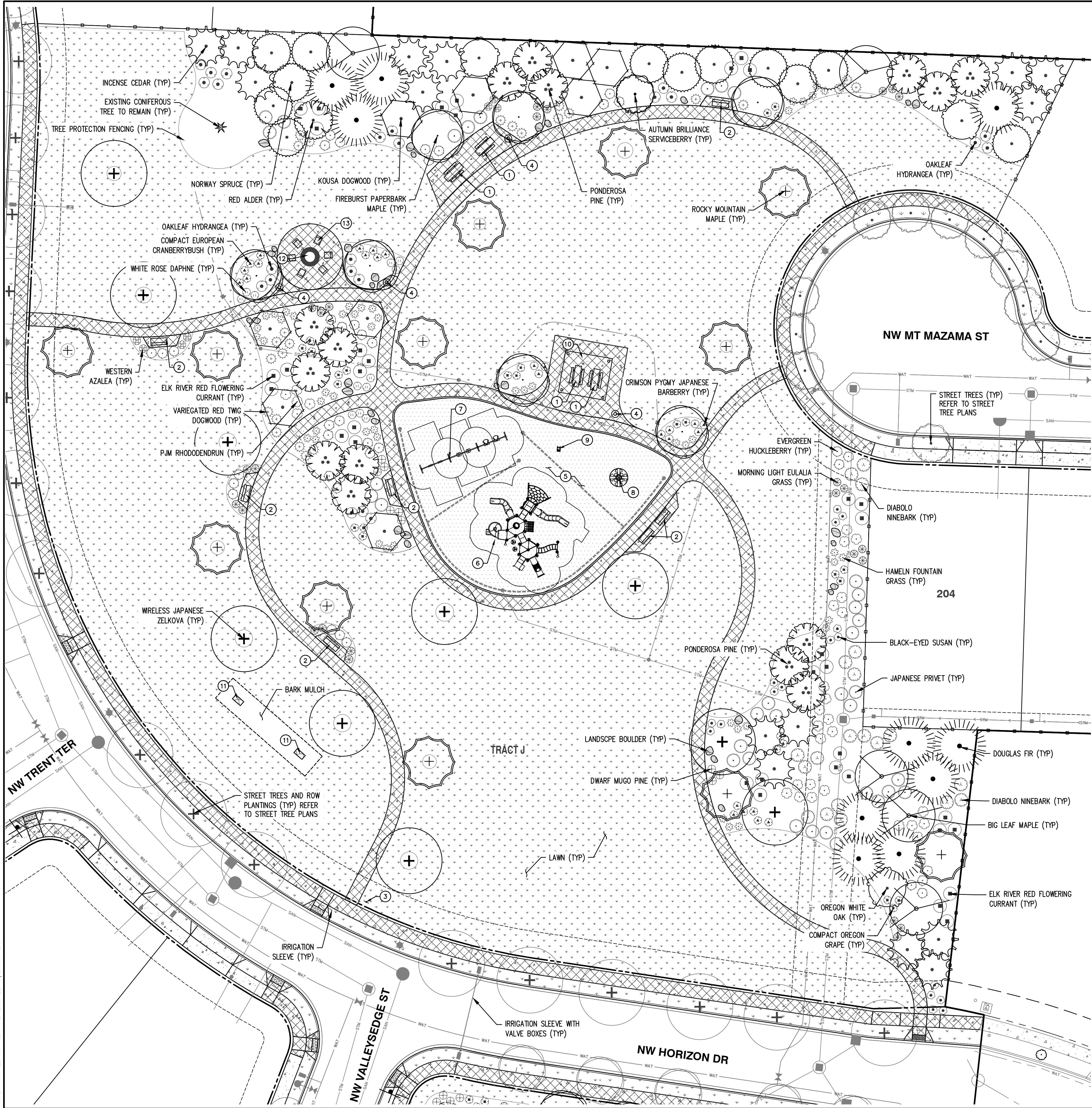
**HILLCREST PHASE 9**  
PHASE 3 OF HILLCREST PD  
COM CASE FILE PDA 1-24 & S 3-24  
**MCMINNVILLE**  
**OREGON**  
TAX LOT 801  
YAMHILL COUNTY TAX MAP 4.524

# LANDSCAPE COVER SHEET AND NOTES

DESIGNED BY:	BNF
DRAWN BY:	BNF
MANAGED BY:	MTS
CHECKED BY:	KAH
DATE: 11/3/25	
REVIEWS: 06/30/2026	
REVISIONS	

JOB NUMBER  
**5147-02**

SHEET  
**L100**



TRACT J PLANT KEY

SYMBOL		BOTANICAL / COMMON NAME
MITIGATION TREES		
	ACER GLABRUM ROCKY MOUNTAIN MAPLE	SHRUBS
	ACER GRISEUM 'JFS KWBAGRI' FIREBURST PAPERBARK MAPLE	
	ACER MACROPHYLLUM BIG LEAF MAPLE	
	ALNUS RUBRA RED ALDER	
	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE SERVICEBERRY	
	CALOCEDRUS DECURRENS INCENSE CEDAR	
	CORNUS KOUSSA KOUSSA DOGWOOD	
	PICEA ABIES NORWAY SPRUCE	
	PINUS PONDEROSA PONDEROSA PINE	
	PSEUDOTSUGA MENZIESII DOUGLAS FIR	
	QUERCUS GARRYANA OREGON WHITE OAK	
	ZELKOVA SERRATA 'SCHMIDTLOW' WIRELESS JAPANESE ZELKOVA	

GROUND COVERS	
	ENGINEERED WOOD FIBER SAFETY SURFACING
	LAWN
	LANDSCAPE BOULDERS

AMENITY KEY

- |   |                              |
|---|------------------------------|
| 1. TYPICAL 8-FT DUAL ADA PICNIC TABLE     | 8. INCLUSIVE MERRY-GO-ROUND  |
| 2. TYPICAL BENCH                          | 9. TODDLER TOAD SPRING RIDER |
| 3. TYPICAL PET WASTE STATION              | 10. PICNIC SHELTER           |
| 4. TYPICAL REFUSE CONTAINER               | 11. CORNHOLE BOARD           |
| 5. ENGINEERED WOOD FIBER SAFETY SURFACING | 12. 7" DIAMETER FIRE PIT     |
| 6. PLAYGROUND SYSTEM                      | 13. ADIRONDACK CHAIRS        |
| 7. SWINGS                                 |                              |

HILLCREST PHASE 9

PHASE 3 OF HILLCREST PD  
COM CASE FILE PDA 1-24 & S 3-24  
MCMINNVILLE  
YAMHILL COUNTY TAX MAP 4524

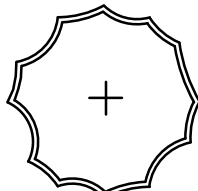
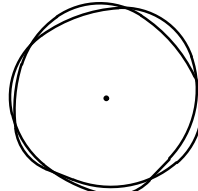
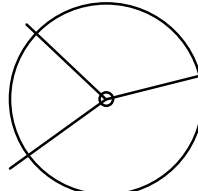
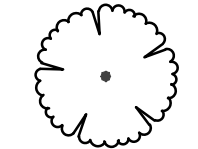
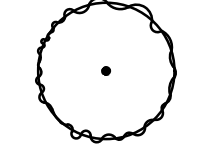
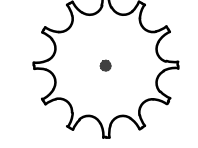
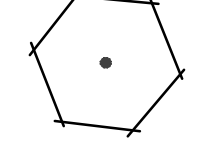
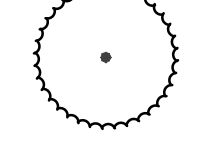
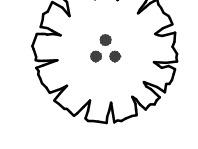
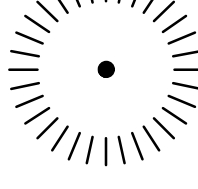
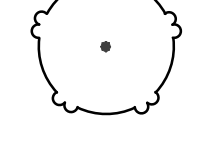
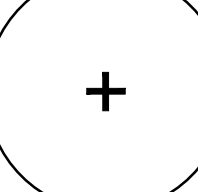
TRACT J HOA PARK  
LANDSCAPE PLAN









DESIGNED BY:	BNF
DRAWN BY:	BNF
MANAGED BY:	MTS
CHECKED BY:	KAH
DATE:	11/3/25
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT	
REVIEWS: 06/20/2026	









JOB NUMBER	5147-02
SHEET	L101


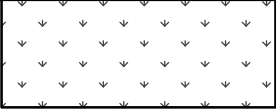

AKS DRAWING FILE: 5147-02\_P189\_LANDSCAPE.DWG | LAYOUT: L102

TRACT J PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
MITIGATION TREES					
	12	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	1.5" MIN. CAL. B&B	AS SHOWN
	7	ACER GRISEUM 'JFS KWBAGRI'	FIREBURST PAPERBARK MAPLE	1.5" MIN. CAL. B&B	AS SHOWN
	5	ACER MACROPHYLLUM	BIG LEAF MAPLE	1.5" MIN. CAL. B&B	AS SHOWN
	1	ALNUS RUBRA	RED ALDER	1.5" MIN. CAL. B&B	AS SHOWN
	1	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	1.5" MIN. CAL. B&B	AS SHOWN
	15	CALOCEDRUS DECURRENS	INCENSE CEDAR	1.5" MIN. CAL. B&B	AS SHOWN
	9	CORNUS KOUSA	KOUSA DOGWOOD	1.5" MIN. CAL. B&B	AS SHOWN
	12	PICEA ABIES	NORWAY SPRUCE	1.5" MIN. CAL. B&B	AS SHOWN
	15	PINUS PONDEROSA	PONDEROSA PINE	1.5" MIN. CAL. B&B	AS SHOWN
	10	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	1.5" MIN. CAL. B&B	AS SHOWN
	3	QUERCUS GARRYANA	OREGON WHITE OAK	1.5" MIN. CAL. B&B	AS SHOWN
	10	ZELKOVA SERRATA 'SCHMIDTLOW'	WIRELESS JAPANESE ZELKOVA	1.5" MIN. CAL. B&B	AS SHOWN

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
SHRUBS					
	9	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY JAPANESE BARBERRY	2 GAL. CONT.	36" o.c.
	25	CORNUS SERICEA 'VARIEGATA'	VARIEGATED RED TWIG DOGWOOD	2 GAL. CONT.	48" o.c.
	12	DAPHNE GENKWA 'ALBA'	WHITE ROSE DAPHNE	2 GAL. CONT.	36" o.c.
	23	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	2 GAL. CONT.	48" o.c.
	36	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	2 GAL. CONT.	60" o.c.
	23	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GAL. CONT.	36" o.c.
	26	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	2 GAL. CONT.	36" o.c.
	51	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	2 GAL. CONT.	36" o.c.

	19	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	DIABOLO NINEBARK	5 GAL. CONT.	60" o.c.
	9	PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	2 GAL. CONT.	36" o.c.
	7	RHODODENDRON OCCIDENTALE NATIVE	WESTERN AZALEA	2 GAL. CONT.	36" o.c.
	29	RHODODENDRON X 'P.J.M.'	PJM RHODODENDRON	3 GAL. CONT.	48" o.c.
	36	RIBES SANGUINEUM GLUTINOSUM 'ELK RIVER RED'	ELK RIVER RED FLOWERING CURRANT	2 GAL. CONT.	60" o.c.
	17	RUDBECKIA AMPLEXICAULIS	BLACK-EYED SUSAN	2 GAL. CONT.	36" o.c.
	38	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL. CONT.	48" o.c.
	20	VIBURNUM OPULUS 'COMPACTUM'	COMPACT EUROPEAN CRANBERRYBUSH	2 GAL. CONT.	36" o.c.

SYMBOL	QTY	DESCRIPTION
GROUND COVERS		
	15,441 SF ±	ENGINEERED WOOD FIBER SAFETY SURFACING
	58,875 SF ±	LAWN: NORTHWEST SUPREME LAWN SEED MIX BY SUNMARK SEEDS (OR APPROVED EQUAL): DASHER 3 PERENNIAL RYEGRASS (LOLIUM PERENNE VAR. DASHER 3) 35%; CUTTER II PERENNIAL RYEGRASS (LOLIUM PERENNE VAR. CUTTER II) 35%; GARNET CREEPING RED FESCUE (FESTUCA RUBRA VAR. GARNET) 15%; WINDWARD CHEWINGS FESCUE (FESTUCA RUBRA SPP FALLAX VAR. WINDWARD) 15%. APPLY AT A RATE OF 8 LBS. PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER.
		LANDSCAPE BOULDERS: ANGULAR BASALT, ONSITE OR LOCAL SOURCES PREFERRED, NATURAL GRAYS AND TANS. PLACE SPLIT FACE TOWARDS PRIMARY VIEW FOR A NATURAL APPEARANCE, A MINIMUM OF 1/3 OF THE TOTAL BOULDER HEIGHT SHALL BE BURIED FOR STABILITY; SIZE BOULDERS ACCORDINGLY. APPROXIMATE SIZE VARIANCES SHALL BE: -APPROXIMATELY (1/4) OF THE TOTAL WITH A MINIMUM OF 24" EXPOSED HEIGHT ABOVE GRADE -APPROXIMATELY (1/2) OF TOTAL WITH A MINIMUM OF 36" EXPOSED HEIGHT ABOVE GRADE -APPROXIMATELY (1/4) OF TOTAL WITH A MINIMUM 42" EXPOSED HEIGHT ABOVE GRADE

AKS

AKS ENGINEERING & FORESTRY, LLC  
12065 SW HERMAN RD., STE 100  
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ENGINEERING · SURVEYING · NATURAL RESOURCES  
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HILLCREST PHASE 9

PHASE 3 OF HILLCREST PD  
COM CASE FILE PDA 1-24 & S 3-24

MCMINNVILLE

YAMHILL COUNTY TAX MAP 4.524

TRACT J HOA PARK  
PLANTING PLAN

DESIGNED BY: BNF  
DRAWN BY: BNF  
MANAGED BY: MTS  
CHECKED BY: KAH  
DATE: 11/3/25

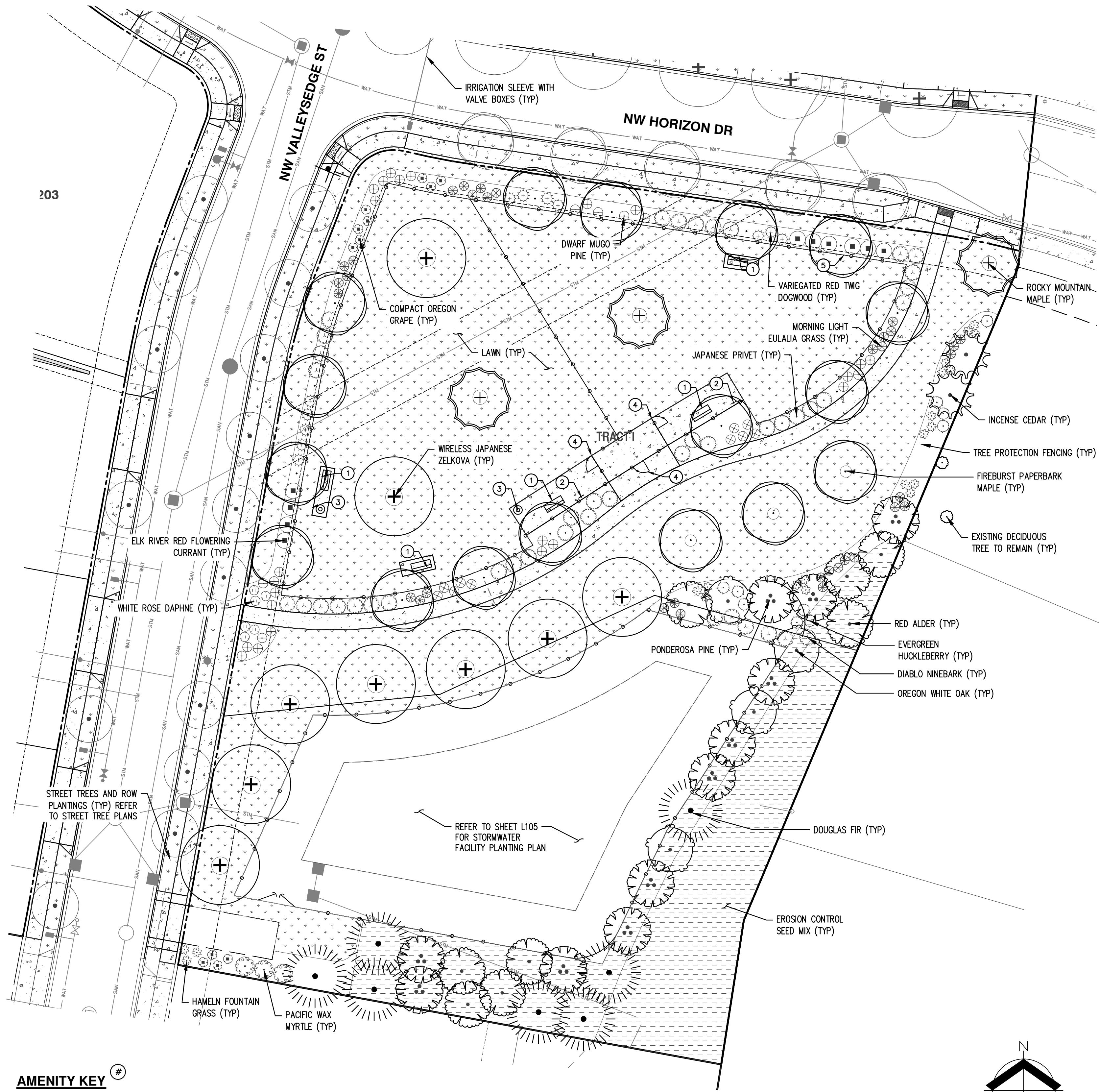
REGISTERED  
LANDSCAPE ARCHITECT  
KIMBERLY M. BARNES  
NOV 13 2023  
OREGON

REVISIONS

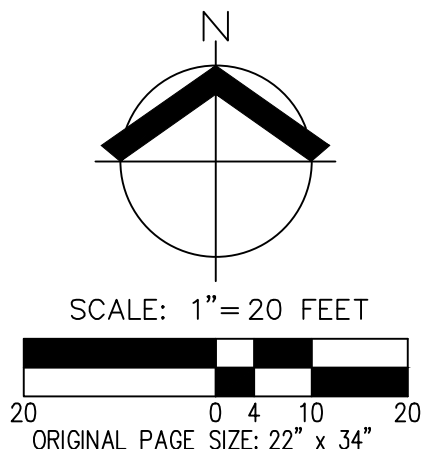

JOB NUMBER  
5147-02

SHEET  
L102

AKS DRAWING FILE: 5147-02\_P180\_LANDSCAPE.DWG | LAYOUT: L103



- AMENITY KEY** #
- 1. TYPICAL BENCH
  - 2. TYPICAL PET WASTE STATION
  - 3. TYPICAL REFUSE CONTAINER
  - 4. GATE
  - 5. 5' HT BLACK VINYL COATED CHAIN LINK FENCE



TRACT I PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
MITIGATION TREES					
	3	ACER GLABRUM	ROCKY MOUNTAIN MAPLE	1.5" MIN. CAL. B&B	AS SHOWN
	17	ACER GRISEUM 'JFS KWBAGRI'	FIREBURST PAPERBARK MAPLE	1.5" MIN. CAL. B&B	AS SHOWN
	8	ALNUS RUBRA	RED ALDER	1.5" MIN. CAL. B&B	AS SHOWN
	2	CALOCEDRUS DECURRENS	INCENSE CEDAR	1.5" MIN. CAL. B&B	AS SHOWN
	11	PINUS PONDEROSA	PONDEROSA PINE	1.5" MIN. CAL. B&B	AS SHOWN
	7	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	1.5" MIN. CAL. B&B	AS SHOWN
	4	QUERCUS GARRYANA	OREGON WHITE OAK	1.5" MIN. CAL. B&B	AS SHOWN
	9	ZELKOVA SERRATA 'SCHMIDTLOW'	WIRELESS JAPANESE ZELKOVA	1.5" MIN. CAL. B&B	AS SHOWN

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
SHRUBS					
	12	CORNUS SERICEA 'VARIEGATA'	VARIEGATED RED TWIG DOGWOOD	2 GAL. CONT.	48" o.c.
	6	DAPHNE CNEORUM 'ALBA'	WHITE ROSE DAPHNE	2 GAL. CONT.	36" o.c.
	16	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	2 GAL. CONT.	60" o.c.
	12	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	2 GAL. CONT.	36" o.c.
	34	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	2 GAL. CONT.	36" o.c.
	3	MYRICA CALIFORNICA NATIVE	PACIFIC WAX MYRTLE	2 GAL. CONT.	72" o.c.
	21	PENNISETUM ALOPECUROIDES 'HA MELN'	HA MELN FOUNTAIN GRASS	2 GAL. CONT.	36" o.c.
	27	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	DIABOLO NINEBARK	5 GAL. CONT.	60" o.c.
	40	PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	2 GAL. CONT.	36" o.c.
	10	RIBES SANGUINEUM GLUTINOSUM 'ELK RIVER RED'	ELK RIVER RED FLOWERING CURRANT	2 GAL. CONT.	60" o.c.
	10	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL. CONT.	48" o.c.

SYMBOL	QTY	DESCRIPTION
GROUND COVERS		
	6,973 SF ±	EROSION CONTROL SEED MIX: NATIVE E/C MIX – SUNMARK SEEDS (OR APPROVED EQUAL): MEADOW BARLEY (HORDEUM BRACHYANTHERUM) 40% CALIFORNIA BROME (BROMUS CARINATUS) 35% NATIVE RED FESCUE (FESTUCA RUBRA RUBRA) 20% TUFTED HAIRGRASS (DESCHAMPSIA CESPITOSA) 3% SPIKE BENTGRASS (AGROSTIS EXERATA) 2%; APPLY AT A RATE OF 1 LB PER 1,000 SQ FT, OR AS RECOMMENDED BY SUPPLIER
	25,832 SF ±	LAWN: NORTHWEST SUPREME LAWN SEED MIX BY SUNMARK SEEDS (OR APPROVED EQUAL): DASHER 3 PERENNIAL RYEGRASS (LOLIUM PERENNE VAR. DASHER 3) 35% CUTTER II PERENNIAL RYEGRASS (LOLIUM PERENNE VAR. CUTTER II) 35% GARNET CREEPING RED FESCUE (FESTUCA RUBRA VAR. GARNET) 15% WINDWARD CHEWINGS FESCUE (FESTUCA RUBRA SPP FALLAX VAR. WINDWARD) 15%. APPLY AT A RATE OF 8 LBS. PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER.

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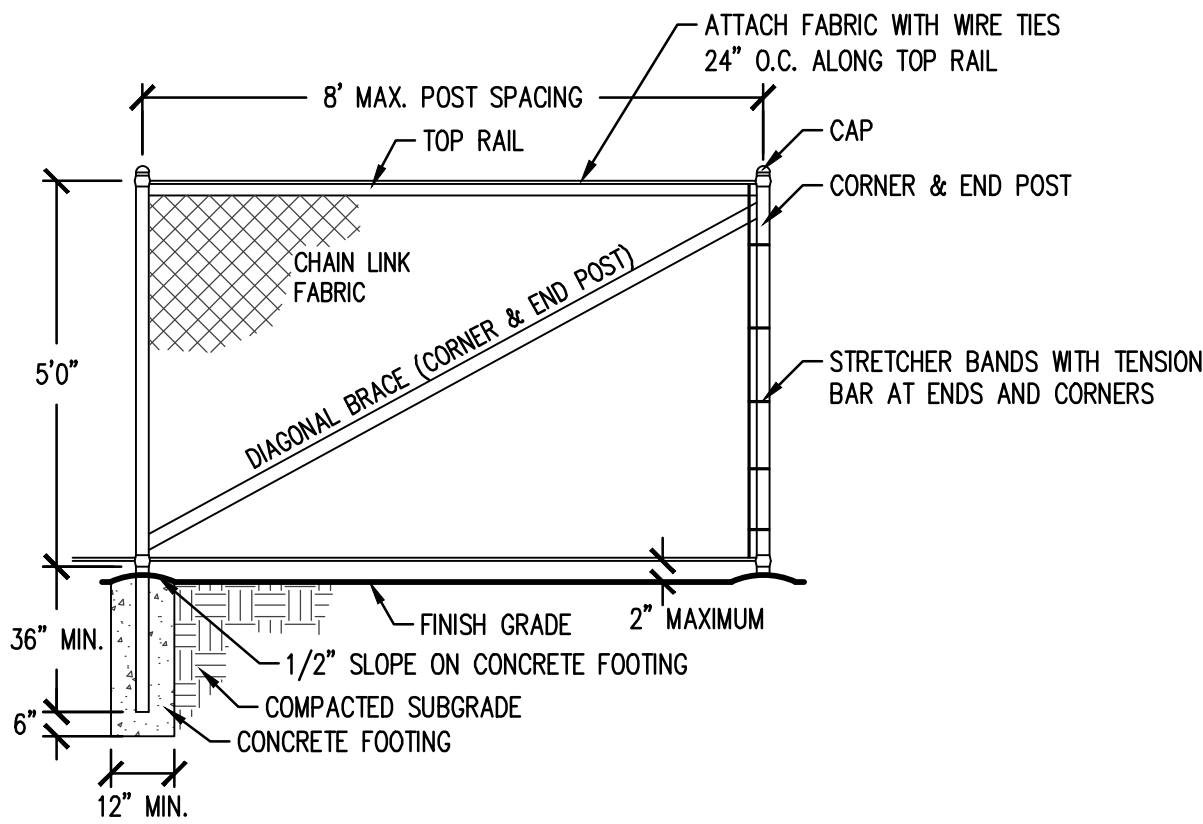
REGISTERED  
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KATHARINE H. ANDERSON  
NOV 2018  
RENEWED: 06/30/2026

REVISIONS

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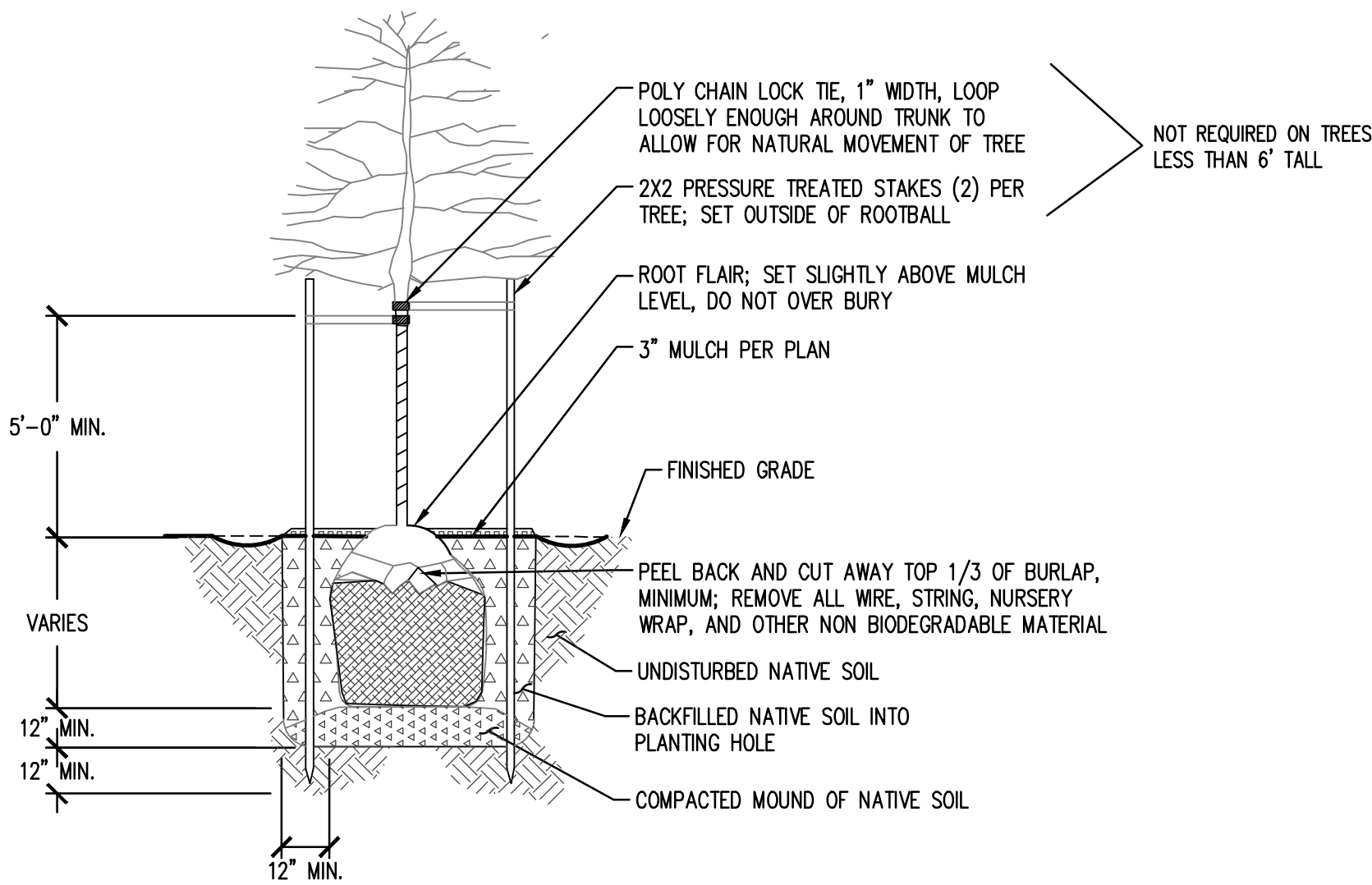
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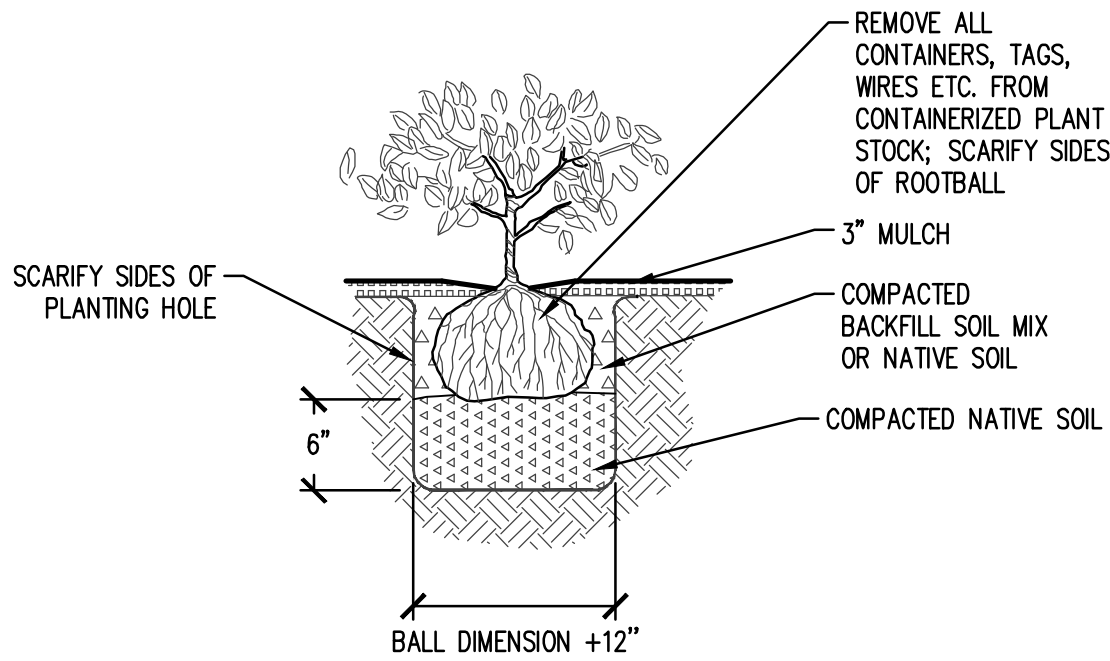
1 TYPICAL 5' HT. CHAIN LINK FENCE

- NTS  
NOTES:
1. FENCE MATERIAL SHALL BE NO. 11 GAUGE GALVANIZED STEEL FABRIC WITH BONDED VINYL COATING (BLACK).
  2. FENCE POSTS SHALL BE GALVANIZED STEEL, WITH TOP CAPS, AND SET 2 FEET DEEP IN CONCRETE.
  3. CROSS BARS SHALL CONNECT ADJACENT FENCE POSTS WITH DIAGONAL BRACES AT CORNERS AND ENDS.
  4. SEE PLAN FOR LOCATION OF FENCE.
  5. ALL FENCING MATERIALS (INCLUDING CHAIN LINK FABRIC, POSTS, RAILS, ETC.) SHALL BE COVERED WITH BLACK-COLORED VINYL COATING. THE COLOR SHOULD BE THE SAME FOR ALL FENCING MATERIALS.
  6. 5' HIGH FENCE: CONCRETE POST BASE SHALL BE 12" MINIMUM DIAMETER X 36" DEEP, 3,000 PSI CONCRETE.



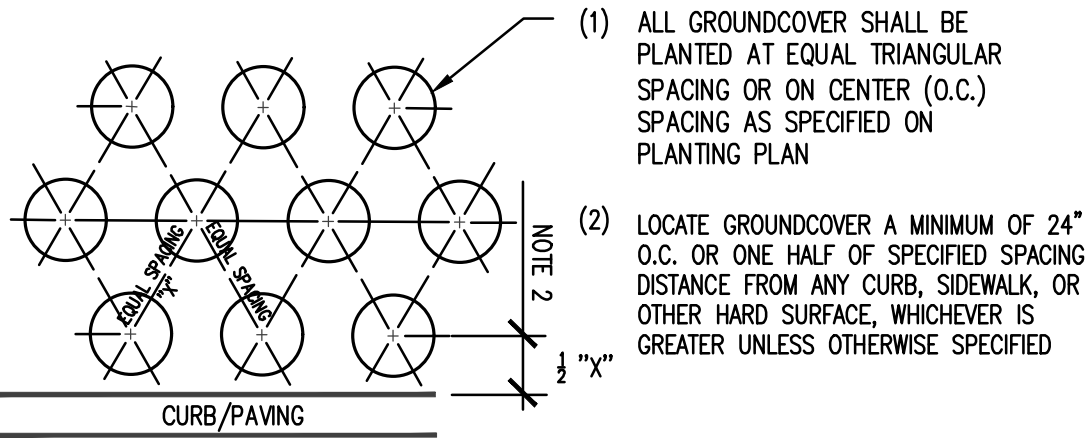
3 TYPICAL MITIGATION TREE PLANTING DETAIL

- NTS  
NOTES:
1. DOUBLE STAKE TREES. STAKES NOT REQUIRED ON TREES LESS THAN 6' TALL. DRIVE STAKES OUTSIDE OF ROOTBALL.
  2. FINISH GRADE OF SOIL/MULCH SHALL NOT COVER NATURAL ROOT FLARE. KEEP MULCH A MINIMUM OF 2" FROM BARK OF TREE.
  3. REMOVE ALL WIRES, METAL BASKETS, TWINE, AND OTHER NON-COMPOSTABLE MATERIALS FROM TREE ROOTBALL PRIOR TO PLANTING. TREES IN CONTAINERS SHALL HAVE THEIR ROOTBALLS LOOSENED AND CHECKED FOR CIRCLING ROOTS.
  4. CONTRACTOR SHALL WATER-SETTLE PLANTING HOLES TO REMOVE AIR POCKETS PRIOR TO SPREADING MULCH.
  5. TREES PLANTED ON SLOPES SHALL BE PLANTED IN A VERTICAL (UPRIGHT) POSITION. CONTRACTOR SHALL CUT OUT UPHILL SIDE AND BACKFILL DOWNHILL SIDE OF PLANTING HOLE TO CREATE A LEVEL PLANTING AREAS. POSITION ROOT CROWN AT SLOPE ELEVATION; NO SOIL BUILDUP SHALL COVER ROOT CROWN.



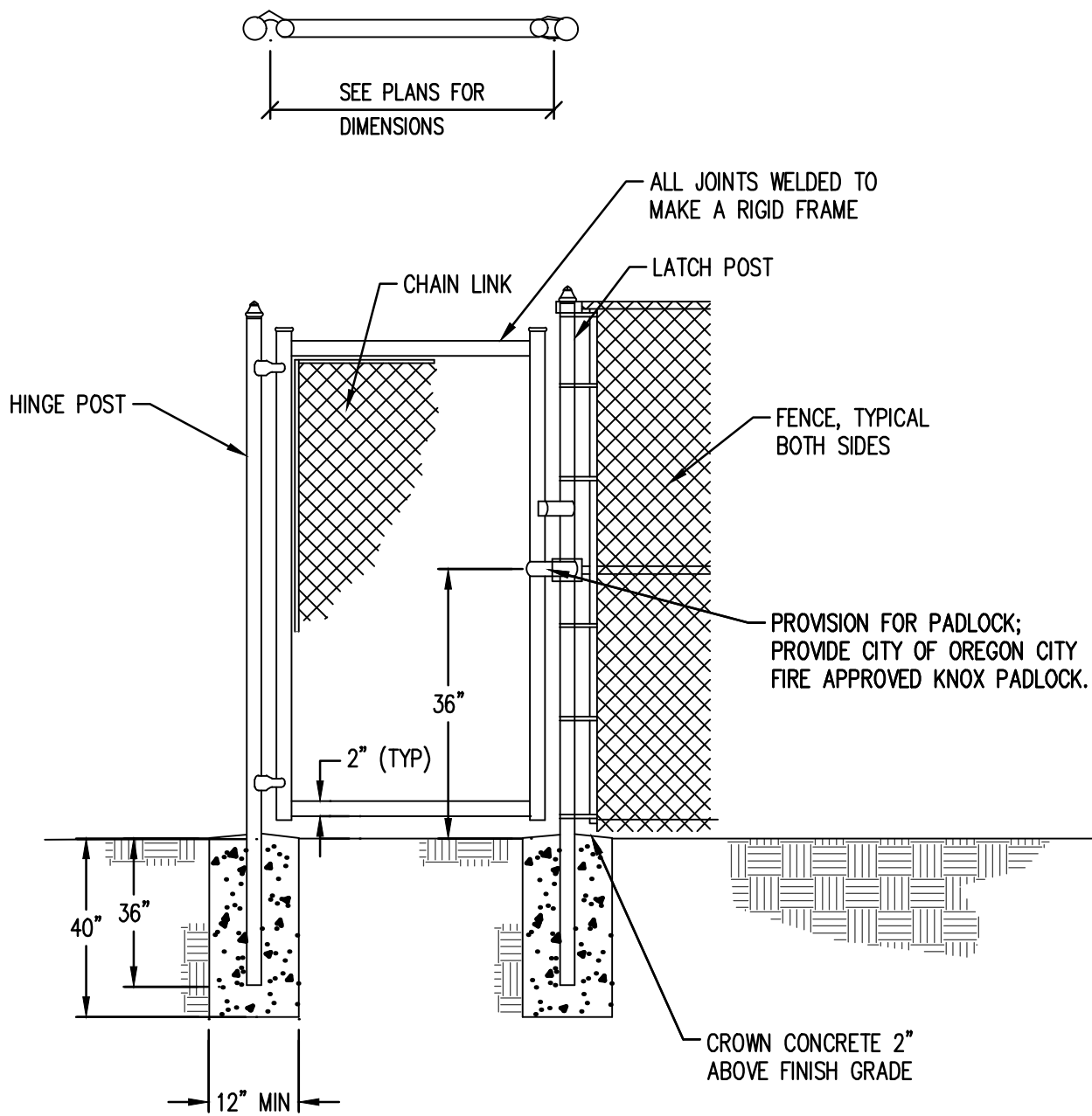
6 TYPICAL SHRUB PLANTING DETAIL

- NTS  
NOTES:
1. BACKFILL SOIL MIX SHALL BE 1/3 ORGANIC MATERIALS AND 2/3 NATIVE TOPSOIL (NATIVE TOPSOIL ONLY IN MITIGATION AREA).
  2. REMOVE ALL CONTAINERS, METAL, TWINE, TAGS, AND OTHER NON-BIODEGRADABLE MATERIALS PRIOR TO PLANTING.
  3. ALL CONTAINERIZED PLANT STOCK SHALL BE VIGOROUS, FREE OF DISEASE AND PESTS, EVENLY FORMED, AND BE FULLY ROOTED IN THE CONTAINER IN WHICH THEY ARE DELIVERED. ALL PLANTS SHALL FOLLOW ANSI Z60.1 STANDARDS FOR NURSERY STOCK FOR CONTAINER SIZE, HEIGHT, ETC.
  4. CONTRACTOR SHALL WATER-SETTLE PLANTING HOLES TO REMOVE AIR POCKETS PRIOR TO SPREADING MULCH.
  5. CARE SHALL BE TAKEN TO AVOID COVERING ROOT CROWN OR FOLIAGE OF PLANTS WITH BARK MULCH.
  6. SHRUBS PLANTED ON SLOPES SHALL BE PLANTED IN A VERTICAL (UPRIGHT) POSITION. CONTRACTOR SHALL CUT OUT UPHILL SIDE AND BACKFILL DOWNHILL SIDE OF PLANTING HOLE TO CREATE A LEVEL PLANTING AREA. POSITION ROOT CROWN AT SLOPE ELEVATIONS. NO SOIL BUILDUP SHALL COVER ROOT CROWN.



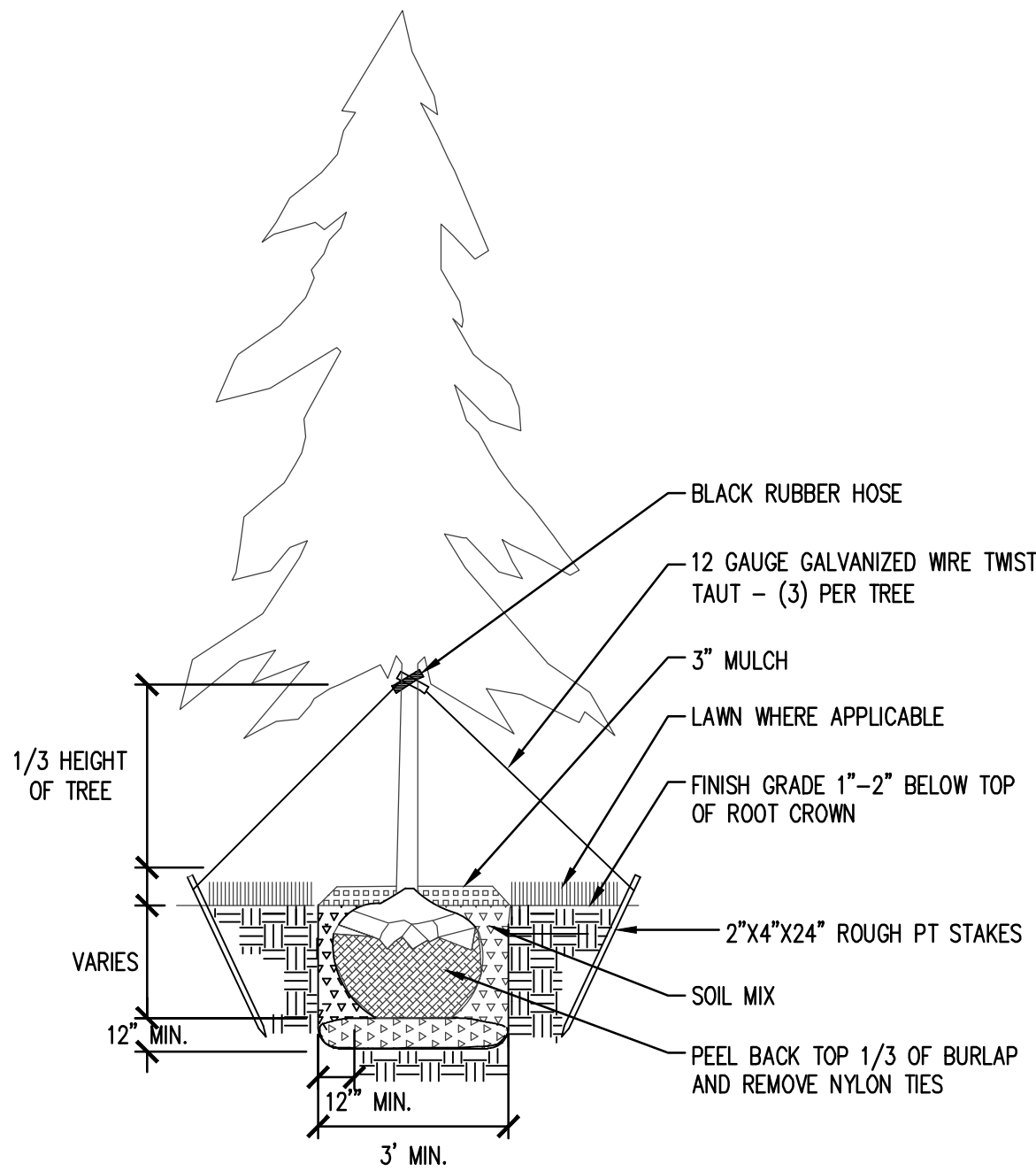
2 TYPICAL GROUNDCOVER PLANTING DETAIL

- NTS  
NOTES:
1. BACKFILL SOIL MIX SHALL BE 1/3 ORGANIC MATERIALS AND 2/3 NATIVE TOPSOIL.
  2. REMOVE ALL CONTAINERS, METAL, TWINE, TAGS, AND OTHER NON-BIODEGRADABLE MATERIALS PRIOR TO PLANTING.
  3. ALL CONTAINERIZED PLANT STOCK SHALL BE VIGOROUS, FREE OF DISEASE AND PESTS, EVENLY FORMED, AND BE FULLY ROOTED IN THE CONTAINER IN WHICH THEY ARE DELIVERED. ALL PLANTS SHALL FOLLOW ANSI Z60.1 STANDARDS FOR NURSERY STOCK FOR CONTAINER SIZE, HEIGHT, ETC.
  4. CONTRACTOR SHALL WATER-SETTLE PLANTING HOLES TO REMOVE AIR POCKETS PRIOR TO SPREADING MULCH. DO NOT COVER FOLIAGE OR ROOT CROWN OF GROUNDCOVER PLANTS.
  5. GROUNDCOVER PLANTS PLANTED ON SLOPES SHALL BE POSITIONED SO THAT THEIR LEADERS FOLLOW THE NATURAL GRADE OF THE SLOPE.



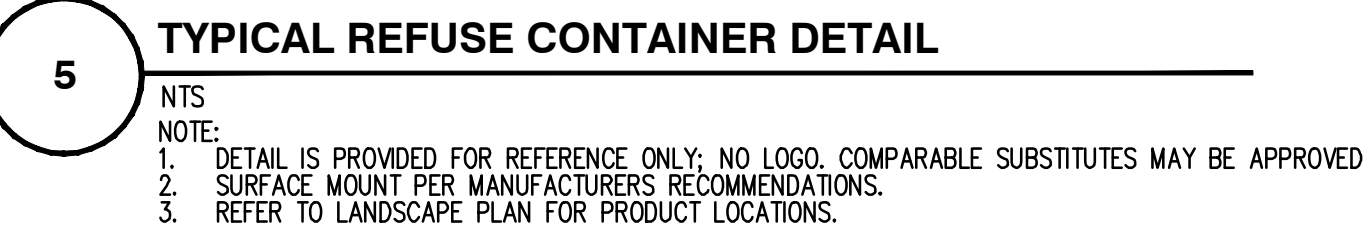
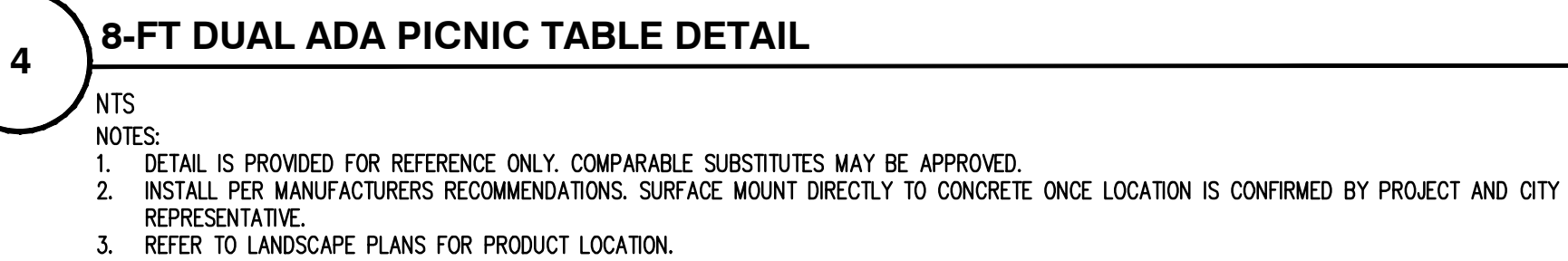
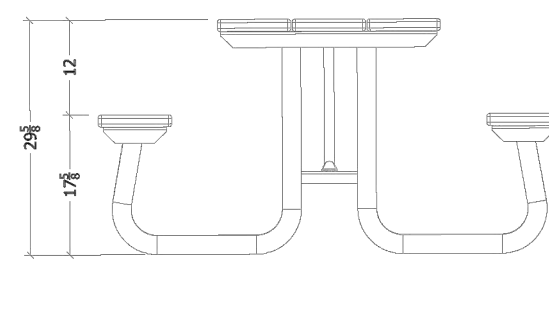
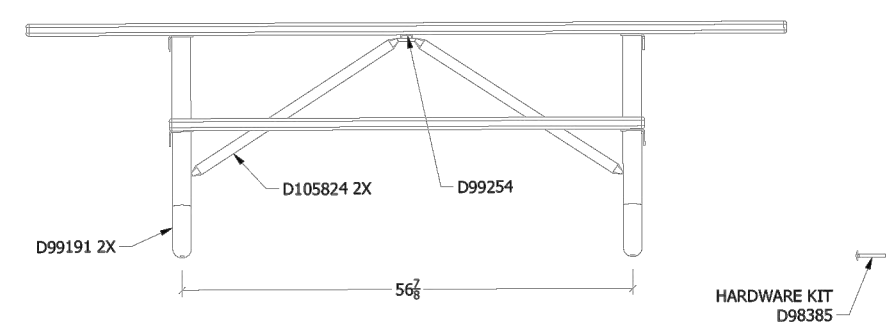
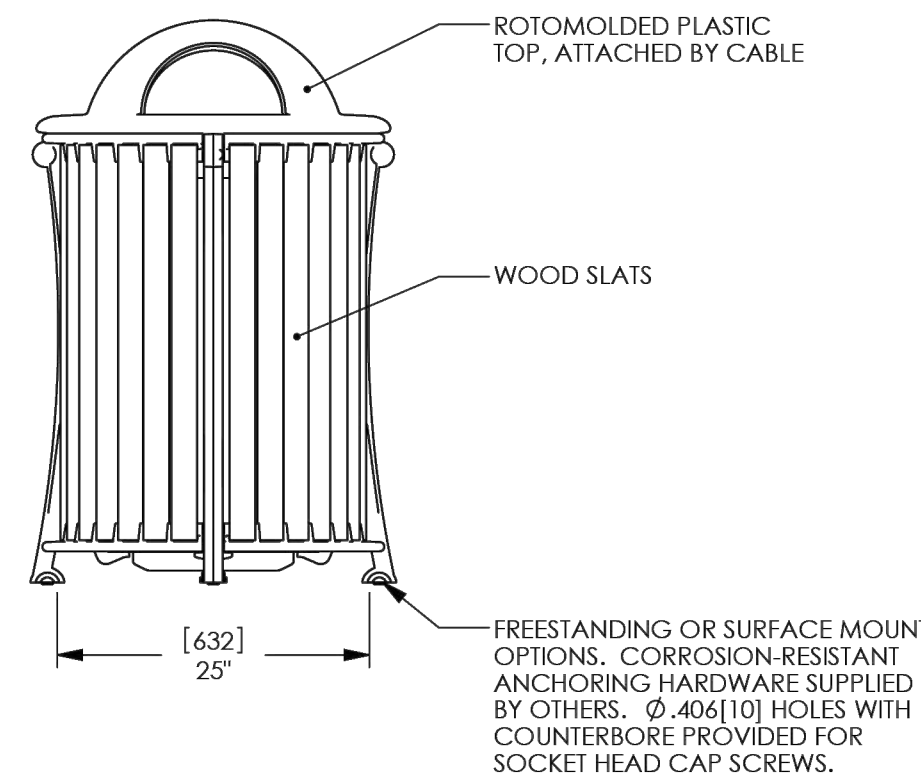
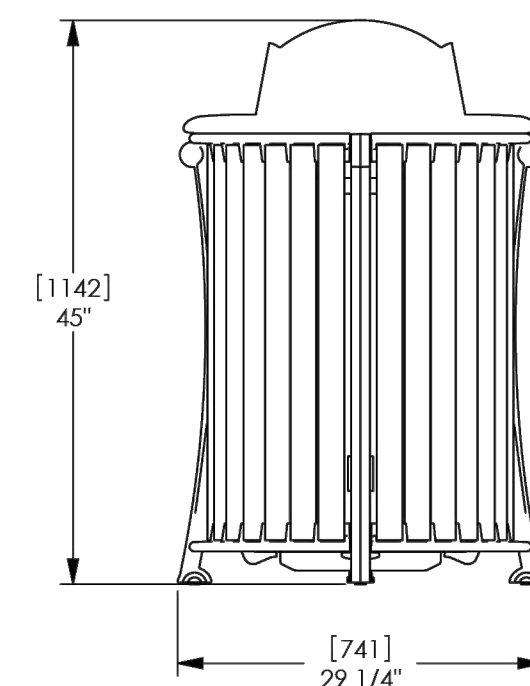
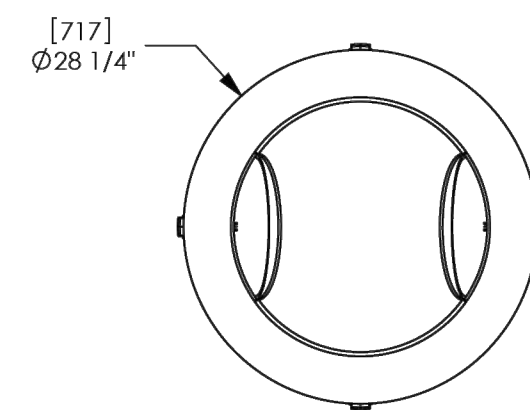
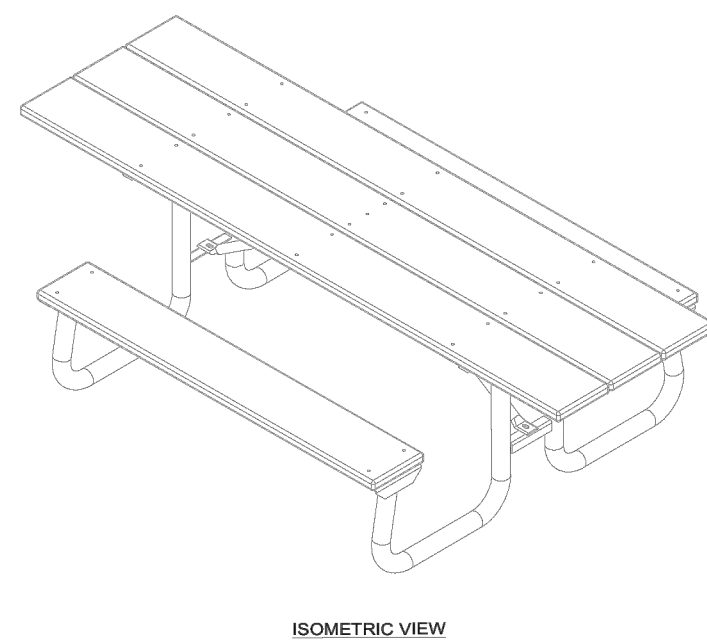
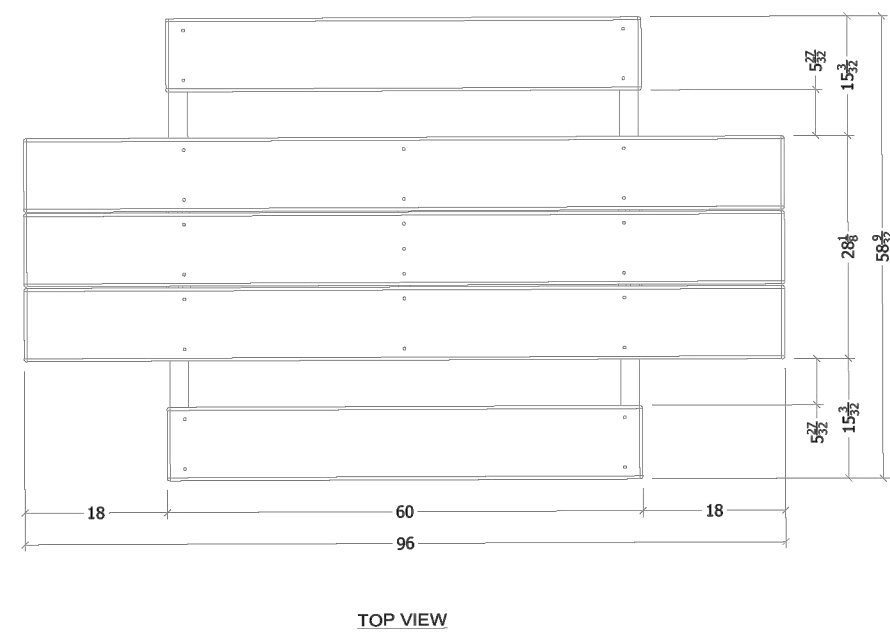
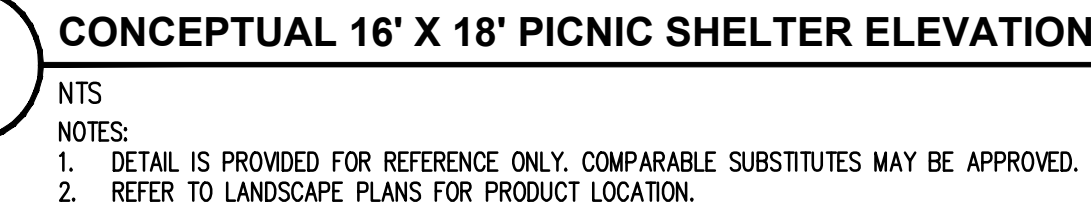
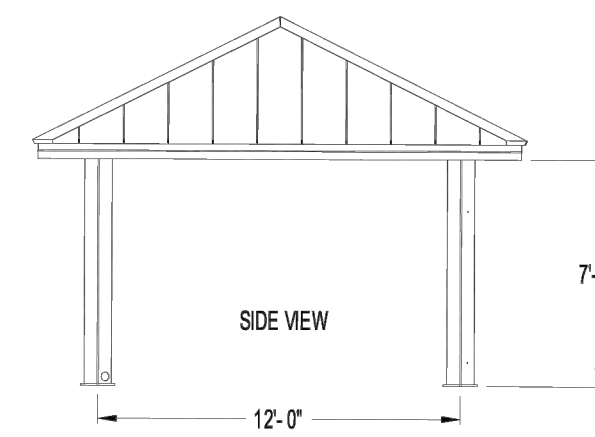
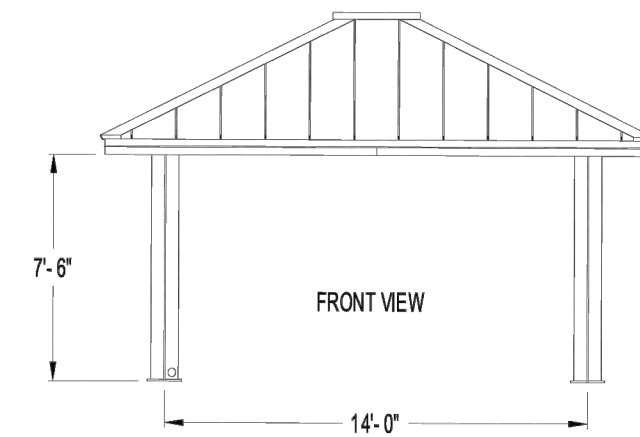
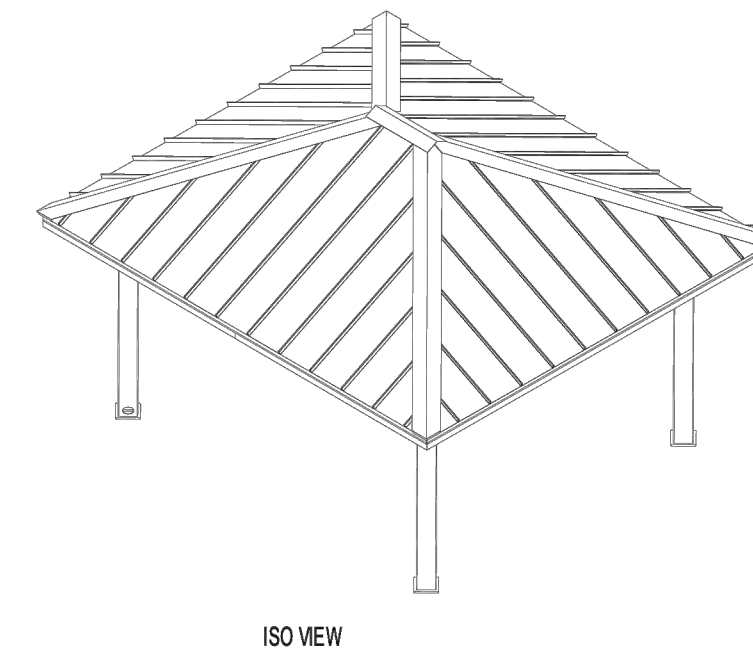
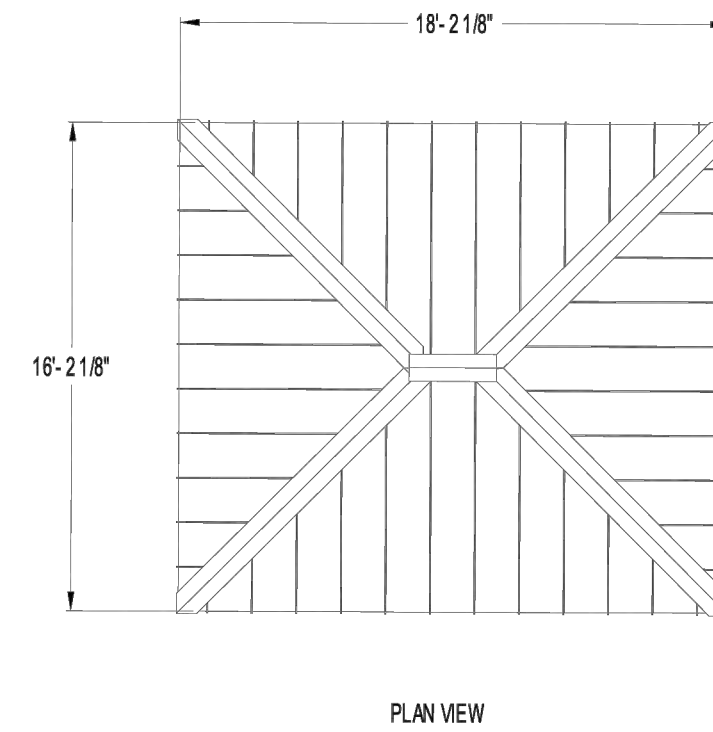
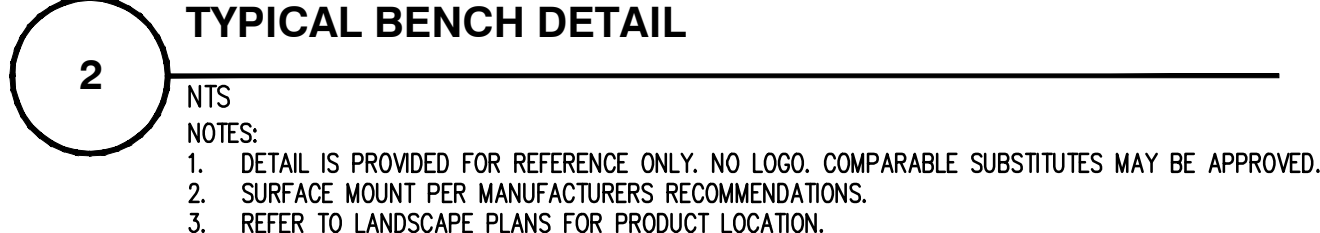
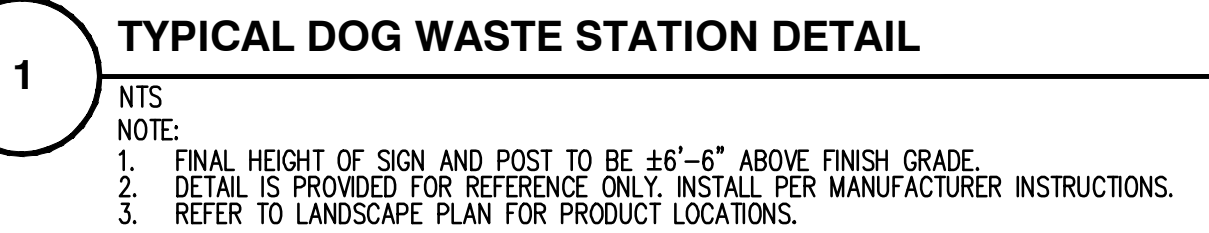
4 MAN GATE DETAIL

- NTS  
NOTES:
1. FENCE FABRIC MATERIAL SHALL BE NO. 9 GAUGE GALVANIZED STEEL FABRIC WITH BONDED VINYL COATING (BLACK); KKK (KNUCKLE TO KNUCKLE SELVAGE) TOP AND BOTTOM.
  2. FENCE POSTS SHALL BE SCHEDULE 40 GALVANIZED STEEL, MIN. 4" O.D., WITH TOP CAPS, AND SET PLUMB, MIN. 42" DEEP IN CONCRETE. BLACK VINYL COATING SHALL BE A MINIMUM OF 3 MM THICK, PER ASTM F1043.
  3. CROSS BARS SHALL CONNECT ADJACENT FENCE POSTS WITH DIAGONAL BRACES AT CORNERS AND ENDS.
  4. ALL FENCING MATERIALS (INCLUDING CHAIN LINK FABRIC, POSTS, RAILS, ETC.) SHALL BE COVERED WITH BLACK-COLORED VINYL COATING. THE COLOR SHOULD BE THE SAME FOR ALL FENCING MATERIALS.
  5. 5' HIGH GATE: CONCRETE POST BASE SHALL BE 18" MINIMUM DIAMETER X 42" MINIMUM DEPTH (24" DEEP PLUS 3" ADDITIONAL DEPTH FOR EVERY 1' OF FENCE HEIGHT ABOVE 4').
  6. CONCRETE FOOTING TO HAVE 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI (17.2MPa).
  7. SEE PLAN FOR GATE LOCATION. PROVIDE GATE STOP AND DROP RECEIVER SET IN CONCRETE.
  8. DETAIL IS FOR REFERENCE ONLY. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
  9. COORDINATE FENCE INSTALLATION WITH GENERAL CONTRACTOR AND PICKLEBALL COURT INSTALLATION.



5 TYPICAL CONIFEROUS TREE PLANTING DETAIL

- NTS  
NOTES:
1. SOIL MIX FOR TREE PLANTING TO BE 1/3 ORGANIC MATERIALS, 1/3 TOPSOIL, AND 1/3 SANDY LOAM.
  2. REMOVE ALL WIRES, METAL BASKETS, TWINE, AND OTHER NON-COMPOSTABLE MATERIALS FROM TREE ROOTBALL PRIOR TO PLANTING.





1. SAFETY SURFACING SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE FOLLOWING (CURRENT EDITIONS):
  - 1.1. "HANDBOOK FOR PUBLIC PLAYGROUND SAFETY" PUBLISHED BY THE US CONSUMER PRODUCT SAFETY COMMISSION"
  - 1.2. ASTM F1292-22 "STANDARD SPECIFICATION FOR IMPACT ATTENUATION OF SURFACE SYSTEMS UNDER AND AROUND PLAYGROUND EQUIPMENT"
  - 1.3. ASTM F2223-19a "STANDARD GUIDE FOR ASTM STANDARDS ON PLAYGROUND SURFACING"
  - 1.4. ASTM F1951-21 "STANDARD SPECIFICATION FOR DETERMINATION OF ACCESSIBILITY OF SURFACE SYSTEMS UNDER AND AROUND PLAYGROUND EQUIPMENT"
  - 1.4. ASTM F3313-20 "STANDARD TEST METHOD FOR DETERMINING IMPACT ATTENUATION OF PLAYGROUND SURFACES WITHIN THE USE ZONE OF PLAY EQUIPMENT AS TESTED IN THE FIELD."
  - 1.4. ASTM F3351-19e1 "STANDARD TEST METHOD FOR PLAYGROUND SURFACE IMPACT TESTING IN LABORATORY AT SPECIFIED TEST HEIGHT"
  - 1.5. ASTM F2075-20 "STANDARD SPECIFICATION FOR ENGINEERED WOOD FIBER FOR USE AS A PLAYGROUND SAFETY SURFACE UNDER AND AROUND PLAYGROUND EQUIPMENT"
  - 1.6. AMERICANS WITH DISABILITIES ACT

- PLAYGROUND EQUIPMENT GENERAL NOTES:**

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING REGULATIONS, INCLUDING ADA REQUIREMENTS, WHERE APPLICABLE.
10. DELIVERY AND STORAGE:
  - 10.1.1. ORDER EQUIPMENT IN A TIMELY MANNER TO AVOID DELAY TO OTHER WORK.
  - 10.1.2. DELIVER AND STORE PRODUCTS IN ORIGINAL, UNOPENED CONTAINERS WITH LABELS INTACT WHEN NOT BEING INSTALLED AND PROTECT DURING CONSTRUCTION OPERATIONS TO PREVENT DAMAGE, THEFT, OR VANDALISM.
  - 10.1.3. INSPECT PARTS WITHIN FORTY-EIGHT HOURS OF DELIVERY, COMPARE WITH MANUFACTURERS BILL OF MATERIAL, AND REPORT ANY MISSING OR NON-CONFORMING PARTS TO MANUFACTURER.
  - 10.1.4. ALL TOUCH UP, CLEANING, REPAIR, OR REPLACEMENT SHALL BE AT CONTRACTOR'S EXPENSE.
11. LAY OUT PLAY AREA ACCURATELY IN ACCORDANCE WITH THE PLANS AND MANUFACTURER'S INSTALLATION DRAWINGS AND SPECIFICATIONS, MAINTAINING REQUIRED SAFE USE FALL ZONES AND SURFACING DEPTHS. FOOTING LAYOUT SHALL BE REVIEWED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. REPORT DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND RECEIVE APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
12. VERIFY SUB BASE ELEVATIONS AND DRAINAGE PRIOR TO INSTALLATION WITH OWNER'S REPRESENTATIVE. BASE MATERIAL SHALL DRAIN PROPERLY.
13. DRILL HOLES FOR FOOTINGS WITH POWER AUGER INTO FIRM, UNDISTURBED, OR WELL COMPACTED SOIL. EXCAVATE HOLES FOR FOOTING AT LEAST 3" DEEPER THAN THE BOTTOM OF THE POSTS. IF THIS IS NOT ACHIEVABLE ALTERNATIVE SPREAD TYPE FOOTINGS MAY BE APPROVED. EXTEND POSTS TO DEPTHS INDICATED ON THE MANUFACTURER'S APPROVED SHOP DRAWINGS. DEPTH AS RECOMMENDED BY MANUFACTURER TO PROVIDE RIGID SUPPORT FOR EQUIPMENT SUPPORTED BY EACH FOOTING.
14. PROVIDE CYLINDRICAL REMOVABLE OR PERMANENT FORMS FOR EACH POST TO A DEPTH OF NOT LESS THAN 2-INCHES BELOW SUBGRADE UNDER PLAYGROUND CUSHION MATERIAL, TAKING INTO ACCOUNT THE REQUIRED DEPTH OF SAFETY SURFACING.
15. SET POSTS IN EXCAVATION TO REQUIRED DEPTHS AS SUGGESTED BY MANUFACTURER. CENTER PIPES IN FORMS AND ALIGN AND LEVEL AS REQUIRED TO CONFORM WITH MANUFACTURER'S SHOP DRAWINGS AND INSTALLATION REQUIREMENTS. BRACE AND SHORE UP PIPE TO SECURE THEM FIRMLY IN PLACE DURING CONCRETE PLACEMENT.
16. PLACE ANCHOR RODS IN PIPES PRIOR TO PLACEMENT OF CONCRETE. FASTEN ANCHORS SECURELY TO PREVENT DISLODGE DURING CONCRETE PLACEMENT.
17. AFTER POSTS ARE SET, INCREASE FOOTING EXCAVATION AS REQUIRED TO PROVIDE MINIMUM CONCRETE COVER TO CONFORM TO MANUFACTURER'S SHOP DRAWINGS. ENSURE MINIMUM PLAYGROUND SURFACING DEPTHS CAN BE MAINTAINED ON TOP OF FOOTING.
18. WET FORMS AND HOLES THOROUGHLY WITH WATER PRIOR TO DEPOSITING CONCRETE THEREIN. DO NOT ALLOW WATER TO PUDDLE IN FOOTING EXCAVATION. PLACE CONCRETE AROUND POSTS IN ONE CONTINUOUS OPERATION. CONTINUOUSLY ROD AND TAMP TO CONSOLIDATE MATERIAL AND TO REMOVE AIR POCKETS DURING PLACEMENT OPERATIONS. TROWEL TOP OF SURFACE OF FOOTINGS TO FORM SLOPE OR DOME CONFIGURATIONS TO DIRECT WATER AWAY FROM PIPES.
19. CONCRETE CURING AND BACKFILLING: THOROUGHLY DAMPEN CONCRETE WITH CONTINUOUS APPLICATION OF CLEAN WATER OR COAT WITH A MEMBRANE-FORMING CURING COMPOUND. BACKFILL AROUND FOOTINGS WITH APPROVED MOIST MATERIALS. THOROUGHLY COMPACT BACKFILL TO WITHIN 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHTO STANDARD T-99. MAINTAIN CONCRETE FOUNDATIONS IN A MOIST CONDITION FOR AT LEAST 5-DAYS.
20. EQUIPMENT INSTALLATION:
  - 20.1. DO NOT INSTALL EQUIPMENT UNTIL CONCRETE FOOTINGS SUPPORTING SUCH EQUIPMENT HAVE CURED FOR AT LEAST 7-DAYS.
  - 20.2. ASSEMBLE ALL EQUIPMENT THAT REQUIRES PRE-ASSEMBLY BEFORE INSTALLATION BEGINS.
  - 20.3. DO NOT INSTALL DECKS AND ACCESSORIES UNTIL CUSHION (SAFETY SURFACING) MATERIAL IS IN PLACE. ATTACH DECKS AND ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DECK HEIGHTS AS INDICATED ON THE PRODUCT DATA SHEETS SHALL BE MEASURED FROM TOP OF CUSHION MATERIAL TO DECK SURFACE WITH TOLERANCES OF PLUS OR MINUS ONE-INCH.
  - 20.4. PROTECT INSTALLED EQUIPMENT FROM DAMAGES, BLEMISHES, OR INDICATION OF USE UNTIL COMPLETION AND ACCEPTANCE OF THE PROJECT.
  - 20.5. CONTRACTOR TO INSTALL PERMANENT STICKER ON ALL PLAY STRUCTURE POSTS TO INDICATE LEVEL AT WHICH SAFETY SURFACING MUST BE MAINTAINED.
21. AT PROJECT CLOSE OUT, PROVIDE DEVELOPER AND CITY REPRESENTATIVE WITH MANUFACTURER'S PRODUCT WARRANTY INFORMATION; EQUIPMENT FINISHES/COLOR; EQUIPMENT SHOP DRAWINGS AND INSTALLATION GUIDELINES, INCLUDING FOOTINGS, PARTS AND HARDWARE DESCRIPTIONS AND PART NUMBERS; EQUIPMENT INVENTORY LIST ITEMIZING EVERY PIECE OF EQUIPMENT ON THE PLAYGROUND, THE MANUFACTURERS NAME,Postal ADDRESS, PHONE NUMBER, AND LOCAL REPRESENTATIVE'S CONTACT INFORMATION, THE DATE IT WAS INSTALLED, INSTALLERS NAME AND CONTACT INFORMATION, AND ANY SUPPLEMENTAL INFORMATION (SUCH AS IPEMA CERTIFICATION); CPSI AUDIT REPORT; AND MANUFACTURER'S MAINTENANCE INSTRUCTIONS AND MAINTENANCE FORMS.

1. SITE FURNISHING, AMENITIES, FINISHES, MATERIALS, AND DETAILS ARE PROVIDED FOR REFERENCE ONLY. SUBSTITUTIONS OF COMPARABLE QUALITY, FORM, AND FUNCTION MAY BE ALLOWED. DEVELOPERS REPRESENTATIVE SHALL HAVE FINAL APPROVAL OF SUBSTITUTIONS PRIOR TO PURCHASE.
2. 16' X 18' SHELTER: CASKILL MTN. SERIES STRUCTURE 16' X 18' SHELTER BY NATURAL STRUCTURES (98-c16018-61-SPSB-SS) OR EQUAL APPROVED BY OWNER, WITH HIP ROOF, STAINED 2X6 TAG ROOF DECK AND FASCIA, STANDING SEAM METAL ROOFING AND POWDER COATED FRAME. STANDING SEAM METAL ROOF COLOR: DARK BRONZE, POWDER COAT POST COLOR: CARLSBAD CANYON. OBTAIN FROM NATURAL STRUCTURES, 800-252-8475, [WWW.NATURALSTRUCTURES.COM](http://WWW.NATURALSTRUCTURES.COM)
3. CONTRACTOR SHALL SUBMIT QUANTITIES AND MANUFACTURER'S DRAWINGS AND PRODUCT SPECIFICATIONS, INCLUDING COLORS AND MATERIALS, FOR ALL SITE FURNISHINGS AND AMENITIES TO THE DEVELOPERS REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
4. INSTALL ALL SITE FURNISHINGS AND AMENITIES PER MANUFACTURER'S RECOMMENDATIONS AND DRAWINGS. FURNISHINGS SHALL BE SET LEVEL, PLUMB, AND TRUE. CORRECT HEIGHT, SPACING, AND CLEARANCES AS INDICATED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE MAINTAINED.
5. CONTRACTOR SHALL CONFIRM LOCATIONS, CLEARANCES, AND ORIENTATION OF ALL PERMANENT SITE FURNISHINGS (BENCHES, LITTER CONTAINERS, BIKE RACKS, ETC.) WITH DEVELOPER AND CITY REPRESENTATIVES PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FURNISH ALL LABOR, TOOLS, EQUIPMENT, MATERIAL, TRANSPORTATION, AND PERFORM ALL OPERATIONS NECESSARY AND INCIDENTAL TO PROPER EXECUTION AND COMPLETION OF SITE FURNISHING INSTALLATION IN ACCORDANCE WITH THE PLANS AND MANUFACTURER'S RECOMMENDATIONS.
7. CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS APPLICABLE TO INSTALLATION OF SITE FURNISHINGS, INCLUDING ADA REQUIREMENTS WHERE APPLICABLE.
8. ENSURE THAT THE MANUFACTURED FINISHES ARE PROTECTED DURING TRANSIT, DELIVERY, STORAGE, AND INSTALLATION OF FURNISHINGS.
9. LOCATE ALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS PRIOR TO EXCAVATION. NOTIFY THE DEVELOPERS REPRESENTATIVE OF CONFLICTS.
10. COORDINATE SITE FURNISHING INSTALLATION WITH OTHER WORK. INSTALL SITE FURNISHINGS AFTER INSTALLATION OF PAVEMENT, WALLS, FENCING, AND OTHER SITE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ORDER PRODUCTS IN A TIMELY MANNER TO PREVENT DELAY IN THE CONSTRUCTION SCHEDULE AND FINAL ACCEPTANCE OF THE WORK.
11. SITE FURNISHING ANCHORS, FASTENERS, FITTINGS, AND HARDWARE SHALL BE MANUFACTURER'S STANDARD; CORROSION-RESISTANT COATED OR NON-CORRODIBLE MATERIALS; COMMERCIAL QUALITY; TAMPERPROOF, VANDAL, AND THEFT RESISTANT; CONCEALED, RECESSED, AND CAPPED OR PLUGGED. CONTRACTOR SHALL SUPPLY ANCHORS, FASTENERS, AND OTHER NECESSARY HARDWARE WHEN NOT INCLUDED WITH THE SITE FURNISHING.
12. METAL COMPONENTS SHALL BE TRUE TO FORM AND REQUIRED SHAPES, WITH TRUE, CONSISTENT LINES/CURVES, FREE OF BURRS, SHARP EDGES, AND ROUGH WELDS. EXPOSED SURFACES SHALL BE POLISHED, SANDED, OR OTHERWISE FINISHED TO BE FREE FROM BURRS, BARBS, SPLINTERS, AND SHARPNESS.
13. AFTER COMPLETING SITE FURNISHING INSTALLATION, INSPECT COMPONENTS. REMOVE SPOTS, DIRT, AND DEBRIS. REPAIR DAMAGED FINISHES TO MATCH ORIGINAL FINISH OR REPLACE COMPONENT TO THE OWNER'S REPRESENTATIVE'S SATISFACTION.

DESIGNED BY:	BNF
DRAWN BY:	BNF
MANAGED BY:	MTS
CHECKED BY:	KAH
DATE: 11/3/25	

DATE: 11/3/25



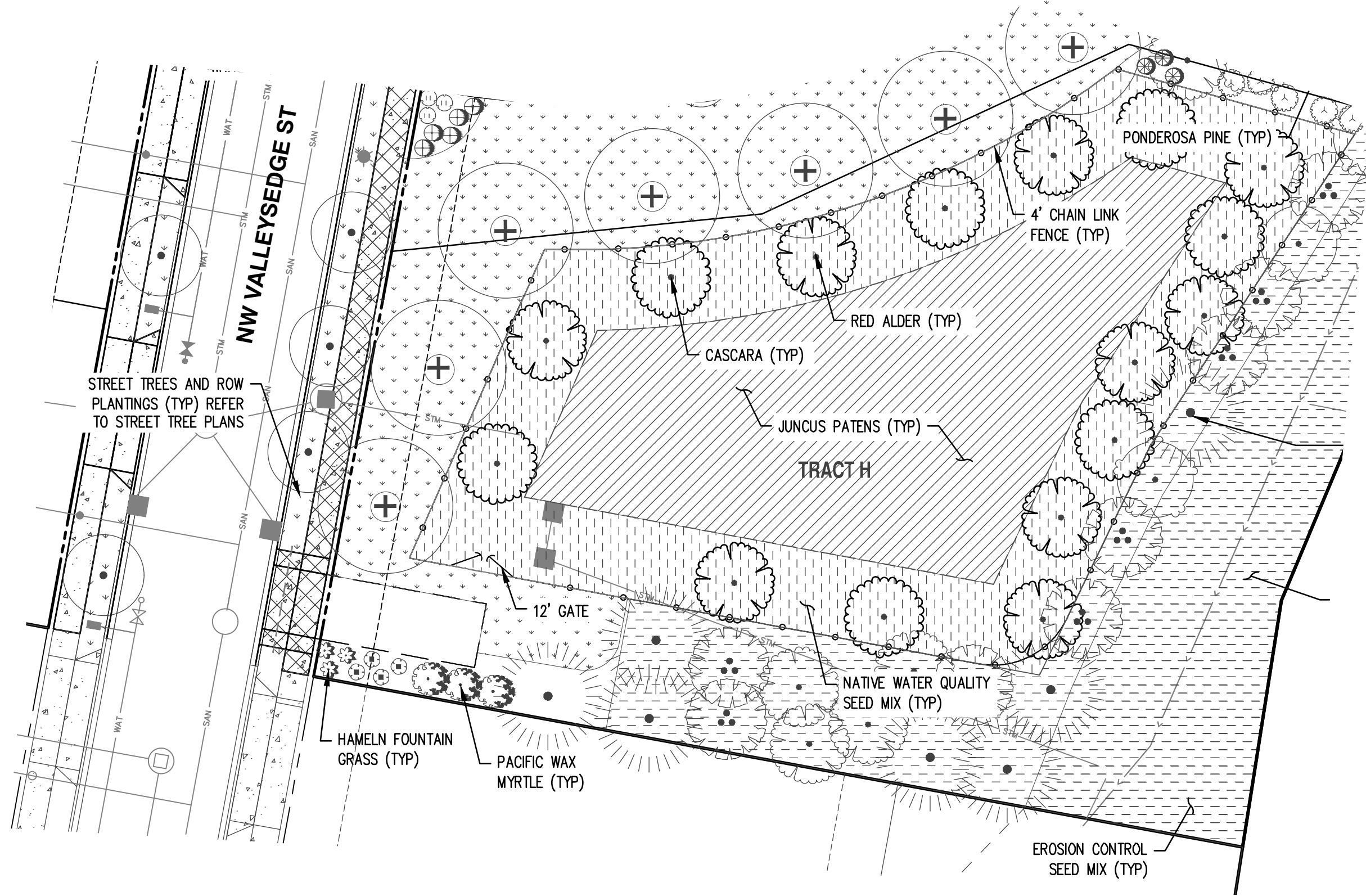
RENEWS: 06/30/2026

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5147-02

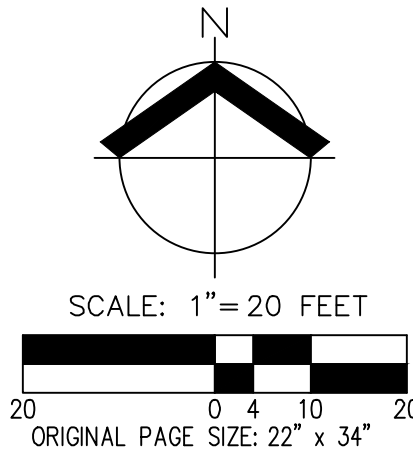
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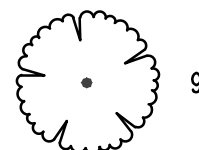
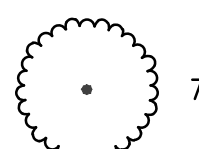
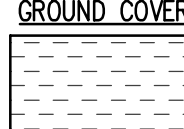
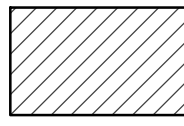

AKS DRAWING FILE: 5147-02\_P18\_LANDSCAPE.DWG | LAYOUT: L105



- CONTRACTOR IS RESPONSIBLE FOR VERIFYING PLANT AND MATERIAL QUANTITIES. IF DISCREPANCIES OCCUR, DESIGN INTENT PREVAILS OVER QUANTITIES LISTED.
- A 'DESIGN BUILD' ABOVE GROUND TEMPORARY IRRIGATION SYSTEM SHALL BE INSTALLED BY THE CONTRACTOR TO IRRIGATE THE PLANTINGS IN THE STORMWATER FACILITY. CONTRACTOR SHALL PROVIDE IRRIGATION PLANS, INCLUDING HEAD AND PIPE LAYOUT, ZONING, ETC. TO OWNER/ENGINEERING FOR APPROVAL PRIOR TO BEGINNING INSTALLATION. WATERING SHALL OCCUR DURING THE WARRANTY/MONITORING PERIOD TO MAINTAIN ALL PLANTINGS IN A HEALTHY THRIVING CONDITION, A MINIMUM OF 1" PER WEEK FROM JUNE 15 THROUGH OCTOBER 15 AND AS REQUIRED FOR ESTABLISHMENT.
- 3.1. GROWING MEDIUM COMPOSITION: GROWING MEDIUM IN STORMWATER FACILITIES SHALL BE MEET OWNER/ENGINEER STANDARDS- A STANDARD BLEND FOR PUBLIC AND PRIVATE FACILITIES . CONTRACTOR TO PROVIDE GROWING MEDIUM SUBMITTAL AND ANALYSIS FOR REVIEW TO AKS PRIOR TO INSTALLATION. THE MEDIUM SHALL BE A BLEND OF LOAMY SOIL, SAND, AND COMPOST THAT IS 30%-40% COMPOST BY VOLUME. ANALYSIS REQUIREMENTS OF THE BLENDED MEDIUM MATERIAL SHALL MEET MINIMUM WES STANDARDS;
- 3.2. PARTICLE GRADATION OF THE BLENDED MATERIAL, INCLUDING COMPOST, SHALL BE IN CONFORMANCE WITH ASTM C1 17/C136 (AASHTO T11/T270).
- 3.3. SOIL ORGANIC MATTER CONTENT OF THE BLENDED MATERIALS SHALL BE IN CONFORMANCE WITH ASTM D2974 (LOSS ON IGNITION TEST) AND BE A MINIMUM OF 10%.
- 3.4. THE BLENDED MATERIAL SHOULD HAVE A PH OF 5.5 TO 7.
- 3.5. THE BLENDED MATERIAL SHALL BE LOOSE AND FRILABLE (WORKABLE) AND FREE OF VISIBLE WATER.
- 3.6. THE BLENDED MATERIAL SHALL BE WELL-MIXED AND HOMOGENOUS WITH SUFFICIENT STRUCTURE TO GIVE GOOD TILTH AND AERATION. CONTINUOUS AIR-FILLED, PORE-SPACED CONTENT ON A VOLUME/VOLUME BASIS SHOULD BE AT LEAST 15% WHEN MOISTURE IS PRESENT AT FIELD CAPACITY AND THE BLENDED SOIL SHOULD HAVE A FIELD CAPACITY OF AT LEAST 15% ON A DRY WEIGHT BASIS.
- 3.7. THE BLENDED MATERIAL SHALL BE FREE OF WOOD PIECES; PLASTIC; SCREENED AND FREE OF STONES 1-INCH OR LARGER IN ANY DIMENSION; ROOTS; PLANTS; SOD; CLODS; CLAY LUMPS; POCKETS OF COARSE SAND; PAINT/PAINT WASHOUT; CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, AND CEMENT; PLASTER; BUILDING DEBRIS; OILS AND GASOLINE/DIESEL FUELS; PAINT THINNER AND TURPENTINE; TAR; ROOFING COMPOUND; ACID; WEED AND INVASIVE PLANTS AND/OR SEEDS; AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- 3.8. SOIL SHALL NOT BE INFESTED WITH NEMATODES, GRUBS OTHER PESTS, PEST EGGS, OR OTHER UNDESIRABLE ORGANISMS AND DISEASE-CAUSING PLANT PATHOGENS.
- 3.9. TOPSOIL IN THE GROWING MEDIUM BLEND MAY BE IMPORTED AND/OR FROM SURFACE SOIL STOCKPILED ON SITE. IT SHOULD BE OBTAINED FROM NATURALLY WELL-DRAINED CONSTRUCTION OR MINING SITES WHERE TOPSOIL OCCURS AT LEAST 4-INCHES DEEP AND SHOULD NOT BE OBTAINED FROM BOGS, WETLANDS, OR MARSHES. IF TOPSOIL IS USED, CONTRACTOR TO PROVIDE TOPSOIL SUBMITTAL AND ANALYSIS FOR REVIEW TO AKS PRIOR TO INSTALLATION.
4. COMPOST IN THE GROWING MEDIUM SHALL BE ENTIRELY DERIVED FROM NON-WOODY PLANT MATERIAL AND PROVIDED BY A MEMBER OF THE US COMPOSTING COUNCIL SEAL OF TESTING ASSURANCE (STA) PROGRAM (REFER TO WWW.COMPOSTINGCOUNCIL.ORG FOR A LIST OF PORTLAND AREA PROVIDERS). THE COMPOST MATERIAL SHALL BE WELL-COMPOSTED, FREE OF VIABLE WEED SEEDS, AND STABLE. IT SHALL HAVE NO VISIBLE FREE WATER AND PRODUCE NO DUST WHEN HANDLED. SUBMIT A US COMPOSTING COUNCIL STA COMPOST TECHNICAL DATA SHEET PROVIDED BY THE VENDOR TO AKS FOR APPROVAL, SHOWING COMPLIANCE WITH THE FOLLOWING:
  - 100% OF THE MATERIAL MUST PASS THROUGH A 1/2-INCH SCREEN.
  - HAVE A PH OF THE MATERIAL OF BETWEEN 6 AND 8.
  - MANUFACTURED INERT MATERIAL (PLASTIC, CONCRETE, CERAMICS, METAL, ETC.) LESS THAN 1.0% BY WEIGHT.
  - ORGANIC MATTER BETWEEN 35% AND 65%.
  - SOLUBLE SALT CONTENT LESS THAN 6.0 MMHOS/CM.
  - GERMINATION (AS AN INDICATOR OF MATURITY) GREATER THAN 80%.
  - STABILITY SHOULD BE BETWEEN CLASSES 5-7.
  - CARBON/NITROGEN RATION LESS THAN 25:1.
  - TRACE METAL RESULTS = PASS.
5. GROWING MEDIUM INSTALLATION: PLACEMENT, STORAGE, AND HANDLING OF THE GROWING MEDIUM IN STORMWATER FACILITIES SHALL MEET OWNER/ENGINEER STANDARDS. THE GROWING MEDIUM SHALL BE PROTECTED FROM ALL SOURCES OF CONTAMINATION, INCLUDING WEED SEEDS, WHILE AT THE SUPPLIER, IN CONVEYANCE, AND AT THE PROJECT SITE. PLACE GROWING MEDIUM IN LOOSE LIFTS, NOT TO EXCEED 8-INCHES EACH, AND EACH LIFT SHALL BE COMPACTED WITH A WATER-FILLED LANDSCAPE ROLLER. THE MATERIAL SHALL NOT OTHERWISE BE MECHANICALLY COMPACTED. PLACEMENT OF THE GROWING MEDIUM IS NOT RECOMMENDED WHEN THE GROUND IS FROZEN OR SATURATED OR WHEN THE WEATHER IS DETERMINED TO BE TOO WET. ONCE PLACED, PROTECT THE GROWING MEDIUM FROM EROSION, FOOT OR EQUIPMENT TRAFFIC, SEDIMENT, ETC. IN ACCORDANCE WITH WES STANDARDS. REFER TO ENGINEERING PLANS FOR SOIL PLACEMENT, DEPTH, AND EROSION CONTROL MATTING WHERE APPLICABLE.
6. HATCHED AREAS ARE MEANT TO CONVEY GENERAL PLANT LOCATION. PLANT COVERAGE, SPACING, AND LAYOUT SHALL BE CONSISTENT WITH THE SPACING LISTED IN THE PLANT LEGEND FOR FULL COVERAGE. ADJUST AS NECESSARY TO AVOID CONFLICTS WITH PIPE OUTLETS/INLETS, RIP-RAP PADS, ETC.
7. A TWO-YEAR MONITORING PERIOD SHALL BE REQUIRED BY THE OWNER/ENGINEER. MONITORING SHALL OCCUR A MINIMUM OF THREE TIMES PER GROWING SEASON (APRIL, JUNE, SEPTEMBER) AND ONCE PRIOR TO THE ONSET OF THE THE GROWING SEASON (FEBRUARY-MARCH). ONGOING MAINTENANCE, SHALL BE DETERMINED BY THE MONITORING ASSESSMENT AND MAY INCLUDE BUT IS NOT LIMITED TO: PRUNING, INVASIVE WEED CONTROL AND REMOVAL, PLANT REPLACEMENT, WILDLIFE PROTECTION, AND IRRIGATION SYSTEM OPERATION, MAINTENANCE, AND WINTERIZING.
8. PLANT REPLACEMENT AND PRESERVATION: AT THE END OF THE MAINTENANCE PERIOD, ALL PLANTS NOT IN A HEALTHY GROWING CONDITION, WILL BE NOTED AND AS SOON AS SEASONAL CONDITIONS PERMIT, WILL BE REMOVED FROM THE SITE AND REPLACED WITH PLANTS OF THE SAME SPECIES AND SIZE AS ORIGINALLY SPECIFIED. PRIOR TO REPLACEMENT, THE CAUSE OF LOSS (WILDLIFE DAMAGE, POOR PLANT STOCK, ETC.) SHOULD BE DOCUMENTED WITH A DESCRIPTION OF THE CORRECTIVE ACTIONS TAKEN.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING HERBACEOUS PLANT MATERIAL PLACED BELOW THE PONDING DEPTH DURING THE ESTABLISHMENT PERIOD. THIS MAY INCLUDE MONITORING AND/OR REGULATE PONDING DEPTH AND WATER INTAKE TO ENSURE THAT THE NEW PLANT MATERIAL DOES NOT DROWN UNTIL WELL ESTABLISHED. PONDING DEPTH SHALL VARY BASED ON THE CLIMATE AND RAINFALL EVENTS AS WELL AS PLANT GROWTH AND ESTABLISHMENT, HOWEVER HERBACEOUS PLANT MATERIAL SHALL HAVE AT LEAST 1/4 TO 1/3 OF THEIR TOPS ABOVE THE WATERLINE DURING THE ESTABLISHMENT PERIOD. (2-3 MONTHS OR AS REQUIRED FOR SUFFICIENT TOP GROWTH). ALTERNATIVELY, THE CONTRACTOR MAY AT THEIR DISCRETION, PLANT HERBACEOUS PLANT MATERIAL OF SUFFICIENT HEIGHT ABOVE PONDING DEPTH FOR HEALTHY PLANT ESTABLISHMENT WITHOUT REGULATING WATER INTAKE.
10. MULCH: STORMWATER FACILITY PLANTINGS SHALL BE MULCHED.. MULCH SHALL NOT BE USED IN FREQUENTLY INUNDATED AREAS.



## TRACT H PLANT SCHEDULE

<u>SYMBOL</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE/CONTAINER</u>	<u>SPACING</u>
<u>MITIGATION TREES</u>					
	9	ALNUS RUBRA	RED ALDER	1.5" MIN. CAL. B&B	AS SHOWN
	7	RHAMNUS PURSHIANA	CASCARA	1.5" MIN. CAL. B&B	AS SHOWN
<u>SYMBOL</u>	<u>QTY</u>	<u>DESCRIPTION</u>			
<u>GROUND COVERS</u>					
	3,749 SF	EROSION CONTROL SEED MIX: NATIVE E/C MIX – SUNMARK SEEDS (OR APPROVED EQUAL): MEADOW BARLEY (HORDEUM BRACHYANTHERUM) 40%; CALIFORNIA BROME (BROMUS CARINATUS) 35%; NATIVE RED FESCUE (FESTUCA RUBRA RUBRA) 20%; TUFTED HAIRGRASS (DESCHAMPSIA CESPITOSA) 3%; SPIKE BENTGRASS (AGROSTIS EXERATA) 2%; APPLY AT A RATE OF 1 LB PER 1,000 SQ. FT, OR AS RECOMMENDED BY SUPPLIER			
	5,246	JUNCUS PATENS	SPREADING RUSH	PLUG (9 CUBIC INCH)	12" o.c. (TRI-SPACE)
	5,910 SF ±	NATIVE WATER QUALITY SEED MIX: APPLY AT A RATE OF 1LB. PER 1000 SQ. FT. 46% BLUE WILDRYE (ELYMUS GLAUCUS), 38% NATIVE RED FESCUE (FESTUCA RUBRA RUBRA), 12% TUFTED HAIRGRASS (DESCHAMPSIA CAESPITOSA), 2% WESTERN MANNAGRASS (GLYCERIA OCCIDENTALLIS), 2% AMERICAN SLOUGHGRASS (BECKMANIA SYZIGACHNE)			

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HILLCREST PHASE 9  
PHASE 3 OF HILLCREST PD  
COM CASE FILE PDA 1-24 & S 3-24  
MCMINNVILLE  
YAMHILL COUNTY TAX MAP 45.24

TRACT H STORMWATER  
PLANTING PLAN, NOTES  
AND PLANTING SCHEDULE

DESIGNED BY: BNF  
DRAWN BY: BNF  
MANAGED BY: MTS  
CHECKED BY: KAH  
DATE: 11/3/25  
REGISTERED  
PROFESSIONAL  
LANDSCAPE ARCHITECT  
K. B. FOSTER  
NOV 13 2023  
RENEWED: 06/30/2026

REVISIONS

JOB NUMBER  
5147-02  
SHEET  
L105

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