



**City of McMinnville
Planning Department**
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

Landscape Review Committee
Community Development Center, 231 NE 5th Street
October 18, 2017
12:00 PM

Committee Members	Agenda Items
<p>Rob Stephenson Chair</p> <p>Sharon Gunter Vice-Chair</p> <p>Josh Kearns</p> <p>RoseMarie Caughran</p> <p>Tim McDaniel</p>	<ol style="list-style-type: none"> 1. Call to Order 2. Citizen Comments 3. Approval of Minutes 4. Action Items <ol style="list-style-type: none"> A. L 2-17 – Revised Landscape Plan (Exhibit 1) 1270 NE Alpha Drive B. L 36-17 – Landscape Plan (Exhibit 2) 1500 SW Baker Street C. L 37-17 – Landscape Plan (Exhibit 3) 1240 SW Booth Bend Road (Tax Lot R4429 01800) D. L 38-17 – Landscape Plan (Exhibit 4) 540 NW Highway 99W E. L 39-17 – Street Tree Removal (Exhibit 5) 2446 NW Zinfandel Loop F. L 42-17 – Landscape Plan (Exhibit 6) 615 NE 15th Street G. L 44-17 – Street Tree Removal (Exhibit 7) 2688 NW Mt. Ashland Drive H. L 34-17 – Revised Landscape Plan (Exhibit 8) 1445 NE Miller Street I. L 24-17 – Revised Landscape Plan (Exhibit 9) 904 NE 10th Street 5. Discussion Items 6. Old/New Business 7. Committee Member Comments 8. Staff Comments 9. Adjournment

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

*Please note that these documents are also on the City's website, www.mcminnvilleoregon.gov. You may also request a copy from the Planning Department.



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EXHIBIT 1 - STAFF REPORT

DATE: October 18, 2017
TO: Landscape Review Committee Members
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4A: L 2-17

Report in Brief:

A revised landscape plan for the construction of a new industrial building (L 2-17) to be reviewed by the Landscape Review Committee.

Background:

The applicant, Aaron Baker, submitted a landscape plan review application to install landscaping around a new industrial building being constructed on the property located at 1270 NE Alpha Drive. The subject property is more specifically described as Tax Lot 2400, Section 15C, T. 4 S., R. 4 W., W.M.

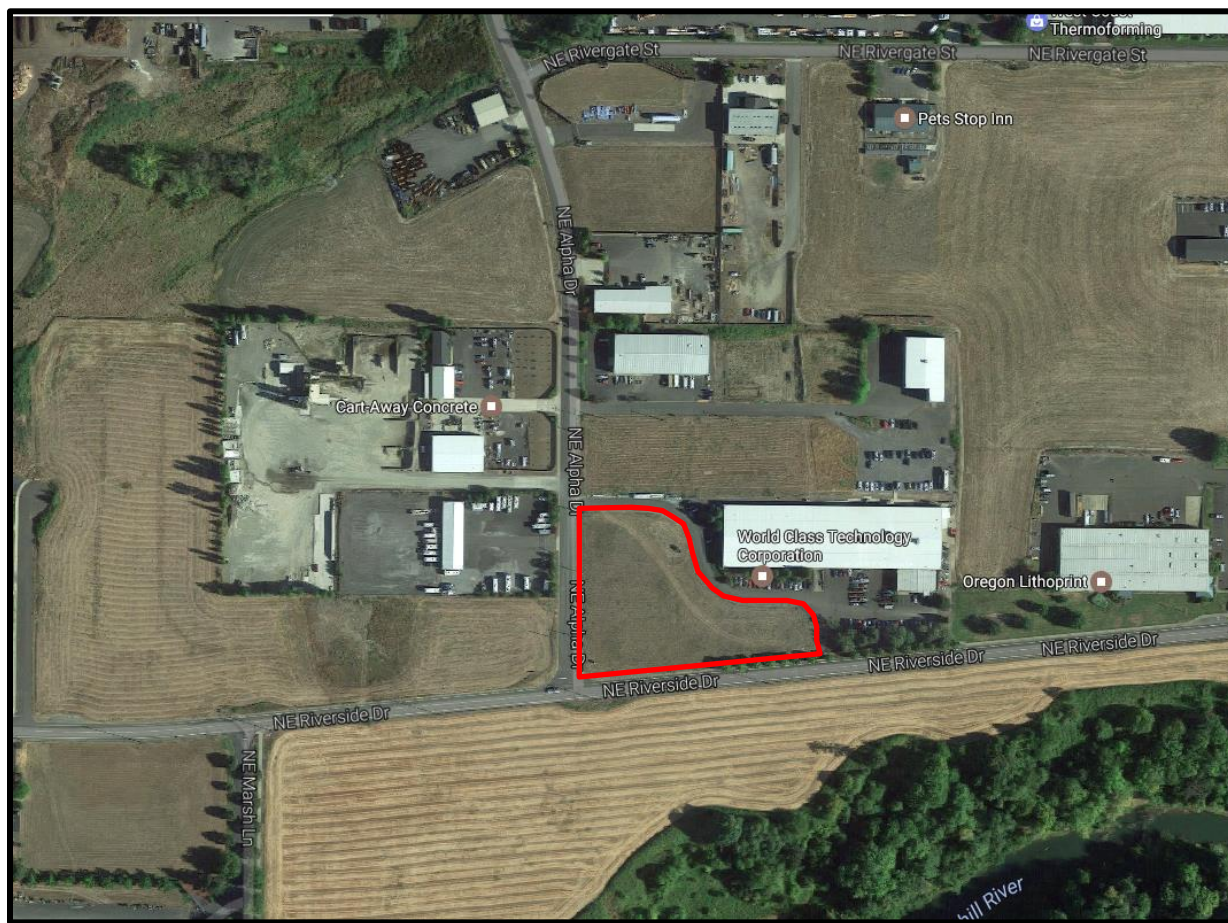
The Landscape Review Committee reviewed a revised landscape plan for this development at their September 20, 2017 meeting and continued the application to allow the applicant to make revisions to the plan to better meet the landscape plan review criteria in Section 17.57.070(B)(1) and Section 17.57.070(B)(2) of the McMinnville Zoning Ordinance. Specifically, the Landscape Review Committee had concerns with the proposed screening of the parking lots on the site. The Committee also had concerns with the planting densities throughout the site, and asked the applicant to provide more detail on specific plant species and spacing of the plants at installation.

Discussion:

The subject property is zoned M-2 PD (General Industrial Planned Development). The applicant is currently constructing a new industrial building on the site. The subject site can be seen below as a red outlined area:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Industrial Building at 1270 NE Alpha Drive

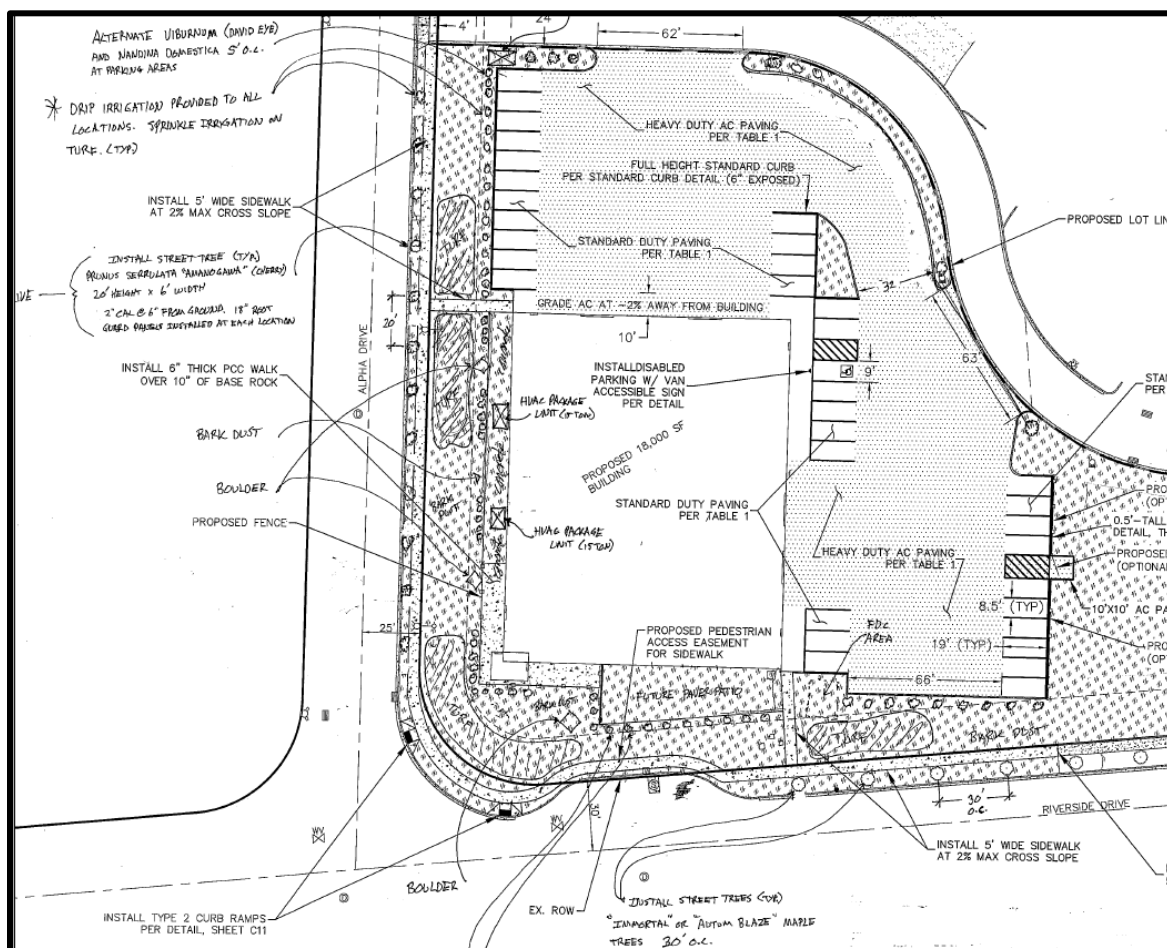


The Landscaping chapter of the McMinnville Zoning Ordinance requires that at least seven (7) percent of the gross area of a site being developed be landscaped (Section 17.57.070(A) (Area Determination – Planning Factors)). The landscape plan as proposed exceeds those requirements, as about 15 percent of the area of the site being developed is proposed to be landscaped.

The landscaping that was originally proposed for the site can be seen below:

Attachments:

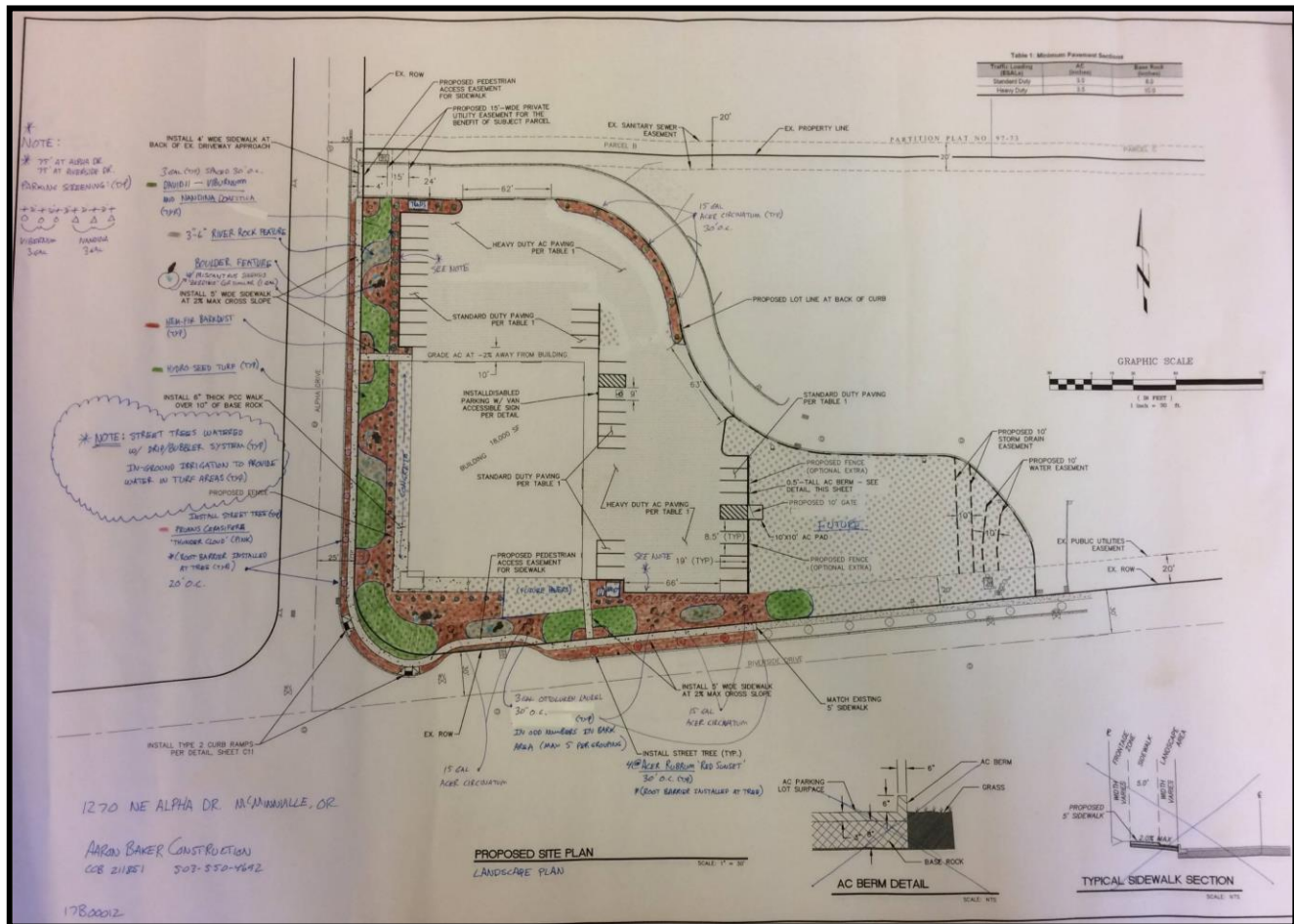
Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Industrial Building at 1270 NE Alpha Drive



The revised landscaping now proposed on the portion of the site being developed can be seen below:

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In response to the continuance of the revised landscape plan and to better meet Section 17.57.070(B) (Area Determination – Planning Factors) of the McMinnville Zoning Ordinance, the applicant has increased the planting density in all of the landscape beds. Specifics on the proposed revisions are described in more detail below for each of the review criteria in Section 17.57.070(B):

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

The site on which the new industrial building will be constructed is currently vacant, but the proposed building will be located on the same lot as an existing industrial building to the east. That building, as well as others on abutting properties, are well landscaped with trees screening parking areas and perimeter plantings around buildings and property lines. The specific location of the proposed building is on a corner, so all sides of the building and associated parking areas will be visible from public right-of-way.

The applicant is proposing to install street trees along NE Alpha Drive and NE Riverside Drive. There are overhead utility wires on NE Alpha Drive, so the applicant is proposing to install Flowering Plum (*Prunus cerasifera* 'Thundercloud') trees along NE Alpha Drive. The Thundercloud Flowering Plum tree is specifically listed on the McMinnville Street Tree List, and grows to a mature height of 15-20 feet and a canopy width of 15-20 feet. Based on those sizes, the McMinnville Zoning Ordinance defines the Flowering Plum as a small or narrow stature tree, and requires that the trees be spaced no greater than 20 feet apart (Section 17.58.090(C)). The landscape plan as proposed shows the trees being planted 25 feet apart, so a condition of approval has been added to reduce the spacing to 20 feet apart on center. The applicant is proposing to install Red Maple (*Acer rubrum* 'Red Sunset') trees along NE

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Riverside Drive, spaced at 30 feet, to be consistent with existing street tree plantings to the east. Red Maples are also a species that is listed on the McMinnville Street Tree List.

The remainder of the site is proposed to be landscaped along the building perimeter and along the edges of the parking lots that will be most visible from the public right-of-way. The applicant is proposing to install David Viburnum (*Viburnum davidii*) and Heavenly Bamboo (*Nandina domestica*) along the base of the building on the west side and near the southwest corner of the building. The applicant has provided information on the spacing and pattern of these shrubs. The David Viburnum and Heavenly Bamboo will be planted 30 inches apart on center, and will be planted in a continuous row, alternating by groups of three (3) of each shrub. This planting pattern will be used on the west side of the northern parking lot and south side of the southern parking lot. A condition of approval is included to require that the spacing and alternating of these shrubs be continued along the west and south sides of the building, because as they are shown on the plan they will be space nearly 10 (ten) feet apart in some locations which will not provide adequate screening.

Between the building and parking lots and the streets, the applicant is proposing to install Otto Luyken's Laurel (*Prunus laurocerasus* 'Otto Luyken') in groups of four (4) throughout the west and south sides of the site. On the south side of the site, four (4) Vine Maple (*Acer circinatum*) will be installed with one (1) tree at each group of Otto Luyken's Laurel. River rock and boulder features will also be included on the west and south sides of the site. Within these areas, the applicant is proposing to install more groups of Otto Luyken's Laurel, along with Zebra Grass (*Miscanthus sinensis* 'Zebrinus') to provide more vertical planting interest.

Staff believes that the proposed planting plan and landscaping is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

The proposed use will be screened on the sides most visible from the public right-of-ways by a combination of fencing and landscaping. Sight-obscuring fencing will be installed around areas on the west and south side of the building to screen required mechanical equipment. David Viburnum and Heavenly Bamboo will be installed along the perimeter of the parking areas that will be adjacent to NE Alpha Drive and NE Riverside Drive, as well as along the perimeter of the building. The David Viburnum will grow to a height of 5 feet and a spread of 6 feet, and the Heavenly Bamboo will grow to a height of 3 - 8 feet and a spread of 2 - 4 feet. The proposed spacing and alternating planting of these two species, along with the proposed street tree plantings and the other river rock and smaller plantings, will provide for a full landscaped screening along the parking lot and building perimeters.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

There are no existing trees on the site to be preserved. The site is basically flat and the existing grade will be maintained.

4. The development and use of islands and plantings therein to break up parking areas.

The landscape plan does not include substantial landscape islands in the parking areas, but the parking areas on the site are fairly well spread out throughout the site. There is not a large expanse of parking areas in any single location on the site, which reduces the visual impact of the parking areas without breaking them up with additional landscaping. The applicant is proposing to install a row of Otto Luyken's Laurel (*Prunus laurocerasus* 'Otto Luyken') within the planting area along the access drive on

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the north side of the site. In response to the Committee's previous comments on the minimal plantings in this area, the applicant has added three (3) Vine Maple (*Acer circinatum*) trees. This will provide for additional buffering between the site's parking areas and the adjacent property.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

The landscape plan includes the installation of street trees along NE Alpha Drive and NE Riverside Drive. The species of trees being proposed are on the McMinnville Street Tree List, and a condition of approval has been added to ensure that the trees will be planted to meet the minimum spacing requirements based on mature canopy width.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

The applicant has included a note on the landscape plan that all landscaped areas will be irrigated either with drip line or an in-ground automatic system.

Street Tree Review:

In reviewing the street tree portion of the landscape plan, Section 17.58.090 of the McMinnville Zoning Ordinance requires the Landscape Review Committee to consider the following standards:

- A. The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.

The applicant is proposing to install Flowering Plum (*Prunus cerasifera* 'Thundercloud') trees along NE Alpha Drive and Red Maple (*Acer rubrum* 'Red Sunset') trees along NE Riverside Drive. Both of those species are listed on the McMinnville Street Tree List.

- B. Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

A condition of approval is recommended to specify that the trees be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety.

- C. Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes.

The street tree plan shows an evenly spaced planting pattern. The Thundercloud Flowering Plum tree grows to a mature height of 15 - 20 feet and a canopy width of 15 - 20 feet. Based on those sizes, the

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McMinnville Zoning Ordinance defines the Flowering Plum as a small or narrow stature tree, and requires that the trees be spaced no greater than 20 feet apart (Section 17.58.090(C)). The landscape plan as proposed shows the trees being planted 25 feet apart, so a condition of approval has been added to reduce the spacing to 20 feet apart on center. The applicant is proposing to install Red Maple (*Acer rubrum* 'Red Sunset') trees along NE Riverside Drive, spaced at 30 feet, to be consistent with existing street tree plantings to the east. This spacing is consistent with the requirements for a medium tree.

- D. When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three (3) feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four (4) feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb.

The proposed planting strips will be seven (7) feet in width along Riverside Drive, which is an arterial, and four (4) feet along Alpha Drive, which is considered a local street. The proposed widths of the planting strips exceed the minimum required widths.

- E. Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.

Utilities were not identified on the street tree plan, but a condition of approval will be included to ensure that the street trees will meet the required setbacks from each type of utility and the driveway.

Fiscal Impact:

None.

Commission Options:

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

Based on the findings described in the staff report and decision document, staff is recommending that the landscape plan be approved with the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan submitted October 9, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.

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3. That the David Viburnum (*Viburnum davidii*) and Heavenly Bamboo (*Nandina domestica*) planting pattern proposed on the west side of the northern parking lot and the south side of the southern parking lot be continued along the west and south perimeters of the new building.
4. That the street trees installed shall be Flowering Plum (*Prunus cerasifera* 'Thundercloud') trees along NE Alpha Drive and Red Maple (*Acer rubrum* 'Red Sunset') trees along NE Riverside Drive. The trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade. The use of other tree species may be permitted with prior approval from the Landscape Review Committee.
5. That the Flowering Plum (*Prunus cerasifera* 'Thundercloud') trees along NE Alpha Drive shall be planted no more than 20 feet apart on center.
6. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.
7. That each street tree shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of each tree and the curb side of each tree. The root barrier protection shall be placed in 10-foot lengths, centered on each tree, and to a depth of eighteen (18) inches. In addition, all trees shall be provided with deep watering tubes to promote deep root growth (see enclosed detail).
8. That the applicant shall schedule an inspection with the McMinnville Public Works Superintendent of the installed root barrier and water tubes prior to any street tree planting. Trees intended for planting shall be on-site and available for inspection. The applicant shall contact the McMinnville Public Works Superintendent, David Renshaw, at (503) 434-7316 to schedule a planting inspection prior to backfilling.
9. That the applicant is reminded that trees are not to be planted within:
 - a. Five (5) feet of a private driveway or alley;
 - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
 - c. Twenty (20) feet of street light standards or street intersections.
10. That the street trees shall be continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.
11. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 2-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

CD:sjs

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**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
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**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF LANDSCAPE PLAN FOR A NEW
INDUSTRIAL BUILDING AT 1270 NE ALPHA DRIVE**

DOCKET: L 2-17

REQUEST: The applicant requested the approval of a landscape plan for a new industrial building. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance.

LOCATION: The property in question is located at 1270 NE Alpha Drive. The subject property is more specifically described as Tax Lot 2400, Section 15C, T. 4 S., R. 4 W., W.M.

ZONING: M-2 PD (General Industrial Planned Development).

APPLICANT: Aaron Baker

STAFF: Chuck Darnell, Associate Planner

DATE DEEMED COMPLETE: October 9, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: September 20, 2017 and October 18, 2017. Meetings were held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL WITH CONDITIONS** of the landscape plan (L 2-17).

DECISION: APPROVAL WITH CONDITIONS

Date: _____

Date: _____

Attachment 1 – Application for Landscape Plan Review

APPLICATION SUMMARY:

The applicant requested the approval of a landscape plan for a new industrial building. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance.

The subject site can be seen below as a red outlined area:

**CONDITIONS OF APPROVAL**

L 2-17 is **approved** subject to the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan submitted October 9, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
3. That the David Viburnum (*Viburnum davidii*) and Heavenly Bamboo (*Nandina domestica*) planting pattern proposed on the west side of the northern parking lot and the south side of the southern parking lot be continued along the west and south perimeters of the new building.

Attachments:

Attachment 1 – Application for Landscape Plan Review

4. That the street trees installed shall be Flowering Plum (*Prunus cerasifera* 'Thundercloud') trees along NE Alpha Drive and Red Maple (*Acer rubrum* 'Red Sunset') trees along NE Riverside Drive. The trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade. The use of other tree species may be permitted with prior approval from the Landscape Review Committee.
5. That the Flowering Plum (*Prunus cerasifera* 'Thundercloud') trees along NE Alpha Drive shall be planted no more than 20 feet apart on center.
6. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.
7. That each street tree shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of each tree and the curb side of each tree. The root barrier protection shall be placed in 10-foot lengths, centered on each tree, and to a depth of eighteen (18) inches. In addition, all trees shall be provided with deep watering tubes to promote deep root growth (see enclosed detail).
8. That the applicant shall schedule an inspection with the McMinnville Public Works Superintendent of the installed root barrier and water tubes prior to any street tree planting. Trees intended for planting shall be on-site and available for inspection. The applicant shall contact the McMinnville Public Works Superintendent, David Renshaw, at (503) 434-7316 to schedule a planting inspection prior to backfilling.
9. That the applicant is reminded that trees are not to be planted within:
 - a. Five (5) feet of a private driveway or alley;
 - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
 - c. Twenty (20) feet of street light standards or street intersections.
10. That the street trees shall be continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.
11. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

ATTACHMENTS

1. Application for Landscape Plan Review

COMMENTS

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT

1. Aaron Baker submitted a landscape plan review application to install landscaping on the property located at 1270 NE Alpha Drive. The subject property is more specifically described as Tax Lot 2400, Section 15C, T. 4 S., R. 4 W., W.M.

Attachments:

Attachment 1 – Application for Landscape Plan Review

2. The site is currently zoned M-2 PD (General Industrial Planned Development), and is designated as Industrial on the McMinnville Comprehensive Plan Map, 1980.
3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. McMinnville Water and Light expressed concerns with the locations of some of the plant materials, and conditions of approval have been added to address the concerns.
4. A public meeting was held by the Landscape Review Committee on September 20, 2017 to review the application and proposed landscape plan. No comments in opposition were provided by the public prior to the public meeting.

CONCLUSIONARY FINDINGS:

McMinnville's Comprehensive Plan:

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL IV 6: TO INSURE INDUSTRIAL DEVELOPMENT THAT MAXIMIZES EFFICIENCY OF LAND USES, THAT IS APPROPRIATELY LOCATED IN RELATION TO SURROUNDING LAND USES, AND THAT MEETS NECESSARY ENVIRONMENTAL STANDARDS.

Policy 54.00: The City of McMinnville shall establish industrial planned development ordinances which shall be placed over the future industrial areas designated on the McMinnville Comprehensive Plan Map, the industrial reserve area, and certain existing industrially designated areas within the city limits. The overlay shall also be applied to any areas which are in the future designated for future industrial use through an amendment to the comprehensive plan map. The overlays shall provide standards to control the nuisance and negative environmental effects of industries. These controls shall cover, but not be limited to, the following areas:

1. *Landscaping and screening*

Finding: Goal IV 6 and Policy 54.00 are satisfied in that the Comprehensive Plan states that industrial development shall be located appropriately to be compatible with surrounding uses. Landscaping is a standard that is listed in the Comprehensive Plan as one way to mitigate the effects of industrial developments. Landscaping is proposed to be installed with this industrial development, which will provide for additional screening of the proposed use resulting in the industrial development being more compatible with the surrounding properties.

GOAL VI 1: TO ENCOURAGE DEVELOPMENT OF A TRANSPORTATION SYSTEM THAT PROVIDES FOR THE COORDINATED MOVEMENT OF PEOPLE AND FREIGHT IN A SAFE AND EFFICIENT MANNER.

Policy 122.00: The City of McMinnville shall encourage the following provisions for each of the three functional road classifications:

1. *Major, minor arterials.*
–Landscaping should be encouraged along public rights-of-way.
2. *Major, minor collectors.*
–Landscaping should be encouraged along public rights-of-way.
3. *Local Streets*
–Landscaping should be encouraged along public rights-of-way.

Attachments:

Attachment 1 – Application for Landscape Plan Review

Finding: Goal VI 1 and Policy 122.00 are satisfied in that street trees will be installed within the public right-of-way, and landscaping will be installed within the site adjacent to the public right-of-way.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMinnville.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.57.010 Purpose and intent. The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. [...]

Finding: The landscape plan as proposed would enhance the appearance of the city and will benefit the economic, ecological, and aesthetic environment of the city. The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below.

17.57.030 Zones where required. Landscaping shall be required in the following zones except as otherwise noted: [...]

H. M-2 (General Industrial zone).

Finding: The subject site is zoned M-2 (General Industrial), and landscaping is being provided as required.

17.57.050 Plans—Submittal and review—Approval—Time limit for completion.

C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;

Finding: The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below. Modifications as required by the conditions of approval will be discussed with the applicant and agreed to prior to the issuance of a building permit.

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Attachment 1 – Application for Landscape Plan Review

17.57.070 Area Determination—Planning factors.

A. Landscaping shall be accomplished within the following ranges:

1. Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

Finding: The landscape plan as proposed shows 15 percent of the portion of the site being developed as landscaped area.

B. The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

Finding: The site on which the new industrial building will be constructed is currently vacant, but the proposed building will be located on the same lot as an existing industrial building to the east. That building, as well as others on abutting properties, are well landscaped with trees screening parking areas and perimeter plantings around buildings and property lines. The specific location of the proposed building is on a corner, so all sides of the building and associated parking areas will be visible from public right-of-way.

The applicant is proposing to install street trees along NE Alpha Drive and NE Riverside Drive. There are overhead utility wires on NE Alpha Drive, so the applicant is proposing to install Flowering Plum (*Prunus cerasifera* 'Thundercloud') trees along NE Alpha Drive. The Thundercloud Flowering Plum tree is specifically listed on the McMinnville Street Tree List, and grows to a mature height of 15 - 20 feet and a canopy width of 15 - 20 feet. Based on those sizes, the McMinnville Zoning Ordinance defines the Flowering Plum as a small or narrow stature tree, and requires that the trees be spaced no greater than 20 feet apart (Section 17.58.090(C)). The landscape plan as proposed shows the trees being planted 25 feet apart, so a condition of approval has been added to reduce the spacing to 20 feet apart on center. The applicant is proposing to install Red Maple (*Acer rubrum* 'Red Sunset') trees along NE Riverside Drive, spaced at 30 feet, to be consistent with existing street tree plantings to the east. Red Maples are also a species that is listed on the McMinnville Street Tree List.

The remainder of the site is proposed to be landscaped along the building perimeter and along the edges of the parking lots that will be most visible from the public right-of-way. The applicant is proposing to install David Viburnum (*Viburnum davidii*) and Heavenly Bamboo (*Nandina domestica*) along the base of the building on the west side and near the southwest corner of the building. The applicant has provided information on the spacing and pattern of these shrubs. The David Viburnum and Heavenly Bamboo will be planted 30 inches apart on center, and will be planted in a continuous row, alternating by groups of three (3) of each shrub. This planting pattern will be used on the west side of the northern parking lot and south side of the southern parking lot. A condition of approval is included to require that the spacing and alternating of these shrubs be continued along the west and south sides of the building, because as they are shown on the plan they will be space nearly 10 (ten) feet apart in some locations which will not provide adequate screening.

Between the building and parking lots and the streets, the applicant is proposing to install Otto Luyken's Laurel (*Prunus laurocerasus* 'Otto Luyken') in groups of four (4) throughout the west and south sides of the site. On the south side of the site, four (4) Vine Maple (*Acer circinatum*) will be installed with one (1) tree at each group of Otto Luyken's Laurel. River rock and boulder features will

Attachments:

Attachment 1 – Application for Landscape Plan Review

also be included on the west and south sides of the site. Within these areas, the applicant is proposing to install more groups of Otto Luyken's Laurel, along with Zebra Grass (*Miscanthus sinensis* 'Zebrinus') to provide more vertical planting interest.

The proposed planting plan and landscaping is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

Finding: The proposed use will be screened on the sides most visible from the public right-of-ways by a combination of fencing and landscaping. Sight-obscuring fencing will be installed around areas on the west and south side of the building to screen required mechanical equipment. David Viburnum and Heavenly Bamboo will be installed along the perimeter of the parking areas that will be adjacent to NE Alpha Drive and NE Riverside Drive, as well as along the perimeter of the building. The David Viburnum will grow to a height of 5 feet and a spread of 6 feet, and the Heavenly Bamboo will grow to a height of 3-8 feet and a spread of 2-4 feet. The proposed spacing and alternating planting of these two species, along with the proposed street tree plantings and the other river rock and smaller plantings, will provide for a full landscaped screening along the parking lot and building perimeters.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

Finding: There are no existing trees on the site to be preserved. The site is basically flat and the existing grade will be maintained.

4. The development and use of islands and plantings therein to break up parking areas.

Finding: The landscape plan does not include substantial landscape islands in the parking areas, but the parking areas on the site are fairly well spread out throughout the site. There is not a large expanse of parking areas in any single location on the site, which reduces the visual impact of the parking areas without breaking them up with additional landscaping. The applicant is proposing to install a row of Otto Luyken's Laurel (*Prunus laurocerasus* 'Otto Luyken') within the planting area along the access drive on the north side of the site. In response to the Committee's previous comments on the minimal plantings in this area, the applicant has added three (3) Vine Maple (*Acer circinatum*) trees. This will provide for additional buffering between the site's parking areas and the adjacent property.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

Finding: The landscape plan includes the installation of street trees along NE Alpha Drive and NE Riverside Drive. The species of trees being proposed are on the McMinnville Street Tree List, and a condition of approval has been added to ensure that the trees will be planted to meet the minimum spacing requirements based on mature canopy width.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

Finding: The applicant has included a note on the landscape plan that all landscaped areas will be irrigated either with drip line or an in-ground automatic system.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Finding: A condition of approval will require that all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

17.58.080 Street Tree Planting—When Required. All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.

Finding: The street tree plan as proposed will include street trees adjacent to the new industrial development site, and the street trees will be installed in a designated curb-side planting strip fronting the public right-of-way.

17.58.090 Street Tree Standards.

- A. The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.

Finding: The applicant is proposing to install Flowering Plum (*Prunus cerasifera* 'Thundercloud') trees along NE Alpha Drive and Red Maple (*Acer rubrum* 'Red Sunset') trees along NE Riverside Drive. Both of those species are listed on the McMinnville Street Tree List.

- B. Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

Finding: A condition of approval is recommended to specify that the trees be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety.

- C. Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes.

Finding: The street tree plan shows an evenly spaced planting pattern. The Thundercloud Flowering Plum tree grows to a mature height of 15 - 20 feet and a canopy width of 15 - 20 feet. Based on those sizes, the McMinnville Zoning Ordinance defines the Flowering Plum as a small or narrow stature tree, and requires that the trees be spaced no greater than 20 feet apart (Section 17.58.090(C)). The landscape plan as proposed shows the trees being planted 25 feet apart, so a condition of approval has been added to reduce the spacing to 20 feet apart on center. The applicant is proposing to install Red Maple (*Acer rubrum* 'Red Sunset') trees along NE Riverside Drive, spaced at 30 feet, to be

consistent with existing street tree plantings to the east. This spacing is consistent with the requirements for a medium tree.

- D. When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three (3) feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four (4) feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb.

Finding: The proposed planting strips will be seven (7) feet in width along Riverside Drive, which is an arterial, and four (4) feet along Alpha Drive, which is considered a local street. The proposed widths of the planting strips exceed the minimum required widths.

- E. Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.

Finding: Utilities were not identified on the street tree plan, but a condition of approval will be included to ensure that the street trees will meet the required setbacks from each type of utility and the driveway.

17.58.120 Street Tree Maintenance. Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.

Finding: A condition of approval has been included to ensure that the applicant or future property owner will maintain the street trees as approved.

CD:sjs

NOTE:

* 75' AT ALPHA DR.
75' AT RIVERSIDE DR.

PARKING SCREENING: (TYP)

+ 2' + 3' + 3' + 3' + 3' + 3' + 3' + 3'

VIBURNUM 3 GAL NANDINA 3 GAL

INSTALL 4" WIDE SIDEWALK AT BACK OF EX. DRIVEWAY APPROACH

3 GAL (TYP) SPACED 30' O.C.

DAVIDII - VIBURNUM

AND NANDINA DOMESTICA (TYP)

3"-6" RIVER ROCK FEATURE

BOULDER FEATURE

W/ MISCANTHUS SINENSIS

252215' OR SIMILAR (1 GAL)

INSTALL 5' WIDE SIDEWALK AT 2% MAX CROSS SLOPE

HEM-FIR BARKDUST (TYP)

HYDRO-SEED TURF (TYP)

INSTALL 6" THICK PCC WALK OVER 10" OF BASE ROCK

* NOTE: STREET TREES WATERED W/ DRIP/BUBBLER SYSTEM (TYP)

IN-GROUND IRRIGATION TO PROVIDE WATER IN TURF AREAS (TYP)

PROPOSED FENCE

INSTALL STREET TREE (TYP)

PRUNUS CERASIFERA

'THUNDER CLOUD' (PINK)

* (ROOT BARRIER INSTALLED AT TREE (TYP))

20' O.C.

INSTALL TYPE 2 CURB RAMPS PER DETAIL, SHEET C11

1270 NE ALPHA DR. McMinnville, OR

AARON BAKER CONSTRUCTION

CCB 211851 503-550-4692

17B00012

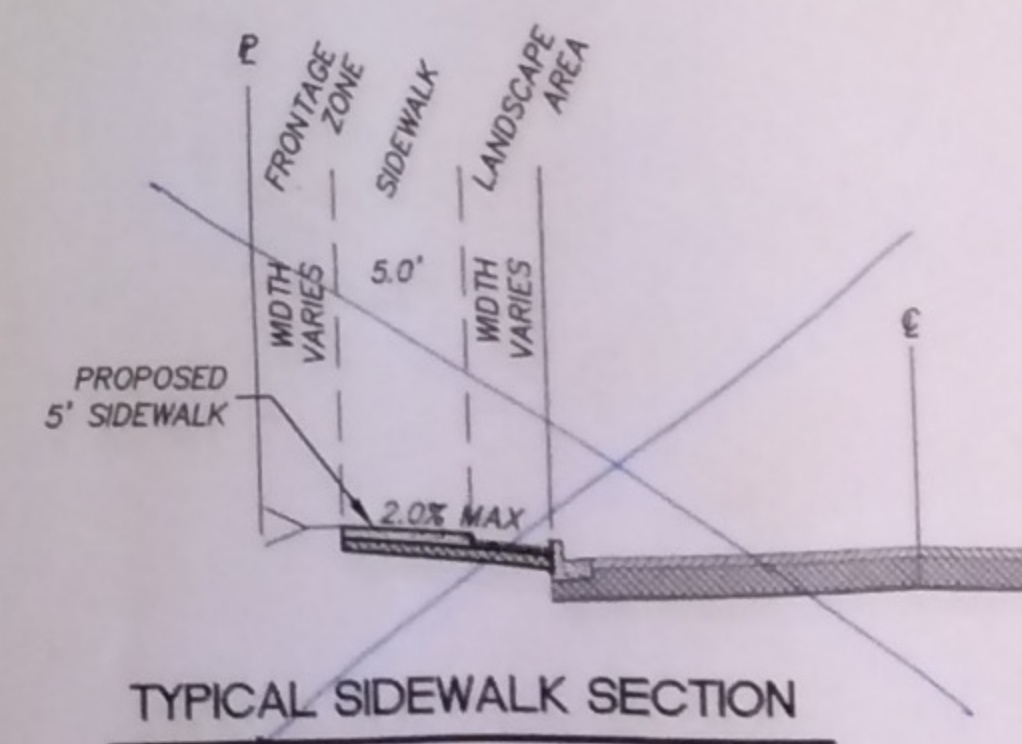
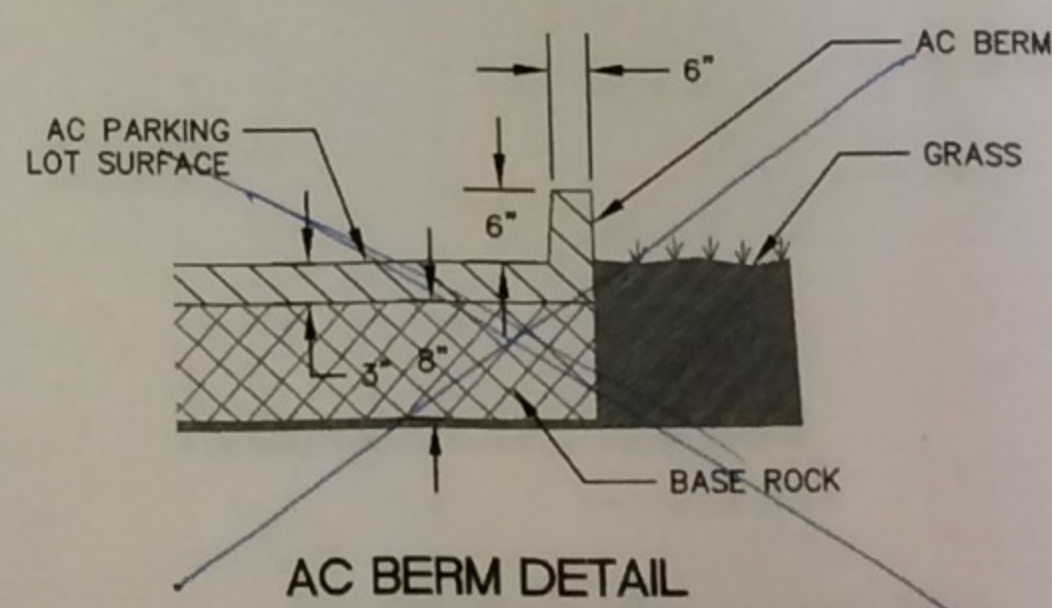
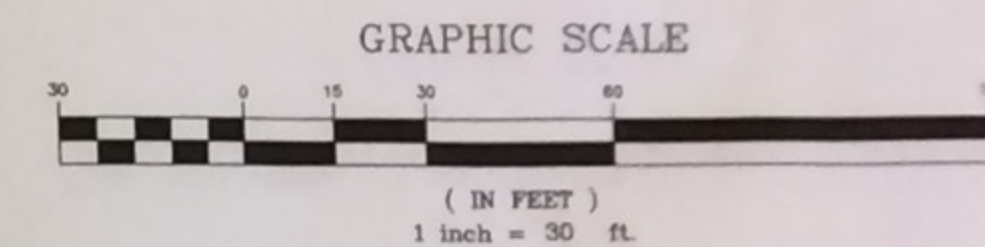
PROPOSED SITE PLAN

LANDSCAPE PLAN

SCALE: 1" = 30'

Table 1: Minimum Pavement Sections

Traffic Loading (ESALs)	AC (inches)	Base Rock (inches)
Standard Duty	3.0	8.0
Heavy Duty	3.5	10.0



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McMinnville, OR 97123

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City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

EXHIBIT 2 - STAFF REPORT

DATE: October 18, 2017
TO: McMinnville Landscape Review Committee
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4B: L 36-17

Report in Brief:

An application for a landscape plan for the renovation of an existing commercial building (L 36-17) to be reviewed by the Landscape Review Committee.

Background:

The applicant, John Sully, submitted a landscape plan review application to install landscaping around a portion of an existing commercial building that is being renovated on the property at 1500 SW Baker Street. The subject property is more specifically described as Tax Lot 5700, Section 29AB, T. 4 S., R. 4 W., W.M.

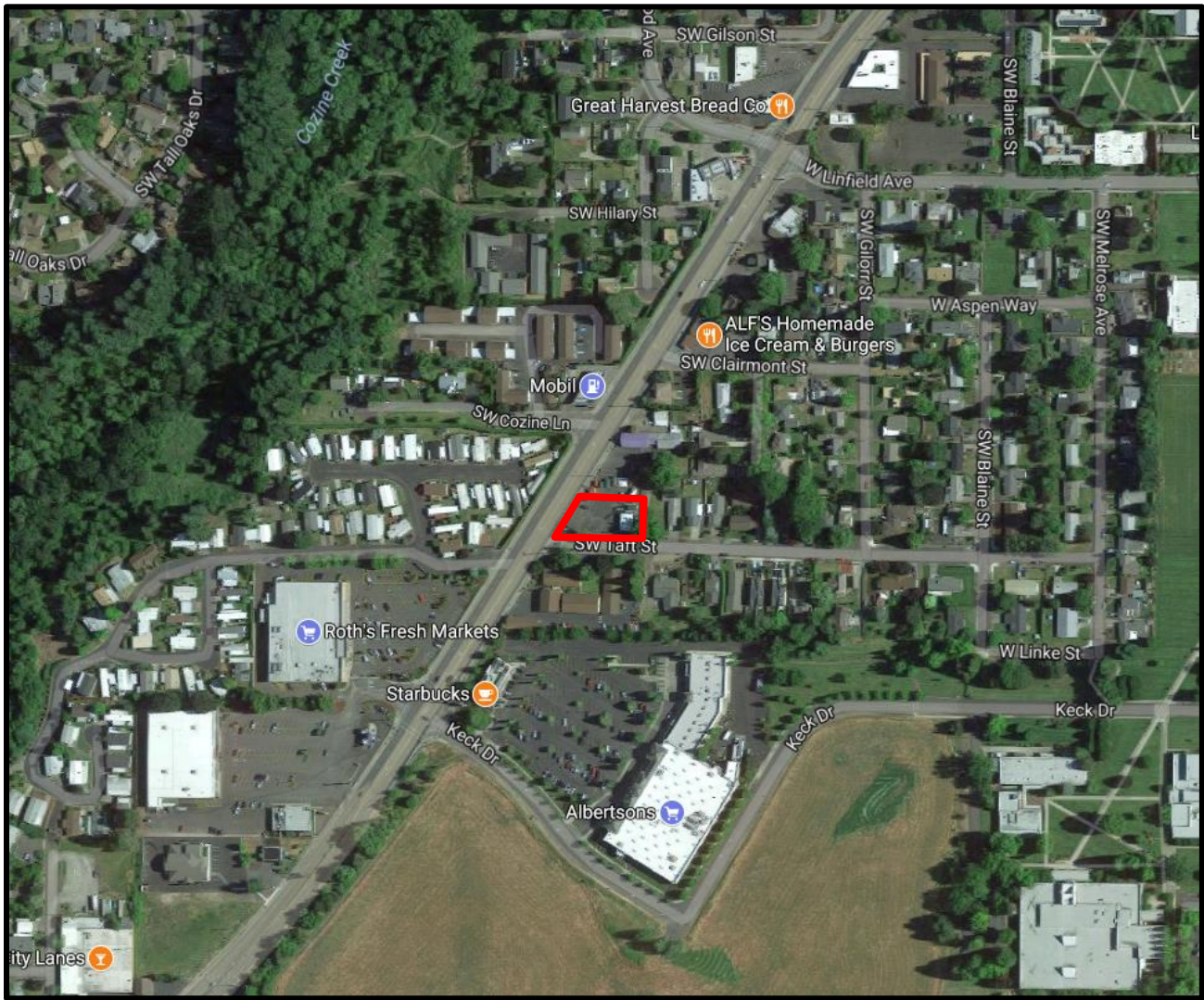
Discussion:

The subject site, on the corner of SW Baker Street and SW Taft Street, is an existing fully developed commercial property. The building on the subject property that is being renovated was previously used as an auto repair business, and the applicant is now proposing to renovate the interior of the existing building to operate a marijuana dispensary. The remainder of the site is fully paved, and will not be redeveloped as part of the new business. The only change to the overall site is that parking spaces will be striped in the existing paved area. However, the applicant is proposing to add a fenced plaza area on the front (west side) of the building. Therefore, this portion of the site that is being developed must be landscaped.

The subject site can be seen below as a red outlined area:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a Renovated Commercial Building at 1500 SW Baker Street

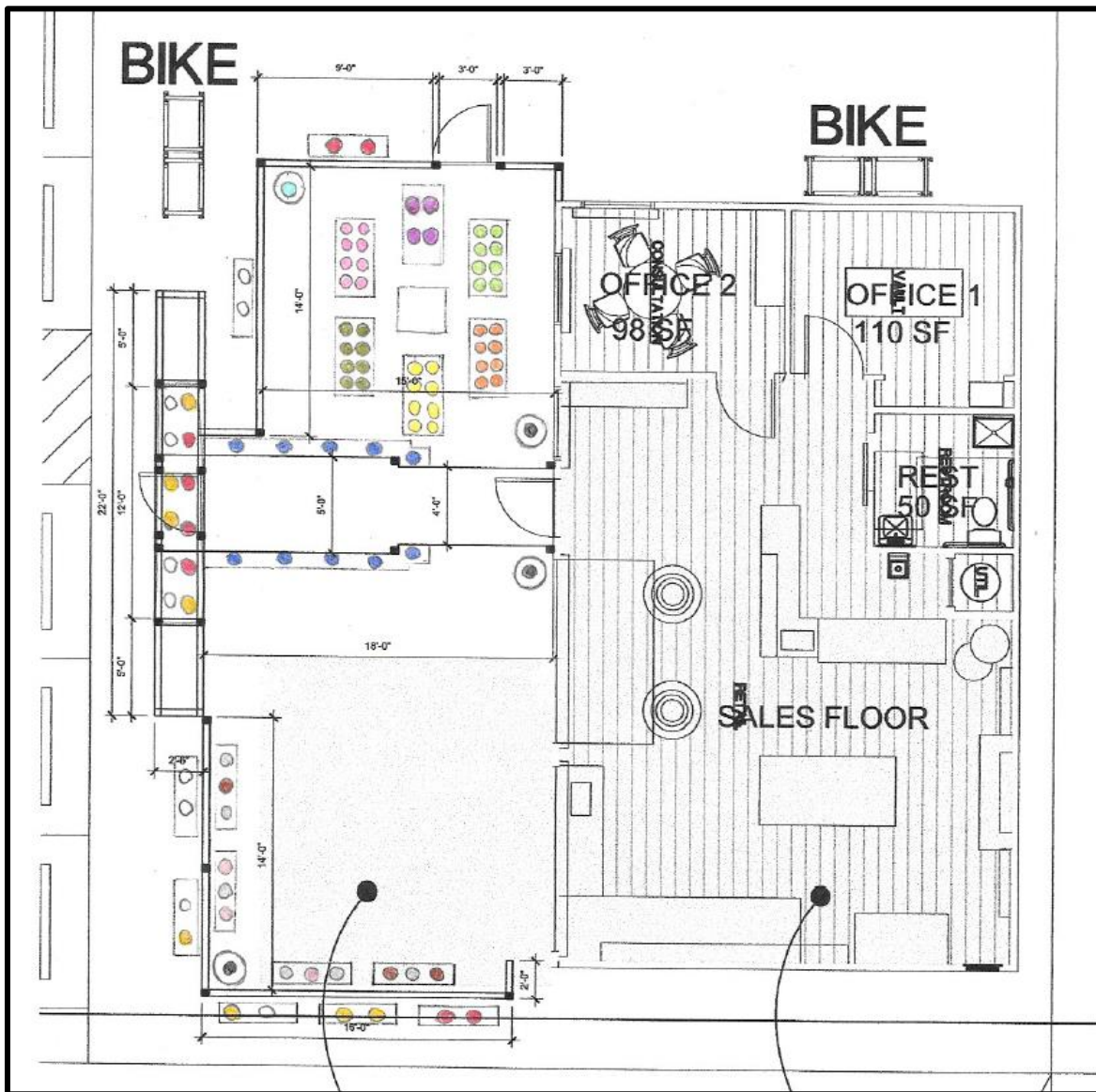


The Landscaping chapter of the McMinnville Zoning Ordinance requires that at least seven (7) percent of the gross area of a site being developed be landscaped (Section 17.57.070(A) (Area Determination – Planning Factors)). The applicant is not proposing to update landscaping on the overall site at this time. Since they are only proposing to update one particular landscaped area on the site, the seven (7) percent of the overall gross area of the site will not be calculated for this landscape plan.

The landscaping being proposed on the site portion of the site can be seen below:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a Renovated Commercial Building at 1500 SW Baker Street



In reviewing a landscape plan, Section 17.57.070(B) (Area Determination – Planning Factors) of the McMinnville Zoning Ordinance requires the Landscape Review Committee to also consider the following factors:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

The portion of the site that is being developed consists of a fenced plaza area that will be added to the front of the existing building. The fence will act more as a wall enclosing the plaza space, and will be wooden with horizontal boards running up to about 7 feet in height. The fence/wall will include a doorway to enter into the plaza space, with a covered walkway running up the center of the plaza to the main entry door on the existing building. The proposed planting plan consists entirely of raised bed planter boxes and large pots to accommodate the landscaping material being included in the plaza area.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a Renovated Commercial Building at 1500 SW Baker Street

Around the exterior perimeters of the fence wall, the applicant is proposing to install 1' x 4' planter boxes that will have climbing plants that will grow up the exterior side of the fence wall. These climbing plants will include Halls Japanese Honeysuckle (*Lonicera japonica* 'Halliana'), Boston Ivy (*Parthenocissus tricuspidata* 'Veitchii'), and Clematis (*Clematis armandii* 'Snowdrift'). These climbing plants will grow up to cover the fence, providing additional screening, visual interest, and a variety of colors throughout the year during blooming periods or when seasons change. The Halls Japanese Honeysuckle is found to be an invasive species, but because it will be contained in the planter box, it should not easily spread to surrounding areas.

Inside the plaza space, Lavender Hidcote Blue (*Lavandula angustifolia*) will be planted in a linear row along the walkway from the entry to the plaza area to the entry to the building. Italian Cypress Tiny Tower (*Cupressus sempervirens*) will be installed in pots on each side of the entry door to the building, with another Italian Cypress in a pot in the southern portion of the plaza space. One (1) Bay Laurel tree will be installed in another pot in the northern portion of the plaza space. The southern portion of the plaza space will be surrounded by more 1' x 4' planter boxes that will contain small evergreen shrubs. The northern portion of the plaza space will function more as a herb garden, with six (6) 2' x 4' planter boxes with a variety of different herbs.

Staff believes that the proposed planting plan is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

Overall, the entire plaza space will be screened by the new fence wall being constructed around the perimeter of the plaza. Climbing plants, including Halls Japanese Honeysuckle (*Lonicera japonica* 'Halliana'), Boston Ivy (*Parthenocissus tricuspidata* 'Veitchii'), and Clematis (*Clematis armandii* 'Snowdrift'), will be installed in planter boxes around the perimeter of the plaza. These climbing plants will grow up to cover the fence and provide additional screening of the proposed use.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

The existing site is fully paved and does not contain any natural area or vegetation to be retained.

4. The development and use of islands and plantings therein to break up parking areas.

The applicant is not proposing to redevelop the parking lot on the site. The parking area, which is basically the remainder of the site outside of the building and the new plaza, will remain as it exists today, but will be striped to provide dedicated parking spaces on the site. Since no actual development is occurring in this portion of the site, no landscaping is being required.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

The landscape plan does not include the installation of street trees, as there is no dedicated planting strip created along the property's Baker Street or Taft Street frontages.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a Renovated Commercial Building at 1500 SW Baker Street

Irrigation facilities are not shown on the proposed plan. Given the uniqueness of the proposal and the use of planter boxes and pots for all of the plants, staff believes that the proposed landscaping can be watered by hand. A condition of approval is included to require that all of the landscaping be maintained, including necessary watering, weeding, pruning, and replacement.

Fiscal Impact:

None.

Committee Options:

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

If the Landscape Review Committee finds the proposed planting plan to be adequate, staff recommends that the plan be approved with the conditions listed below.

1. That the applicant shall install landscaping as shown on the submitted landscape plan dated October 7, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
3. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 36-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

CD:sjs

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a Renovated Commercial Building at 1500 SW Baker Street



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311

www.mcminnvilleoregon.gov

**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF LANDSCAPE PLAN FOR A
RENOVATED COMMERCIAL BUILDING AT 1500 SW BAKER STREET**

DOCKET: L 36-17

REQUEST: The applicant requested the approval of a landscape plan for a portion of an existing commercial property that is being renovated for a new commercial business. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

LOCATION: The subject property is located at 1500 SW Baker Street, and is more specifically described as Tax Lot 5700, Section 29AB, T. 4 S., R. 4 W., W.M.

ZONING: C-3 (General Commercial)

APPLICANT: John Sully

STAFF: Chuck Darnell, Associate Planner

**DATE DEEMED
COMPLETE:** October 9, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: October 18, 2017. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL** of the landscape plan (L 36-17) **subject to the conditions of approval provided in this document.**

////////////////////////////////////
DECISION: APPROVAL WITH CONDITIONS
 //////////////////////////////////////

Date: _____

Date: _____

APPLICATION SUMMARY:

The applicant requested the approval of a landscape plan for a portion of an existing commercial property that is being renovated for a new commercial business. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance.

The subject site can be seen below as a red outlined area:

**CONDITIONS OF APPROVAL:**

L 36-17 is **approved** subject to the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan dated October 7, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.

Attachments:

Attachment 1 – Application for Landscape Plan Review

3. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

ATTACHMENTS:

1. Application for Landscape Plan Review

COMMENTS:

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT

1. John Sully submitted a landscape plan review application to install landscaping around the portion of a commercial property on which an existing commercial building is being renovated. The property is located at 1500 SW Baker Street, and is more specifically described as Tax Lot 5700, Section 29AB, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval
4. A public meeting was held by the Landscape Review Committee on October 18, 2017 to review the application and proposed landscape plan. No comments in opposition were provided by the public prior to the public meeting.

CONCLUSIONARY FINDINGS:**McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

Attachments:

Attachment 1 – Application for Landscape Plan Review

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.57.010 Purpose and intent. The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. [...]

Finding: The landscape plan as proposed would enhance the appearance of the city and will benefit the economic, ecological, and aesthetic environment of the city. The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below.

17.57.030 Zones where required. Landscaping shall be required in the following zones except as otherwise noted: [...]

D. C-3 (General Commercial zone)

Finding: The subject site is zoned C-3 (General Commercial), and landscaping is being provided as required.

17.57.050 Plans—Submittal and review—Approval—Time limit for completion.

C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;

Finding: The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below. Modifications as required by the conditions of approval will be discussed with the applicant and agreed to prior to the issuance of a building permit.

17.57.070 Area Determination—Planning factors.

A. Landscaping shall be accomplished within the following ranges:

2. Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

Finding: The applicant is not proposing to update landscaping on the overall site at this time. Since they are only proposing to update one particular landscaped area on the site, the seven (7) percent of the overall gross area of the site will not be calculated for this landscape plan.

B. The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

Attachments:

Attachment 1 – Application for Landscape Plan Review

Finding: The portion of the site that is being developed consists of a fenced plaza area that will be added to the front of the existing building. The fence will act more as a wall enclosing the plaza space, and will be wooden with horizontal boards running up to about 7 feet in height. The fence/wall will include a doorway to enter into the plaza space, with a covered walkway running up the center of the plaza to the main entry door on the existing building. The proposed planting plan consists entirely of raised bed planter boxes and large pots to accommodate the landscaping material being included in the plaza area.

Around the exterior perimeters of the fence wall, the applicant is proposing to install 1' x 4' planter boxes that will have climbing plants that will grow up the exterior side of the fence wall. These climbing plants will include Halls Japanese Honeysuckle (*Lonicera japonica* 'Halliana'), Boston Ivy (*Parthenocissus tricuspidata* 'Veitchii'), and Clematis (*Clematis armandii* 'Snowdrift'). These climbing plants will grow up to cover the fence, providing additional screening, visual interest, and a variety of colors throughout the year during blooming periods or when seasons change. The Halls Japanese Honeysuckle is found to be an invasive species, but because it will be contained in the planter box, it should not easily spread to surrounding areas.

Inside the plaza space, Lavender Hidcote Blue (*Lavandula angustifolia*) will be planted in a linear row along the walkway from the entry to the plaza area to the entry to the building. Italian Cypress Tiny Tower (*Cupressus sempervirens*) will be installed in pots on each side of the entry door to the building, with another Italian Cypress in a pot in the southern portion of the plaza space. One (1) Bay Laurel tree will be installed in another pot in the northern portion of the plaza space. The southern portion of the plaza space will be surrounded by more 1' x 4' planter boxes that will contain small evergreen shrubs. The northern portion of the plaza space will function more as a herb garden, with six (6) 2' x 4' planter boxes with a variety of different herbs. Therefore, the proposed planting plan is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

Finding: Overall, the entire plaza space will be screened by the new fence wall being constructed around the perimeter of the plaza. Climbing plants, including Halls Japanese Honeysuckle (*Lonicera japonica* 'Halliana'), Boston Ivy (*Parthenocissus tricuspidata* 'Veitchii'), and Clematis (*Clematis armandii* 'Snowdrift'), will be installed in planter boxes around the perimeter of the plaza. These climbing plants will grow up to cover the fence and provide additional screening of the proposed use.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

Finding: The existing site is fully paved and does not contain any natural area or vegetation to be retained.

4. The development and use of islands and plantings therein to break up parking areas.

Finding: The applicant is not proposing to redevelop the parking lot on the site. The parking area, which is basically the remainder of the site outside of the building and the new plaza, will remain as it exists today, but will be striped to provide dedicated parking spaces on the site. Since no actual development is occurring in this portion of the site, no landscaping is being required.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

Finding: The landscape plan does not include the installation of street trees, as there is no dedicated planting strip created along the property's Baker Street or Taft Street frontages.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

Finding: The applicant has included a note on the landscape plan that all plants will be irrigated by a fully automated, permanent irrigation system.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Finding: Irrigation facilities are not shown on the proposed plan. Given the uniqueness of the proposal and the use of planter boxes and pots for all of the plants, the proposed landscaping can be watered by hand. A condition of approval is included to require that all of the landscaping be maintained, including necessary watering, weeding, pruning, and replacement.

CD:sjs



Planning Department

231 NE Fifth Street • McMinnville, OR 97128
(503) 434-7311 Office • (503) 474-4955 Fax
www.ci.mcminnville.or.us

Office Use Only:

File No. 836-17

Date Received 9-6-17

Fee 45⁰⁰

Receipt No. 17B0605

Received by SK

Landscape Plan Review Application

Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☒ Other CONTRACTOR

Applicant Name JOHN SULLY Phone 971 241 5321

Contact Name _____ Phone _____
(If different than above)

Address 1069 7th ST.

City, State, Zip LAFAYETTE, OR 97127

Contact Email jmjsully@online.nw.com

Property Owner Information

Property Owner Name SUSAN BUTTERFIELD Phone _____
(If different than above) SHARON

Contact Name _____ Phone _____

Address P.O. Box 1705

City, State, Zip WHITEFISH MT. 59937

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 1500 S.W. BAKER ST.

Assessor Map No. R4 429 - AB - 05700 Total Site Area 0.26 acres

Subdivision College Side Addition Block 2 Lot 2

Comprehensive Plan Designation Com Zoning Designation C-3


Landscaping Information

1. Total Landscaped Area: _____
2. Percent Landscaped: _____
3. Building Floor Area: 992.25
New Structure: _____ Existing Structure: 747.25 Addition: _____
4. Architect Name _____ Phone _____
(Landscape Architect, Engineer, or Other Designer)
Contact Name CHRISTOPHER MARTIN Phone (792) 728 - 0966
Address _____
City, State, Zip _____
Contact Email _____

In addition to this completed application, the applicant must provide the following:

- ☐ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- ☐ Payment of the applicable review fee, which can be found on the Planning Department web page

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.


Applicant's Signature

09/05/17
Date

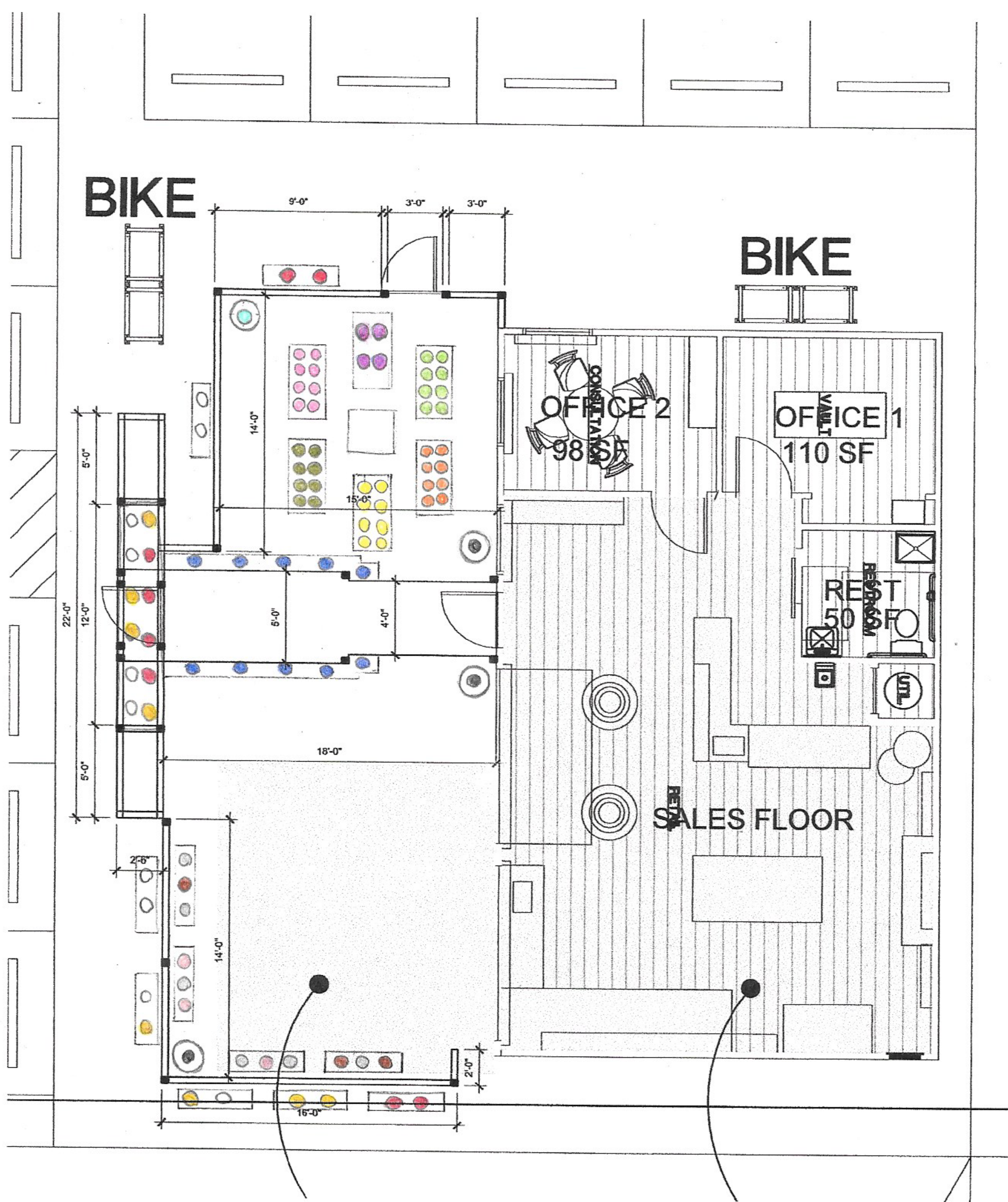
Property Owner's Signature

Date
















1500 SW Baker St. McMinnville, OR. 97128

The Green Heart

Scale 1' = 1/8" Oct 7th, 2017



Plant List - 1500 SW Baker St.

PLANT	COLOR	SCIENTIFIC NAME	TYPE	QUANTITY	HEIGHT	SPACING	LOCATION
HERBS							
Sage		Salvia officinalis	Evergreen	8	4 inches	1 per 1 sq foot	2x4 Interior planter boxes
Barbeque Rosemary		Rosmarinus officinalis	Evergreen	8	6 inches	1 per 1 sq foot	2x4 Interior planter boxes
Chamomile		Chamaemelum nobile 'Treneague'	Evergreen	8	4 inches	1 per 1 sq foot	2x4 Interior planter boxes
English Thyme		Thymus vulgaris	Evergreen	8	4 inches	1 per 1 sq foot	2x4 Interior planter boxes
Orange Mint		Mentha citrata	Evergreen	8	4 inches	1 per 1 sq foot	2x4 Interior planter boxes
French Lavender		Lavandula stoechas	Evergreen	4	1 foot	1 per 2 feet	2x4 Interior planter boxes
Lavender Hidcote Blue		Lavandula angustifolia	Evergreen	10	1 foot	1 per 2 feet	2x4 Interior planter boxes
SHRUBS							
Dwarf Boxwood		Buxus sempervirens 'Suffruticosa'	Evergreen	6	1 foot	3 per box	1x4 Interior planter boxes
Heather Winter Chocolate		Calluna vulgaris 'Winter Chocolate'	Evergreen	3	4"	3 per box	1x4 Interior planter boxes
Heather Red Fred Summer		Calluna vulgaris 'Red Fred'	Evergreen	3	6"	3 per box	1x4 Interior planter boxes
TREE							
Italian Cypress Tiny Tower		Cupressus sempervirens	Evergreen	3	6	1 per 25 gallon pot	Pots straddling entrance and one in patio corner
Bay		Laurus nobilis	Evergreen	1	5	1 per 25 gallon pot	Pot in fountain corner
CLIMBERS							
Halls Japanese Honeysuckle		Lonicera japonica 'Halliana'	Semi Deciduous	8	12	2 per box or 2-3 feet	1x4 Exterior planter boxes in front and top
Boston Ivy		Parthenocissus tricuspidata 'Veitchii'	Deciduous	8	12	2 per box or 2-3 feet	1x4 Exterior planter boxes on the sides and top
Clematis		Clematis armandii 'Snowdrift'	Evergreen	10	12	2 per box or 2-3 feet	1x4 Exterior planter boxes in front and top



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

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EXHIBIT 3 - STAFF REPORT

DATE: October 18, 2017
TO: McMinnville Landscape Review Committee
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4C: L 37-17

Report in Brief:

An application for a landscape plan for the construction of a new mini storage facility (L 37-17) to be reviewed by the Landscape Review Committee.

Background:

The applicant, Andisheh Afghan on behalf of Northwest Self Storage, submitted a landscape plan review application to install landscaping around a new mini self-storage facility proposed to be constructed on the property located adjacent to the existing Lowe's store, near the intersection of Highway 18 and Highway 99W. The subject property located at 1240 SW Booth Bend Road and is more specifically described as Tax Lot 1800, Section 29, T. 4 S., R. 4 W., W.M.

Discussion:

The subject property is zoned C-3 PD (General Commercial Planned Development). The existing site is vacant, and the applicant is proposing to construct two new buildings on the property that will be used as mini self-storage facilities. The subject site is included in a planned development overlay that contains design standards, and based on the proposed size of the new buildings, the development is also subject to the Large Format Commercial Development design standards in Chapter 17.56 of the McMinnville Zoning Ordinance. The applicant has already obtained approval of the design of the buildings from the Planning Director, but a condition of approval was that the applicant submit their landscape plan for review by the Landscape Review Committee.

The subject site can be seen below as a red outlined area:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Mini Storage Building at Tax Lot 1800, Section 29, T. 4 S., R. 4 W., W.M.

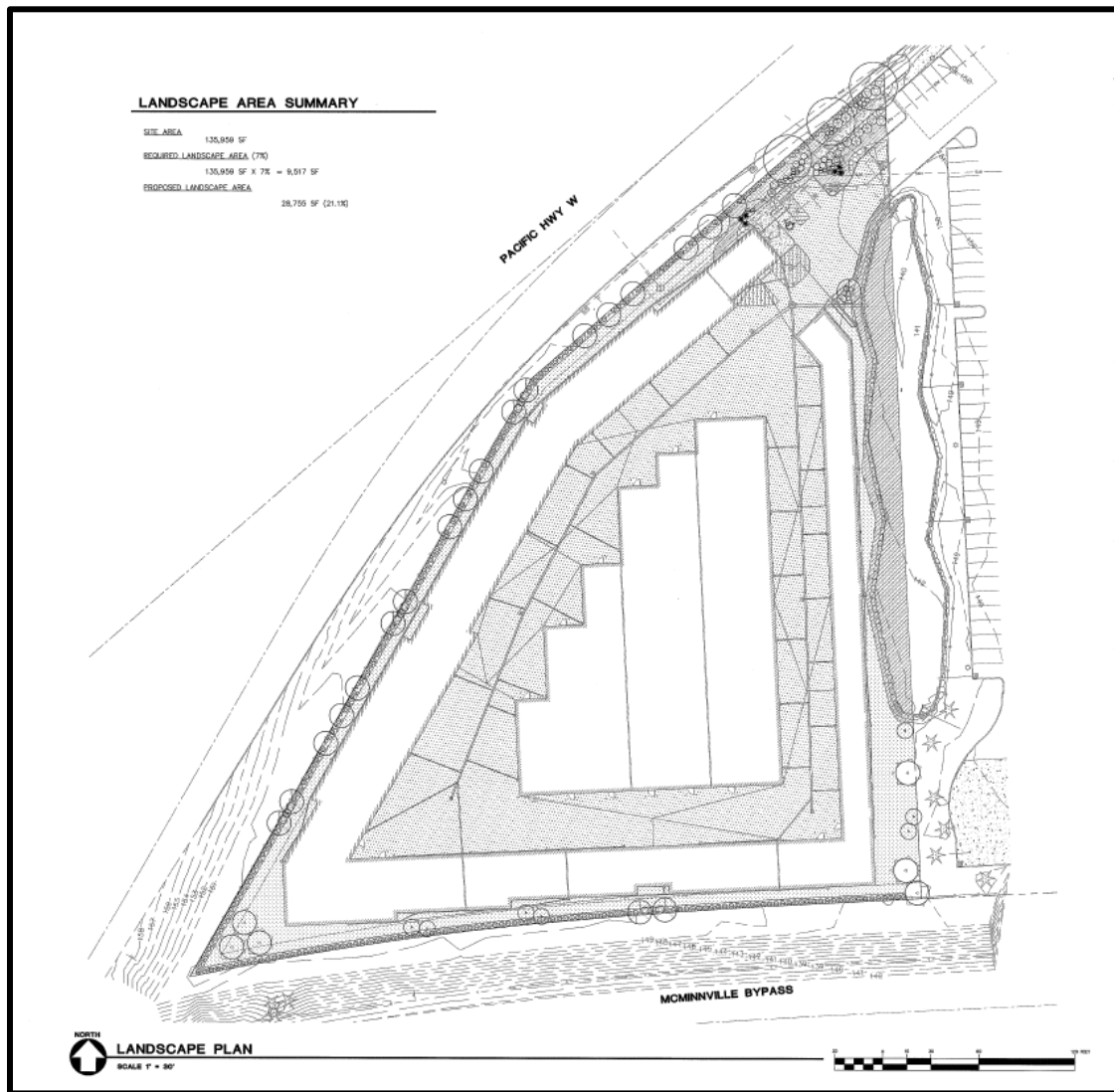


The Landscaping chapter of the McMinnville Zoning Ordinance requires that at least seven (7) percent of the gross area of a site being developed be landscaped (Section 17.57.070(A) (Area Determination – Planning Factors)). However, the Planned Development Overlay that applies to this property (Ordinance No. 4688) requires that at least 15 percent of the site be landscaped. The landscape plan as proposed exceeds those requirements, as about 21 percent of the area of the site being developed is proposed to be landscaped.

The landscaping being proposed on the site portion of the site can be seen below:

Attachments:

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In reviewing a landscape plan, Section 17.57.070(B) (Area Determination – Planning Factors) of the McMinnville Zoning Ordinance requires the Landscape Review Committee to also consider the following factors:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

The subject site is a large parcel, and the proposed building will be large and will include long continuous walls along both of the prominent highway frontages. The applicant is proposing to install extensive landscaping at the entry to the site, which is accessed through the existing Lowe's parking lot. The plan includes a sidewalk from the end of the existing sidewalk in the Lowe's parking lot to the main entrance to the office portion of the proposed building. Along the sidewalk, the applicant is proposing a variety of shrubs and grasses in landscape beds on each side of the sidewalk. The shrubs will include Edward Goucher Abelia, Karen Azalea, Fragrant Sarcococca, Morticia New Zealand Flax, and Valley Valentine Japanese Pieris. The grasses will include Karl Foerster Feather Reed Grass, Maiden Grass, and Mexican Feather Grass. Groundcover, to include Blue Fescue and Gold Splash Wintercreeper, will be planted within the landscape beds to fill out these planting areas.

Attachments:

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In addition, the applicant is proposing to install three (3) Redpointe Maple (*Acer Rubrum* 'Redpointe') trees along the Highway 99W frontage between the landscape beds and the roadway. These trees will continue the planting pattern that exists along the Lowe's property frontage on Highway 99W. The Redpointe Maple trees will grow to a mature height of 45 feet, with a mature canopy width of 30 feet. The applicant is proposing to plant the trees about 35 feet apart, which will provide for a full canopy at maturity.

Along the remaining frontages, the applicant is proposing to install a continuous row of Heavenly Bamboo (*Nandina domestica*) planted three (3) feet apart on center. On the Highway 99W frontage, the landscape plan includes the installation of Little Gem Southern Magnolia (*Magnolia grandiflora* 'Little Gem') trees and Sweet Bay (*Laurus nobilis*) dispersed throughout the row of Heavenly Bamboo. The plan does not show the dwarf trees and shrubs evenly spaced, but rather clustered into groups of two (2) or three (3) at certain points along the property frontage.

Along the southern property line and fronting Highway 18, the applicant is proposing to continue the row of Heavenly Bamboo, with a few groups of Sweet Bay and Japanese Fatsia (*Fatsia japonica*). In the southwest and southeast corners of the site, the applicant is proposing to plant Leland Cypress trees. The Leyland Cypress trees in the southwest corner will need to be adjusted to allow space for a future City of McMinnville sign, which the applicant is required to leave space for to be installed in the future. A condition of approval has been included to allow the location of these trees to be adjusted to allow space for the sign.

Staff believes that the proposed planting plan is compatible with the proposed development and that the subject site will be compatible with surrounding properties. However, screening of the use could be improved, as will be discussed below.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

The applicant is proposing to install a continuous row of Heavenly Bamboo along the property's frontages to Highway 99W and Highway 18. Interspersed within the row of shrubs will be some larger shrubs and dwarf trees (Sweet Bay and Little Gem Southern Magnolia). The Heavenly Bamboo will form a continuous hedge once fully grown, which will provide for a continuous screening effect of the proposed use from the adjacent right-of-ways so the Landscape Review Committee could find the proposed planting plan to be adequate. However, the use of taller shrubs and trees along the property's frontages is somewhat minimal. Staff believes additional plantings could be installed, particularly along the southern portion of the site, to provide for more screening of the use.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

A large stormwater detention area currently exists along the eastern portion of the property, between the subject site and the existing Lowe's store. This detention area is heavily landscaped around its perimeter, and the applicant is proposing to maintain the existing landscaping in this area. The remainder of the site is vacant and does not contain any significant trees or landscaping.

4. The development and use of islands and plantings therein to break up parking areas.

The proposed project does not include the installation of landscaping islands within the parking areas. The site only includes three (3) parking spaces near the office portion of the building. The remaining parking spaces are included within the building, and will double as maneuvering space for vehicles

Attachments:

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traveling through the site and to individual storage units. The applicant is proposing to install denser landscaping around the parking spaces near the entry of the site, as described above, which will break up the parking area slightly.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

The landscape plan does not include the installation of street trees, as there will be no dedicated planting strip created along either property frontage.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

The applicant has included a note on the landscape plan that all plants will be irrigated by a fully automated, permanent irrigation system. Details were also included to show the specific type of sprinkler system and sprinkler heads that will be installed.

Planned Development Landscaping Requirements

In addition to the standard landscape plan review criteria, the Planned Development Overlay (Ordinance No. 4688) includes the following requirements for landscaping on the site:

That landscape plans for the commercial site shall be submitted to the McMinnville Landscape Review Committee for review and approval prior to issuance of permits for any of the commercial buildings. At a minimum, 15 percent of the site shall be landscaped with emphasis along all street frontages, at major entrances to the commercial complex, within off-street parking lots, and at building perimeters. Final site and landscape plans should incorporate extensive streetside landscaping areas which facilitate meandering sidewalk(s) and street tree planting along both highway frontages (Highway 99W and the Highway 99W/Highway 18 Connector). A continuous evergreen screen shall be planted along the southern boundary of the site.

The landscape plan as proposed does meet the 15 percent requirement, as about 21 percent of the site will be landscaped. The landscaping is more emphasized at the entrance to the site and near the off-street parking area near the office portion of the building. Landscaping is also included along all street frontages and building perimeters, but staff does not believe the planting plan is "extensive". Additional plantings could be included along both of the property's frontages, particularly along the Highway 18 frontage on the southern portion of the site. While the Planned Development Overlay does speak to a meandering sidewalk with street tree plantings, sidewalks are not included with the proposed development. The property's frontages culminate at a highway interchange, which is not a pedestrian friendly environment nor an area where pedestrians should be directed. Therefore, sidewalks are not being required to be installed. Without sidewalk installation, there will be no dedicated planting strip and therefore no ability to require street tree plantings.

Fiscal Impact:

None.

Committee Options:

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Mini Storage Building at Tax Lot 1800, Section 29, T. 4 S., R. 4 W., W.M.

- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

If the Landscape Review Committee finds the proposed planting plan to be adequate, staff recommends that the plan be approved with the conditions listed below. If the Landscape Review Committee believes that additional plantings could be added to provide for more screening of the proposed use, staff recommends that the Committee continue the application to allow the applicant to revise the plans.

1. That the applicant shall install landscaping as shown on the submitted landscape plan dated September 1, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
3. That the applicant shall maintain proper clearances from storm water utilities in the northeast corner of the site. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
4. That the applicant shall maintain proper clearances around the future water and electrical services that will be located on the site. Landscaping shall not be placed within four (4) feet of fire hydrants, within four (4) feet of water valves, within four (4) feet of vaults, within three (3) feet of the back or side of a transformer, or within one (1) foot of water meters. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
5. That the final placement of the three (3) Leyland Cypress trees on the southwest corner of the property be adjusted to allow for the dedication of space for a future City sign.
6. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 37-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

OR

THAT BASED ON THE FINDING THAT THE LANDSCAPE PLAN DOES NOT PROVIDE ADEQUATE SCREENING OF THE PROPOSED USE AS REQUIRED BY SECTION 17.57.070(B)(2) AND THE PLANNED DEVELOPMENT OVERLAY ORDINANCE, THE LANDSCAPE REVIEW COMMITTEE CONTINUES L 37-17 TO ALLOW APPLICANT TO SUBMIT ADDITIONAL INFORMATION.

CD:sjs

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Mini Storage Building at Tax Lot 1800, Section 29, T. 4 S., R. 4 W., W.M.



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311

www.mcminnvilleoregon.gov

**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF LANDSCAPE PLAN FOR A NEW MINI
STORAGE BUILDING AT TAX LOT 1800, SECTION 29, T. 4 S., R. 4 W., W.M.**

DOCKET: L 37-17

REQUEST: The applicant requested the approval of a landscape plan for two new industrial buildings. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

LOCATION: The subject property located at 1240 SW Booth Bend Road and is more specifically described as Tax Lot 1800, Section 29, T. 4 S., R. 4 W., W.M.

ZONING: C-3 PD (General Commercial Planned Development)

APPLICANT: Andisheh Afghan on behalf of Northwest Self Storage

STAFF: Chuck Darnell, Associate Planner

**DATE DEEMED
COMPLETE:** September 19, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: October 18, 2017. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL** of the landscape plan (L 37-17) **subject to the conditions of approval provided in this document.**

DECISION: APPROVAL WITH CONDITIONS

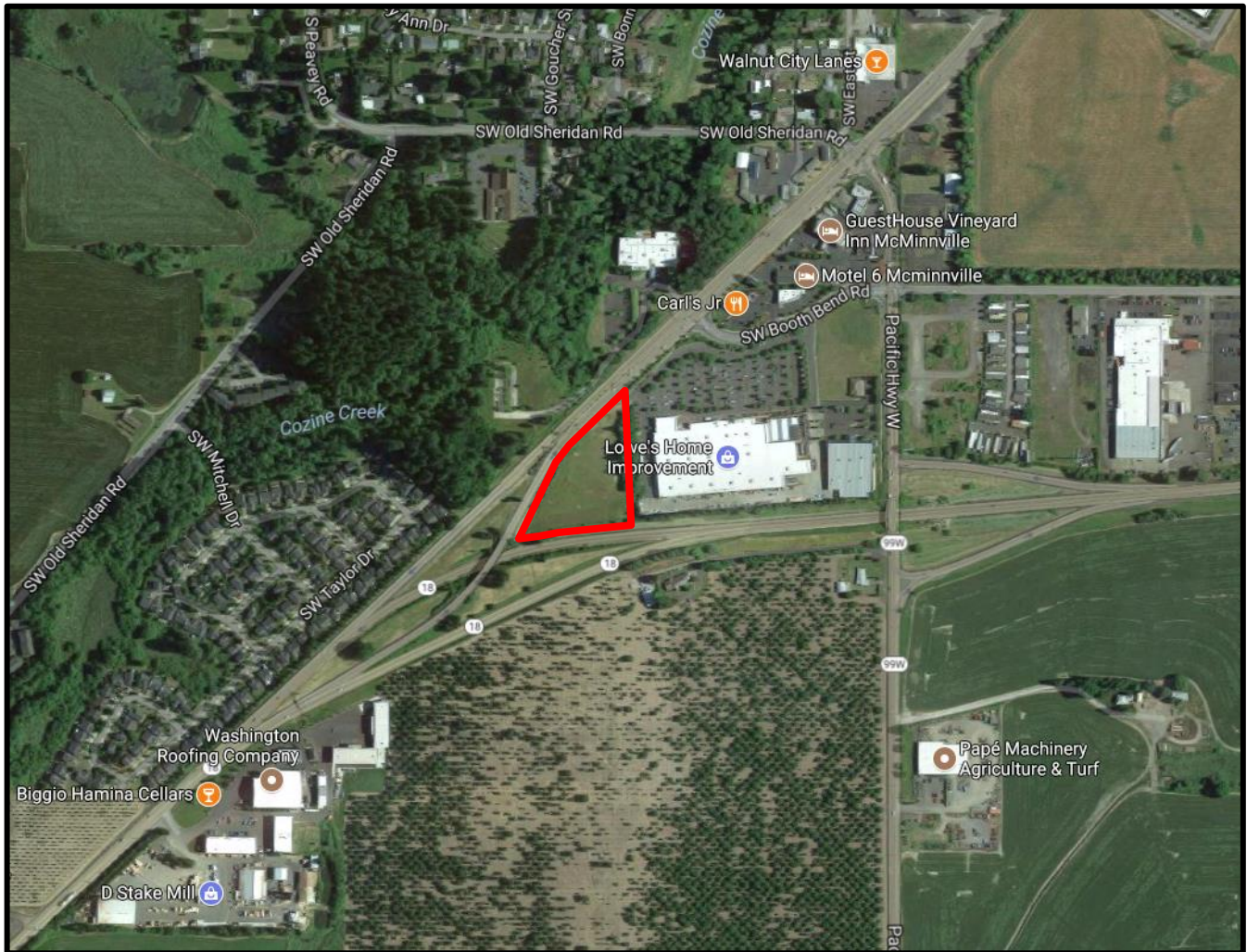
Date: _____

Date: _____

APPLICATION SUMMARY:

The applicant requested the approval of a landscape plan for a new mini storage facility. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance.

The subject site can be seen below as a red outlined area:

**CONDITIONS OF APPROVAL:**

L 37-17 is **approved** subject to the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan dated September 1, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.

Attachments:

Attachment 1 – Application for Landscape Plan Review

3. That the applicant shall maintain proper clearances from storm water utilities in the northeast corner of the site. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
4. That the applicant shall maintain proper clearances around the future water and electrical services that will be located on the site. Landscaping shall not be placed within four (4) feet of fire hydrants, within four (4) feet of water valves, within four (4) feet of vaults, within three (3) feet of the back or side of a transformer, or within one (1) foot of water meters. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
5. That the final placement of the three (3) Leyland Cypress trees on the southwest corner of the property be adjusted to allow for the dedication of space for a future City sign.
6. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

ATTACHMENTS:

1. Application for Landscape Plan Review

COMMENTS:

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT

1. Andisheh Afghan on behalf of Northwest Self Storage submitted a landscape plan review application to install landscaping on the property located at 1240 SW Booth Bend Road and more specifically described as Tax Lot 1800, Section 29, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 PD (General Commercial Planned Development), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval
4. A public meeting was held by the Landscape Review Committee on October 18, 2017 to review the application and proposed landscape plan. No comments in opposition were provided by the public prior to the public meeting.

CONCLUSIONARY FINDINGS:**McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

Attachments:

Attachment 1 – Application for Landscape Plan Review

GOAL VI 1: TO ENCOURAGE DEVELOPMENT OF A TRANSPORTATION SYSTEM THAT PROVIDES FOR THE COORDINATED MOVEMENT OF PEOPLE AND FREIGHT IN A SAFE AND EFFICIENT MANNER.

Policy 122.00: The City of McMinnville shall encourage the following provisions for each of the three functional road classifications:

1. Major, minor arterials.
–Landscaping should be encouraged along public rights-of-way.
2. Major, minor collectors.
–Landscaping should be encouraged along public rights-of-way.
3. Local Streets
–Landscaping should be encouraged along public rights-of-way.

Finding: Goal VI 1 and Policy 122.00 are satisfied in that trees will be installed along the public right-of-way along Highway 99W. The trees are not located in the public right-of-way, but are being placed along the property lines so that they are visible from the public right-of-way and provide screening of the use from the public right-of-way.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.57.010 Purpose and intent. The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. [...]

Finding: The landscape plan as proposed would enhance the appearance of the city and will benefit the economic, ecological, and aesthetic environment of the city. The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below.

17.57.030 Zones where required. Landscaping shall be required in the following zones except as otherwise noted: [...]

D. C-3 (General Commercial zone)

Attachments:

Attachment 1 – Application for Landscape Plan Review

Finding: The subject site is zoned C-3 PD (General Commercial Planned Development), and landscaping is being provided as required.

17.57.050 Plans—Submittal and review—Approval—Time limit for completion.

- C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;

Finding: The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below. Modifications as required by the conditions of approval will be discussed with the applicant and agreed to prior to the issuance of a building permit.

17.57.070 Area Determination—Planning factors.

- A. Landscaping shall be accomplished within the following ranges:
2. Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

Finding: The landscape plan as proposed shows 21.1 percent of the site as landscaped area.

- B. The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:
1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

Finding: The subject site is a large parcel, and the proposed building will be large and will include long continuous walls along both of the prominent highway frontages. The applicant is proposing to install extensive landscaping at the entry to the site, which is accessed through the existing Lowe's parking lot. The plan includes a sidewalk from the end of the existing sidewalk in the Lowe's parking lot to the main entrance to the office portion of the proposed building. Along the sidewalk, the applicant is proposing a variety of shrubs and grasses in landscape beds on each side of the sidewalk. The shrubs will include Edward Goucher Abelia, Karen Azalea, Fragrant Sarcococca, Morticia New Zealand Flax, and Valley Valentine Japanese Pieris. The grasses will include Karl Foerster Feather Reed Grass, Maiden Grass, and Mexican Feather Grass. Groundcover, to include Blue Fescue and Gold Splash Wintercreeper, will be planted within the landscape beds to fill out these planting areas.

In addition, the applicant is proposing to install three (3) Redpointe Maple (*Acer Rubrum* 'Redpointe') trees along the Highway 99W frontage between the landscape beds and the roadway. These trees will continue the planting pattern that exists along the Lowe's property frontage on Highway 99W. The Redpointe Maple trees will grow to a mature height of 45 feet, with a mature canopy width of 30 feet. The applicant is proposing to plant the trees about 35 feet apart, which will provide for a full canopy at maturity.

Along the remaining frontages, the applicant is proposing to install a continuous row of Heavenly Bamboo (*Nandina domestica*) planted three (3) feet apart on center. On the Highway 99W frontage,

Attachments:

Attachment 1 – Application for Landscape Plan Review

the landscape plan includes the installation of Little Gem Southern Magnolia (*Magnolia grandiflora* ‘Little Gem’) trees and Sweet Bay (*Laurus nobilis*) dispersed throughout the row of Heavenly Bamboo. The plan does not show the dwarf trees and shrubs evenly spaced, but rather clustered into groups of two (2) or three (3) at certain points along the property frontage.

Along the southern property line and fronting Highway 18, the applicant is proposing to continue the row of Heavenly Bamboo, with a few groups of Sweet Bay and Japanese Fatsia (*Fatsia japonica*). In the southwest and southeast corners of the site, the applicant is proposing to plant Leland Cypress trees. The Leyland Cypress trees in the southwest corner will need to be adjusted to allow space for a future City of McMinnville sign, which the applicant is required to leave space for to be installed in the future. A condition of approval has been included to allow the location of these trees to be adjusted to allow space for the sign.

The proposed planting plan is compatible with the proposed development and the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

Finding: The applicant is proposing to install a continuous row of Heavenly Bamboo along the property’s frontages to Highway 99W and Highway 18. Interspersed within the row of shrubs will be some larger shrubs and dwarf trees (Sweet Bay and Little Gem Southern Magnolia). The Heavenly Bamboo will form a continuous hedge once fully grown, which will provide for a continuous screening effect of the proposed use from the adjacent right-of-ways.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

Finding: A large stormwater detention area currently exists along the eastern portion of the property, between the subject site and the existing Lowe’s store. This detention area is heavily landscaped around its perimeter, and the applicant is proposing to maintain the existing landscaping in this area. The remainder of the site is vacant and does not contain any significant trees or landscaping.

4. The development and use of islands and plantings therein to break up parking areas.

Finding: The proposed project does not include the installation of landscaping islands within the parking areas. The site only includes three (3) parking spaces near the office portion of the building. The remaining parking spaces are included within the building, and will double as maneuvering space for vehicles traveling through the site and to individual storage units. The applicant is proposing to install denser landscaping around the parking spaces near the entry of the site, as described above, which will break up the parking area slightly.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

Finding: The landscape plan does not include the installation of street trees, as there will be no dedicated planting strip created along either property frontage.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

Finding: The applicant has included a note on the landscape plan that all plants will be irrigated by a fully automated, permanent irrigation system. Details were also included to show the specific type of sprinkler system and sprinkler heads that will be installed.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Finding: A condition of approval will require that all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

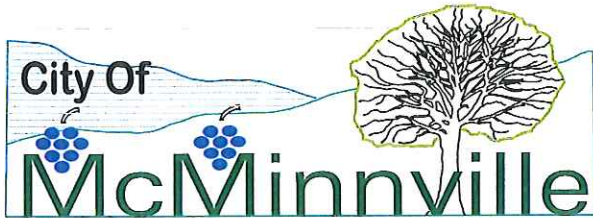
Planned Development Overlay

The following Sections of a Planned Development Overlay Ordinance (Ord. No. 4688) are applicable to the request:

Section 2, Subsection 2: That landscape plans for the commercial site shall be submitted to the McMinnville Landscape Review Committee for review and approval prior to issuance of permits for any of the commercial buildings. At a minimum, 15 percent of the site shall be landscaped with emphasis along all street frontages, at major entrances to the commercial complex, within off-street parking lots, and at building perimeters. Final site and landscape plans should incorporate extensive streetside landscaping areas which facilitate meandering sidewalk(s) and street tree planting along both highway frontages (Highway 99W and the Highway 99W/Highway 18 Connector). A continuous evergreen screen shall be planted along the southern boundary of the site.

Finding: The landscape plan as proposed does meet the 15 percent requirement, as about 21 percent of the site will be landscaped. The landscaping is more emphasized at the entrance to the site and near the off-street parking area near the office portion of the building. Landscaping is also included along all street frontages and building perimeters, with a continuous row of evergreen shrubs (Heavenly Bamboo) being planted on the south side of the site. While the Planned Development Overlay does speak to a meandering sidewalk with street tree plantings, sidewalks are not included with the proposed development. The property's frontages culminate at a highway interchange, which is not a pedestrian friendly environment nor an area where pedestrians should be directed. Therefore, sidewalks are not being required to be installed. Without sidewalk installation, there will be no dedicated planting strip and therefore no ability to require street tree plantings.

CD:sjs



Planning Department

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

www.ci.mcminnville.or.us

Office Use Only:

File No. 837-17

Date Received 9/12/17

Fee 45.00

Receipt No. _____

Received by [Signature]

Landscape Plan Review Application

Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☒ Agent ☐ Other _____

Applicant Name Andisheh Afghan Phone (503) 352-7674

Contact Name _____ Phone _____
(If different than above)

Address 4875 SW Griffith Dr. Suite 300

City, State, Zip Beaverton, OR 97005

Contact Email andisheh@aaieng.com

Property Owner Information

Property Owner Name NorthWest Self Storage Phone _____
(If different than above)

Contact Name Kevin Howard Phone (971) 236-9505

Address 14855 SE 82nd Ave.

City, State, Zip Clackamas, OR 97015

Contact Email KH@portlandstorage.com

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address Not yet assigned

Assessor Map No. R442901800 Total Site Area 135,959 SF

Subdivision _____ Block _____ Lot _____

Comprehensive Plan Designation Commercial Zoning Designation C3

Landscaping Information

1. Total Landscaped Area: 28,755 SF
2. Percent Landscaped: 21.1 %
3. Building Floor Area: Building 1 - 35,270 SF Building 2 - 27,738 SF
New Structure: 63,008 SF total Existing Structure: _____ Addition: _____
4. Architect Name YOSHIFUMI YANO Phone 503.352.7685
(Landscape Architect, Engineer, or Other Designer)
Contact Name " Phone " " "
Address 4875 SW GRIFFITH DRIVE
City, State, Zip BEAVERTON, OR 97005
Contact Email yoshiy@aaieng.com

In addition to this completed application, the applicant must provide the following:

- ☐ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- ☐ Payment of the applicable review fee, which can be found on the Planning Department web page.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

Natalie Lynn
Applicant's Signature AAI Engineering
Agent of

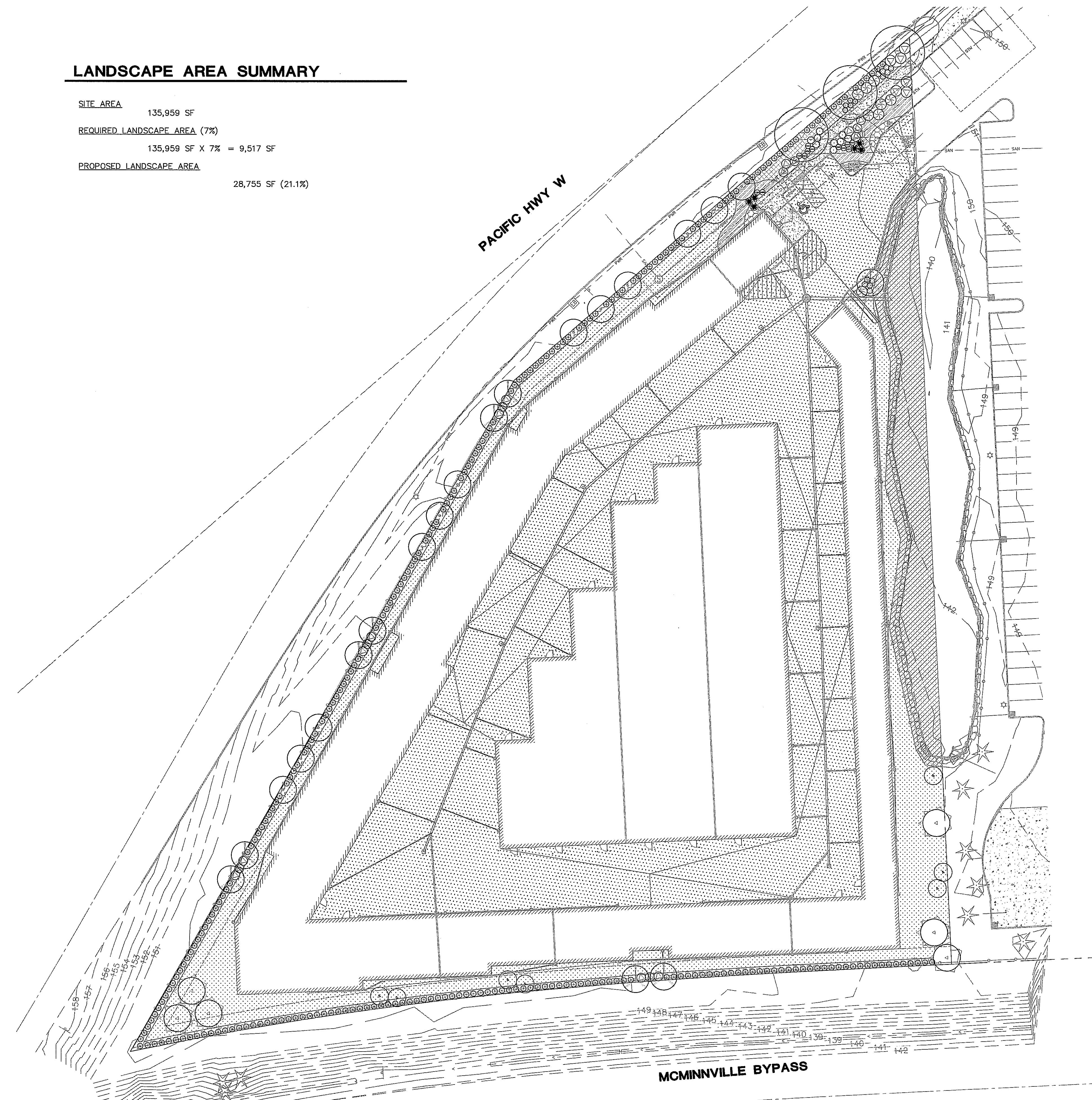
Beverly Howard
Property Owner's Signature

9/7/17
Date

9-11-17
Date

LANDSCAPE AREA SUMMARY

SITE AREA	135,959 SF
REQUIRED LANDSCAPE AREA (7%)	
135,959 SF X 7% =	9,517 SF
PROPOSED LANDSCAPE AREA	28,755 SF (21.1%)



NORTH
LANDSCAPE PLAN
SCALE 1" = 30'



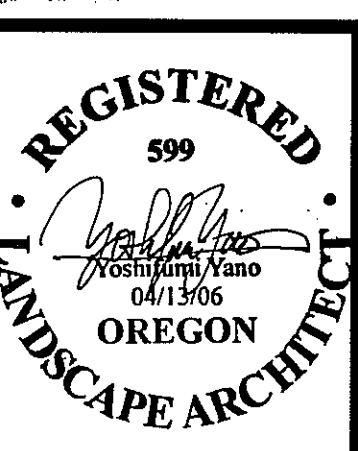
PLANTING LEGEND

QUANTITIES ARE FOR OVERALL SITE

TREES	QTS.	SCIENTIFIC NAME / COMMON NAME	1	2
			L1.1	L1.1
	3	ACER RUBRUM 'REDPONTE' / REDPONTE MAPLE 1.5" CAL. B&B, WELL BRANCHED, LIMBED TO 6'		
	12	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM SOUTHERN MAGNOLIA 1.5" CAL. B&B, WELL BRANCHED, LIMBED TO 6'		
	6	CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS 6' HIGH, B&B, FULL TREES, WELL BRANCHED TO GROUND		
SHRUBS			3	L1.1
	19	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / EDWARD GOUCHER ABELIA 1 GAL. CONT., FULL PLANTS, 4" O.C.		
	9	AZALEA X 'KAREN' / KAREN AZALEA 3 GAL. CONT., FULL PLANTS, 4" O.C.		
	7	FATSIA JAPONICA / JAPANESE FATSIA 5 GAL. CONT., FULL PLANTS, 6" O.C.		
	9	LAURUS NOBILIS / SWEET BAY 5 GAL. CONT., FULL PLANTS, 6" O.C.		
	257	NANDINA DOMESTICA / HEAVENLY BAMBOO 1 GAL. CONT., FULL PLANTS, 3" O.C.		
	6	PHORMIUM TENAX 'MORTICIA' / MORTICIA NEW ZEALAND FLAX 3 GAL. CONT., FULL PLANTS, 5" O.C.		
	6	PIERIS JAPONICA 'VALLEY VALENTINE' / VALLEY VALENTINE JAPANESE PIERIS 5 GAL. CONT., FULL PLANTS, 5" O.C.		
	12	SARCOCODON CONFUSA / FRAGRANT SARCOCODON 3 GAL. CONT., FULL PLANTS, 3" O.C.		
GROUNDCOVERS			4	L1.1
	729	ARCTOSTAPHYLOS UVA-URSI / KINKINNICK 4 INCH POT, FULL PLANTS, 24" O.C.		
	211	EUCONYMUS FORTUNEI 'GOLD SPLASH' / GOLD SPLASH WINTERCREPER 4 INCH POT, FULL PLANTS, 24" O.C.		
	485	FESTUCA GLAUCA 'ELIJAH BLUE' / BLUE FESCUE 4 INCH POT, FULL PLANTS, 12" O.C.		
	291	IMPERATA CYLINDRICA 'RUBRA' / JAPANESE BLOOD GRASS 1 GAL. CONT., FULL PLANTS, 12" O.C.		
GRASSES			4	L1.1
	11	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS 1 GAL. CONT., FULL PLANTS, 3" O.C.		
	8	MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS 3 GAL. CONT., FULL PLANTS, 6" O.C.		
	5	NAUSELLA TENUISSIMA / MEXICAN FEATHER GRASS 3 GAL. CONT., FULL PLANTS, 3" O.C.		
SEEDING				
		FIELDGRASS SEEDING (NO-IRRIGATION, NO-MOWING) 14565 SF, SEE NOTES FOR SPECIFICATIONS		
		EXISTING LANDSCAPE TO BE RETAINED		

NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF MCMINNVILLE STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF MCMINNVILLE STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL INSTALL RAIN SENSORS AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.



AAI
AAI ENGINEERING
INC.
1000 NW 10TH AVE, SUITE 200
MCMINNVILLE, OREGON 97110
503.535.1000
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NW SELF STORAGE - MCMINNVILLE
MCMINNVILLE, OREGON

LANDSCAPE
PLAN

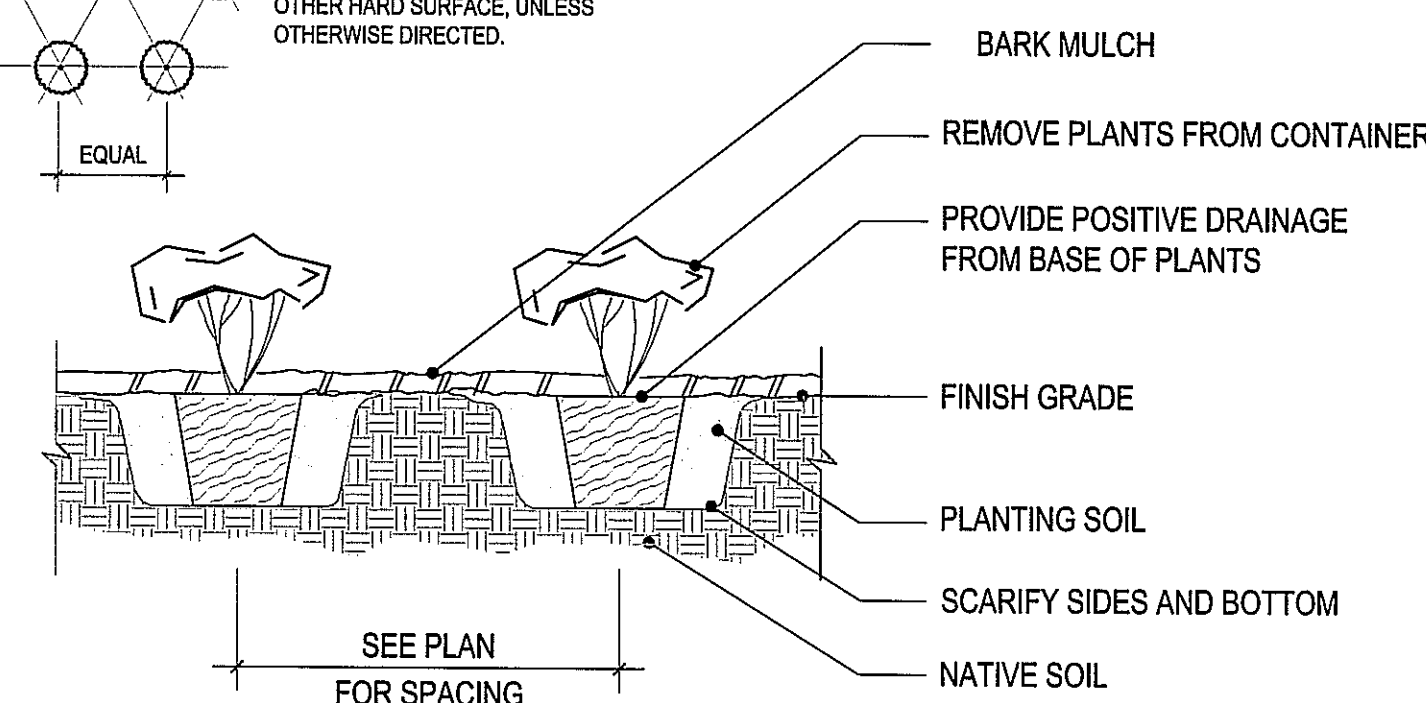
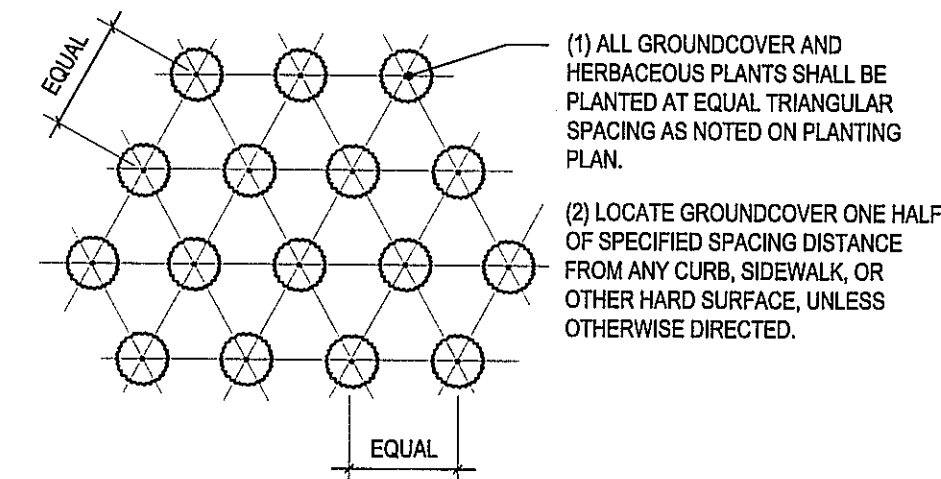
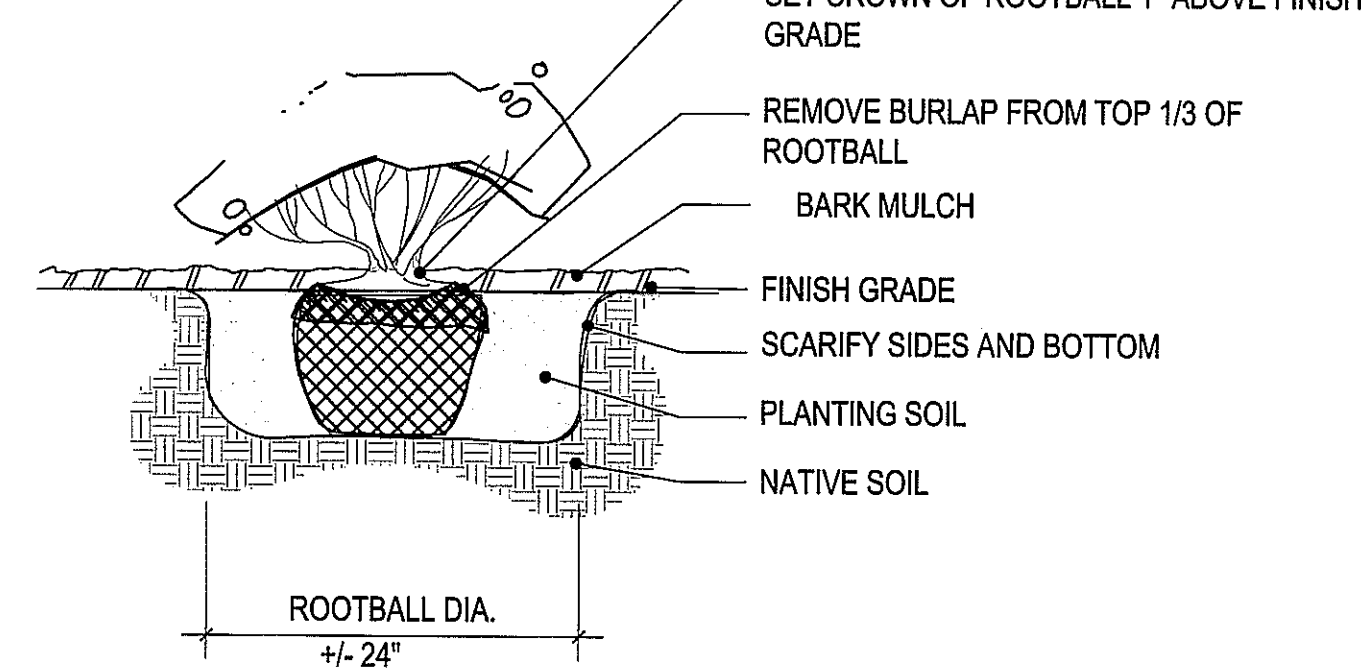
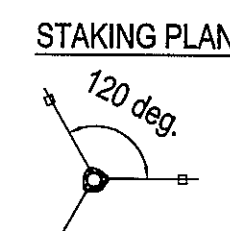
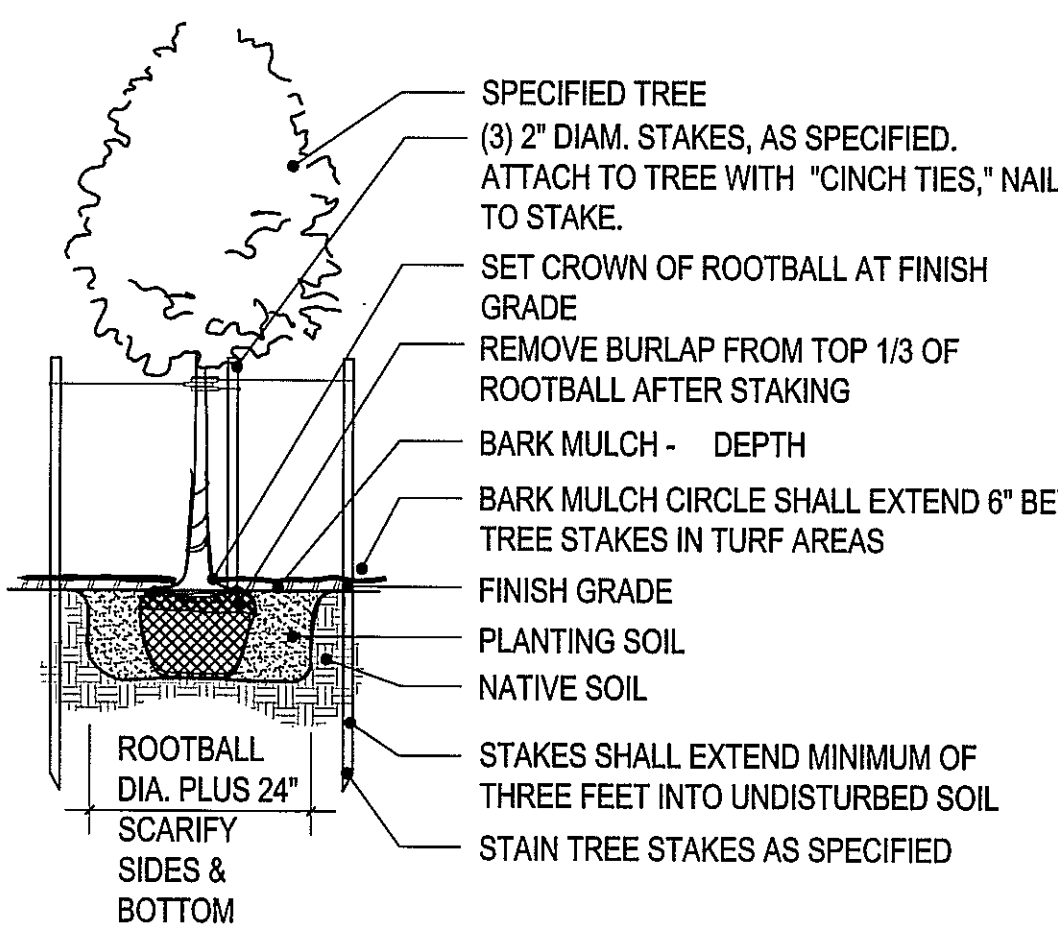
DATE: 09/01/2017

DRAWN: YYN

CHECKED: YYN

FILE:

REVISIONS:



1 DECIDUOUS TREE PLANTING
L1.1 SCALE: NTS

2 CONIFEROUS TREE PLANTING
L1.1 SCALE: NTS

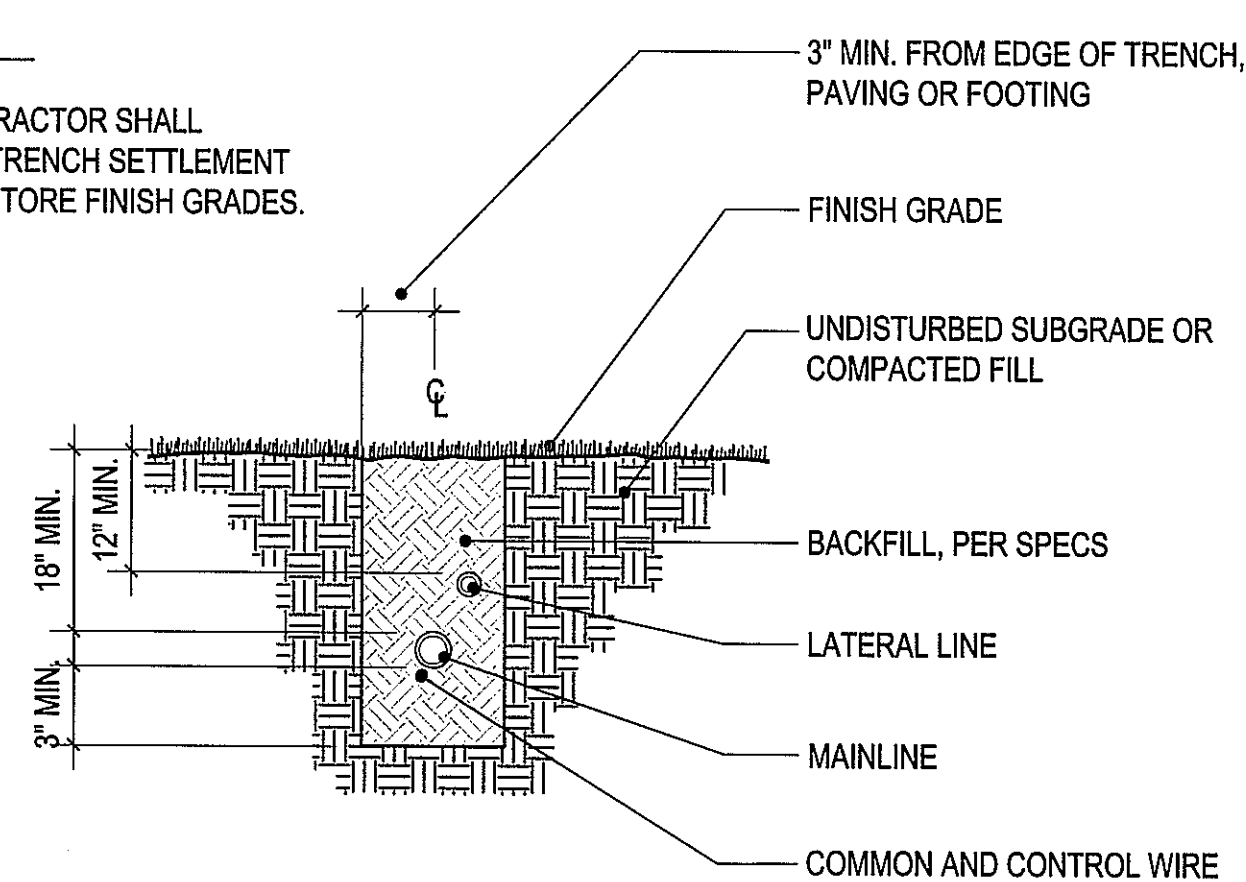
3 SHRUB PLANTING
L1.1 SCALE: NTS

4 GROUNDCOVER AND HERBACEOUS PLANT PLANTING
L1.1 SCALE: NTS

PLAN/SECTION

NOTES

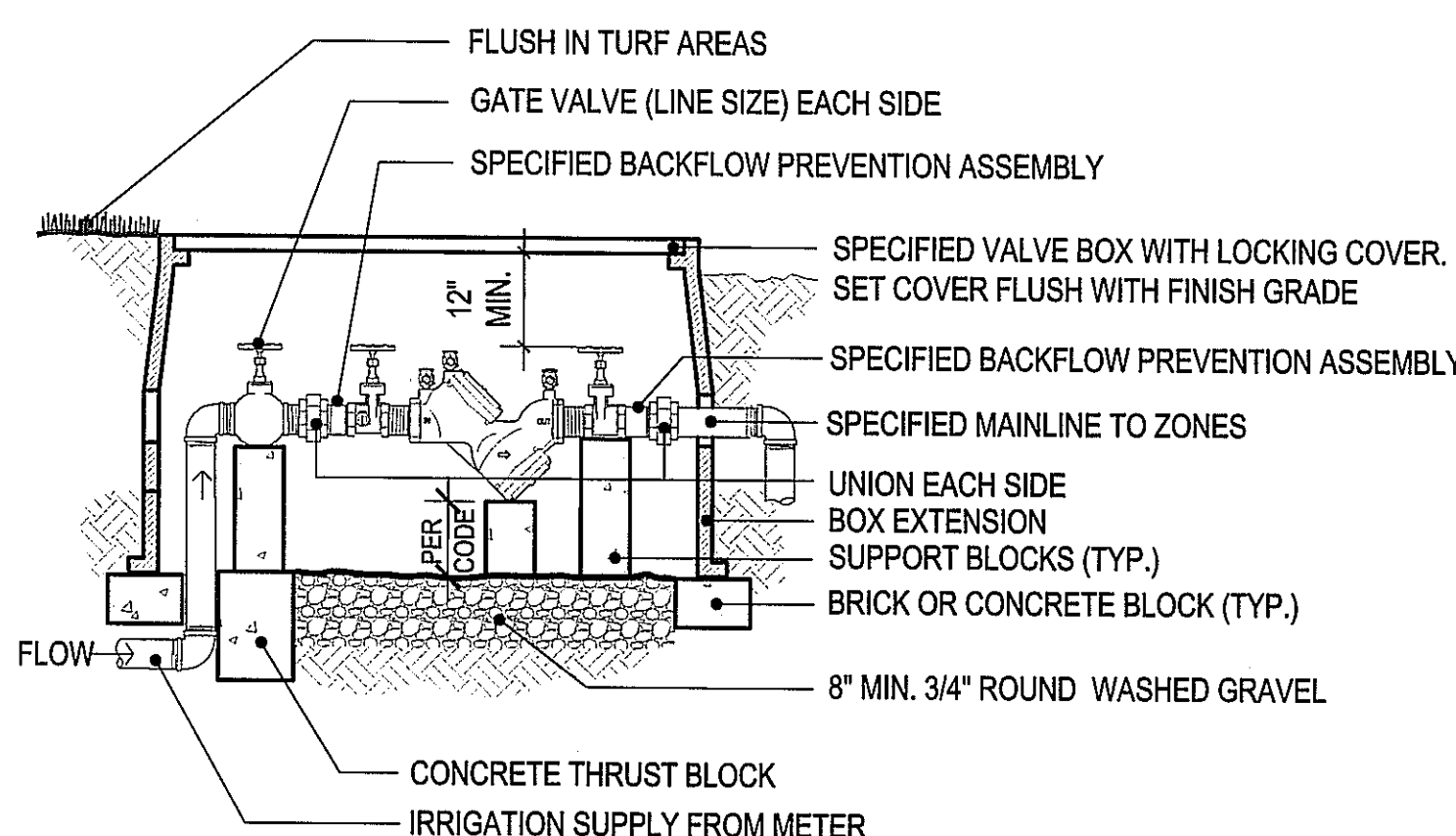
1. CONTRACTOR SHALL REPAIR TRENCH SETTLEMENT AND RESTORE FINISH GRADES.



5 TRENCHING IN PLANTING AREA
L1.1 SCALE: NTS

NOTE:

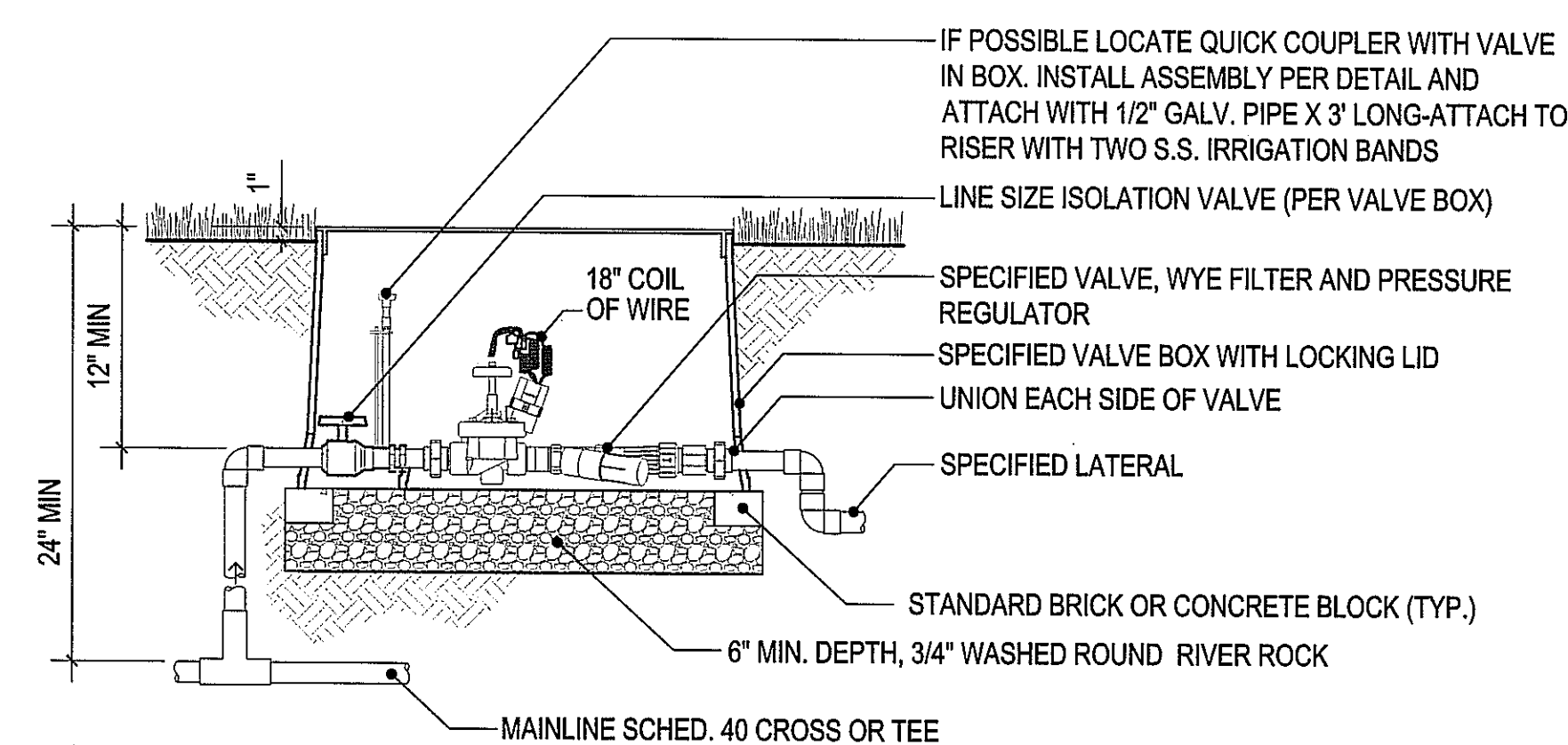
- INSTALL BACKFLOW PREVENTOR PER CODE AND REQUIREMENTS OF PREVAILING JURISDICTIONS.



6 BACKFLOW PREVENTION DEVICE ASSEMBLY
L1.1 SCALE: NTS

NOTES

1. LOCATION OF QUICK COUPLER WITHIN VALVE BOX IS SHOWN FOR CLARIFICATION ONLY. INSTALL OFF-SET FROM MAINLINE.
2. EXACT FITTING REQUIREMENTS, COMPONENT SHAPES AND SEQUENCE MAY DIFFER FROM THAT SHOWN.

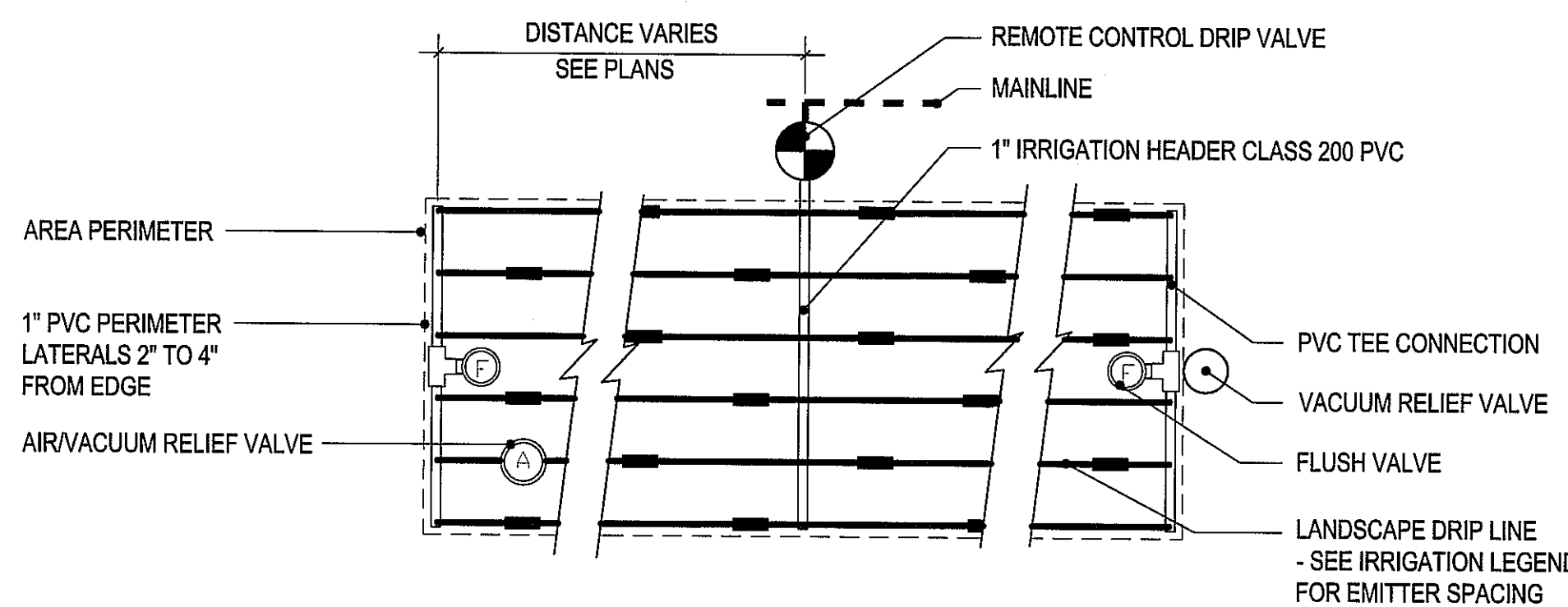


7 CONTROL VALVE ASSEMBLY
L1.1 SCALE: NTS

SECTION

NOTES

- PLACE VACUUM RELIEF VALVE AT FURTHEST END(S) OF ZONE.
- STAKE TUBING WITH MIN. 6" LONG STAPLES AT 8' INTERVALS ALONG ENTIRE LENGTH.
- TUBING TO LAY ON TOP OF SOIL AND BE COMPLETELY COVERED BY BARK MULCH.



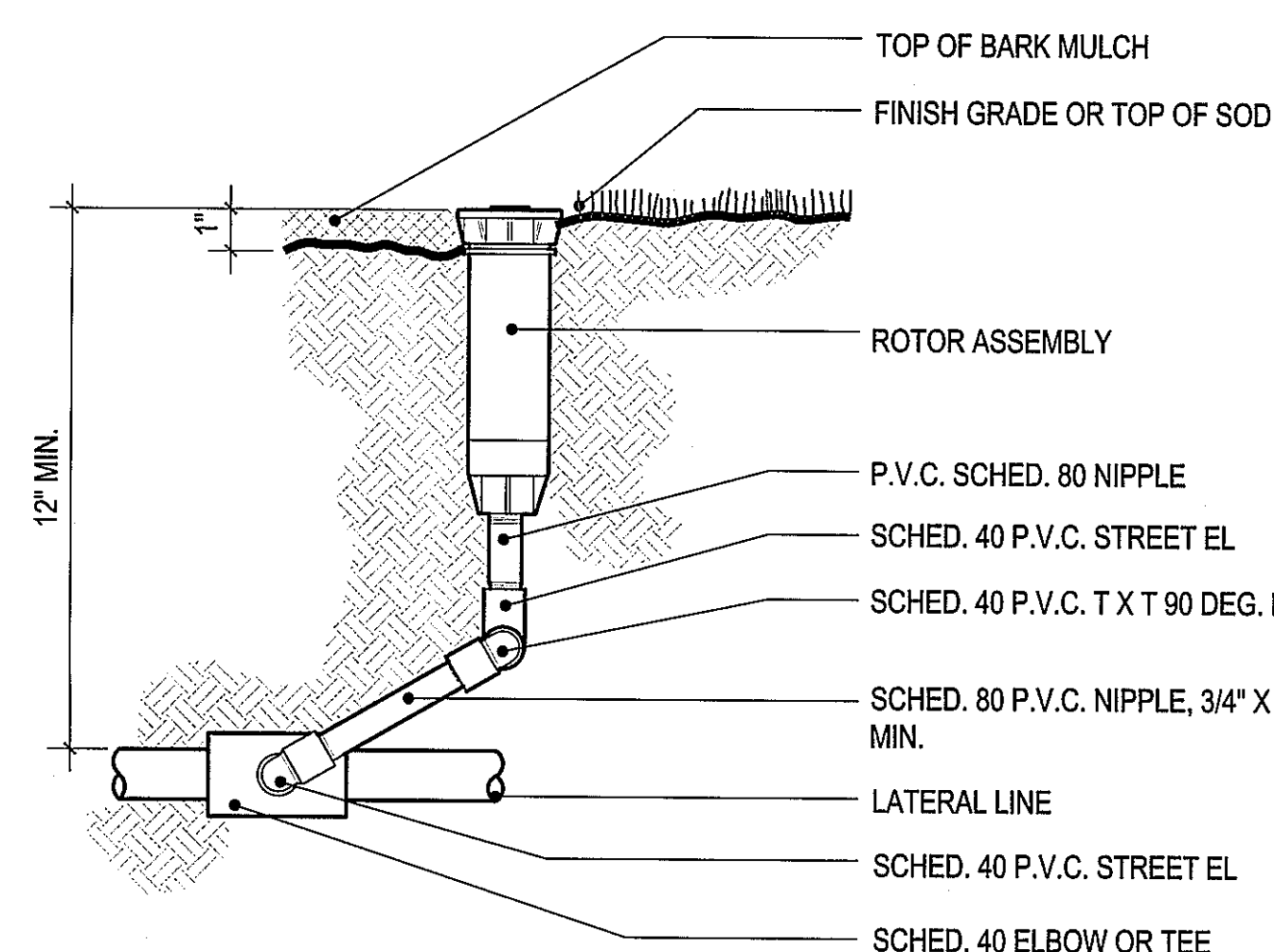
8 QUICK COUPLER VALVE
L1.1 SCALE: NTS

9 VACUUM RELIEF VALVE
L1.1 SCALE: NTS

10 FLUSH VALVE
L1.1 SCALE: NTS

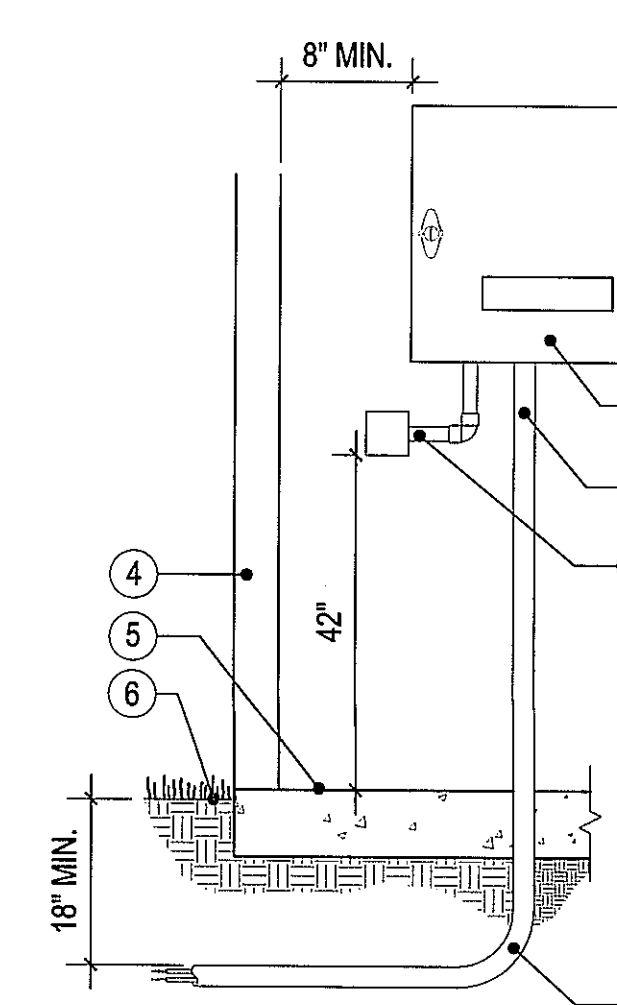
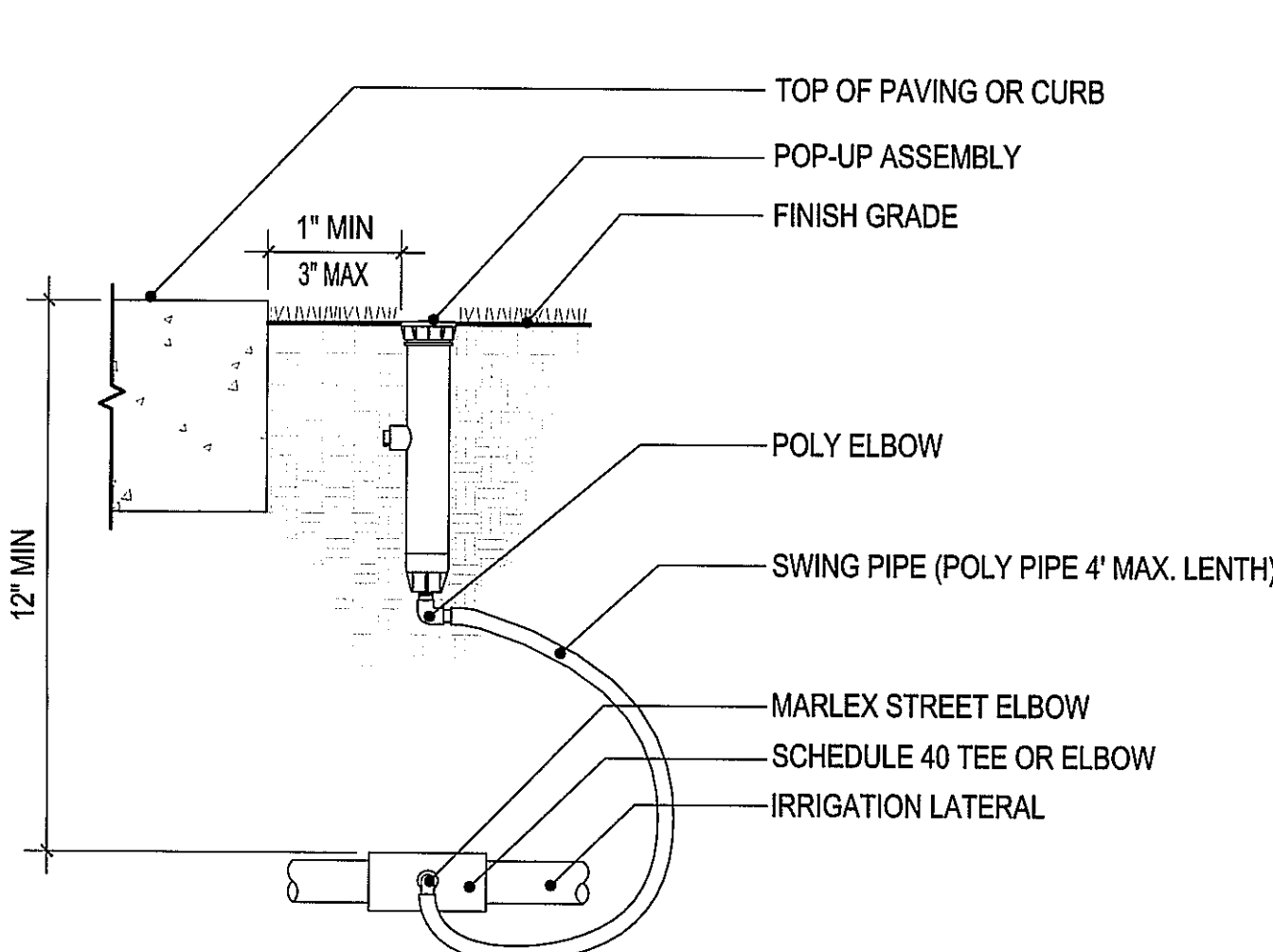
11 DRIPLINE LAYOUT DIAGRAM
L1.1 SCALE: NTS

SECTION



12 ROTOR HEAD - SWING JOINT ASSEMBLY
L1.1 SCALE: NTS

13 SPRAY HEAD - FLEXPipe ASSEMBLY
L1.1 SCALE: NTS



14 WALL-MOUNT CONTROLLER
L1.1 SCALE: NTS

LEGEND

- 1 AUTOMATIC CONTROLLER WITH LOCKING ACCESS DOOR.
- 2 2" DIA. P.V.C. CONDUIT FOR COMMON AND CONTROL WIRES TO 5' BEYOND EDGE OF BUILDING.
- 3 CONDUIT FOR 120 VOLT ELECTRICAL SERVICE WITH JUNCTION BOX.
- 4 BUILDING WALL.
- 5 BUILDING FLOOR.
- 6 FINISH GRADE.
- 7 SWEEP EL ON ALL ELECTRICAL CONDUIT.

NOTES

- ALL WIRES TO BE INSTALLED AS PER LOCAL CODE.
- VERIFY LOCATION PRIOR TO INSTALLATION.
- INSTALL CONTROLLER PER MANUFACTURER'S INSTRUCTIONS.

NOTES

- PIPING SHALL NOT EXCEED 5 FEET PER SECOND VELOCITY.
- DEMANDS OF SYSTEM DESIGN SHALL NOT EXCEED PERFORMANCE CRITERIA OF WATER METER.
- SEE SPECIFICATIONS FOR ALL PERFORMANCE REQUIREMENTS

GPM	PIPE SIZE
9-9	3/4"
9-16	1"
16-28	1-1/4"
28-35	1-1/2"
35-65	2"

15 LATERAL PIPE SIZING SCHEDULE
L1.1

Landscape Construction Specifications

General

1. Municipal, County, State and Federal laws, regarding uses and regulations governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications, and their provisions shall be carried out by the contractor.
2. The Contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The location of utilities, structures, services shown on these plans are approximate only. Any discrepancies between these plans and the actual field conditions shall be reported to the Owner's representative.
3. The Contractor shall locate and protect all existing utilities, features and plants on and adjacent to the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.
4. The Contractor shall obtain all necessary valid licenses, permits, and insurance required to perform the work indicated herein before commencing work, and shall be responsible for coordinating work with all parties involved, including jurisdictional agencies.
5. The Contractor shall use all means necessary to protect the public at all times during the construction process.
6. In the event of conflict between pertinent codes, regulations, structural notes, and/or requirements, or the referenced standards of these Specifications, the provisions of the more stringent shall govern.
7. Weather Limitations: Soil work shall be performed only when the weather conditions do not detrimentally affect the quality of work.

Mandatory Site Inspection Schedule

1. Schedule for Mandatory site inspection procedures. The mandatory site inspections include but are not limited to the following:

Pre-Construction Site Meeting

Contractor shall be notified a minimum of 48 hours prior to meeting to review site conditions, proposed construction and construction schedule, and review construction specifications prior to commencement of construction operations.

Rough Grading Inspection

Contractor shall notify Owner's Representative a minimum 48 hours prior to request for inspection of rough soil grades. All rough grading operations shall be completed per specifications and prepared for inspection. No topsoil placement or backfilling in areas to be landscaped should occur until written approval by Owner's Representative has been issued.

Open Trench Irrigation Inspection

Contractor shall notify Owner's Representative 24 hours prior to inspection for written approval of irrigation trench depths, piping conditions, and pressure testing. (Refer to Irrigation Specification for inspection procedures)

Plant Material Inspection

Plant material quality and layout inspection and written approval shall occur with 24 hours notice to Owner's Representative prior to installation of any plant material. (Refer to Planting Specification for inspection procedures)

Final Landscape Areas and Irrigation Performance Inspection

Contractor shall notify Owner's Representative 48 hours prior to inspection for approval of landscape and irrigation work. Irrigation operations and coverage shall be inspected. Plant quality and layout shall be inspected. Written approval shall be issued upon inspection approval of specified construction. (Refer to relative specification sections)

Erosion Control

1. Provide and maintain positive drainage patterns throughout the construction process, and as directed by the Owner's Representative if weather or construction activity creates drainage conflicts detrimental to construction process or environmental conditions. Comply with jurisdictional requirements.
2. Maintain erosion measures throughout the landscaping process. Restore erosion control measures disturbed by landscaping operations. Remove only upon approval of Owner's Representative.

Invasive Weed Control Prior to Construction

1. Verify and identify conditions requiring eradication of invasive weeds and grasses prior to existing soil surface disturbance as directed by Owner's Representative. Stockpiled topsoil shall be treated to eradicate weeds prior to soil ripping and stockpiling. Weed eradication shall include herbicide and non-herbicide methods only administered by a currently licensed applicator. Eradication shall include and is not limited to elimination of the following invasive species from areas to be landscaped:

Cirsium arvense (Canadian Thistle) *Lotus corniculatus* (Bird's foot Trefoil)
Convolvulus spp. (Morning Glory) *Lythrium salicaria* (Purple Loosestrife)
Cytisus scoparius (Scotch Broom) *Melilotus* spp. (Sweet Clover)
Dipsacus sylvestris (Common Teasel) *Myriophyllum spicatum* (Eurasian Milfoil)
Equisetum spp. (Horsetail) *Phalaris arundinaceae* (Reed Canary Grass)
Festuca arundinaceae (Tall Fescue) *Rubus discolor* (Himalayan Blackberry)
Hedera helix (English Ivy) *Solanum* spp. (Nightshade)
Holcus canatus (Velvet Grass) *Trifolium* spp. (Clovers)
Lolium spp. (Rye Grasses)

Rough Grade Inspection

1. Conditions and quality of rough grade shall be inspected and approved by Owner's Representative prior to the commencement of specified work in areas to be landscaped. The contractor shall then be responsible for completion of activities specified herein, and defined on the plan.
2. In all plant bed areas the sub-grade shall be free of unsuitable material such as stumps, roots, rocks, concrete, asphalt, or metals, for a minimum depth of 24 inches, and in all lawn or seeded areas the sub-grade shall be free of unsuitable material for a minimum depth of 12 inches
3. The Owner's Representative, at their discretion, shall direct further rough grading or soil preparation if specified activities have not created a surface satisfactory for further work to commence. Compensation for additional surface work created by conditions unknown at the outset and as directed in writing by the Owner's Representative shall be negotiated at the time of the directive, and prior to the commencement of particular construction activities.

Finish Grading

1. Verify that rough grade in landscape areas is sufficiently below proposed final grade for planting beds and lawn areas to allow for placement of topsoil mix. Refer to grading plans for finish grade references. Verify that grades provide positive drainage at all landscape areas, and slope away from structures at a minimum of 2% slope. Final grades in all landscape areas shall be crowned at center to facilitate proposed drainage.

Installation Of Irrigation Sleeving

1. Sleeving conduit shall be installed at existing and proposed paved areas as per specifications, as directed by the Owner's Representative, or as irrigation installation requirements, prior to preparation for paving construction. Set piping to provide minimum covers of:

18-inch for sleeving beneath walkways;
24-inch for sleeving beneath vehicular traffic or structures.

Mark each end of sleeving with a 2 x 4 stake with 24" exposed, clearly marked "SLEEVE LOCATION". Contractor shall maintain staking identification and location throughout construction process. Protect all existing paving when installing sleeving. Restore all paving damaged by sleeve installation.

2. Size of sleeving conduit pipe shall be a minimum of two times the diameter of the bell end of the pipe that is to be fed into the sleeve.
3. Set sleeving in a compacted bed of material that will not damage the pipe during compaction of surface backfill material.

Design / Build Irrigation Specification

1. Contractor shall provide a design / build automatic underground irrigation system for all new ornamental landscape areas. Contractor shall provide irrigation design shop drawing to Owner's representative for review at least two weeks prior to installation and obtain approval.
2. Sprinklers shall be spaced at a maximum of 50% of the diameter of the proposed spray pattern. All areas shall be sprayed from at least two directions.
3. Dripping tube shall be Rain Bird "Landscape Dripline" XFCV-09-12, or approved equal.
4. Provide quick couplers at every 100 feet.
5. Upon completion of the irrigation system installation and as a condition of it's acceptance, deliver to the Owner's representative the following 'As- built' drawings; Three prints and one reproducible sepi of all changes to the irrigation system including a Controller Zone Reference chart. Instruct owner of system components operation, system winterization, and controller adjustment processes. Instruct owner of precipitation requirements and schedule of anticipated controller adjustments as landscape matures.
6. Protect existing buildings, walls, pavements, reference points, monuments, and markers on this site. Verify location of and protect all utilities. Protect adjacent property. Protect work and materials of other trades. Protect irrigation system materials before, during, and after installation. In the event of damage, repair or replace items as necessary to the approval of the Owner's representative and at no additional cost to the Owner. Use all means necessary to protect the public from injury at all times.

7. Provide warranty for all installed materials and work for one year beyond the date of final acceptance of the irrigation system installation.
8. Verify gallonage, pressure, size, and location of service water line. The Contractor shall guarantee an irrigation system that functions to manufacturer's specifications with the source volume and pressure afforded to site. Make arrangements for water shut-off during construction if necessary, notify owner 24 hours prior to suspension of water service.
9. Irrigation trenches shall be a depth to provide a minimum cover of 18 inches for sleeving beneath walkways; 18 inches for all pressurized main lines; 36 inches for sleeving beneath asphalt paving, and 12 inches for all lateral lines. Backfill with clean fill void of material injurious to system components. All sleeving under vehicular traffic to be Class 200 PVC; all other sleeving shall be class 200 PVC. Locate top of zone valves a minimum of 6" below finish grade.

7. Provide warranty for all installed materials and work for one year beyond the date of final acceptance of the irrigation system installation.

8. Verify gallonage, pressure, size, and location of service water line. The Contractor shall guarantee an irrigation system that functions to manufacturer's specifications with the source volume and pressure afforded to site. Make arrangements for water shut-off during construction if necessary, notify owner 24 hours prior to suspension of water service.

9. Irrigation trenches shall be a depth to provide a minimum cover of 18 inches for sleeving beneath walkways; 18 inches for all pressurized main lines; 36 inches for sleeving beneath asphalt paving, and 12 inches for all lateral lines. Backfill with clean fill void of material injurious to system components. All sleeving under vehicular traffic to be Class 200 PVC; all other sleeving shall be class 200 PVC. Locate top of zone valves a minimum of 6" below finish grade.

10. Combine wire and piping where possible.

11. Contractor shall follow manufacturer's instructions for solvent welding of PVC pipe and fittings to achieve tight and inseparable joints. Utilize single wrap Teflon tape at all threaded joints.

12. Install all valves with fittings that facilitate maintenance removal and place valve boxes at location that are easily serviced but not in conspicuous locations. Locate in planting beds wherever possible, away from mower, edger, or de-thatcher operations.

13. Contractor shall install one manual drain valve at discharge side of each remote control valve and at all low points in mainline pipe so as to allow for complete drainage of all main lines. Mark with a painted sleeve cover and indicate locations on As-Built drawings.

14. Contractor shall provide backflow prevention as required per local and state codes, installed as per manufacturer's specifications.

15. Quick couplers shall be required at all valve or valve manifold locations, or at a minimum of 100 feet along mainline length or whichever is greater.

16. Contractor shall install irrigation controller in accordance with manufacturer's specifications. Verify a 120 V.A.C. electrical source and a min. 1 1/2" conduit from controller location open to all electrical zone valves in field. Weatherproof any exterior wall penetrations.

17. Automatic Controller: Rainbird ESP-SMTe Series or approved equal. Controller shall have ability for all zones to fully operate and meet both normal and specified low volume system requirements as specified herein, and as required by site conditions.

18. Install all wire in accordance with manufacturer's specifications with a minimum of 18 inch looped inside valve box at each remote control valve and at the controller. All splices shall occur within valve boxes with water-proof connectors.

19. Contractor shall install all sprinkler heads with flexible risers, using flexible polyethylene pipe not to exceed 18 inches in length or PVC swing joints. Tee fittings shall extend horizontally from pipe.

20. Contractor shall thoroughly flush irrigation system after piping, risers, and valves are installed but prior to installing sprinkler heads. Thoroughly clean, adjust and balance the installed irrigation system. Adjust spray pattern of nozzles to minimize throw of water onto buildings, walls, roads and parking lots. Adjust controller for optimum performance and precipitation rates utilizing proper water conservation measures.

Topsoil Placement and Soil Preparation

1. Contractor shall submit certified topsoil analysis report for owner's approval prior to plant installation.

2. Contractor is responsible for any amendments to soil PH, fertility and/or drainage conditions necessary to ensure proper growing conditions for proposed planting.

3. Topsoil shall be friable soil from existing stockpiled material or imported, with added soil amendments as specified. It shall not be delivered while in a frozen or muddy condition. Protect from erosion at all times. Utilize existing stockpiled topsoil only under the direction of the Owner's Representative. Do not place topsoil in areas that have not been cleared of weeds listed herein. Topsoil shall meet the following requirements:

- a. Free of roots and rocks larger than 1/2 inch,
- b. Free of subsoil, debris, large weeds, foreign matter and any other material deleterious to plant material health.
- c. Acidity range (pH) of 5.5 to 7.5.
- d. Containing a minimum of 4 percent and a maximum of 25 percent inorganic matter with decaying matter of 25 percent content by volume or less.
- e. Textural gradations shall be sand: 45-75%, silt: 15-35%, clay: 05-20%.

4. Commercial fertilizer shall be an organic base, complete fertilizer containing in available form by within a minimum of 10N 10P 5K - with 50 percent of the available nitrogen in slow-release formula, Webfoot Organic Delux, or approved equal.a

5. Compost shall be yard debris compost meeting industry and jurisdictional standards.

6. Contractor shall remove all debris, rocks one inch in diameter or larger, sticks, mortar, concrete, asphalt, paper, contaminated soil and any material harmful to plant life, in all planting areas.

7. Contractor shall rototill subgrade four inches deep before placing topsoil. Specified imported topsoil shall be placed at a minimum depth of 12" in all planting areas, floated to a level, sloped or mounded grade between any existing or constructed point on the site, such as curbs, walls, walks, paving and the like. Final soil grades in planting beds shall be 2" below adjacent paving and curbs for mulch application.

8. Distribute following soil amendments to all landscape areas in even layers and power rototill or spade to a minimum depth of 4-6 inches into topsoil, as follows;

Planting Beds:

- a. Compost: Apply nine cubic yards per 1000 sq. ft.
- b. Commercial Fertilizer: Apply 50 pounds per 1000 sq. ft.

9. Preparation of backfill planting soil mix shall be as follows:

Thoroughly blend and mix the following proportion of materials while in a moist condition:

- Three cubic yards topsoil
- 1 1/2 cubic yards compost
- 1 1/2 cubic yards medium bark,
- 10 pounds commercial fertilizer
- Five pounds bonemeal

10. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus materials. Any paved area or surfaces stained or soiled from landscaping materials shall be cleaned with a power sweeper using water under pressure. Building surfaces shall be washed with proper equipment and materials as approved by the Owner's representative.

Fieldgrass Installation

1. Seeding operations shall occur only between March 15 and October 15.
2. Seeding is not permitted during cold weather (less than 32 degrees F), hot weather (greater than 80 degrees F), when soil temperature is less than 55 degrees F, when ground is saturated, or when wind velocity is greater than 10 mph.
3. Contractor shall float rough graded seedbed. Do not disturb natural drainage patterns. Remove rocks, clumps, or debris at surface. Lightly scarify surface.
4. Contractor shall apply 10 pounds commercial fertilizer per 1,000 square feet of surface area before spreading seed.
5. Lawn Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Northwest Supreme Lawn Mix" grass seed per 1,000 square feet.
6. Fieldgrass Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Diamond Green" grass seed per 1,000 square feet.
7. The Contractor shall protect and maintain the seeded area by fencing, watering, feeding, reseeding, mowing and repairing as necessary to establish a thick, uniform stand of grass acceptable to the Owner's representative.

Trees, Shrubs, & Groundcover Installation

1. Contractor shall guarantee materials and workmanship in general landscape areas for one year from date of conditional acceptance. Plant material shall be in accordance with American Standard for Nursery Stock (ANSI Z60.1), shall comply with State and Federal laws with respect to inspection for insect infestation and plant diseases and shall be free of insect pests and plant diseases.

2. Plant materials shall have a minimum of 6 inches of prepared soil under the root ball, and a minimum of 6 inches on each side of the root ball. Tree roots or root ball shall have a minimum of 12 inches of plant soil under the root ball and a minimum of 12 inches on each side of the root ball, or roots. Final grade should maintain root ball slightly above surrounding grade (not to exceed one inch) for bark mulch installation.

3. Root control barrier shall be installed in trenches, alongside hardscape structures and utility lines such as sidewalks, curbs, pavement, walls, and concrete located within 15 feet of new trees measured from the trunk. Root barrier is to be DeepRoot UB-24, or approved equal.

4. Mulch all planting beds after planting, final raking, grading and leveling of the planting beds with a layer of Hem/Fir medium screened bark mulch as specified on the plans.

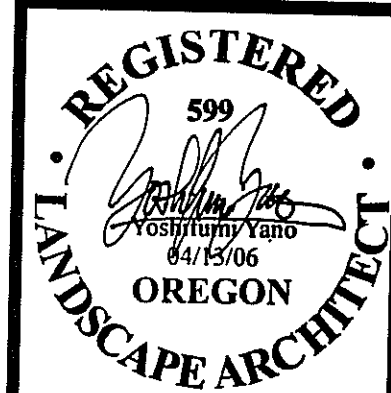
5. Balled and burlapped trees, boxed trees or bare root trees shall be either guyed or staked as detailed on the plans.

6. Remove all dead or dying branches and criss-crossing branches from trees. Do not cut leader.

7. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus material. All paved areas or surfaces stained or soiled from landscape material shall be cleaned with a water-pressure power sweeper. Building surfaces shall be washed with proper equipment and materials as approved by the Owner.

Maintenance

1. Contractor shall maintain general landscape areas for one year after accepted completion of project.
2. Maintenance shall include; all grade resettlement, weeding, policing and removal of plant material debris during maintenance period. Seasonal leaf fall removal is outside the scope of this maintenance specification.
3. Bark mulch shall be maintained or brought up to the 3 inch depth during this maintenance period.
4. Any unsatisfactory condition arising during this maintenance period shall be brought to the attention of the Owner's Representative immediately.



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NW SELF STORAGE - MCMINNVILLE
MCMINNVILLE, OREGON

LANDSCAPE
SPECIFICATIONS

DATE: 09/01/2017

DRAWN: YYN

CHECKED: YYN

FILE:

REVISIONS:

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SHEET

L1.2

JOB NUMBER:
A17058.20



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

EXHIBIT 4 - STAFF REPORT

DATE: October 18, 2017
TO: McMinnville Landscape Review Committee
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4D: L 38-17

Report in Brief:

An application for a landscape plan for the construction of a new commercial building within a larger shopping center site (L 38-17) to be reviewed by the Landscape Review Committee.

Background:

The applicant, Melinda VerMeer on behalf of HFT Mayfair, LLC, submitted a landscape plan review application to install landscaping around a new commercial building being constructed on the property at 540 NE Highway 99W. The subject property is more specifically described as Tax Lot 400, Section 16CB, T. 4 S., R. 4 W., W.M.

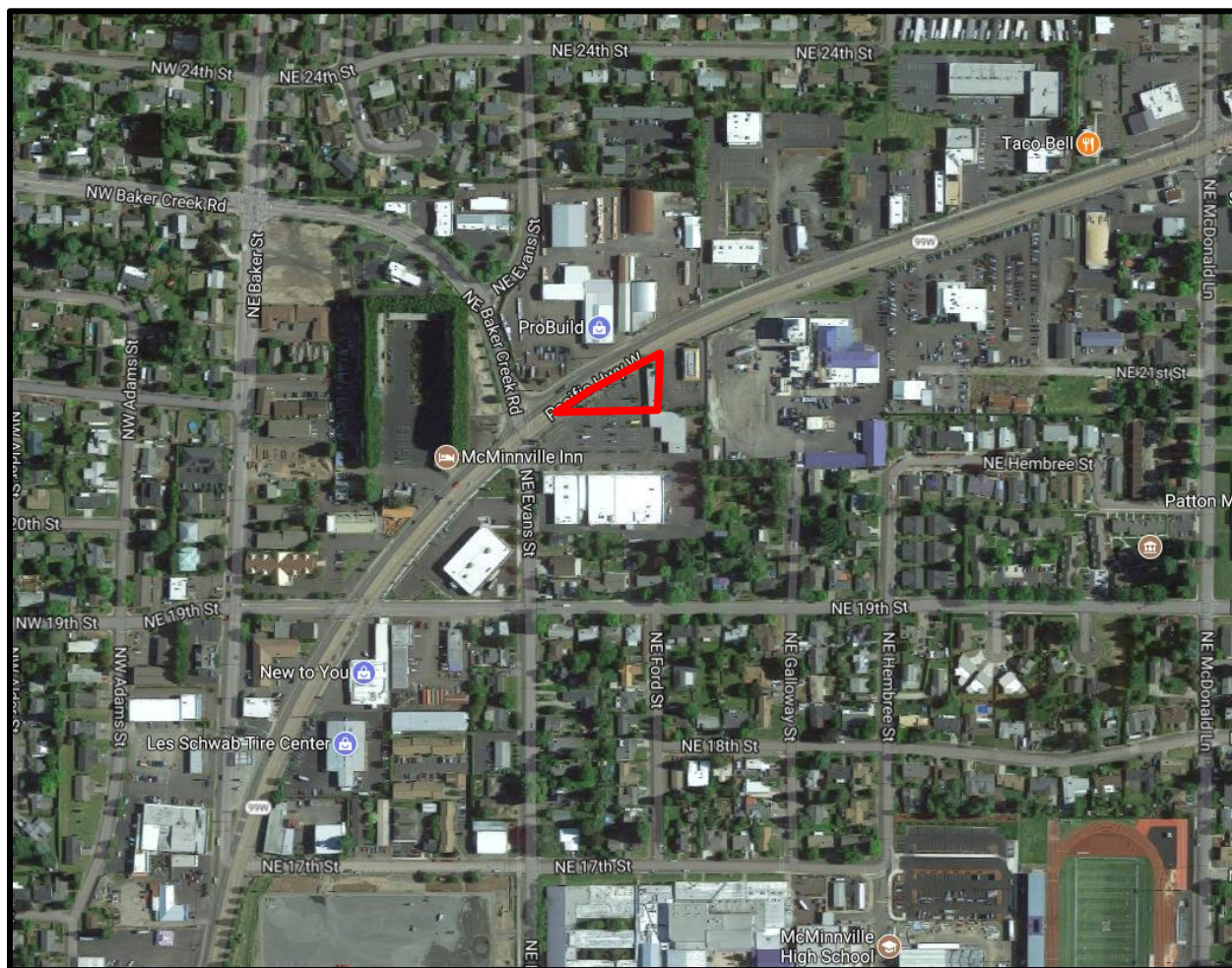
Discussion:

The subject property previously was developed with a small strip commercial building that has now been demolished. The applicant is proposing to construct a new 4,701 square foot building on the property that will contain future commercial uses.

The subject site can be seen below as a red outlined area:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Commercial Building at 540 NE Highway 99W

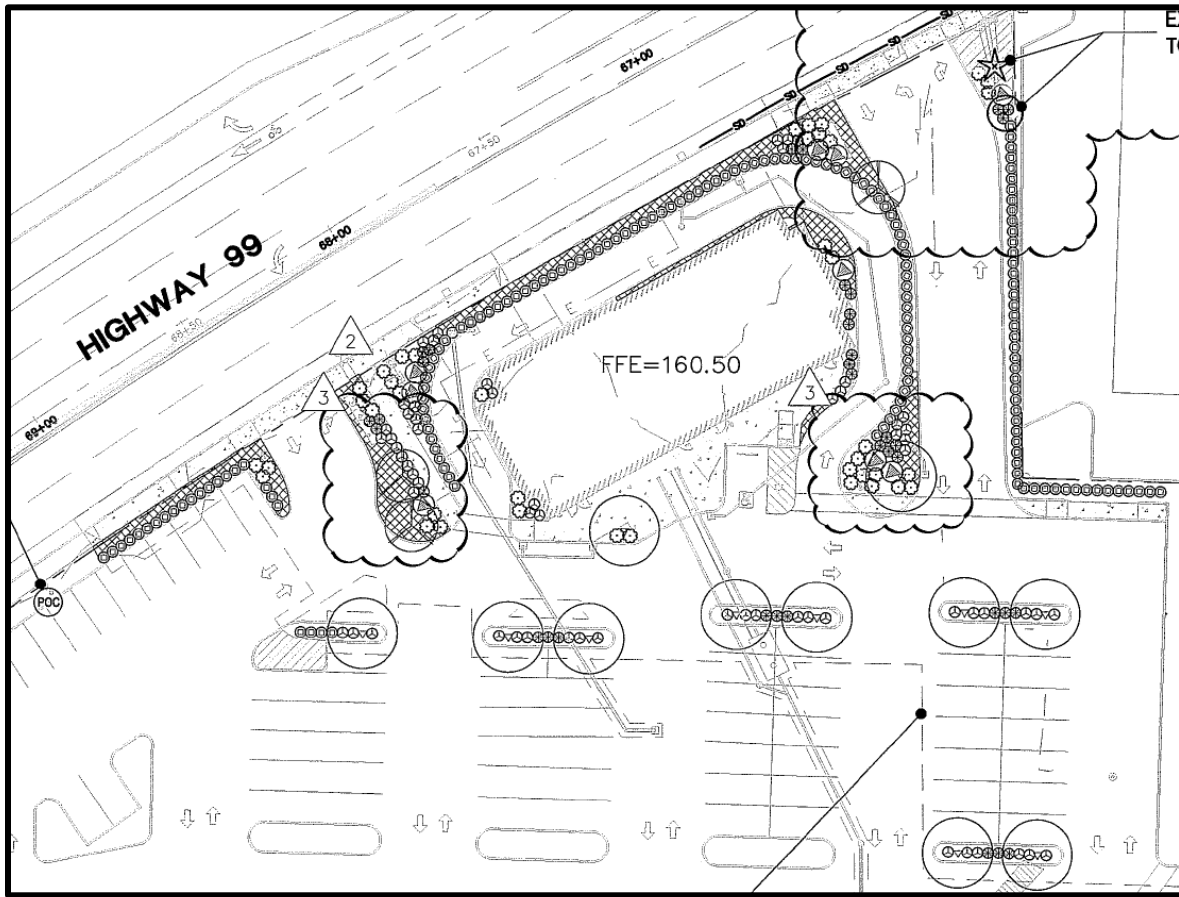


The Landscaping chapter of the McMinnville Zoning Ordinance requires that at least seven (7) percent of the gross area of a site being developed be landscaped (Section 17.57.070(A) (Area Determination – Planning Factors)). The landscape plan as proposed exceeds those requirements, as 12.42 percent of the area of the site being developed is proposed to be landscaped.

The landscaping being proposed on the site portion of the site can be seen below:

Attachments:

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In reviewing a landscape plan, Section 17.57.070(B) (Area Determination – Planning Factors) of the McMinnville Zoning Ordinance requires the Landscape Review Committee to also consider the following factors:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

The subject site is a larger parcel that operates as a commercial shopping center. The new building that will be constructed will be on the northern portion of the site, close to Highway 99W. The new building is being constructed in place of previous parking space and an older commercial building that was recently demolished. The new building will include a drive thru that wraps the new building and will run between the building and Highway 99W. The accesses to the overall shopping center will also be reconfigured to allow for adequate circulation and traffic patterns through the site and to the new building.

The applicant is proposing to install new landscaping around the new building and the reconfigured entrances. At each access to Highway 99W, landscape beds will be installed that will include a variety of shrubs and grasses. The landscape beds will continue along the access drive aisles, and will continue along the entire Highway 99W frontage on the north side of the new building. Primarily, the planting plan shows a continuous row of Francis Mason Glossy Abelia (*Abelia x grandiflora* 'Francis Mason'), planted three (3) feet apart on center. This row of Abelia will provide continuous landscaping around the new access aisles and the drive thru aisle. Abelia shrubs can also tolerate full sun, which much of the landscape beds will be exposed to. The variety of shrubs and grasses will be installed at more prominent locations near the entrances to the site, and will include Glossy Abelia, Karen Azalea,

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Karl Foerster Feather Reed Grass, and Mexican Feather Grass. Varigated Lily Turf will be installed at two (2) feet apart on center in the remaining areas of the landscape beds to fill out the planting areas.

In addition to the smaller shrubs and grasses, the applicant is proposing to install two (2) different species of trees. In the landscape beds closer to the entry drive aisles, Red Rocket Maple (*Acer rubrum* 'Red Rocket') trees will be installed. The Red Rocket Maple tree is a columnar variety that will grow to a mature height of about 35 feet with a narrower canopy width of about eight (8) feet, which is suitable for the proposed locations adjacent to drive aisles.

The other species of tree being installed are Paperbark Maple (*Acer griseum*) trees. These trees will predominately be planted in planting islands within the parking areas south of the new building. The Paperbark Maple trees were chosen to be consistent with the species of trees that was installed on the site recently when the parking lot on the shopping center site was reconstructed. The Paperbark Maple will not grow as large as some other maple varieties, reaching a mature height of only 20-30 feet, but the canopy will be slightly larger at 15-25 feet. This will provide for some shade in the parking areas.

The proposed planting pattern is very similar to the treatment of the remainder of the shopping center site. The upgrades to the parking lot landscaping, which were installed in 2014 (L 14-14) included a single row of shrubs along the property line with groundcover grasses in front of the shrubs. The proposed planting plan will carry on that same design. The use of common species that were also used during the 2014 landscaping upgrade, including Paperbark Maple and Karl Foerster Feather Reed Grass, will ensure the new landscaping is compatible with the overall landscaping of the shopping center site. Staff believes that the proposed planting plan is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscurating, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

The applicant is proposing to install a continuous row of Francis Mason Glossy Abelia along the property's frontage on Highway 99W, and also along the perimeter of the site and the access drive aisles. This continuous row of shrubs will not provide for significant screening, but will provide buffering between the sidewalk and the proposed drive aisle for the drive thru. Denser plantings with a variety of shrubs and a few columnar Red Rocket Maple trees will be installed near the entrances to the site, which will provide for additional screening at these locations while also keeping clear of clear vision areas at intersections. The existing planting pattern along Highway 99W included Paperbark Maple trees within the landscape bed between the parking lot and the sidewalk. This design was not carried forward in the proposed plan, but would provide for additional screening of the new building if included. Therefore, a condition of approval is being suggested to add one (1) Paperbark Maple tree in the landscape bed between the parking lot and sidewalk to the west of the western driveway, and to add three (3) Paperbark Maple trees, spaced 30 feet apart on center, in the landscape bed between the drive thru aisle and the sidewalk between the site's two (2) driveways.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

The portions of the existing landscaping that are being impacted were required to do so to allow for the demolition and reconstruction of the new building. The applicant has limited the scope of work to the extent possible to maintain most of the landscaping within the shopping center parking lot, but some of the existing landscaping did need to be removed. The proposed planting plan includes the replacement of the landscaping material that was lost, and has been designed to be compatible with the existing landscaping on the overall site.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Commercial Building at 540 NE Highway 99W

4. The development and use of islands and plantings therein to break up parking areas.

The proposed landscape plan includes the reconstruction of planting islands within the parking areas. These planting islands will now be the northern caps to the rows of parking stalls in the large parking area to the south of the new building. The applicant is proposing to install two (2) Paperbark Maple trees in each planting island, which will provide for shade in the parking area and break up the larger expanse of asphalt. The applicant is also proposing to install ornamental grasses in each planting island, which is a consistent design used in the other planting islands in the parking lot that were created during the landscaping upgrade in 2014.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

The landscape plan does not include the installation of street trees, as there is no dedicated planting strip created along the property's Highway 99W frontage.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

The applicant has included a note on the landscape plan that all plants will be irrigated by a fully automated, permanent irrigation system.

Fiscal Impact:

None.

Committee Options:

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

If the Landscape Review Committee finds the proposed planting plan to be adequate, staff recommends that the plan be approved with the conditions listed below.

1. That the applicant shall install landscaping as shown on the submitted landscape plan dated March 22, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
3. That the applicant shall plant one (1) Paperbark Maple (*Acer griseum*) in the landscape bed adjacent to Highway 99W and to the west of the western driveway, and shall also plant three (3) Paperbark Maple (*Acer griseum*) trees, spaced 30 feet apart on center, in the landscape bed

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Commercial Building at 540 NE Highway 99W

adjacent to Highway 99W and between the site's two (2) driveways. The trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade.

4. That the trees planted adjacent to the Highway 99W sidewalk, as required in Condition #3 above, shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree. The root barrier protection shall be placed in 10-foot lengths, centered on the trees, and to a depth of eighteen (18) inches. In addition, the trees shall be provided with deep watering tubes to promote deep root growth (see enclosed detail). The applicant is encouraged to also install the root barrier protection on the drive thru aisle and parking lot sides of the trees.
5. That the applicant shall maintain proper clearances around the future water meter that will be located near the Highway 99W property line and on the east side of the private sidewalk that will connect to the public sidewalk on Highway 99W. Landscaping shall not be placed in locations that will cause plants to eventually grow within one (1) foot of water meters. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
6. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 38-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

CD:sjs

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for a New Commercial Building at 540 NE Highway 99W



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
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MCMINNVILLE, OR 97128

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**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF LANDSCAPE PLAN FOR A NEW
COMMERCIAL BUILDING AT 540 NE HIGHWAY 99W**

DOCKET: L 38-17

REQUEST: The applicant requested the approval of a landscape plan for a new commercial building being constructed within the site of an existing shopping center. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

LOCATION: The subject property is located at 540 NE Highway 99W, and is more specifically described as Tax Lot 400, Section 16CB, T. 4 S., R. 4 W., W.M.

ZONING: C-3 (General Commercial)

APPLICANT: Melinda VerMeer on behalf of HFT Mayfair, LLC

STAFF: Chuck Darnell, Associate Planner

**DATE DEEMED
COMPLETE:** September 19, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: October 18, 2017. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL** of the landscape plan (L 38-17) **subject to the conditions of approval provided in this document.**

////////////////////////////////////

DECISION: APPROVAL WITH CONDITIONS

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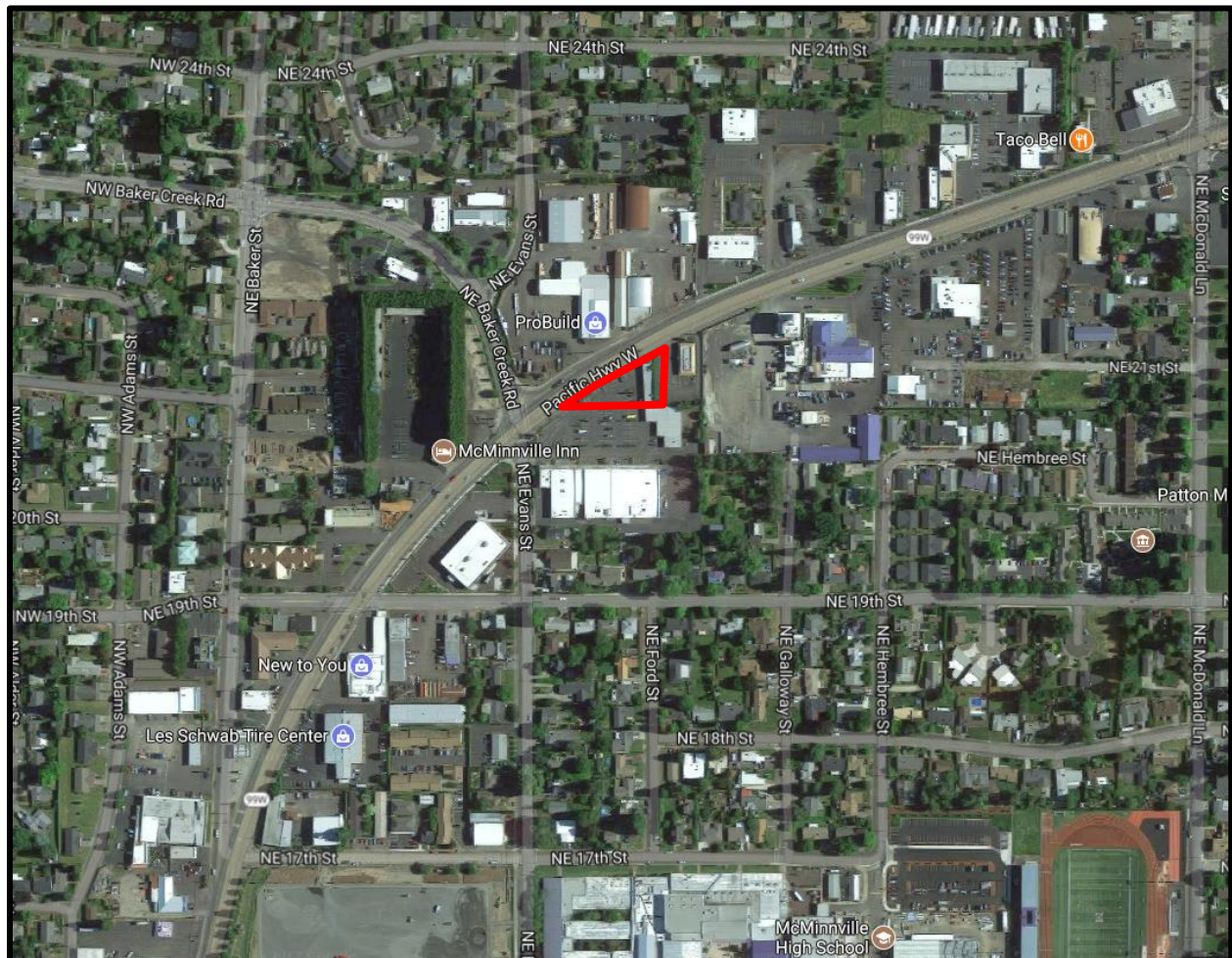
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Date: _____

APPLICATION SUMMARY:

The applicant requested the approval of a landscape plan for a new commercial building being constructed within the site of an existing shopping center. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance.

The subject site can be seen below as a red outlined area:

**CONDITIONS OF APPROVAL:**

L 38-17 is **approved** subject to the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan dated March 22, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
3. That the applicant shall plant one (1) Paperbark Maple (*Acer griseum*) in the landscape bed adjacent to Highway 99W and to the west of the western driveway, and shall also plant three

Attachments:

Attachment 1 – Application for Landscape Plan Review

- (3) Paperbark Maple (*Acer griseum*) trees, spaced 30 feet apart on center, in the landscape bed adjacent to Highway 99W and between the site's two (2) driveways. The trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade.
4. That the trees planted adjacent to the Highway 99W sidewalk, as required in Condition #3 above, shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree. The root barrier protection shall be placed in 10-foot lengths, centered on the trees, and to a depth of eighteen (18) inches. In addition, the trees shall be provided with deep watering tubes to promote deep root growth (see enclosed detail). The applicant is encouraged to also install the root barrier protection on the drive thru aisle and parking lot sides of the trees.
 5. That the applicant shall maintain proper clearances around the future water meter that will be located near the Highway 99W property line and on the east side of the private sidewalk that will connect to the public sidewalk on Highway 99W. Landscaping shall not be placed in locations that will cause plants to eventually grow within one (1) foot of water meters. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
 6. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

ATTACHMENTS:

1. Application for Landscape Plan Review

COMMENTS:

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT

1. Melinda VerMeer on behalf of HFT Mayfair, LLC submitted a landscape plan review application to install landscaping around a new commercial building being constructed on the property at 540 NE Highway 99W. The property is more specifically described as Tax Lot 400, Section 16CB, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval
4. A public meeting was held by the Landscape Review Committee on October 18, 2017 to review the application and proposed landscape plan. No comments in opposition were provided by the public prior to the public meeting.

CONCLUSIONARY FINDINGS:**McMinnville's Comprehensive Plan:**

Attachments:

Attachment 1 – Application for Landscape Plan Review

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL VI 1: TO ENCOURAGE DEVELOPMENT OF A TRANSPORTATION SYSTEM THAT PROVIDES FOR THE COORDINATED MOVEMENT OF PEOPLE AND FREIGHT IN A SAFE AND EFFICIENT MANNER.

Policy 122.00: The City of McMinnville shall encourage the following provisions for each of the three functional road classifications:

1. *Major, minor arterials.*
–Landscaping should be encouraged along public rights-of-way.
2. *Major, minor collectors.*
–Landscaping should be encouraged along public rights-of-way.
3. *Local Streets*
–Landscaping should be encouraged along public rights-of-way.

Finding: Goal VI 1 and Policy 122.00 are satisfied in that trees will be installed along the public right-of-way along Highway 99W as required by a condition of approval. The trees will not be located in the public right-of-way, but will be placed along the property lines so that they are visible from the public right-of-way and provide screening of the use from the public right-of-way.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.57.010 Purpose and intent. The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. [...]

Finding: The landscape plan as proposed would enhance the appearance of the city and will benefit the economic, ecological, and aesthetic environment of the city. The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below.

Attachments:

Attachment 1 – Application for Landscape Plan Review

17.57.030 Zones where required. Landscaping shall be required in the following zones except as otherwise noted: [...]

D. C-3 (General Commercial zone)

Finding: The subject site is zoned C-3 (General Commercial), and landscaping is being provided as required.

17.57.050 Plans—Submittal and review—Approval—Time limit for completion.

C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;

Finding: The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below. Modifications as required by the conditions of approval will be discussed with the applicant and agreed to prior to the issuance of a building permit.

17.57.070 Area Determination—Planning factors.

A. Landscaping shall be accomplished within the following ranges:

2. Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

Finding: The landscape plan as proposed shows over 12 percent of the portion of the site that is being developed as landscaped area. The overall site that includes the entire shopping center is also landscaped in excess of seven (7) percent.

B. The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

Finding: The subject site is a larger parcel that operates as a commercial shopping center. The new building that will be constructed will be on the northern portion of the site, close to Highway 99W. The new building is being constructed in place of previous parking space and an older commercial building that was recently demolished. The new building will include a drive thru that wraps the new building and will run between the building and Highway 99W. The accesses to the overall shopping center will also be reconfigured to allow for adequate circulation and traffic patterns through the site and to the new building.

The applicant is proposing to install new landscaping around the new building and the reconfigured entrances. At each access to Highway 99W, landscape beds will be installed that will include a variety of shrubs and grasses. The landscape beds will continue along the access drive aisles, and will continue along the entire Highway 99W frontage on the north side of the new building. Primarily, the planting plan shows a continuous row of Francis Mason Glossy Abelia (*Abelia x grandiflora* 'Francis Mason'), planted three (3) feet apart on center. This row of Abelia will provide continuous landscaping around the new access aisles and the drive thru aisle. Abelia shrubs can also tolerate

Attachments:

Attachment 1 – Application for Landscape Plan Review

full sun, which much of the landscape beds will be exposed to. The variety of shrubs and grasses will be installed at more prominent locations near the entrances to the site, and will include Glossy Abelia, Karen Azalea, Karl Foerster Feather Reed Grass, and Mexican Feather Grass. Variegated Lily Turf will be installed at two (2) feet apart on center in the remaining areas of the landscape beds to fill out the planting areas.

In addition to the smaller shrubs and grasses, the applicant is proposing to install two (2) different species of trees. In the landscape beds closer to the entry drive aisles, Red Rocket Maple (*Acer rubrum* 'Red Rocket') trees will be installed. The Red Rocket Maple tree is a columnar variety that will grow to a mature height of about 35 feet with a narrower canopy width of about eight (8) feet, which is suitable for the proposed locations adjacent to drive aisles.

The other species of tree being installed are Paperbark Maple (*Acer griseum*) trees. These trees will predominately be planted in planting islands within the parking areas south of the new building. The Paperbark Maple trees were chosen to be consistent with the species of trees that was installed on the site recently when the parking lot on the shopping center site was reconstructed. The Paperbark Maple will not grow as large as some other maple varieties, reaching a mature height of only 20-30 feet, but the canopy will be slightly larger at 15-25 feet. This will provide for some shade in the parking areas.

The proposed planting pattern is very similar to the treatment of the remainder of the shopping center site. The upgrades to the parking lot landscaping, which were installed in 2014 (L 14-14) included a single row of shrubs along the property line with groundcover grasses in front of the shrubs. The proposed planting plan will carry on that same design. The use of common species that were also used during the 2014 landscaping upgrade, including Paperbark Maple and Karl Foerster Feather Reed Grass, will ensure the new landscaping is compatible with the overall landscaping of the shopping center site. Therefore, the proposed planting plan is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

Finding: The applicant is proposing to install a continuous row of Francis Mason Glossy Abelia along the property's frontage on Highway 99W, and also along the perimeter of the site and the access drive aisles. This continuous row of shrubs will not provide for significant screening, but will provide buffering between the sidewalk and the proposed drive aisle for the drive thru. Denser plantings with a variety of shrubs and a few columnar Red Rocket Maple trees will be installed near the entrances to the site, which will provide for additional screening at these locations while also keeping clear of clear vision areas at intersections. The existing planting pattern along Highway 99W included Paperbark Maple trees within the landscape bed between the parking lot and the sidewalk. This design was not carried forward in the proposed plan, but would provide for additional screening of the new building if included. Therefore, a condition of approval has been included to add one (1) Paperbark Maple tree in the landscape bed between the parking lot and sidewalk to the west of the western driveway, and to add three (3) Paperbark Maple trees, spaced 30 feet apart on center, in the landscape bed between the drive thru aisle and the sidewalk between the site's two (2) driveways.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

Finding: The portions of the existing landscaping that are being impacted were required to do so to allow for the demolition and reconstruction of the new building. The applicant has limited the scope of work to the extent possible to maintain most of the landscaping within the shopping center parking lot,

Attachments:

Attachment 1 – Application for Landscape Plan Review

but some of the existing landscaping did need to be removed. The proposed planting plan includes the replacement of the landscaping material that was lost, and has been designed to be compatible with the existing landscaping on the overall site.

4. The development and use of islands and plantings therein to break up parking areas.

Finding: The proposed landscape plan includes the reconstruction of planting islands within the parking areas. These planting islands will now be the northern caps to the rows of parking stalls in the large parking area to the south of the new building. The applicant is proposing to install two (2) Paperbark Maple trees in each planting island, which will provide for shade in the parking area and break up the larger expanse of asphalt. The applicant is also proposing to install ornamental grasses in each planting island, which is a consistent design used in the other planting islands in the parking lot that were created during the landscaping upgrade in 2014.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

Finding: The landscape plan does not include the installation of street trees, as there is no dedicated planting strip created along the property's Highway 99W frontage.

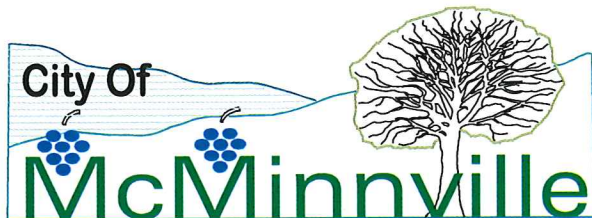
6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

Finding: The applicant has included a note on the landscape plan that all plants will be irrigated by a fully automated, permanent irrigation system.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Finding: A condition of approval will require that all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

CD:sjs



Planning Department

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

www.mcminnvilleoregon.gov

Office Use Only:

File No. L38-17

Date Received 9-14-17

Fee 145.00

Receipt No. 17md98

Received by SP

Landscape Plan Review Application

Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☒ Other Architect

Applicant Name Baysinger Partners Architecture Phone 503-546-1609

Contact Name Melinda VerMeer Phone _____

(If different than above)

Address 1006 SE Grand Ave, Suite 300

City, State, Zip Portland, OR 97214

Contact Email melindav@baysingerpartners.com

Property Owner Information

Property Owner Name HFT Mayfair, LLC Phone _____

(If different than above)

Contact Name Michael Horwitz Phone _____

Address 4260 SW Galewood St, Suite A

City, State, Zip Lake Oswego, OR 97035

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 540 NW Highway 99W

Assessor Map No. R4416 - CB-00100 Total Site Area 165,720 sf site

Subdivision _____ Block _____ Lot _____

Comprehensive Plan Designation HHB Com Zoning Designation C-3


Landscaping Information

1. Total Landscaped Area: 5,350 within area of work 8,705 over total site
2. Percent Landscaped: 12.42% of total 35,997sf site area of work 5.25% of total 165,720sf site
3. Building Floor Area:
New Structure: 4,701 Existing Structure: 9,706 (demolished)
38,872 (remaining) Addition: _____
4. Architect Name AAI Engineering Phone 503-352-7685
(Landscape Architect, Engineer, or Other Designer)
Contact Name Yoshifumi Yano Phone _____
Address 4875 SW Griffith Dr, Suite 300
City, State, Zip Beaverton, OR 97005
Contact Email yoshiy.aaieng.com

In addition to this completed application, the applicant must provide the following:

- ☒ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- ☒ Payment of the applicable review fee, which can be found on the Planning Department web page.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.



Applicant's Signature

8/30/17

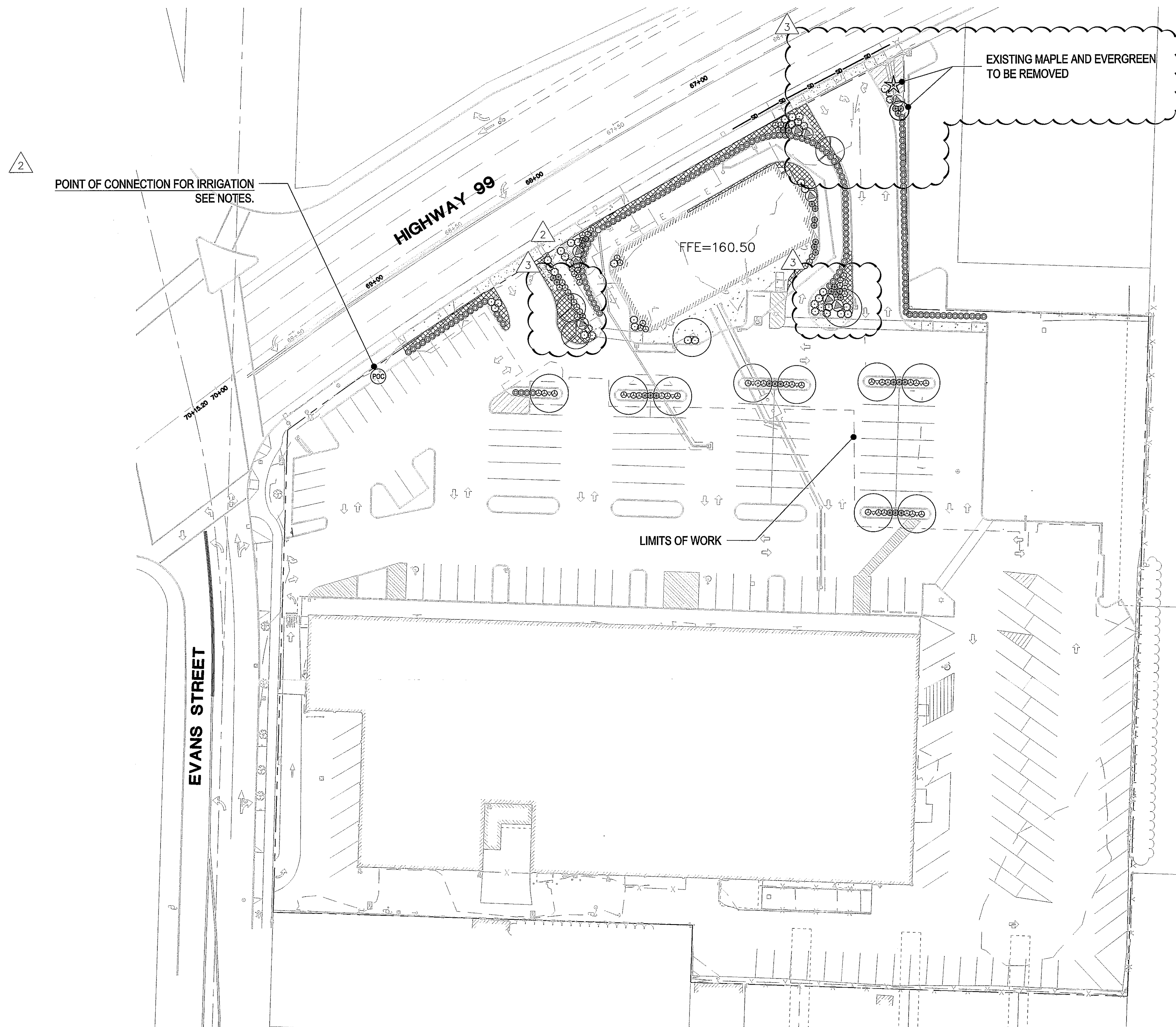
Date



Property Owner's Signature

8/30/17

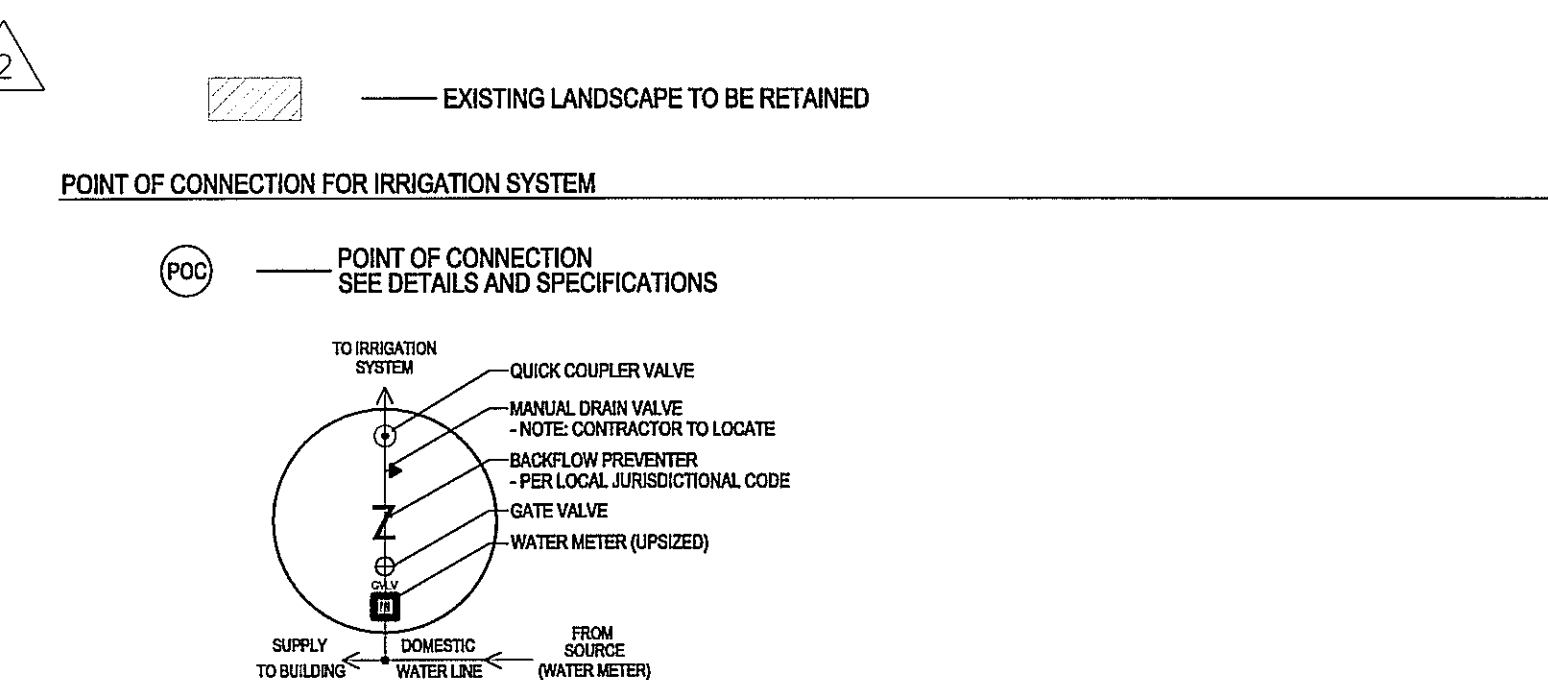
Date



PLANTING LEGEND

QUANTITIES ARE FOR OVERALL SITE

TREES	QTS.	SCIENTIFIC NAME / COMMON NAME	1
			L1.1
3		ACER GRiseum / PAPERBARK MAPLE 2" CAL. B&B, WELL BRANCHED, LIMBED TO 6'	
		ACER RUBRUM 'RED ROCKET' / RED ROCKET MAPLE 2" CAL. B&B, WELL BRANCHED, LIMBED TO 6'	
		— EXISTING TREE TO BE REMOVED	
SHRUBS			2
			L1.1
		ABELIA X GRANDIFLORA / GLOSSY ABELIA 2 GAL. CONT., FULL PLANTS, 6" O.C.	
		ABELIA X GRANDIFLORA 'FRANCIS MASON' / FRANCIS MASON GLOSSY ABELIA 2 GAL. CONT., FULL PLANTS, 3' O.C.	
		AZALEA X 'KAREN' / KAREN AZALEA 2 GAL. CONT., FULL PLANTS, 4' O.C.	
ORNAMENTAL GRASSES			3
			L1.1
		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS 2 GAL. CONT., FULL PLANTS, 3' O.C.	
		NASSELLA TENUISSIMA / MEXICAN FEATHER GRASS 2 GAL. CONT., FULL PLANTS, 3' O.C.	
GROUNDCOVERS			3
			L1.1
		LIRIOPE MUSCARI 'VARIEGATA' / VARIEGATED LITY TURF 1 GAL. CONT., FULL PLANTS, 24" O.C.	



NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF MCMINNVILLE STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF MCMINNVILLE STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS.
- PLANTS IN PARKING PERIMETER AND ISLANDS SHALL BE CONSISTENT WITH EXISTING PLANTS. CONTRACTOR SHALL EXAMINE THE SPECIES OF EXISTING TREES, SHRUBS AND GROUNDCOVERS IN THESE AREAS AND NOTIFY THE OWNER IF THERE IS A DISCREPANCY BETWEEN THE PROPOSED PLANTS AND THE EXISTING ONES.
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL DESIGN TO MODIFY THE EXISTING IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL.
- THE MODIFIED IRRIGATION SYSTEM SHALL BE CONNECTED TO THE EXISTING POINT OF CONNECTION SHOWN ON THE PLAN.
- CONTRACTOR SHALL COORDINATE WITH THE CITY AND UPSIZE THE EXISTING WATER METER FROM 5/8" TO 1".
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED MATERIALS ACCORDING TO CITY STANDARDS AND ALL OTHER REGULATIONS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

NORTH
LANDSCAPE PLAN
SCALE 1" = 30'



MAYFAIR PLAZA SHOPPING CENTER

B
BAYSINGER PARTNERS ARCHITECTURE
1006 SE GRANDE AVENUE, SUITE 300, PORTLAND, OR 97214
PHONE: 503-346-1600 FAX: 503-346-1601
EMAIL: melinda@BaysingerPartners.com

AAI **aligan associates, inc.**
ENGINEERING
4050 SE 26th Avenue, Suite 100, Portland, OR 97202
503.822.2000 FAX 503.822.2009 Web: www.aligan.com
Project No. 16827.11

REGISTERED
599
Joseph W. Gass
LANDSCAPE ARCHITECT
04/13/06

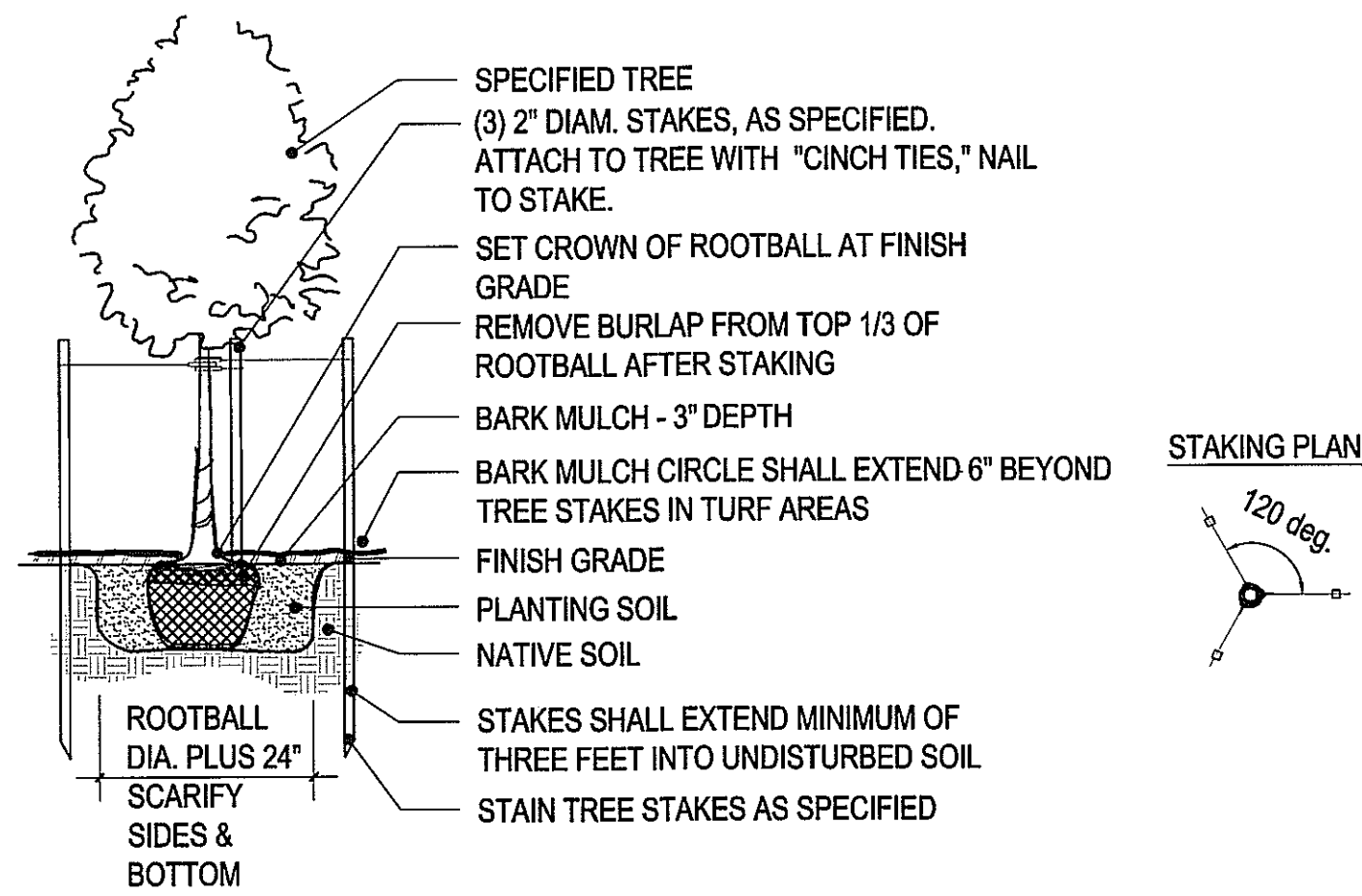
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ISSUED/REVISED DATE

ORIGINAL ISSUE DATE: 03/22/2017
DRAWN BY: YYN CHECKED BY: YYN

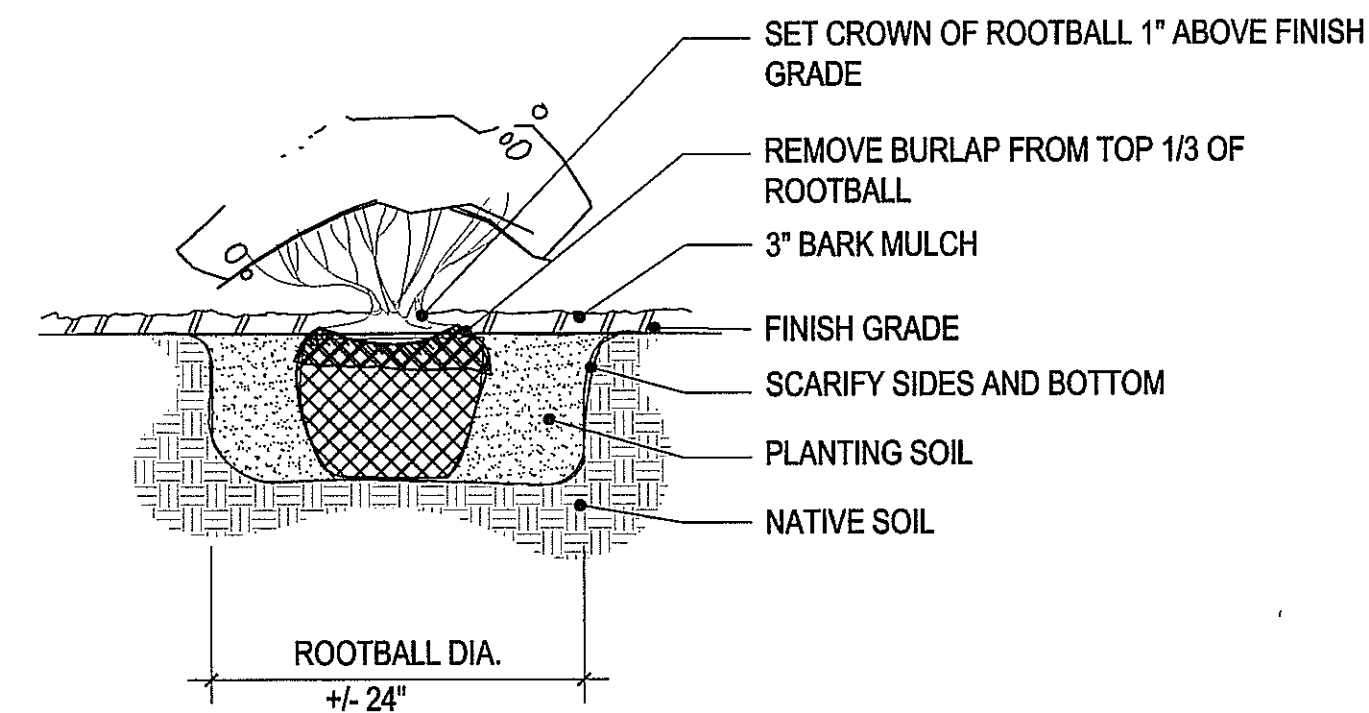
LANDSCAPE
PLAN

L1.0



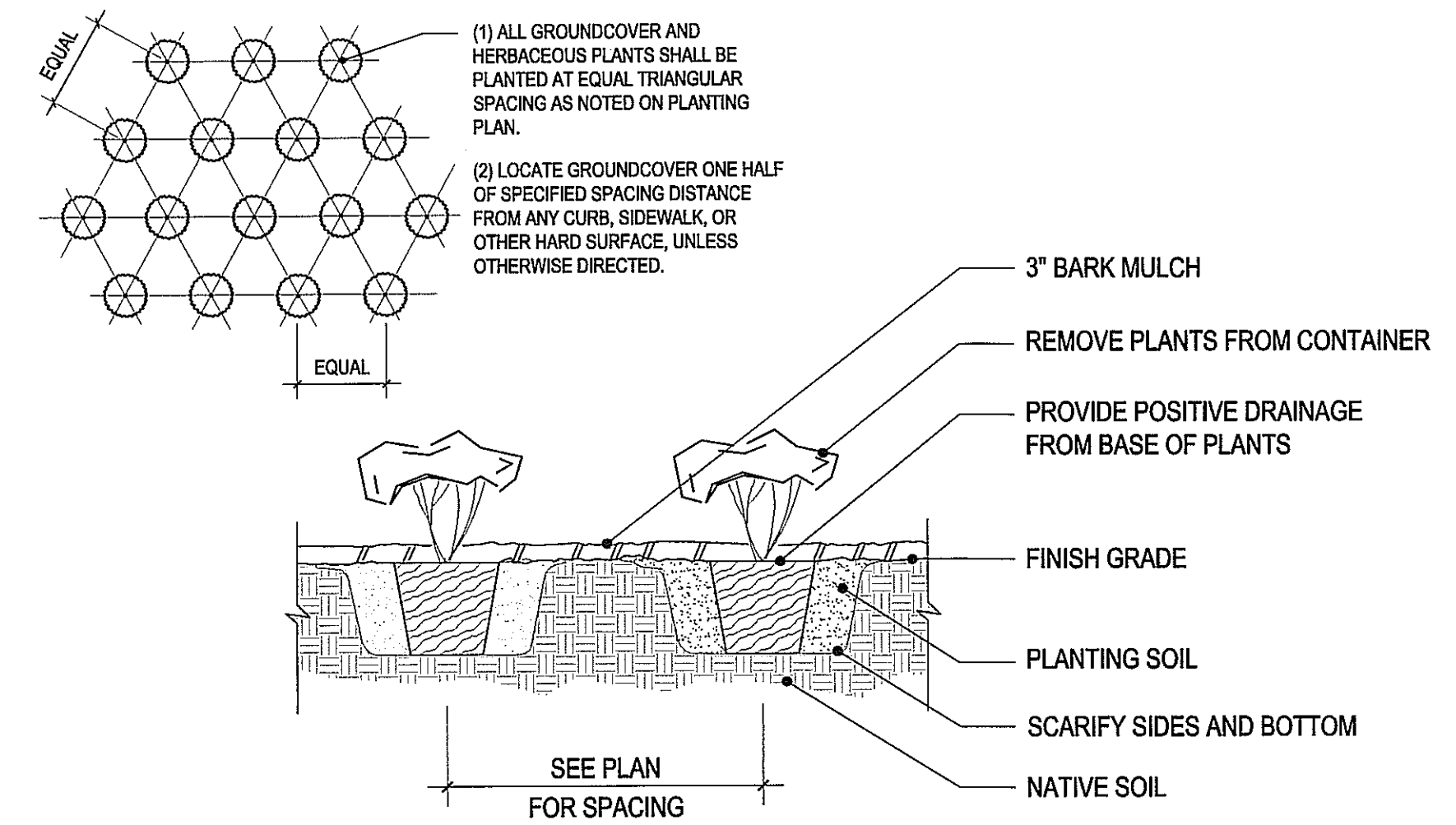
1 DECIDUOUS TREE PLANTING
L1.1 SCALE: NTS

SECTION



2 SHRUB PLANTING
L1.1 SCALE: NTS

SECTION



3 GROUNDCOVER AND HERBACEOUS PLANT PLANTING
L1.1 SCALE: NTS

PLAN/SECTION

MAYFAIR PLAZA SHOPPING CENTER

B
BAYSINGER PARTNERS ARCHITECTURE
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PHONE: 503-546-1600 FAX: 503-546-1601
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599
LANDSCAPE ARCHITECT
OREGON
04/13/06

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ISSUED/REVISED DATE

ORIGINAL ISSUE DATE: 03/22/2017
DRAWN BY: YYN CHECKED BY: YYN

LANDSCAPE
DETAILS

L1.1



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

EXHIBIT 5 - STAFF REPORT

DATE: October 18, 2017
TO: McMinnville Landscape Review Committee
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4E: L 39-17

Report in Brief:

An application for a tree removal (L 39-17) to be reviewed by the Landscape Review Committee.

Background:

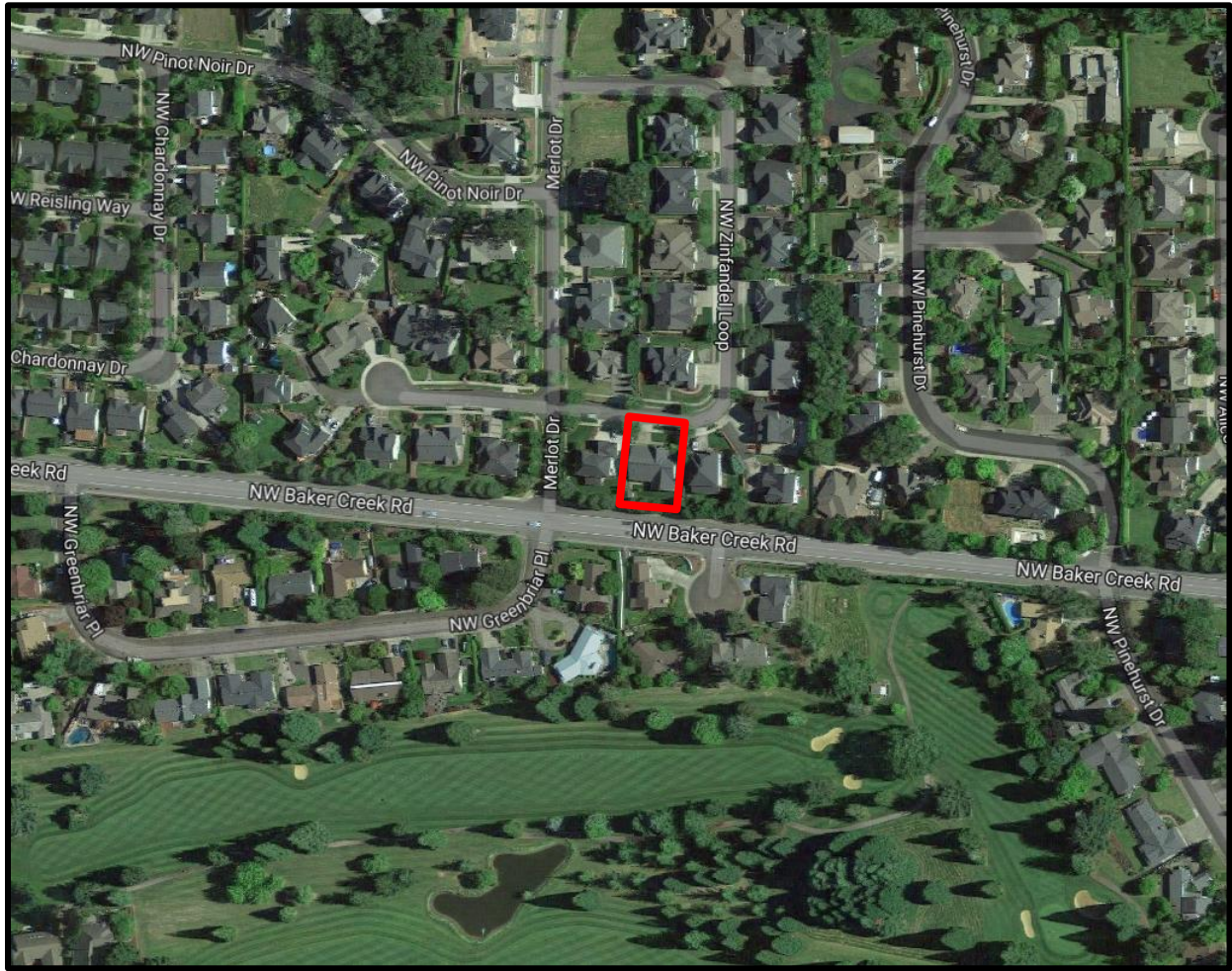
The applicant, Patrick Hawkins, submitted a street tree removal application to remove one (1) street tree from the property located at 2446 NW Zinfandel Loop. The subject property is more specifically described as Tax Lot 5900, Section 17BA, T. 4 S., R. 4 W., W.M.

Discussion:

The subject property is a single family property in the Compton Crest subdivision, north of Baker Creek Road. The subject site can be seen below as a red outlined area:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2446 NW Zinfandel Loop



The applicant is requesting the removal of one (1) street tree due to the tree impacting adjacent public infrastructure. The tree in question is a maple variety that measures approximately 11 inches in diameter at breast height. The applicant has provided photos that show roots encroaching on the water meters that it is planted adjacent to as evidence of the tree impacting adjacent infrastructure.

The applicant did not propose any tree replacement in their application.

Review Criteria:

Section 17.58.050 (Review Criteria) of the McMinnville Zoning Ordinance states that street tree removals may be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist. Verification of tree health may be required, at the expense of the applicant, by a Certified Arborist acceptable to the City.

The tree in question is not unsafe, dead, or diseased, so this review criteria is not applicable. The tree itself does not show any obvious signs of structural or health issues that would require its removal.

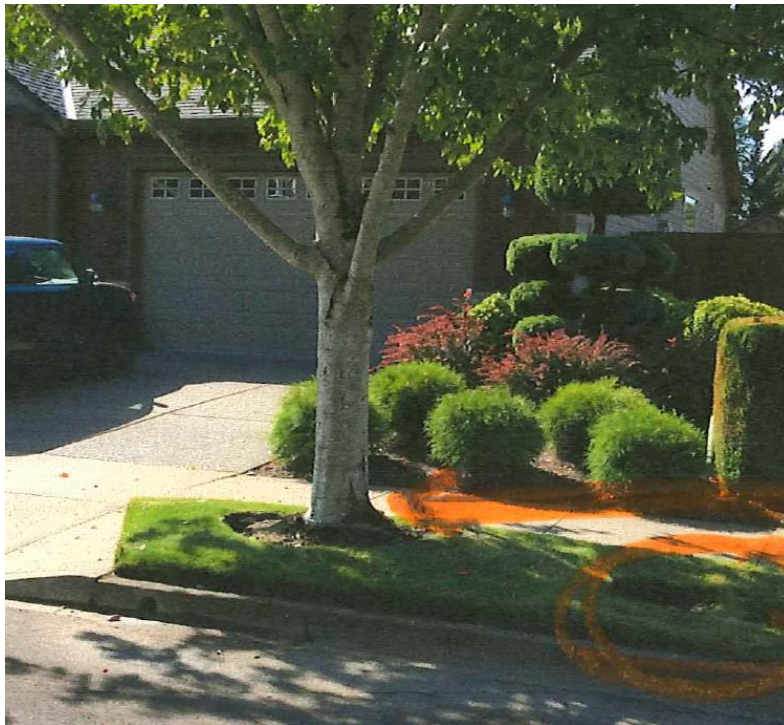
- B. The tree is in conflict with public improvements.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2446 NW Zinfandel Loop

The applicant has argued that the tree is impacting the adjacent water meters that provide service to the subject property and the adjacent property. The tree roots have begun to encroach and surround the water meters. The applicant has concerns that the roots will begin to damage the water meter and lines serving the two properties.

Also, upon inspecting the site it was determined that the tree was planted in a location that would not meet current street tree planting standards. The trunk of the tree is only about three (3) feet from the driveway, and only about four (4) feet from the water meter serving the property. The street tree standards in Section 17.58.090(E) of the McMinnville Zoning Ordinance normally require that street trees be planted at least five (5) feet from a driveway and at least ten (10) feet from a water meter. A photo of location of the tree and the proximity to the existing utilities and improvements is provided below:



Based on the encroachment of the roots onto the water meter, and the fact that the tree is not planted in a suitable location, the tree removal request meets this criteria. The roots haven't actually caused damage, but will likely do so in the near future and the applicant is attempting to address the issue before the damage actually occurs.

- C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.

This criteria is not applicable, as the tree is not part of an approved development or public improvement project.

- D. A street tree within the downtown tree zone may also be removed if the Planning Director determines that the tree is causing repeated and excessive damage to sidewalks or other public or private improvements or structures.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2446 NW Zinfandel Loop

This criteria is not applicable, as the tree in question is not located within the downtown tree zone.

Tree Replacement:

Section 17.58.040(D) (Tree Removal/Replacement) of the McMinnville Zoning Ordinance states that “Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value.”

The applicant did not propose to replace the street tree as part of their application. The planting strip where the tree that is proposed to be removed is located cannot accommodate a replacement tree, based on the proximity of improvements and the inability to meet required setbacks, as described in more detail above.

On the opposite side of the driveway, there is a longer stretch of planting strip adjacent to the subject property that could accommodate a replacement tree. Therefore, staff is recommending that two (2) replacement trees be planted on this property, should the Landscape Review Committee approve the tree removal request. The approved street tree plan for this subdivision (L 23-04) did identify two (2) street trees adjacent to the subject property, so the two (2) replacement trees would be more consistent with the street tree plan. The plan identified the species for this street as Red Sunset Maple (*Acer rubrum* ‘Red Sunset’).

A photo of the planting strip on the opposite side of the property is provided below:

**Fiscal Impact:**

None.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2446 NW Zinfandel Loop

Committee Options:

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

Based on the findings described above, staff is recommending that the street tree removal be approved with the following conditions:

1. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
2. That the tree's stumps and remaining surface roots shall be removed at least six (6) inches below grade.
3. The applicant shall use caution when removing the tree and the roots. The applicant shall take care to not come into contact with the buried primary and secondary power facilities or the water meters, and the applicant shall contact McMinnville Water and Light at (503) 472-6158 if there are any conflicts with these facilities during the tree removal or replanting.
4. That the applicant shall plant two (2) street trees in place of the tree being removed. The replacement trees shall be Red Sunset Maple (*Acer rubrum* 'Red Sunset') trees, and shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade. One (1) tree shall be planted six (6) feet from the east edge of the driveway, and the other tree shall be planted 24 (twenty-four) feet to the east of the first tree. This spacing will ensure adequate spacing from all improvements and utilities (driveway, sewer lateral, and streetlight) within the planting strip east of the driveway.
5. That the replacement trees shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the trees and the curb side of the trees. The root barrier protection shall be placed in 10-foot lengths, centered on the trees, and to a depth of eighteen (18) inches. In addition, the trees shall be provided with deep watering tubes to promote deep root growth (see enclosed detail).
6. That the applicant shall contact the McMinnville Public Works Superintendent, David Renshaw, at (503) 434-7316 to discuss specific staking, watering tube requirements, and to schedule a planting inspection prior to backfilling.
7. That the applicant is reminded that trees are not to be planted within:
 - a. Five (5) feet of a private driveway or alley;
 - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
 - c. Twenty (20) feet of street light standards or street intersections.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2446 NW Zinfandel Loop

8. That the planter areas shall be restored to original grade immediately following the planting of the replacement trees.
9. That all costs and liability associated with the tree removal and replacement shall be borne by the applicant.
10. That the applicant shall complete the removal within six (6) months of this approval notification, or April 18, 2018.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 39-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

CD:sjs

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2446 NW Zinfandel Loop



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311
www.mcminnvilleoregon.gov

**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF A STREET TREE REMOVAL AT 2446
NW ZINFANDEL LOOP**

DOCKET: L 39-17 (Street Tree Removal)

REQUEST: The applicant requested the removal of a street tree. The removal of a tree within the public right-of-way requires City approval.

LOCATION: The subject property is located at 2446 NW Zinfandel Loop. The subject property is more specifically described as Tax Lot 5900, Section 17BA, T. 4 S., R. 4 W., W.M

ZONING: R-1 (Single Family Residential)

APPLICANT: Patrick Hawkins

STAFF: Chuck Darnell, Associate Planner

**DATE DEEMED
COMPLETE:** September 19, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: October 18, 2017. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL** of the street tree removal (L 39-17) **subject to the conditions of approval provided in this document.**

////////////////////////////////////

DECISION: APPROVAL WITH CONDITIONS

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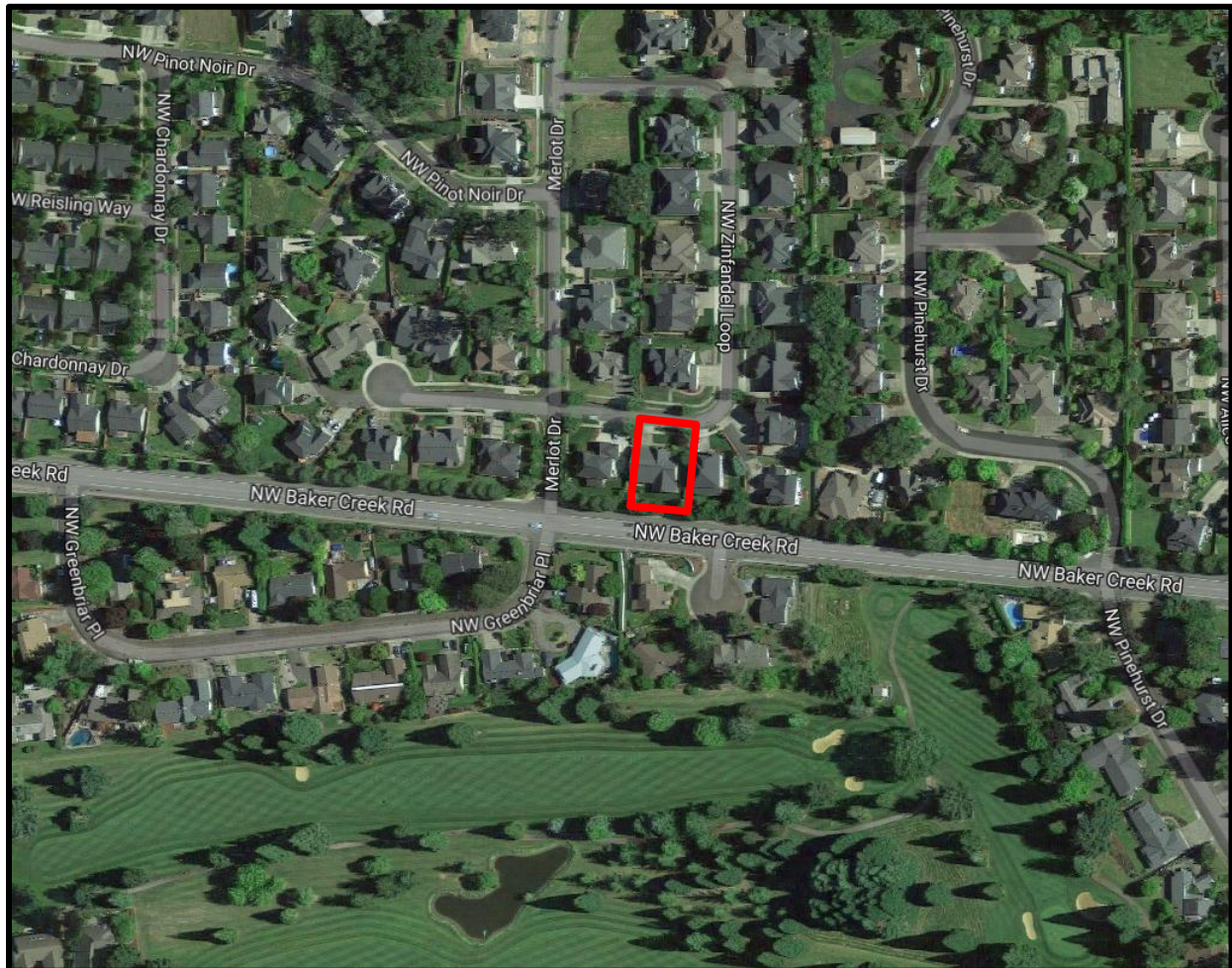
Date: _____

Date: _____

APPLICATION SUMMARY:

The applicant requested the removal of a street tree. The removal of a tree within the public right-of-way requires City approval.

The subject site can be seen below as a red outlined area:



The applicant requested the removal of one (1) street tree due to the tree impacting adjacent public infrastructure. The tree in question is a maple variety that measures approximately 11 inches in diameter at breast height. The applicant provided photos that show roots encroaching on the water meters that it is planted adjacent to as evidence of the tree impacting adjacent infrastructure.

CONDITIONS OF APPROVAL:

L 39-17 is **approved** subject to the following conditions:

1. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
2. That the tree's stumps and remaining surface roots shall be removed at least six (6) inches below grade.

Attachments:

Attachment 1 – Application for Street Tree Removal

3. The applicant shall use caution when removing the tree and the roots. The applicant shall take care to not come into contact with the buried primary and secondary power facilities or the water meters, and the applicant shall contact McMinnville Water and Light at (503) 472-6158 if there are any conflicts with these facilities during the tree removal or replanting.
4. That the applicant shall plant two (2) street trees in place of the tree being removed. The replacement trees shall be Red Sunset Maple (*Acer rubrum* 'Red Sunset') trees, and shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade. One (1) tree shall be planted six (6) feet from the east edge of the driveway, and the other tree shall be planted 24 (twenty-four) feet to the east of the first tree. This spacing will ensure adequate spacing from all improvements and utilities (driveway, sewer lateral, and streetlight) within the planting strip east of the driveway.
5. That the replacement trees shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the trees and the curb side of the trees. The root barrier protection shall be placed in 10-foot lengths, centered on the trees, and to a depth of eighteen (18) inches. In addition, the trees shall be provided with deep watering tubes to promote deep root growth (see enclosed detail).
6. That the applicant shall contact the McMinnville Public Works Superintendent, David Renshaw, at (503) 434-7316 to discuss specific staking, watering tube requirements, and to schedule a planting inspection prior to backfilling.
7. That the applicant is reminded that trees are not to be planted within:
 - a. Five (5) feet of a private driveway or alley;
 - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
 - c. Twenty (20) feet of street light standards or street intersections.
8. That the planter areas shall be restored to original grade immediately following the planting of the replacement trees.
9. That all costs and liability associated with the tree removal and replacement shall be borne by the applicant.
10. That the applicant shall complete the removal within six (6) months of this approval notification, or April 18, 2018.

ATTACHMENTS:

1. Application for Street Tree Removal

COMMENTS:

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT

1. Patrick Hawkins submitted a tree removal application requesting the removal of a street tree. The removal of a tree within the public right-of-way requires City approval. The subject

Attachments:

Attachment 1 – Application for Street Tree Removal

property is located at 2446 NW Zinfandel Loop. The property is more specifically described as Tax Lot 5900, Section 17BA, T. 4 S., R. 4 W., W.M.

2. The site is currently zoned R-1 (Single Family Residential), and is designated as Residential on the McMinnville Comprehensive Plan Map, 1980.
3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. No comments in opposition have been provided, and the comments provided by the Public Works Department and McMinnville Water and Light have been incorporated into the conditions of approval.
4. A public meeting was held by the Landscape Review Committee on October 18, 2017 to review the application and proposed street tree removal request. No comments in opposition were provided by the public prior to the public meeting.

CONCLUSIONARY FINDINGS:

McMinnville's Comprehensive Plan:

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL VI 1: TO ENCOURAGE DEVELOPMENT OF A TRANSPORTATION SYSTEM THAT PROVIDES FOR THE COORDINATED MOVEMENT OF PEOPLE AND FREIGHT IN A SAFE AND EFFICIENT MANNER.

Policy 132.24.00: The safety and convenience of all users of the transportation system including pedestrians, bicyclists, transit users, freight, and motor vehicle drivers shall be accommodated and balanced in all types of transportation and development projects and through all phases of a project so that even the most vulnerable McMinnville residents – children, elderly, and persons with disabilities – can travel safely within the public right-of-way. [...]

Finding: GOAL VI 1 and Policy 132.24.00 are satisfied in that the tree removal will not cause the sidewalk or other public infrastructure to become damaged, which will prevent safety issues for pedestrians. A condition of approval has been included to require two (2) replacement trees to be planted in place of the tree being removed. Conditions of approval are included to ensure that the replacement trees are planted to the City's current standards, which will minimize impacts to surrounding infrastructure in the future.

Policy 132.38.00: Aesthetics and streetscaping shall be a part of the design of McMinnville's transportation system. Streetscaping, where appropriate and financially feasible, including public art, shall be included in the design of transportation facilities. Various streetscaping designs and materials shall be utilized to enhance the livability in the area of a transportation project.

Finding: Policy 132.38.00 is satisfied in that two (2) replacement trees are being required to be replanted in this location. Conditions of approval are included to ensure that the replacement trees are planted to the City's current standards, which will minimize impacts to surrounding infrastructure in the future. The planting of the replacement trees will enhance the streetscape and livability in the surrounding area.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNIVILLE.

Attachments:

Attachment 1 – Application for Street Tree Removal

Policy 188.00: *The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.58.010 Purpose. The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues.

Finding: The approval of the removal request will allow for the removal of a tree that was planted improperly and that will likely cause infrastructure damage and maintenance costs to the adjacent property owner in the future.

17.58.020 Applicability. The provisions of this ordinance shall apply to:

- A. Individual significant or historic trees as defined in this ordinance
- B. All trees planted in or upon any public area or right-of-way;
- C. All trees planted in or upon any private property which directly affect public infrastructure including but not limited to sewers, water mains, sidewalks, streets, public property, or clear vision distances at street intersections;
- D. All trees on developable land and subject or undergoing development review such as site plan review, tentative subdivision review, or partition review.

Finding: The tree being removed is located within the public right-of-way. Therefore, provisions of the Trees chapter of the McMinnville Zoning Ordinance apply and the removal of any tree within the public right-of-way requires City approval.

17.58.040 Tree Removal/Replacement

- A. The removal or major pruning of a tree, if applicable under Section 17.58.020, shall require City approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the McMinnville Planning Department. The applicant shall include information describing the location, type, and size of the subject tree or trees, and the reasons for the desired action, and the costs associated with tree removal, replacement, and repair of any other public infrastructure impacted by the tree removal or major pruning. Requests for tree removal or pruning of trees outside of the Downtown Tree Zone shall be forwarded to the McMinnville Landscape Review Committee for a decision within 30 (thirty) days of submittal. Requests for tree removal within the Downtown Tree Zone shall be submitted to the McMinnville Planning Department. Such requests shall be acted upon as soon as practicable, with consideration

Attachments:

Attachment 1 – Application for Street Tree Removal

given to public safety, value of the tree to the public, and work schedules. The Planning Director or their designee should attempt to make decisions on such requests within five calendar days of submittal. The Landscape Review Committee or Planning Director, as appropriate, may approve, approve with conditions, or deny the request based on the criteria stated in Section 17.58.050. A decision of the committee or Director may be appealed to the Planning Commission if written notice of the appeal is filed with the Planning Department within 15 (fifteen) days of the committee's or Director's decision. A decision made by the Planning Director in response to a request to remove an unsafe tree, or a tree causing repeated and excessive damage to sidewalks or other public or private improvements or structures shall be final, unless appealed by the applicant; no other party shall have standing to appeal.

- B. Trees subject to this ordinance shall be removed or pruned following accepted pruning standards adopted by the City. The Planning Director, after consultation with appropriate city staff and/or a certified arborist, shall direct removal of downtown trees that are identified in a current Downtown Tree Zone inventory assessment as unhealthy, dangerous to the public, inappropriate for the downtown area, or otherwise in need of removal.
- C. The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.
- D. Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value. The value of the existing tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. Every attempt should be made to plant replacement trees in the same general location as the tree being removed. In the event that a replacement tree cannot be planted in the same general location, a condition of approval may be required to allow for the replacement tree to be planted in another location in the City as part of the City's annual tree planting program.
- E. The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.
- F. The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Landscape Review Committee's decision. The Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.
- G. Other conditions may be attached to the permit approval by the McMinnville Landscape Review Committee as deemed necessary.
- H. The planting of street trees shall be subject to the design drawings and specifications developed by the City in May 2014. Specific design drawings and specifications have been developed for trees outside the Downtown Tree Zone. Such design specifications may be periodically updated by the City to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees to minimize the potential for sidewalk / tree root conflict.

Finding: The provisions above are satisfied in that the applicant has requested a street tree removal to be reviewed by the Landscape Review Committee. The provisions related to standards to be followed in removing the tree are included as conditions of approval. A condition of approval has also been included to require two replacement trees to be planted in place of the tree being removed.

Attachments:

Attachment 1 – Application for Street Tree Removal

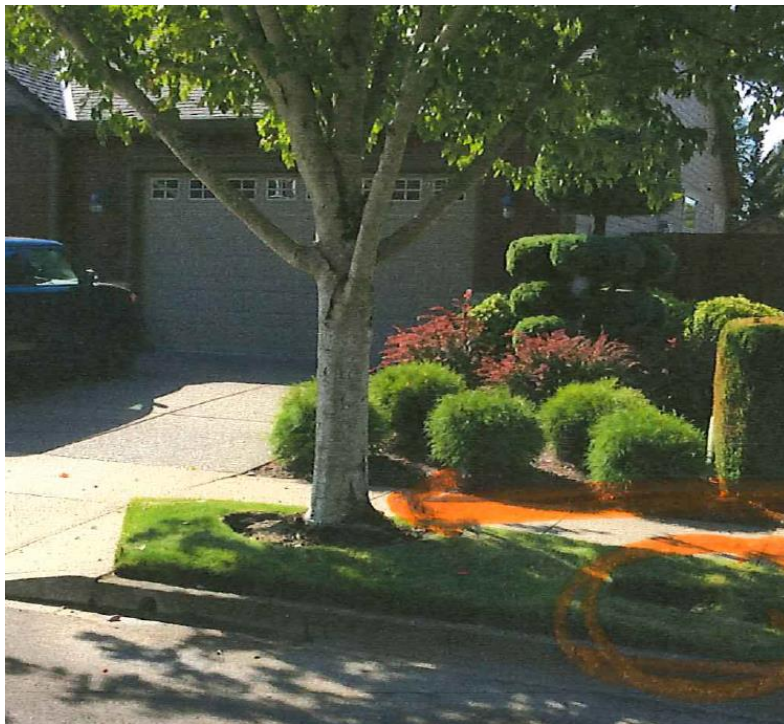
Conditions of approval are included to ensure that the replacement trees are planted to the City's current standards, which will minimize impacts to surrounding infrastructure in the future.

17.58.050 Review Criteria. A permit for major pruning or tree removal shall be granted if any of the following criteria apply: [...]

B. The tree is in conflict with public improvements.

Finding: The tree in question is impacting the adjacent water meters that provide service to the subject property and the adjacent property. The tree roots have begun to encroach and surround the water meters. The applicant has concerns that the roots will begin to damage the water meter and lines serving the two properties.

In addition, upon inspecting the site it was determined that the tree was planted in a location that would not meet current street tree planting standards. The trunk of the tree is only about three (3) feet from the driveway, and only about four (4) feet from the water meter serving the property. The street tree standards in Section 17.58.090(E) of the McMinnville Zoning Ordinance normally require that street trees be planted at least five (5) feet from a driveway and at least ten (10) feet from a water meter. A photo of location of the tree and the proximity to the existing utilities and improvements is provided below:



CD:sjs

**Planning Department**

231 NE Fifth Street • McMinnville, OR 97128
(503) 434-7311 Office • (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:

File No. L 39-17
Date Received 9-14-17
Fee 0
Receipt No. 0
Received by SP

Street Tree Removal

Applicant Information

Applicant is: ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other _____

Applicant Name PATRICK HAWKINS Phone 503-857-5832

Contact Name _____ Phone _____
(If different than above)

Address 2446 NW Zinfandel Loop

City, State, Zip McMinnville, OR 97128

Contact Email phawkins1@frontier.com

Property Owner Information

Property Owner Name _____ Phone _____
(If different than above)

Contact Name _____ Phone _____

Address _____

City, State, Zip _____

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 2446 NW Zinfandel Loop

(Property nearest to tree(s) for removal)

Assessor Map No. R4417BA - 5900 - Total Site Area 9155 sq ft

Subdivision TRACT - 307.01 Compton Crest Block 1 Lot 17

Comprehensive Plan Designation 101 Zoning Designation RESIDENTIAL

Additional Information

1. How many trees are requested for removal? 1
2. What type (species) of tree(s) are they? MAPLE
3. What is the diameter of the tree(s), measured four feet above ground level? 36.25"
4. Why are you requesting the removal of the noted tree(s)? (See "Removal Criteria" on attached Information Sheet.) Explain which of the criteria is addressed through this application.
The Tree was planted Adjacent to 2 Water Mains. The Tree Roots ARE growing Around the Water Mains. They will eventually surround the water Main as they have the sprinklers in this area & Break it. Trees were planted by Developer without regard to ultimate impact to water Mains. The whole Area Around the tree is at least 3" higher than the sidewalk now due to roots.

In addition to this completed application, the applicant must provide the following:

- ☐ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the location of the tree(s) subject to the removal request, property lines, sidewalks, adjacent utilities (including overhead), north direction arrow, and adjacent streets.
- ☐ Arborist report, photographs, and/or other information which would help substantiate or clarify your request.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

[Signature]
Applicant's Signature

9/14/17
Date

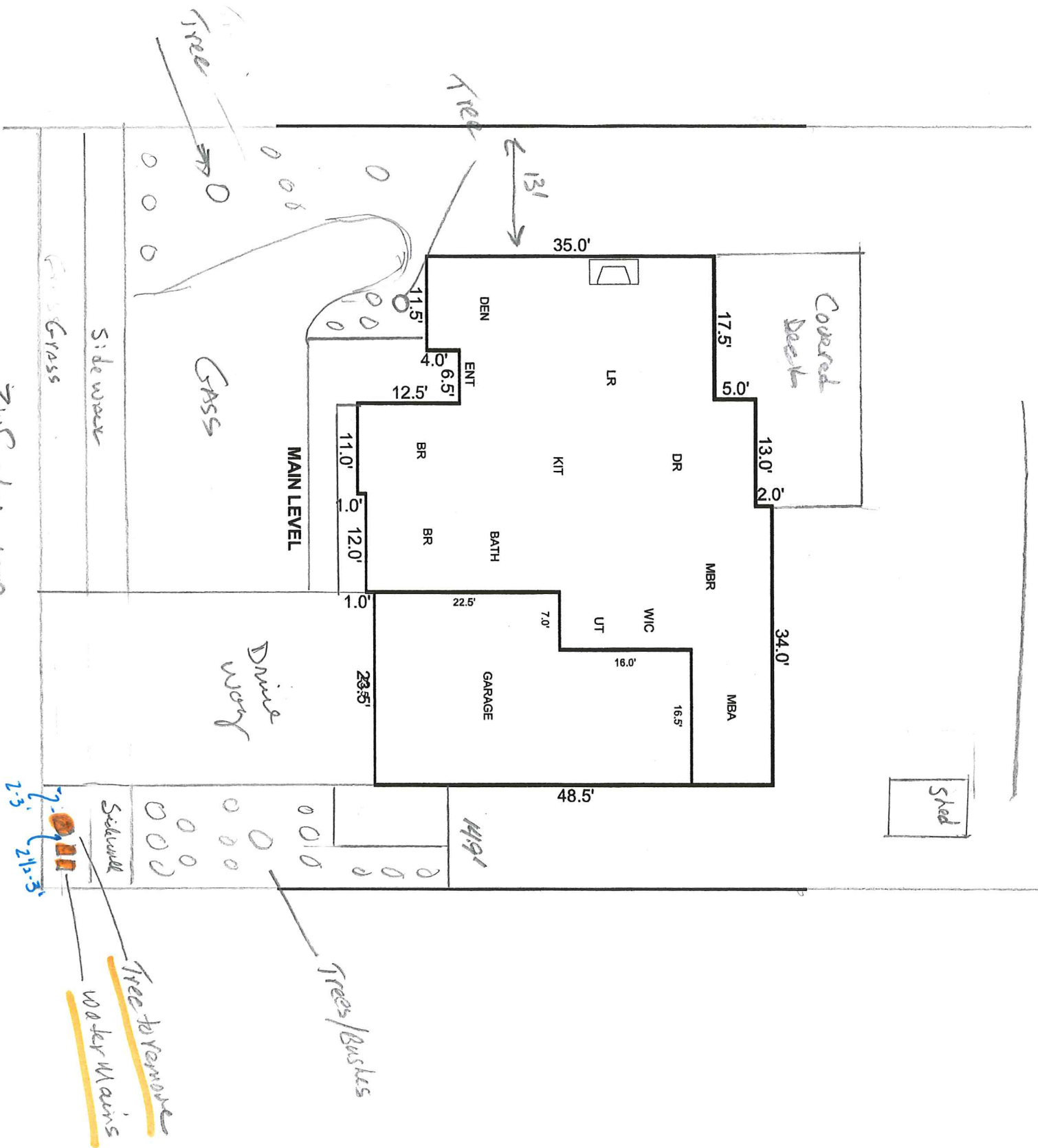
[Signature]
Property Owner's Signature

9/14/17
Date

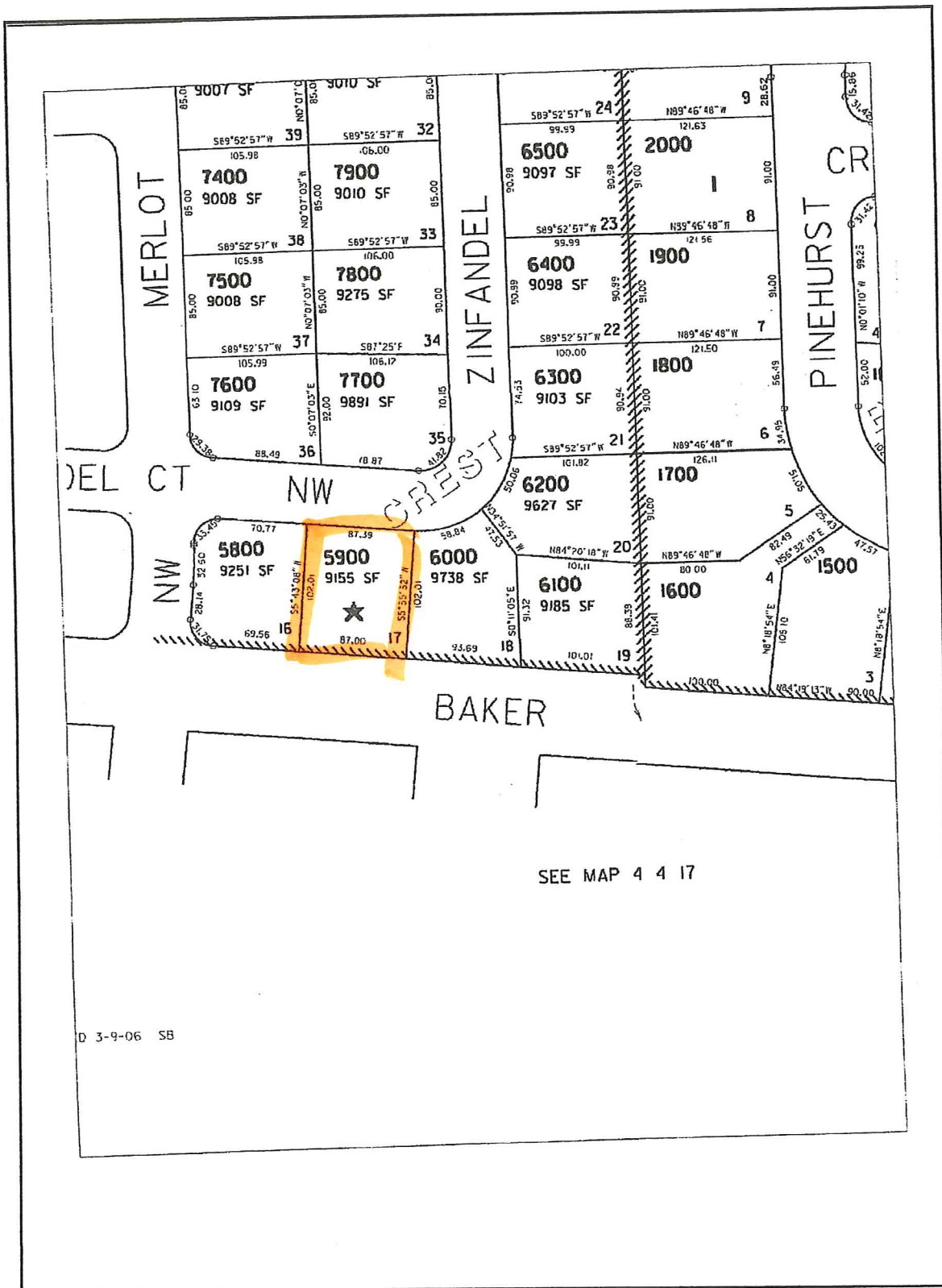
Lot size

Depth = 102'
Width = 87'

2446 NW Zinfandel Loop



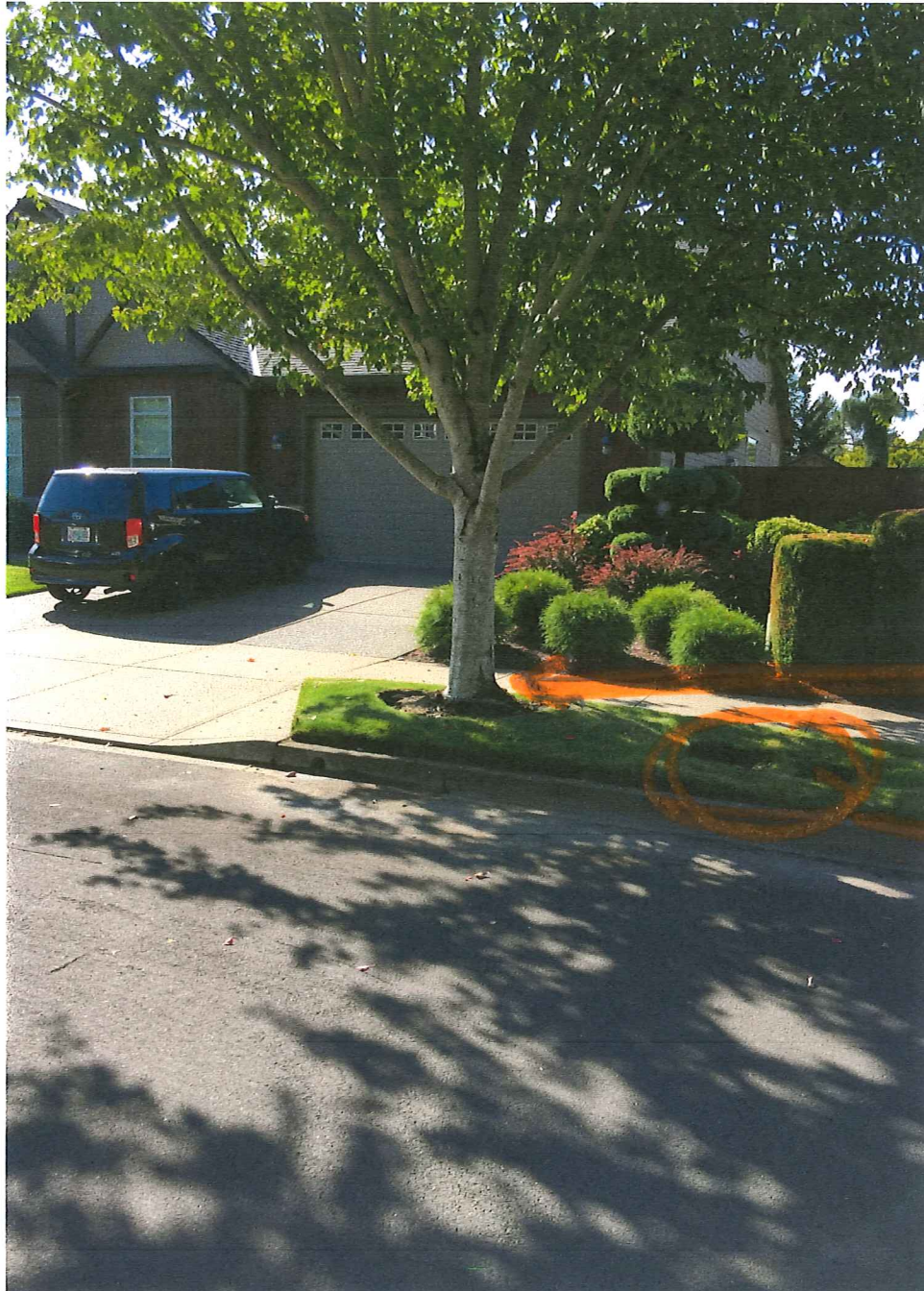
N





Roots

Area was flat
with side wall
when new
Look at Distance
Down to Meter



Tree to
remove

Water Mains



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

EXHIBIT 6 - STAFF REPORT

DATE: October 18, 2017
TO: McMinnville Landscape Review Committee
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4F: L 42-17

Report in Brief:

An application for a landscape plan for the renovation of a portion of the McMinnville High School building and site (L 42-17) to be reviewed by the Landscape Review Committee.

Background:

The applicant, Jim Fitzpatrick, on behalf of McMinnville School District, submitted a landscape plan review application to install landscaping around a portion of the existing McMinnville High School building that is being renovated at 615 NE 15th Street. The subject property is more specifically described as Tax Lot 2600, Section 16CA, T. 4 S., R. 4 W., W.M.

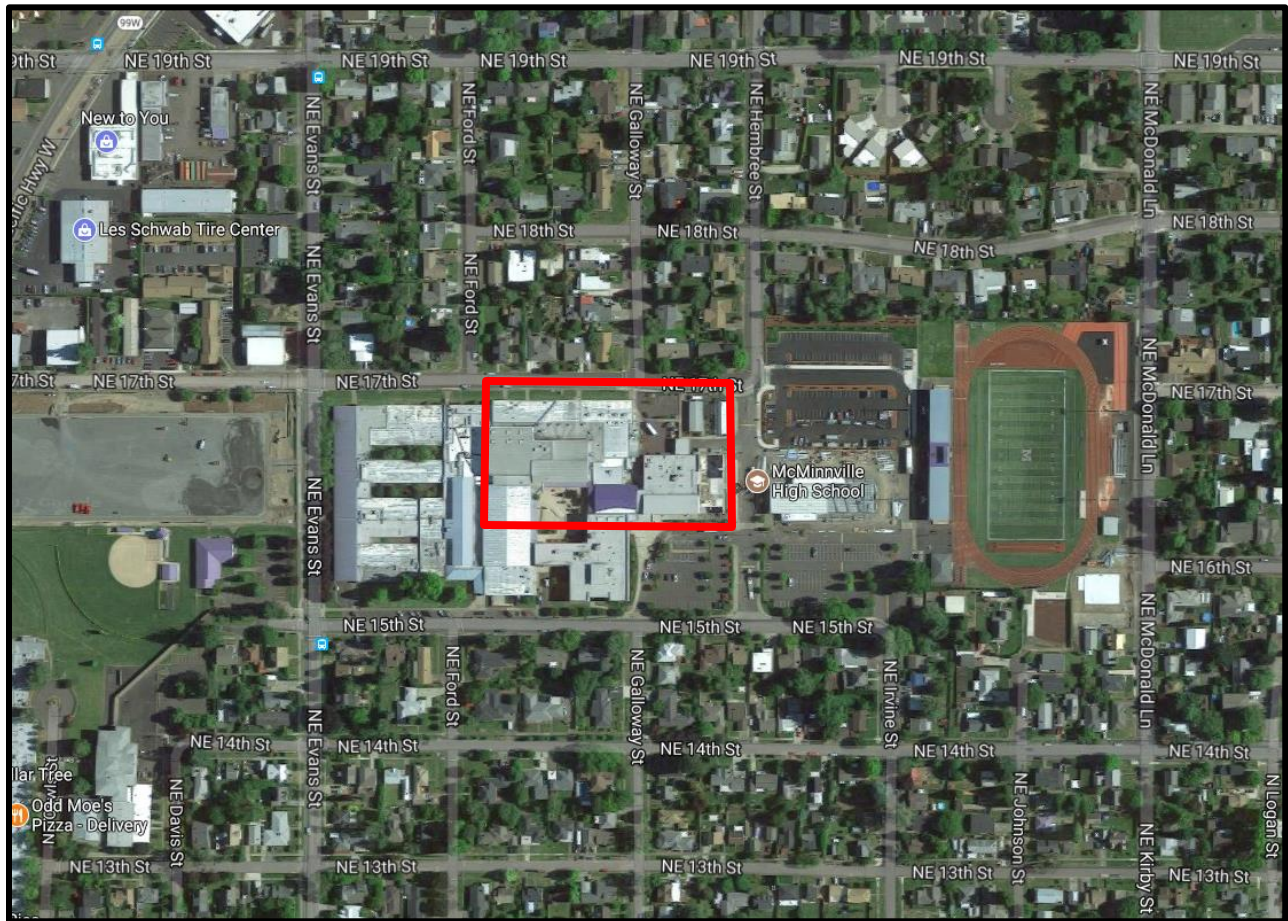
Discussion:

The proposed landscape plan is associated with the third phase of work being completed at the McMinnville High School campus. The landscaping for the previous phases was all approved by the Landscape Review Committee (L 36-16 and L 31-17). The McMinnville School District is renovating the northern portion of the existing McMinnville High School building, primarily to reconstruct the athletic facilities and gymnasium. Along with the reconstruction of the athletic facilities, new classrooms will be added on the south side of the new building and a new landscaped courtyard will be created on the interior of the building. The School District received a conditional use permit from the McMinnville Planning Commission in January 2017 to allow for the proposed renovations and the expansion to occur.

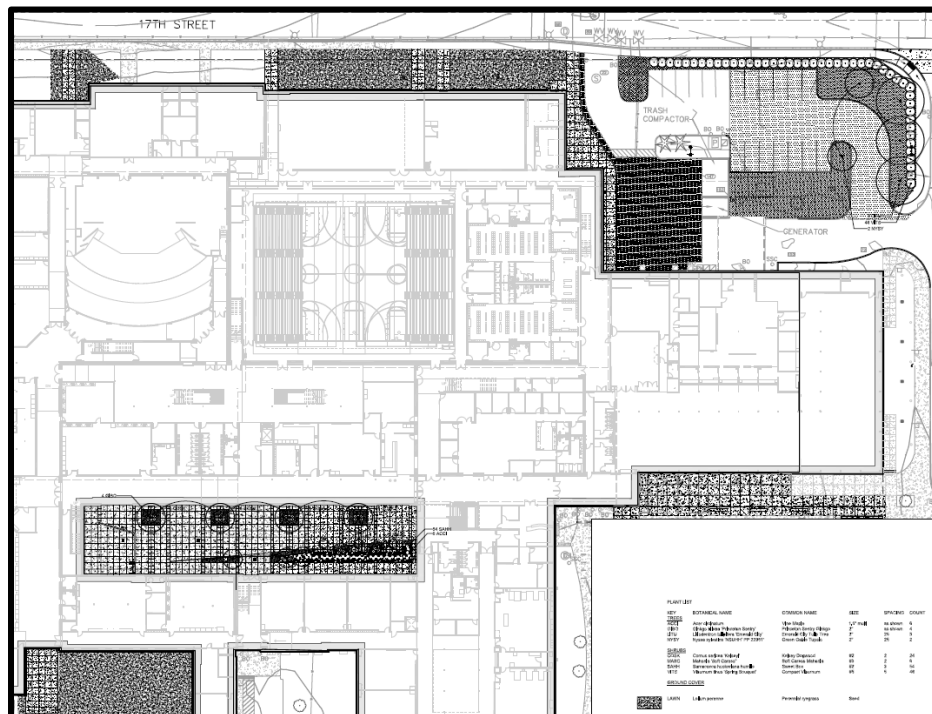
The subject site and the portion of the new building that is being renovated can be seen below as a red outlined area:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for the Renovated High School Building at 615 NE 15th Street



The landscaping being proposed on the site can be seen below:



Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for the Renovated High School Building at 615 NE 15th Street

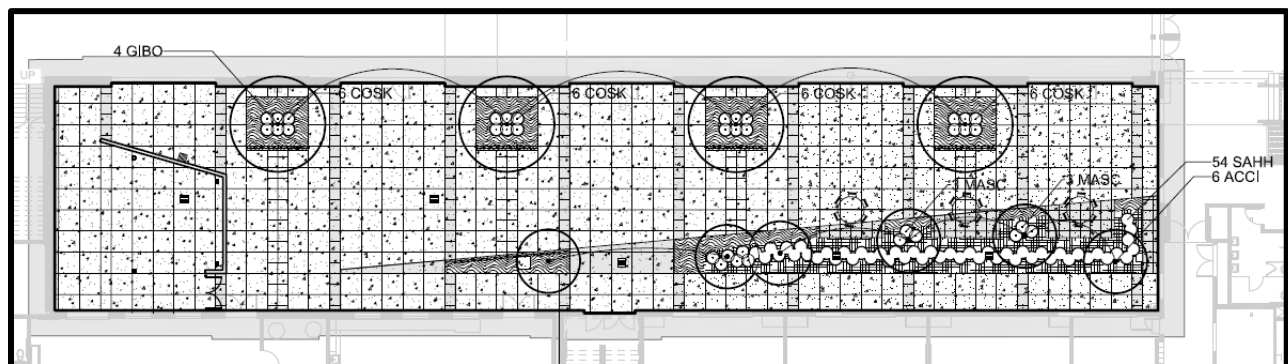
In reviewing a landscape plan, Section 17.57.070(B) (Area Determination – Planning Factors) of the McMinnville Zoning Ordinance requires the Landscape Review Committee to also consider the following factors:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

The renovations occurring on the existing school building will be extensive, but the northern wall of the building actually is not changing from its current location. Therefore, the applicant is not proposing any new landscaping in the areas between the building and 17th Street. The major changes that will occur to the overall site will be to the parking area that fronts 17th Street and is near the north entrance of the high school site off of 17th Street and Hembree Street. Currently, there is a greenhouse and modular classroom in this location, but those facilities will be removed and will be replaced with an expanded parking area.

The landscape plan shows the installation of a continuous row of Compact Viburnum (*Viburnum tinus* 'Spring Bouquet') along the perimeter of the existing and new parking lot. Near the entrance to the high school site, the landscape bed will be wider and will include the installation of three (3) Emerald City Tulip (*Liriodendron tulipifera* 'Emerald City') trees and two (2) Green Gable Tupelo (*Nyssa sylvatica* 'NSUHH' PP 22,951) trees. The proposed planting pattern and species used in this landscape bed is consistent with the landscaping that exists across the drive aisle, which was just recently installed during the completion of a previous phase of work at the high school campus. Therefore, the proposed planting plan is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

The new courtyard that will be created on the interior of the building will also be landscaped. This space will not be visible from the public right-of-way, but landscaping is being proposed to add interest to the space for those that will use the courtyard. In the courtyard, there will be four (4) identical planting beds on the north side of the courtyard. Each of these planting beds will include one (1) Princeton Sentry Ginkgo (*Ginkgo biloba* 'Princeton Sentry') tree and Kelsey Dogwood (*Cornus sericea* 'Kelsey') shrubs as understory. Along the south side of the courtyard, a longer planting area will be installed with six (6) Vine Maple (*Acer circinatum*) trees and Soft Caress Mohonia and Sweet Box shrubs. The courtyard plantings can be seen in more detail below:



2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

The landscape plan shows the installation of a continuous row of Compact Viburnum (*Viburnum tinus* 'Spring Bouquet') along the perimeter of the existing and new parking lot, which is the improvement that will be most visible from the adjacent public right-of-way. The Compact Viburnum is proposed to be

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for the Renovated High School Building at 615 NE 15th Street

planted at five (5) feet apart on center. Staff has found that the mature width of this species is about three (3) feet, so a condition of approval is being recommended to condense the planting of the Compact Viburnum to three (3) feet apart on center. This spacing will better screen the proposed use and parking lot from the adjacent public right-of-way. The installation of the three (3) Emerald City Tulip (*Liriodendron tulipifera* 'Emerald City') trees and two (2) Green Gable Tupelo (*Nyssa sylvatica* 'NSUHH' PP 22,951) trees will provide for additional screening above the row of Compact Viburnum.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

In the area near the expanded parking lot, there are existing landscape beds with existing landscape material. The applicant is proposing to keep the shrubs and trees in these areas, and will add the row of Compact Viburnum (*Viburnum tinus* 'Spring Bouquet') in front of the existing shrubs. The existing landscape material that will be retained can be seen below:



4. The development and use of islands and plantings therein to break up parking areas.

The proposed renovations include the expansion of an existing parking lot by 13 (thirteen) spaces. The applicant is not proposing to install landscaped islands within the parking areas, but is proposing to install a continuous row of landscaping around the parking lot to screen the use and provide buffering between the parking lot and the sidewalk. Trees will be installed along the new drive aisle being constructed to access the expanded parking lot, which will provide for some shade. Existing landscaping in the planting island on the west end of the row of existing parking spaces will be retained.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

The landscape plan does not include the installation of street trees, as there is no dedicated planting strip created along the property's 17th Street frontage.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for the Renovated High School Building at 615 NE 15th Street

The landscape plans include a full irrigation plan for the installation of an automatic in-ground system that will provide coverage for all of the new landscaped areas.

Fiscal Impact:

None.

Committee Options:

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

Staff recommends that the plan be approved with the conditions listed below.

1. That the applicant shall install landscaping as shown on the submitted landscape plan dated September 18, 2017.
2. That the applicant shall reduce the spacing of the continuous row of Compact Viburnum (*Viburnum tinus* 'Spring Bouquet') to three (3) feet apart on center to ensure a full screening effect of the parking lot from the adjacent public right-of-way.
3. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 42-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

CD:sjs

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for the Renovated High School Building at 615 NE 15th Street



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311

www.mcminnvilleoregon.gov

**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF LANDSCAPE PLAN FOR THE
RENOVATED HIGH SCHOOL BUILDING AT 615 NE 15TH STREET**

DOCKET: L 42-17

REQUEST: The applicant requested the approval of a landscape plan for the renovation of a portion of the McMinnville High School building and site. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

LOCATION: The subject property is located at 615 NE 15th Street. The subject property is more specifically described as Tax Lot 2600, Section 16CA, T. 4 S., R. 4 W., W.M.

ZONING: R-2 (Single Family Residential)

APPLICANT: Jim Fitzpatrick, on behalf of McMinnville School District

STAFF: Chuck Darnell, Associate Planner

**DATE DEEMED
COMPLETE:** September 22, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: October 18, 2017. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL** of the landscape plan (L 42-17) **subject to the conditions of approval provided in this document.**

////////////////////////////////////
DECISION: APPROVAL WITH CONDITIONS
 //////////////////////////////////////

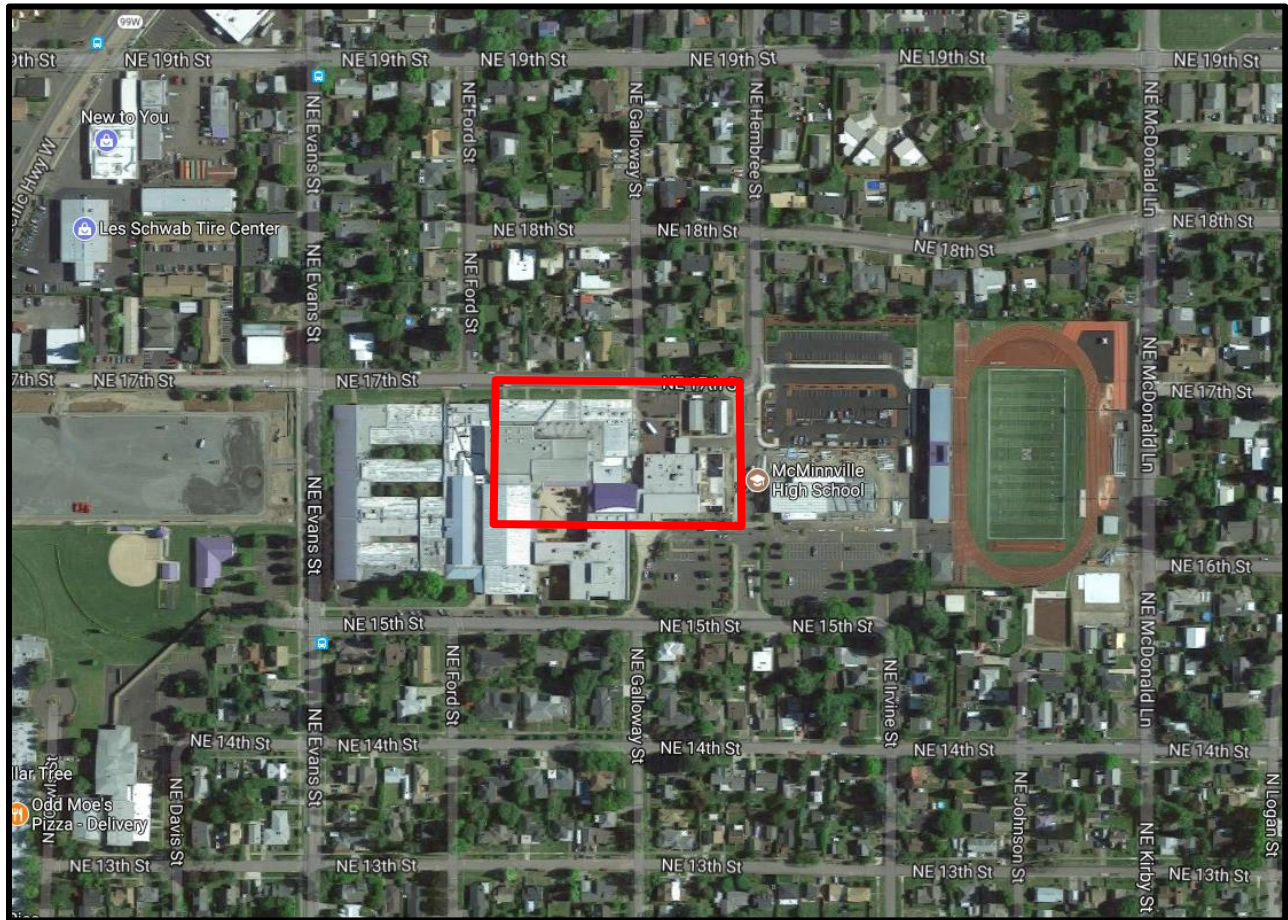
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Date: _____

APPLICATION SUMMARY:

The applicant requested the approval of a landscape plan for the renovation of a portion of the McMinnville High School building and site. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance.

The subject site and the portion of the new building that is being renovated can be seen below as a red outlined area:

**CONDITIONS OF APPROVAL:**

L 42-17 is **approved** subject to the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan dated September 18, 2017.
2. That the applicant shall reduce the spacing of the continuous row of Compact Viburnum (*Viburnum tinus* 'Spring Bouquet') to three (3) feet apart on center to ensure a full screening effect of the parking lot from the adjacent public right-of-way.
3. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Attachments:

Attachment 1 – Application for Landscape Plan Review

ATTACHMENTS:

1. Application for Landscape Plan Review

COMMENTS:

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT:

1. Jim Fitzpatrick, on behalf of McMinnville School District submitted a landscape plan review application for the renovation of a portion of the McMinnville High School building and site on the property at 615 NE 15th Street. The subject property is more specifically described as Tax Lot 2600, Section 16CA, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned R-2 (Single Family Residential), and is designated as Residential on the McMinnville Comprehensive Plan Map, 1980.
3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval
4. A public meeting was held by the Landscape Review Committee on October 18, 2017 to review the application and proposed landscape plan. No comments in opposition were provided by the public prior to the public meeting.

CONCLUSIONARY FINDINGS:**McMinnville's Comprehensive Plan:**

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville's City Code:

Attachments:

Attachment 1 – Application for Landscape Plan Review

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.57.010 Purpose and intent. The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. [...]

Finding: The landscape plan as proposed would enhance the appearance of the city and will benefit the economic, ecological, and aesthetic environment of the city. The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below.

17.57.050 Plans—Submittal and review—Approval—Time limit for completion.

- C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;

Finding: The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below. Modifications as required by the conditions of approval will be discussed with the applicant and agreed to prior to the issuance of a building permit.

17.57.070 Area Determination—Planning factors.

- B. The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:
1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

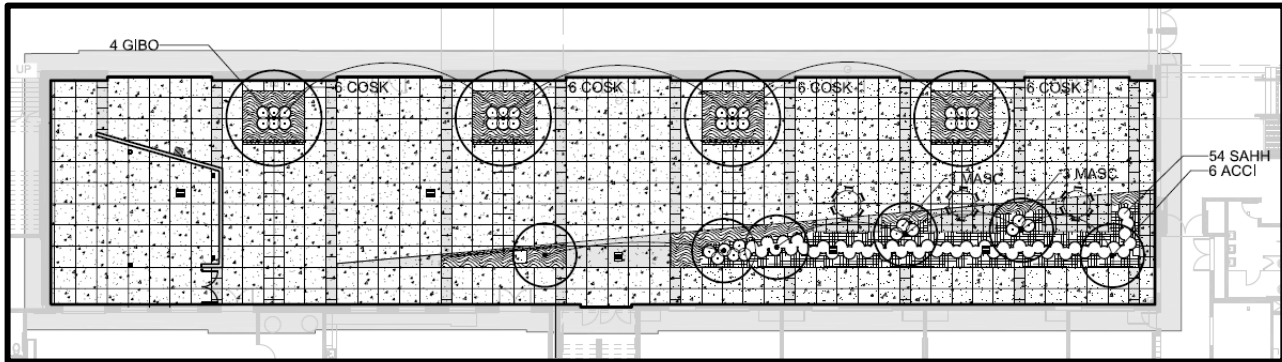
Finding: The renovations occurring on the existing school building will be extensive, but the northern wall of the building actually is not changing from its current location. Therefore, the applicant is not proposing any new landscaping in the areas between the building and 17th Street. The major changes that will occur to the overall site will be to the parking area that fronts 17th Street and is near the north entrance of the high school site off of 17th Street and Hembree Street. Currently, there is a greenhouse and modular classroom in this location, but those facilities will be removed and will be replaced with an expanded parking area.

The landscape plan shows the installation of a continuous row of Compact Viburnum (*Viburnum tinus* 'Spring Bouquet') along the perimeter of the existing and new parking lot. Near the entrance to the high school site, the landscape bed will be wider and will include the installation of three (3) Emerald City Tulip (*Liriodendron tulipifera* 'Emerald City') trees and two (2) Green Gable Tupelo (*Nyssa sylvatica* 'NSUHH' PP 22,951) trees. The proposed planting pattern and species used in this landscape bed is consistent with the landscaping that exists across the drive aisle, which was just recently installed during the completion of a previous phase of work at the high school campus. Therefore, the proposed planting plan is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

Attachments:

Attachment 1 – Application for Landscape Plan Review

The new courtyard that will be created on the interior of the building will also be landscaped. This space will not be visible from the public right-of-way, but landscaping is being proposed to add interest to the space for those that will use the courtyard. In the courtyard, there will be four (4) identical planting beds on the north side of the courtyard. Each of these planting beds will include one (1) Princeton Sentry Ginkgo (*Ginkgo biloba* 'Princeton Sentry') tree and Kelsey Dogwood (*Cornus sericea* 'Kelsey') shrubs as understory. Along the south side of the courtyard, a longer planting area will be installed with six (6) Vine Maple (*Acer circinatum*) trees and Soft Caress Mohonia and Sweet Box shrubs. The courtyard plantings can be seen in more detail below:



2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

Finding: The landscape plan shows the installation of a continuous row of Compact Viburnum (*Viburnum tinus* 'Spring Bouquet') along the perimeter of the existing and new parking lot, which is the improvement that will be most visible from the adjacent public right-of-way. The Compact Viburnum is proposed to be planted at five (5) feet apart on center. The mature width of this species is about three (3) feet, so a condition of approval is included to require that the applicant condense the planting of the Compact Viburnum to three (3) feet apart on center. This spacing will better screen the proposed use and parking lot from the adjacent public right-of-way. The installation of the three (3) Emerald City Tulip (*Liriodendron tulipifera* 'Emerald City') trees and two (2) Green Gable Tupelo (*Nyssa sylvatica* 'NSUHH' PP 22,951) trees will provide for additional screening above the row of Compact Viburnum.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

Finding: In the area near the expanded parking lot, there are existing landscape beds with existing landscape material. The applicant is proposing to keep the shrubs and trees in these areas, and will add the row of Compact Viburnum (*Viburnum tinus* 'Spring Bouquet') in front of the existing shrubs. The existing landscape material that will be retained can be seen below:



4. The development and use of islands and plantings therein to break up parking areas.

Finding: The proposed renovations include the expansion of an existing parking lot by 13 (thirteen) spaces. The applicant is not proposing to install landscaped islands within the parking areas, but is proposing to install a continuous row of landscaping around the parking lot to screen the use and provide buffering between the parking lot and the sidewalk. Trees will be installed along the new drive aisle being constructed to access the expanded parking lot, which will provide for some shade. Existing landscaping in the planting island on the west end of the row of existing parking spaces will be retained.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

Finding: The landscape plan does not include the installation of street trees, as there is no dedicated planting strip created along the property's 17th Street frontage.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

Finding: The landscape plans include a full irrigation plan for the installation of an automatic in-ground system that will provide coverage for all of the new landscaped areas.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Finding: A condition of approval will require that all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

CD:sjs



Planning Department

231 NE Fifth Street • McMinnville, OR 97128
(503) 434-7311 Office • (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:

File No. 842-17
Date Received 9/22/17
Fee 150⁰⁰
Receipt No. 17MO203
Received by [Signature]

Landscape Plan Review Application

Applicant Information

Applicant is: ☐ Property Owner ☐ Contract Buyer ☐ Option Holder ☒ Agent ☐ Other _____

Applicant Name Jim Fitzpatrick - DOWA-IBI Group Architects Phone 503-226-6950

Contact Name _____ Phone _____
(If different than above)

Address 907 SW Stark Street

City, State, Zip Portland, OR 97205

Contact Email jim.fitzpatrick@IBIGroup.com

Property Owner Information

Property Owner Name McMinnville School District Phone 503.565.4022
(If different than above)

Contact Name Peter Keenan Phone 503.565.4022

Address 800 NE Lafayette Avenue

City, State, Zip McMinnville, OR 97218

Contact Email pkeen@msd.k12.or.us

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 615 NE 15th Street, McMinnville, OR 97218

Assessor Map No. R4416 - CA - 02600 Total Site Area _____

Subdivision _____ Block _____ Lot _____

Comprehensive Plan Designation Res Zoning Designation R-2

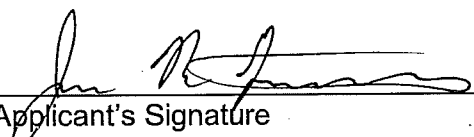
Landscaping Information

1. Total Landscaped Area: 120,000 SF
2. Percent Landscaped: 40%
3. Building Floor Area:
New Structure: 165,000 SF Existing Structure: 20,000 SF Addition:
4. Architect Name Atlas Landscape Architecture Phone 503.224.5238
(Landscape Architect; Engineer; or Other Designer)
Contact Name Nick Wilson Phone 503.224.5238
Address 12562 SW Main Street, Suite 210
City, State, Zip Tigard, OR 97223
Contact Email nick@atlas-la.com

In addition to this completed application, the applicant must provide the following:

- ☒ *Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.*
- ☒ *Payment of the applicable review fee, which can be found on the Planning Department web page.*

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

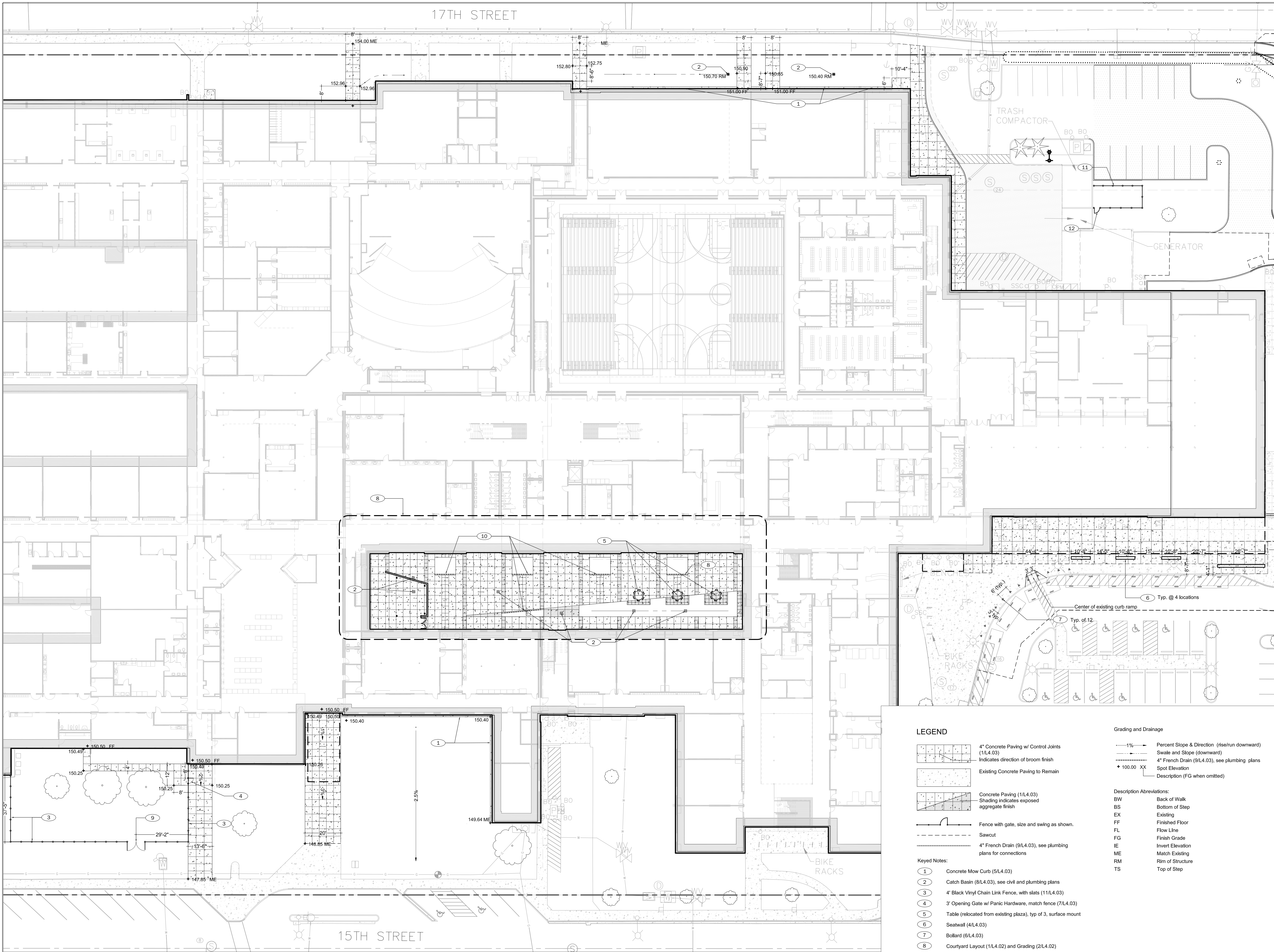

Applicant's Signature

9-19-17
Date


Property Owner's Signature

9-19-17
Date

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LEGEND

- Concrete Paving w/ Control Joints (1/L4.03)
Indicates direction of broom finish
- Existing Concrete Paving to Remain
- Concrete Paving (1/L4.03)
Shading indicates exposed aggregate finish
- Fence with gate, size and swing as shown.
- Sawcut
- 4" French Drain (9/L4.03), see plumbing plans for connections

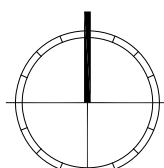
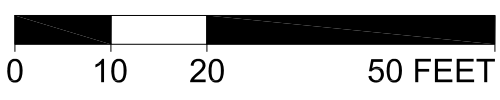
- Keyed Notes:
- 1 Concrete Mow Curb (5/L4.03)
 - 2 Catch Basin (8/L4.03), see civil and plumbing plans
 - 3 4" Black Vinyl Chain Link Fence, with slats (11/L4.03)
 - 4 3' Opening Gate w/ Panic Hardware, match fence (7/L4.03)
 - 5 Table (relocated from existing plaza), typ of 3, surface mount
 - 6 Seatwall (4/L4.03)
 - 7 Bollard (6/L4.03)
 - 8 Courtyard Layout (1/L4.02) and Grading (2/L4.02)
 - 9 10' Opening Gate (double leaf), match fence (10/L4.03)
 - 10 French drain (9/L4.03)
 - 11 6' Black Vinyl Chain Link Fence, with slats (11/L4.03)
 - 12 3' Opening Gate to match fence (12/L4.03)

Grading and Drainage

- 1% Percent Slope & Direction (rise/run downward)
- Swale and Slope (downward)
- 4" French Drain (9/L4.03), see plumbing plans
- + 100.00 XX Spot Elevation
- Description (FG when omitted)

Description Abbreviations:

- BW Back of Walk
- BS Bottom of Step
- EX Existing
- FF Finished Floor
- FL Flow Line
- FG Finish Grade
- IE Invert Elevation
- ME Match Existing
- RM Rim of Structure
- TS Top of Step



MCMINNVILLE
SCHOOL DISTRICT

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McMinville High School
Addition and Remodel- Phase 3

McMinville School District

615 NE 15th Street, McMinville, OR 97128
t: (503) 565.4000
f: (503) 565.4030

L	H	E
K	G	D
J	F	C
		A



key plan

phase PERMIT SET

date 09/18/17

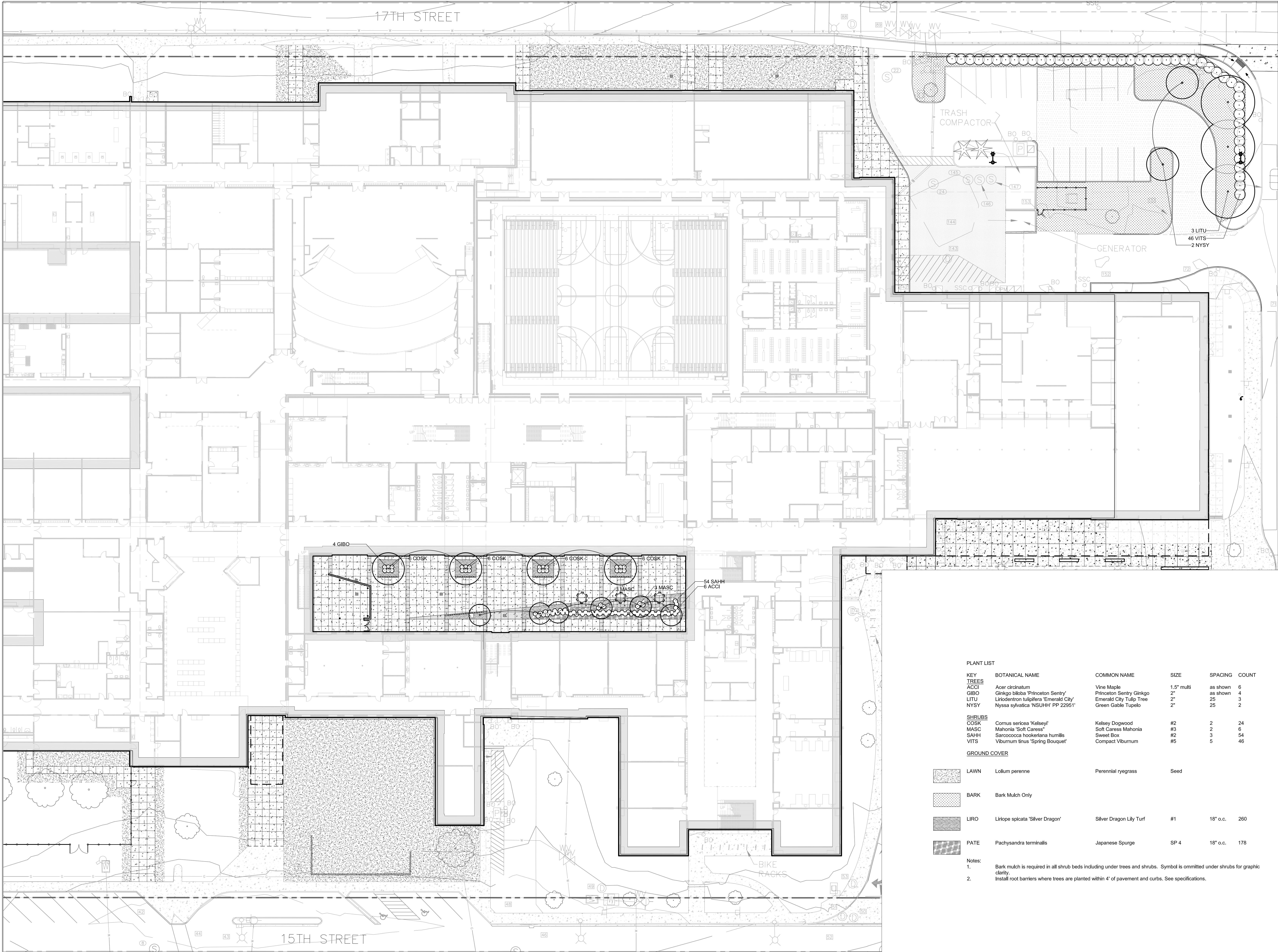
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project # 16029

LANDSCAPE
SITE PLAN

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PLANT LIST

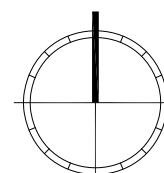
KEY TREES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COUNT
ACCI	Acer circinatum	Vine Maple	1.5" multi	as shown	6
GIBO	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2"	as shown	4
LITU	Liriodendron tulipifera 'Emerald City'	Emerald City Tulip Tree	2"	25	3
NYSY	Nyssa sylvatica 'NSUH1' PP 22951'	Green Gable Tupelo	2"	25	2
SHRUBS					
COSK	Cornus sericea 'Kelsey'	Kelsey Dogwood	#2	2	24
MASC	Mahonia 'Soft Caress'	Soft Caress Mahonia	#3	2	6
SAHH	Sarcococca hookeriana humilis	Sweet Box	#2	3	54
VITS	Viburnum tinus 'Spring Bouquet'	Compact Viburnum	#5	5	46

GROUND COVER

LAWN	Lolium perenne	Perennial ryegrass	Seed		
BARK	Bark Mulch Only				
LIRO	Liriope spicata 'Silver Dragon'	Silver Dragon Lily Turf	#1	18" o.c.	260
PATE	Pachysandra terminalis	Japanese Spurge	SP 4	18" o.c.	178

- Notes:
- Bark mulch is required in all shrub beds including under trees and shrubs. Symbol is omitted under shrubs for graphic clarity.
 - Install root barriers where trees are planted within 4' of pavement and curbs. See specifications.

0 10 20 50 FEET



McMINNVILLE
SCHOOL DISTRICT

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LANDSCAPE
ARCHITECTURE

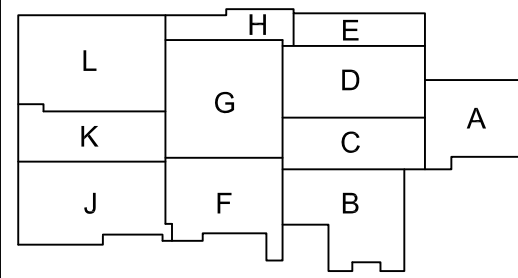
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McMinnville High School
Addition and Remodel - Phase 3

McMinnville School District

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key plan

phase PERMIT SET

date 09/18/17

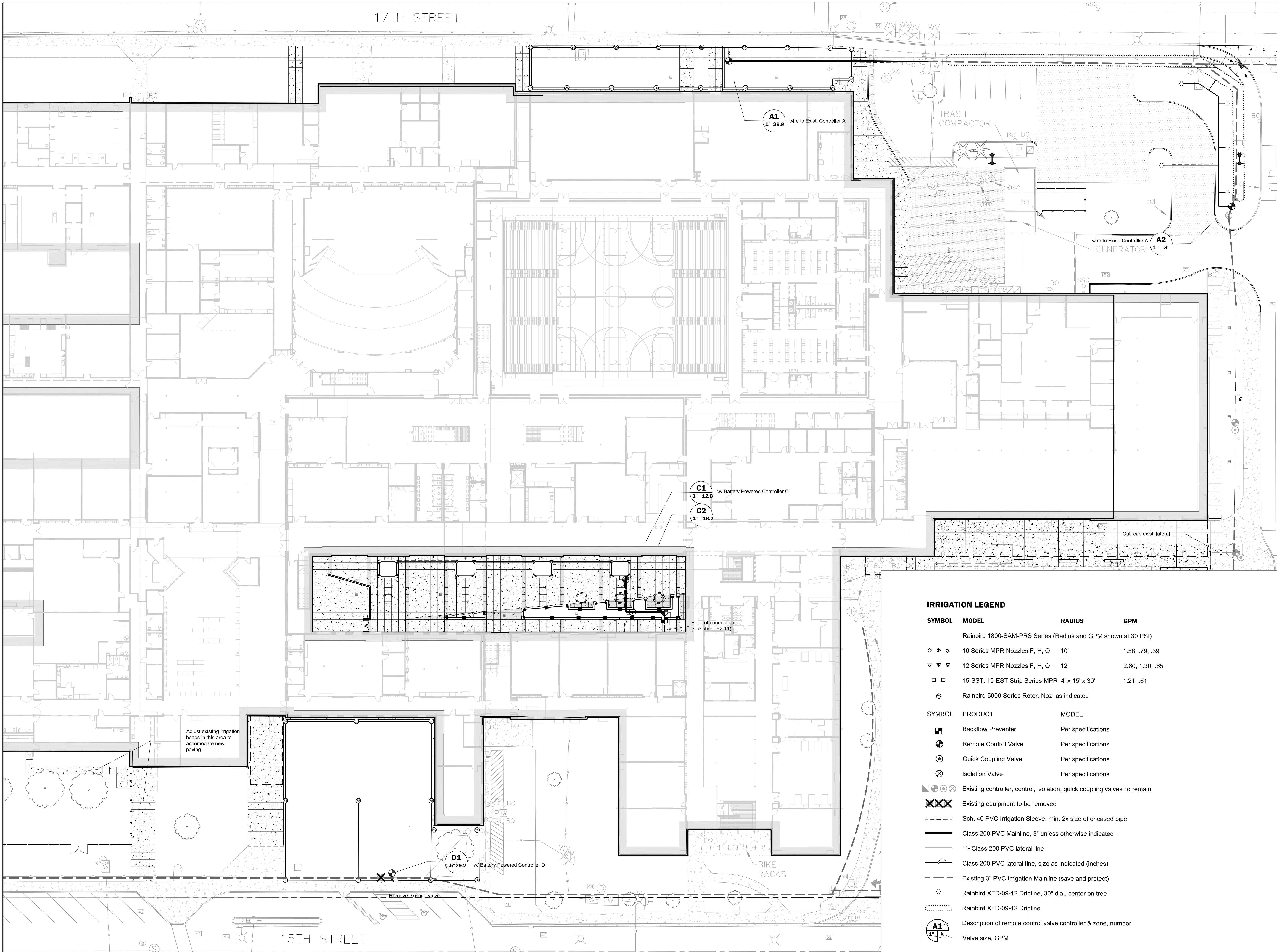
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project # 16029

PLANTING
PLAN

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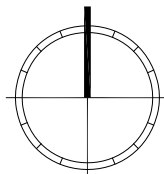
IRRIGATION LEGEND

SYMBOL	MODEL	RADIUS	GPM
Rainbird 1800-SAM-PRS Series (Radius and GPM shown at 30 PSI)			
⊙ ⊙ ⊙	10 Series MPR Nozzles F, H, Q	10'	1.58, .79, .39
▽ ▽ ▽	12 Series MPR Nozzles F, H, Q	12'	2.60, 1.30, .65
▣ ▣	15-SST, 15-EST Strip Series MPR	4' x 15' x 30'	1.21, .61
⊙	Rainbird 5000 Series Rotor, Noz. as indicated		
SYMBOL	PRODUCT	MODEL	
■	Backflow Preventer	Per specifications	
⊕	Remote Control Valve	Per specifications	
⊙	Quick Coupling Valve	Per specifications	
⊗	Isolation Valve	Per specifications	
⊕ ⊙ ⊗	Existing controller, control, isolation, quick coupling valves to remain		
XXX	Existing equipment to be removed		
----	Sch. 40 PVC Irrigation Sleeve, min. 2x size of encased pipe		
—	Class 200 PVC Mainline, 3" unless otherwise indicated		
—	1"- Class 200 PVC lateral line		
—1.5	Class 200 PVC lateral line, size as indicated (inches)		
- - -	Existing 3" PVC Irrigation Mainline (save and protect)		
⊙	Rainbird XFD-09-12 Dripline, 30" dia., center on tree		
⋯	Rainbird XFD-09-12 Dripline		
A1	Description of remote control valve controller & zone, number		
4" X	Valve size, GPM		

NOTES

- ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is (503) 232-1987).
- Protect existing irrigation system except as noted.
- Field adjust heads and arcs for 100% coverage with minimal overspray.
- System is designed to operate at 60 psi at point of connection. Notify Owners Representative prior to beginning work if field measurements differ.
- Irrigation laterals, mainline and valves may be shown outside planter areas for diagrammatic purposes only. Locate irrigation equipment inside planter areas except where irrigation sleeves indicate that piping is to cross under paving.
- Unless otherwise indicated, use 4" pop-ups in lawn areas and 6" pop-ups in shrub areas.

0 10 20 50 FEET



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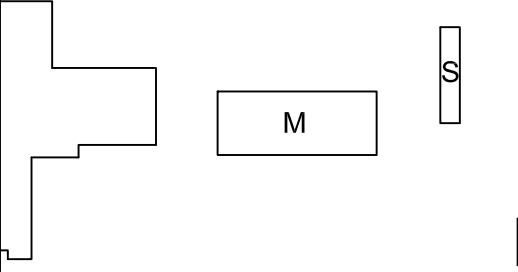


McMinnville High School
Addition and Remodel - Phase 3

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key plan

phase | PERMIT SET

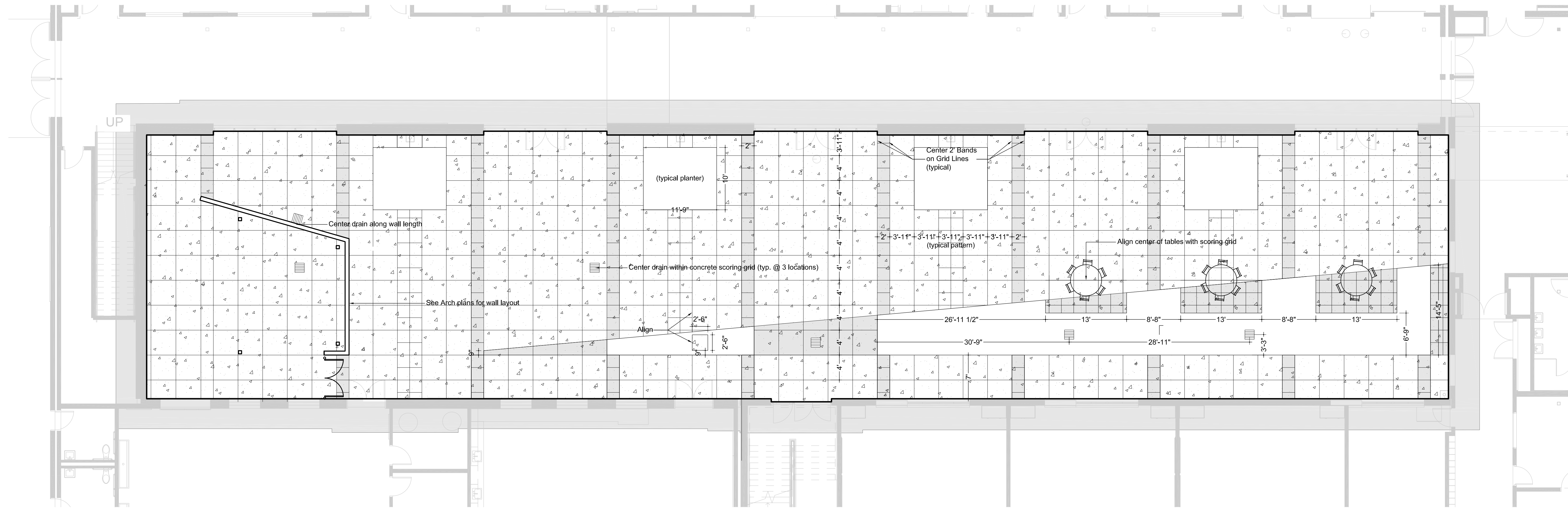
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project # | 16029

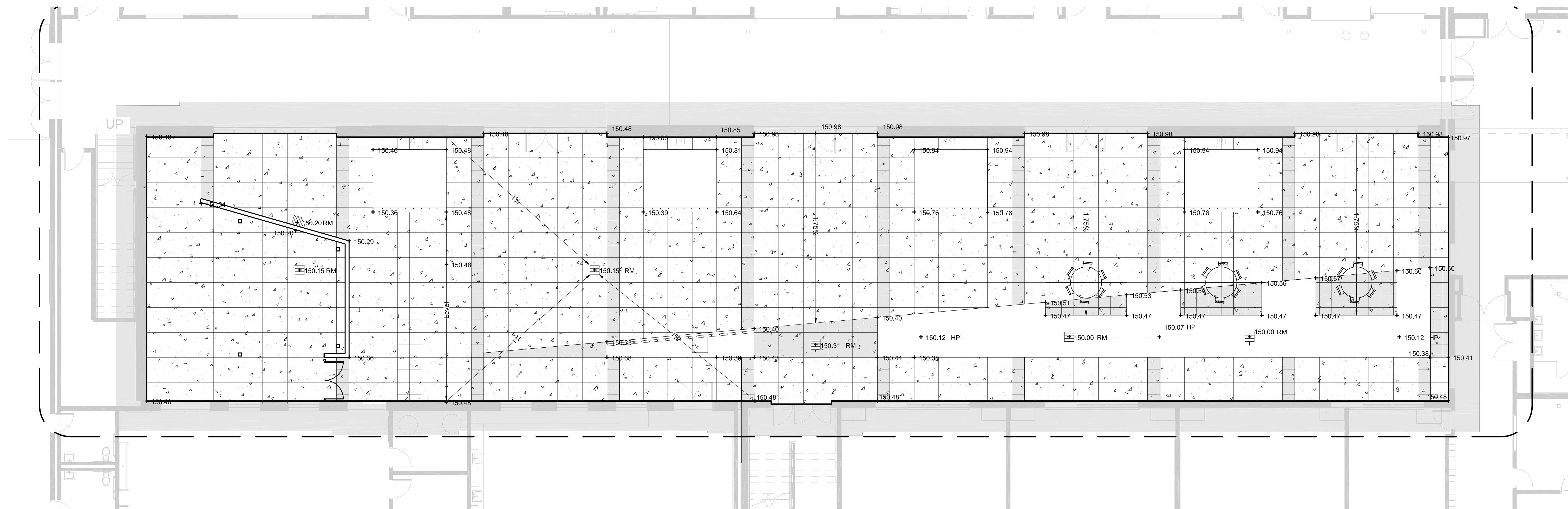
IRRIGATION
PLAN

L3.05



1. Courtyard Layout Detail

Scale: 1/8" = 1' - 0"



2. Courtyard Grading and Drainage Detail

Scale: 1/8" = 1' - 0"



McMINNVILLE
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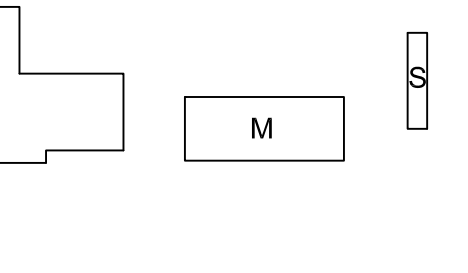
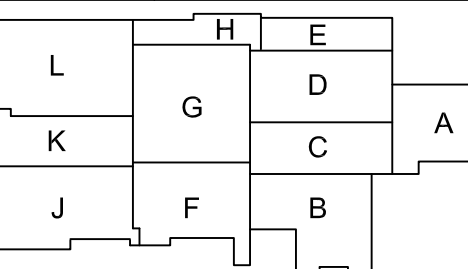
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LANDSCAPE
ARCHITECTURE
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McMinnville High School
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McMinnville School District
615 NE 15th Street, McMinnville, OR 97128
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phase PERMIT SET

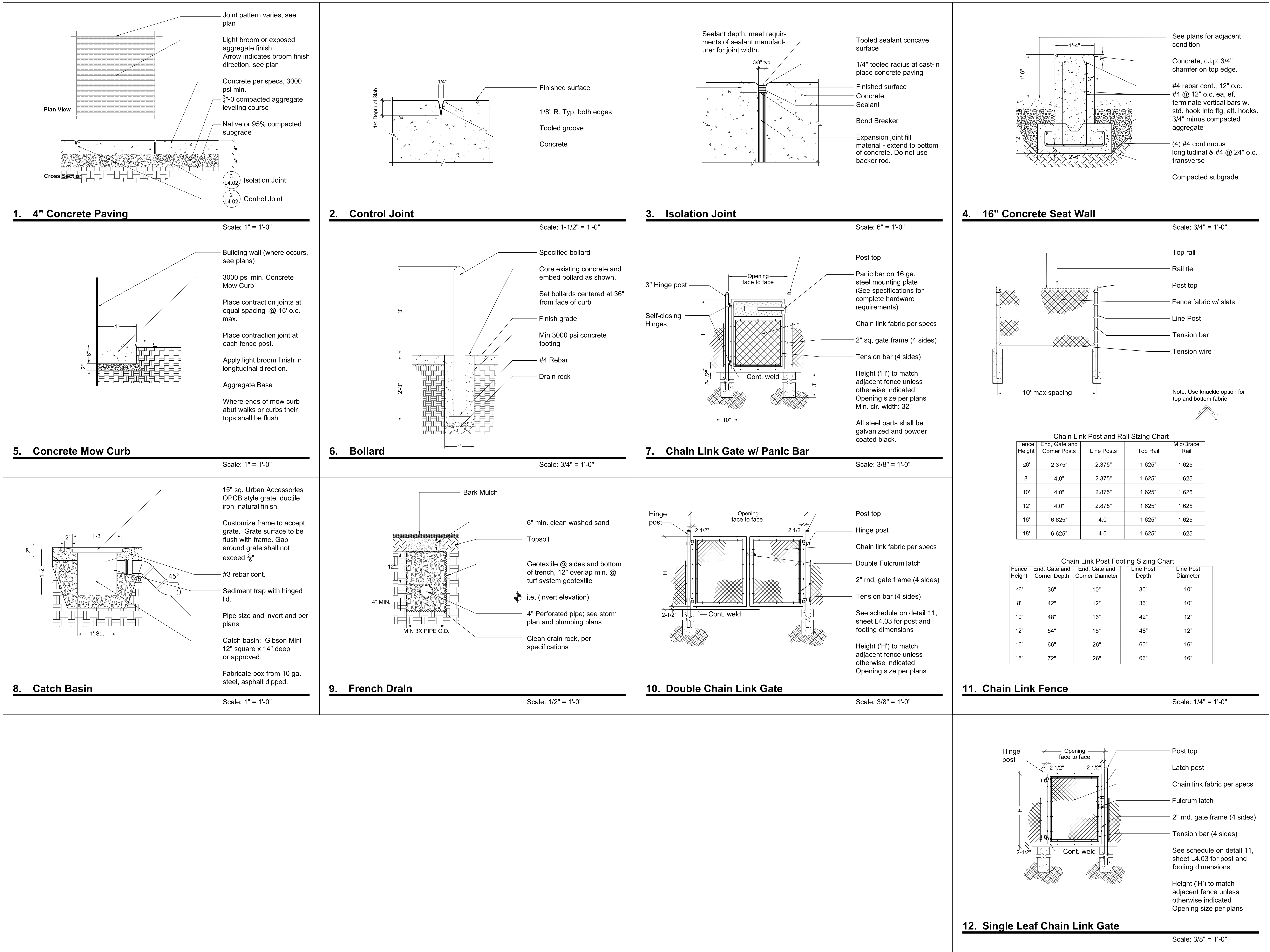
date 09/18/17

revisions

project # 16029

LANDSCAPE
DETAILS

L4.02



**McMINNVILLE
SCHOOL DISTRICT**

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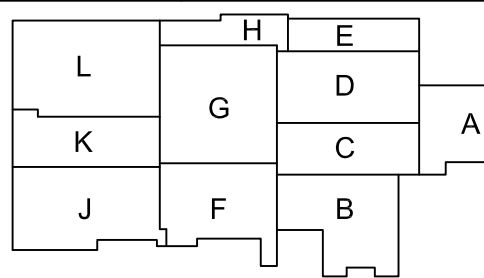


12552 SW Main St., #210
Tigard, Oregon 97223
Tel: (503) 224-9288
www.atlas-la.com

**McMinnville High School
Addition and Remodel - Phase 3**

McMinnville School District

615 NE 15th Street, McMinnville, OR 97128
t: (503) 565.4000
f: (503) 565.4030



key plan

phase PERMIT SET

date 09/18/17

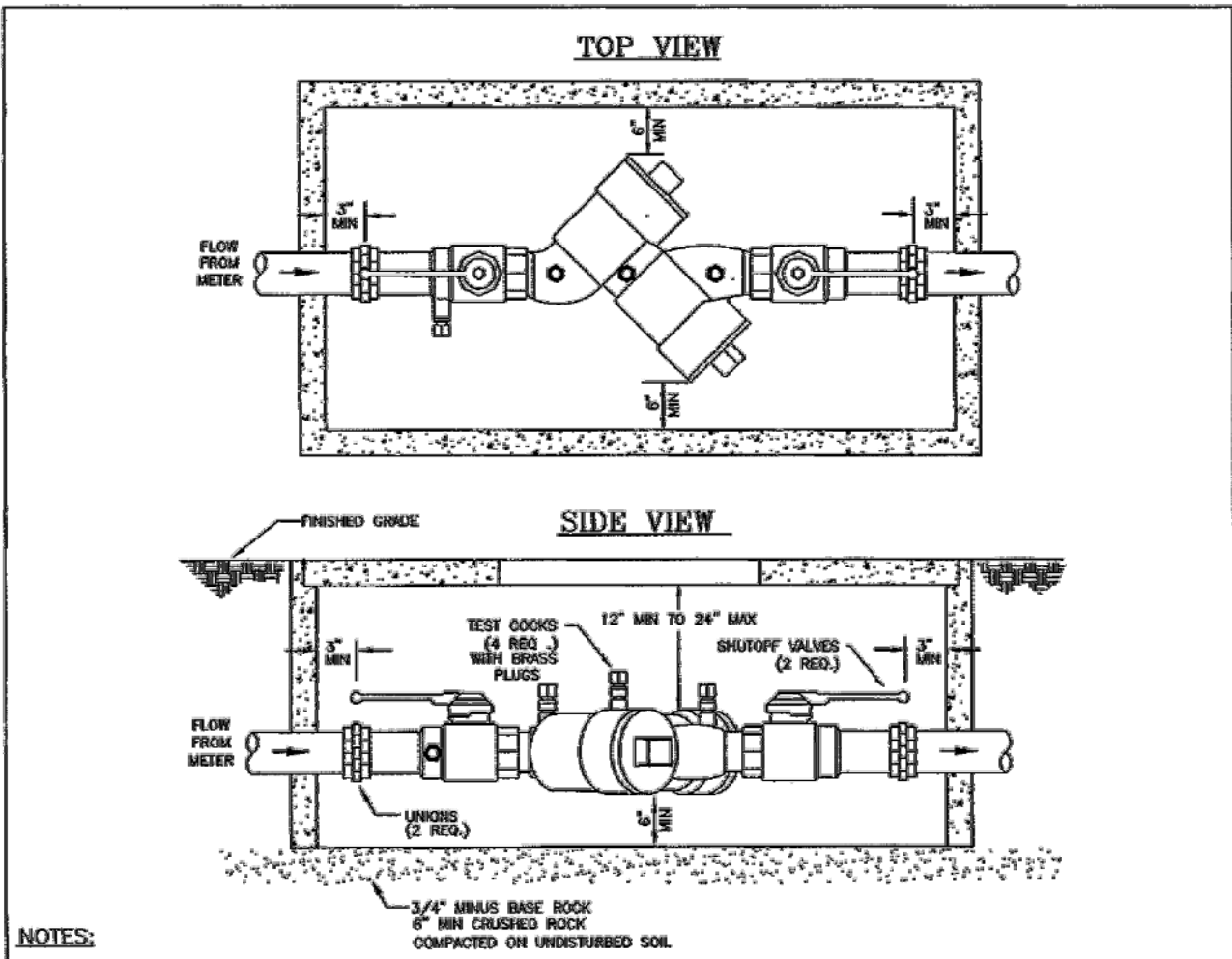
revisions

project # 16029

LANDSCAPE
DETAILS

L4.03

7/5/2017 9:55:20 AM
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- NOTES:
- Double Check Valve Assembly:
 - shall be on the DHS list of approved assemblies.
 - shall include factory supplied shut-off valves.
 - shall be installed in a location approved by MW&L.
 - may be installed vertically, provided the assembly is specifically listed for that orientation in the DHS list of approved assemblies.
 - All clearances apply to outside, in-building, and vault installations.
 - Insulate E&B, or vault and/or have a heat source to keep enclosure above 40 deg. F (NFPA 13.10.5.1).
 - Assemblies installed below ground level shall have watertight, breather brass plugs or caps installed on the cocks. The assembly shall not be subject to continuous immersion.
 - Typical assembly enclosure is a meter box, irrigation control vault, or fabricated permanent enclosure.
 - Openings should be sealed with an appropriate watertight product.
 - For testing and maintenance purposes, the assembly shall not be installed more than 5' above the ground or floor level, unless approved by MW&L and accompanied by a permanent OSHA-approved platform.

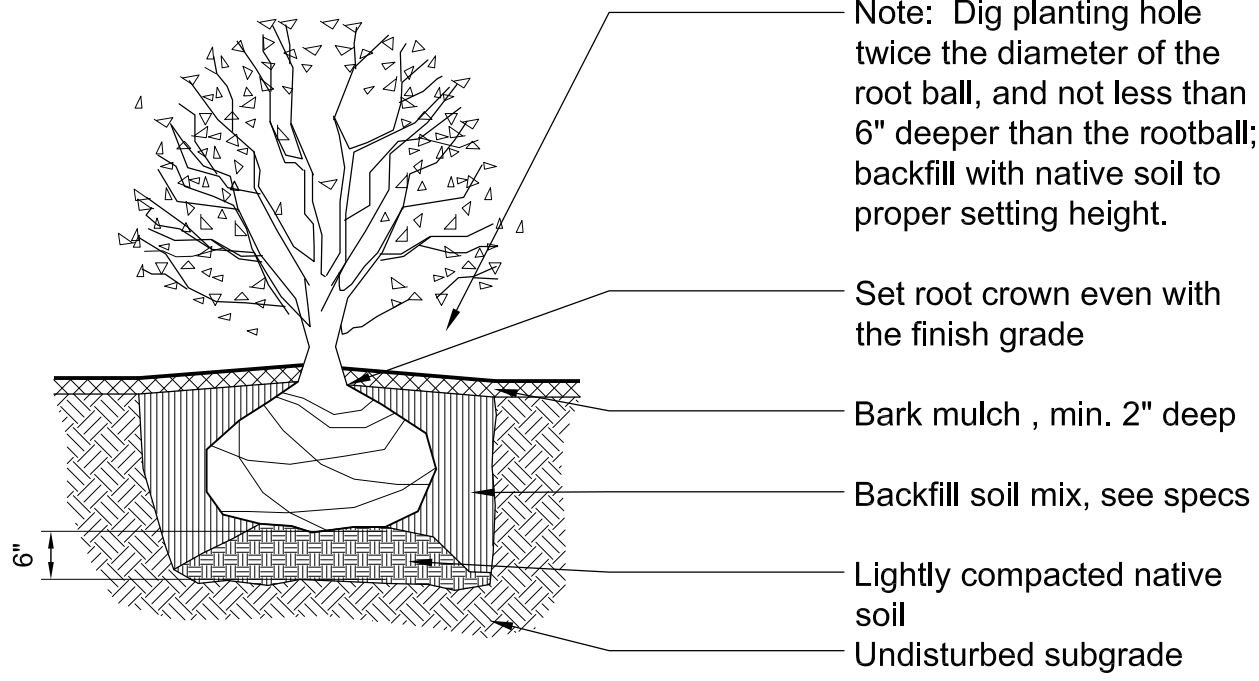
As required under OAR 333-061-0070 and the Oregon Plumbing Specialty Code, an initial posting test performed by a State Certified Backflow Assembly Tester is required at the time of installation with copies furnished, within ten days, to the owner, MW&L, and the City of McMinnville plumbing inspector. Assembly will require annual testing.

NOT TO SCALE

DATE		DATE		DATE	
5/1/10		5/1/10		5/1/10	
JCM/SLW		JCM/SLW		JCM/SLW	
WSC		WSC		WSC	
DOWA-2		DOWA-2		DOWA-2	

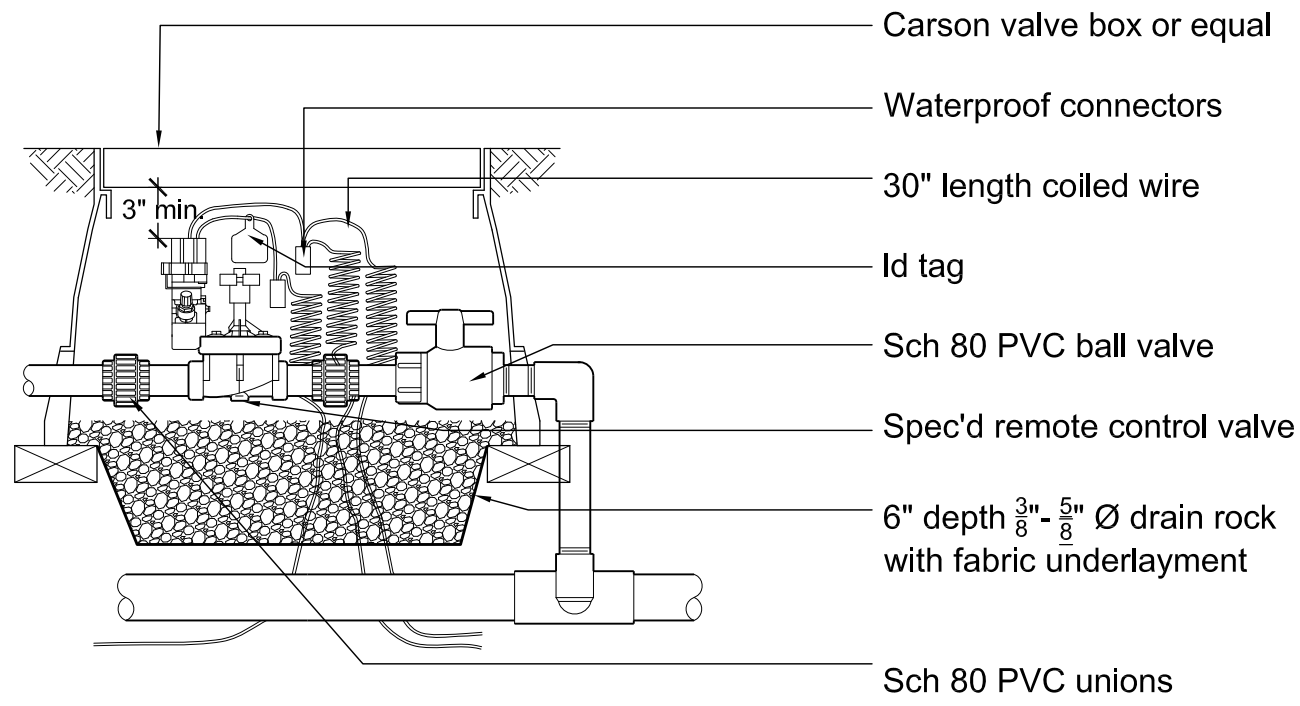
1. Backflow Preventer

Not to Scale



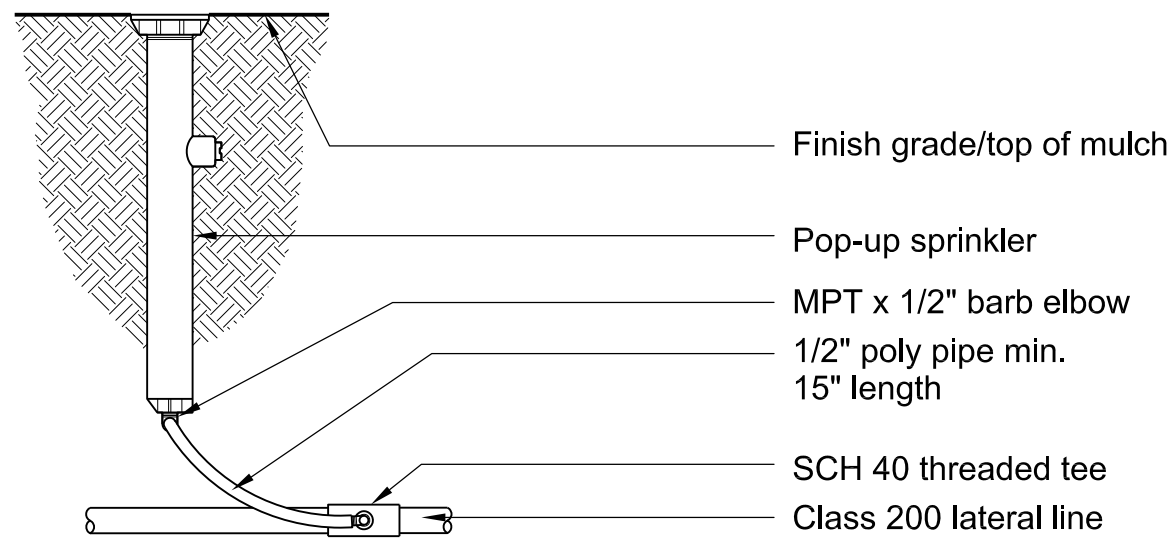
6. Shrub Planting

Scale: 1/2 inch = 1'-0 inch



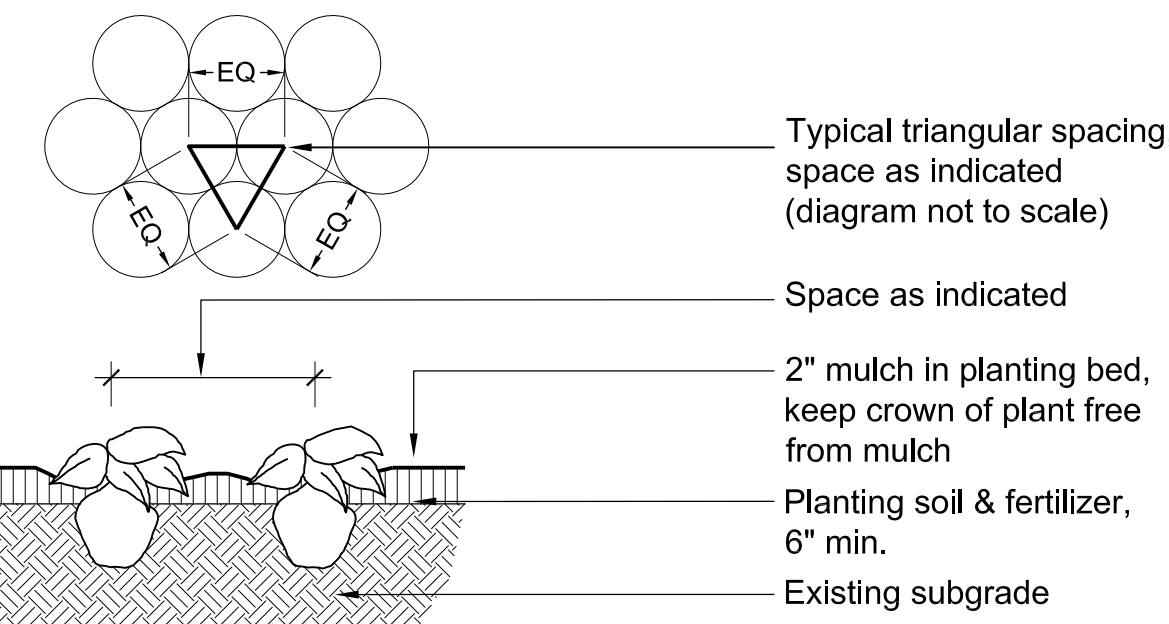
2. Remote Control Valve

Scale: 1-1/2 inch = 1'-0 inch



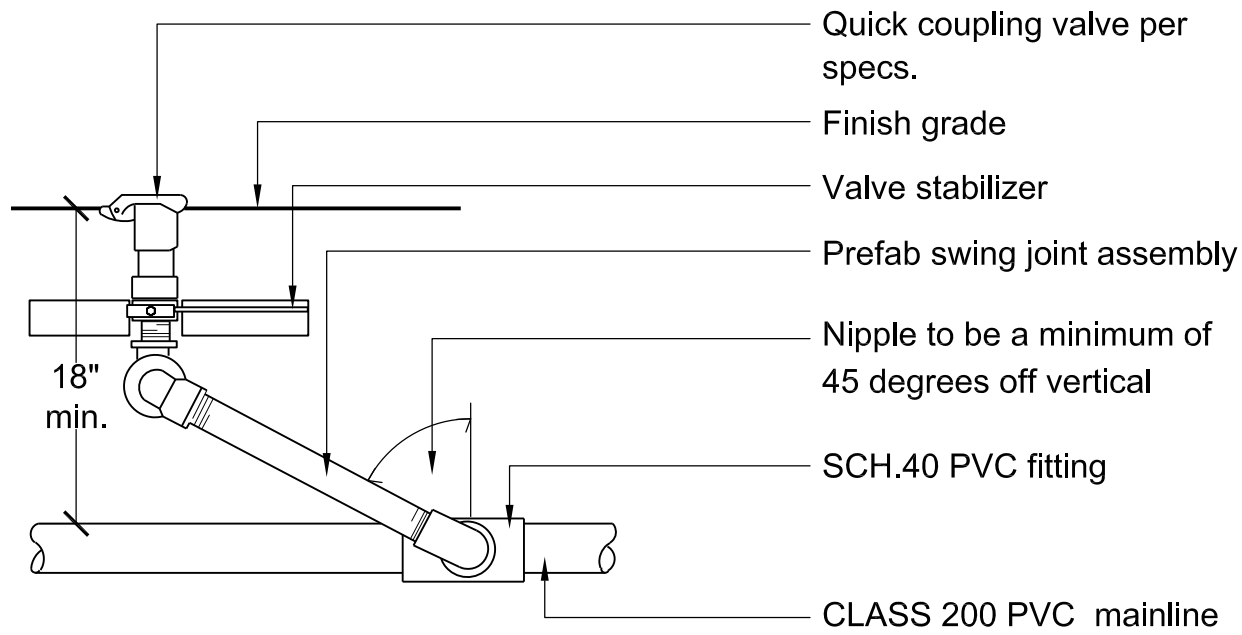
4. Pop-up Spray Head

Scale: 1 inch = 1'-0 inch



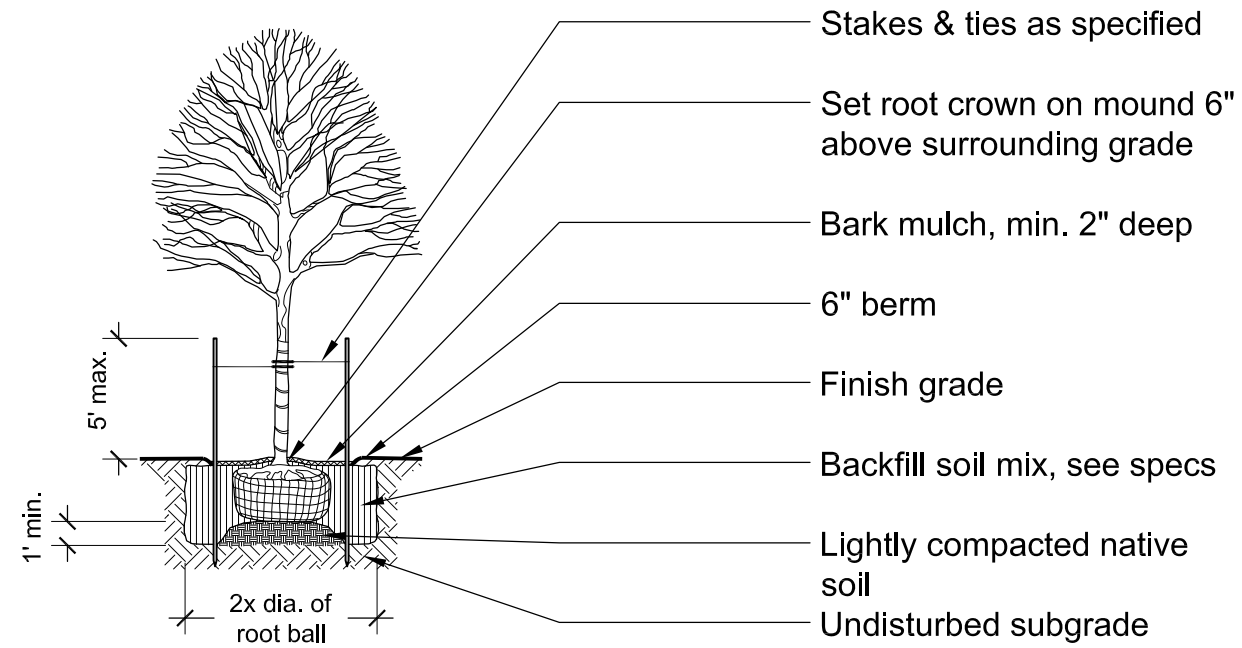
7. Groundcover & Perennial Planting

Scale: 1 inch = 1'-0 inch



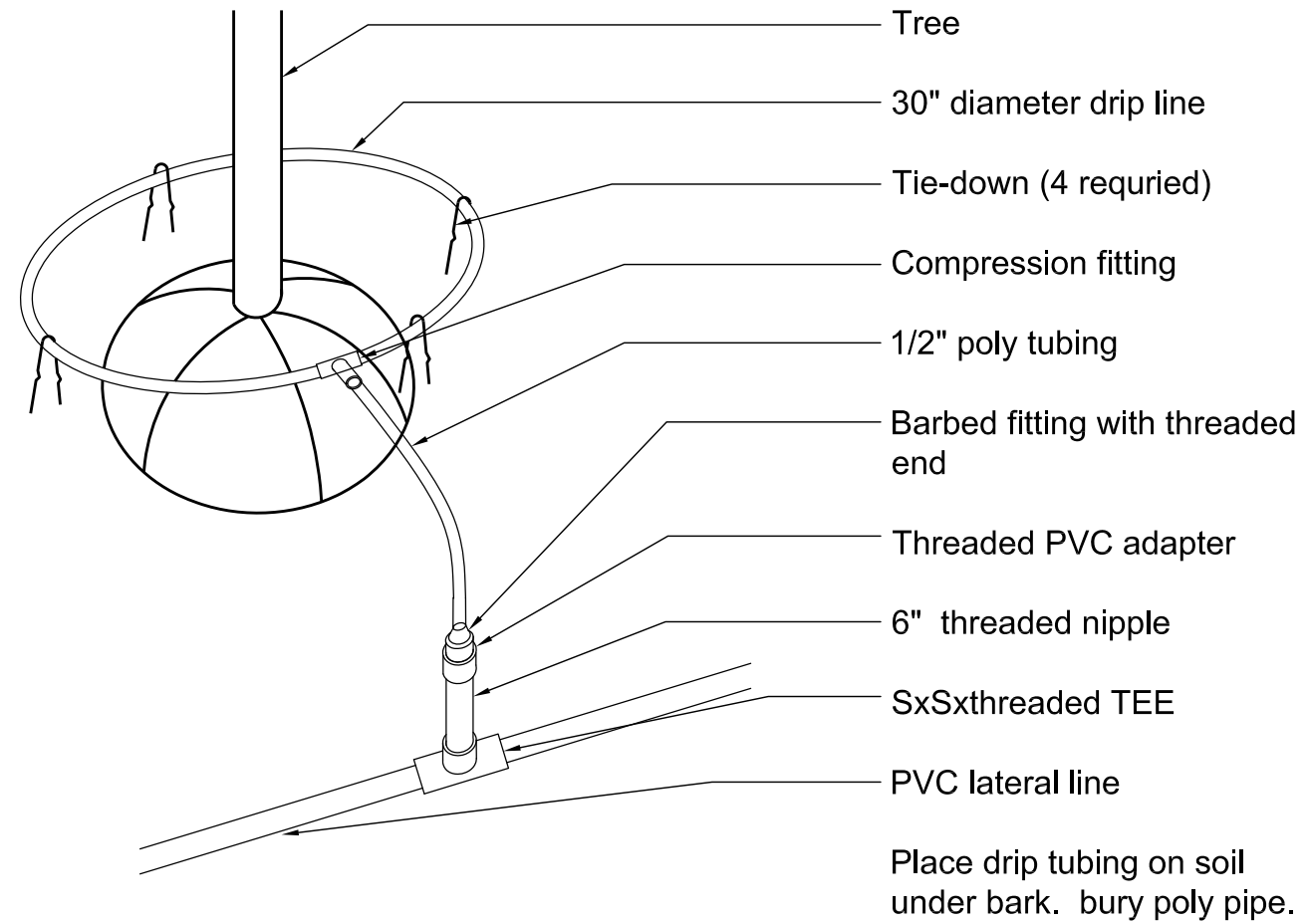
3. Quick Coupling Valve

Scale: 1 inch = 1'-0 inch



5. Tree Planting

Scale: 1/8 inch = 1'-0 inch



8. Dripline at Tree

Scale: 1-1/2 inch = 1'-0 inch



McMINNVILLE SCHOOL DISTRICT

1500 NE Baker Street McMinnville, OR 97128
tel 503 565 4000 fax 503 565 4030
www.msd.k12.or.us



Dull Olson Weekes - IBI Group Architects, Inc.

907 SW Stark Street Portland, OR 97205 USA
tel 503 226 6950 fax 503 273 9192
www.dowa-ibigroup.com www.ibigroup.com

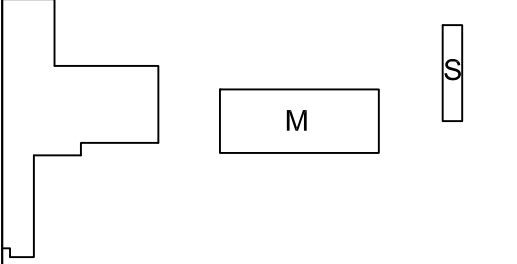
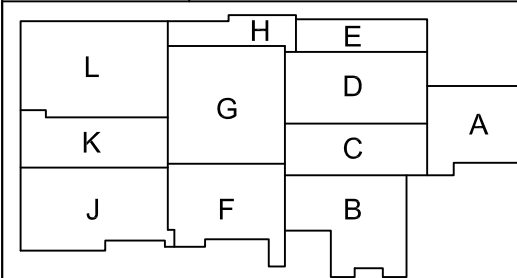


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McMinnville High School Addition and Remodel - Phase 3

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key plan

phase PERMIT SET

date 09/18/17

revisions

project # 16029

LANDSCAPE DETAILS

L4.04



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

EXHIBIT 7 - STAFF REPORT

DATE: October 18, 2017
TO: McMinnville Landscape Review Committee
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4G: L 44-17

Report in Brief:

An application for a tree removal (L 44-17) to be reviewed by the Landscape Review Committee.

Background:

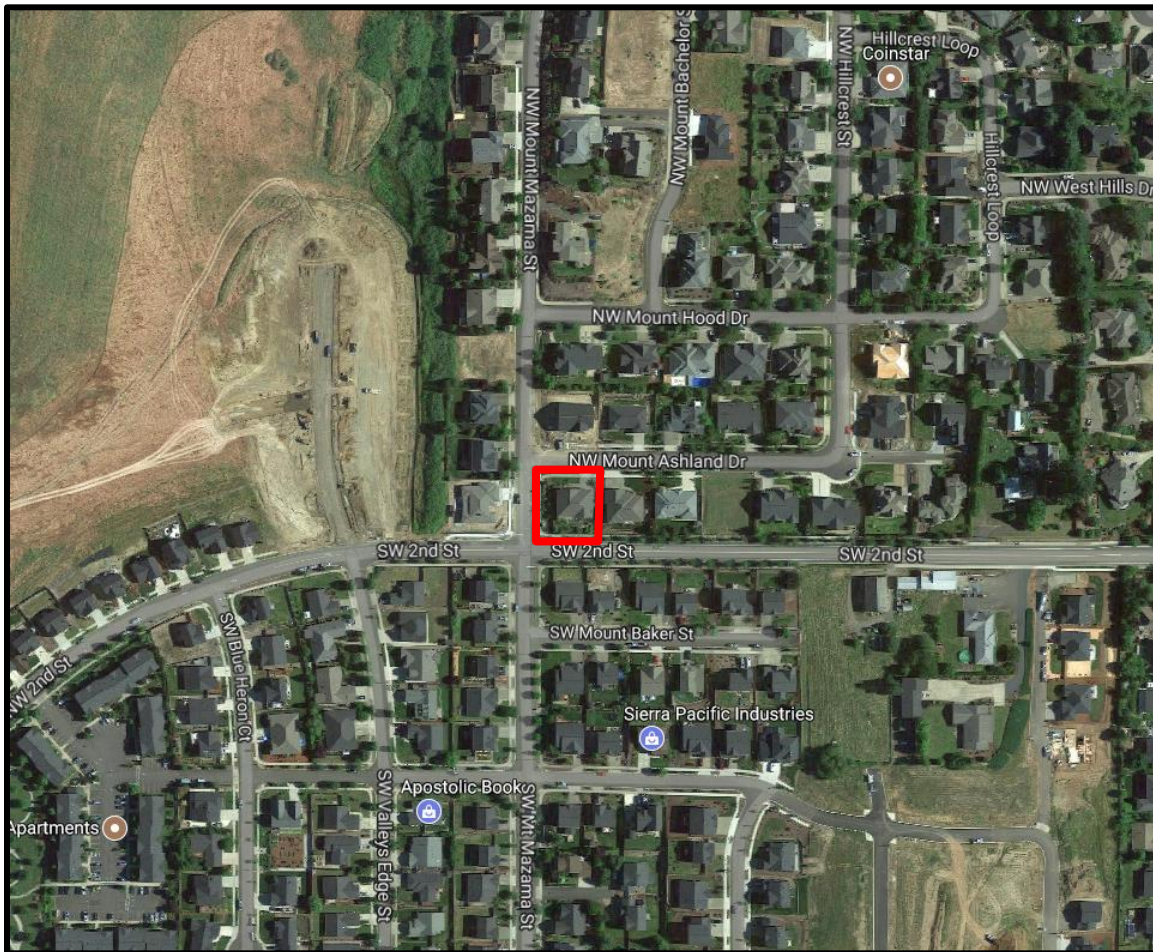
The applicant, Constance Nelson, submitted a street tree removal application to remove one (1) street tree from the property located at 2688 NW Mt. Ashland Drive. The subject property is more specifically described as Tax Lot 4400, Section 24AD, T. 4 S., R. 5 W., W.M.

Discussion:

The subject property is a single family property in the Hillcrest Phase 5 subdivision, north of 2nd Street. The subject site can be seen below as a red outlined area:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2688 NW Mt. Ashland Drive



The applicant is requesting the removal of one (1) street tree due to the tree dying suddenly in July 2017. The tree in question is a maple variety that measures approximately four (4) inches in diameter at breast height. The tree is located on the west side of the property, fronting NW Mt. Mazama Street. The applicant has provided photos that show the tree exhibiting distress and severe leaf curl and dead leaves.

The applicant did not propose any tree replacement in their application.

Review Criteria:

Section 17.58.050 (Review Criteria) of the McMinnville Zoning Ordinance states that street tree removals may be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.

The tree in question does display obvious evidence of significant distress. The tree exhibits severe leaf curl and all of the leaves on the tree died suddenly in July 2017. The other street trees adjacent to the subject property are all healthy, and were presumably planted at the same time. The tree in question appears to have died unexpectedly, which meets the criteria for removal.

A photo of the distressed tree, in comparison to other trees adjacent to the subject site, is provided below:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2688 NW Mt. Ashland Drive



B. The tree is in conflict with public improvements.

This criteria is not applicable, as the tree is not in conflict with public improvements.

C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.

This criteria is not applicable, as the tree is not part of an approved development or public improvement project.

Tree Replacement:

Section 17.58.040(D) (Tree Removal/Replacement) of the McMinnville Zoning Ordinance states that “Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value.”

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2688 NW Mt. Ashland Drive

The applicant did not propose to replace the street tree as part of their application. The planting strip where the tree that is proposed to be removed is located can accommodate a replacement tree. Therefore, staff is recommending that one (1) replacement tree be planted in the same location as the tree being removed, should the Landscape Review Committee approve the tree removal request. The approved street tree plan for this subdivision (L 2-07) identified the species for this street as October Glory Red Maple (*Acer rubrum* 'October Glory').

Fiscal Impact:

None.

Committee Options:

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

Based on the findings described above, staff is recommending that the street tree removal be approved with the following conditions:

1. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
2. That the tree's stumps and remaining surface roots shall be removed at least six (6) inches below grade.
3. The applicant shall use caution when removing the tree and the roots. The applicant shall take care to not come into contact with the buried secondary power facilities adjacent to the tree, and the applicant shall contact McMinnville Water and Light at (503) 472-6158 if there are any conflicts with the power facilities during the tree removal or replanting.
4. That the applicant shall plant one (1) street tree in place of the tree being removed. The replacement tree shall be an October Glory Red Maple (*Acer rubrum* 'October Glory'), and shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade.
5. That the replacement tree shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree and the curb side of the tree. The root barrier protection shall be placed in 10-foot lengths, centered on the tree, and to a depth of eighteen (18) inches. In addition, the tree shall be provided with deep watering tubes to promote deep root growth (see enclosed detail).

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2688 NW Mt. Ashland Drive

6. That the applicant shall contact the McMinnville Public Works Superintendent, David Renshaw, at (503) 434-7316 to discuss specific staking, watering tube requirements, and to schedule a planting inspection prior to backfilling.
7. That the applicant is reminded that trees are not to be planted within:
 - a. Five (5) feet of a private driveway or alley;
 - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
 - c. Twenty (20) feet of street light standards or street intersections.
8. That the planter areas shall be restored to original grade immediately following the planting of the replacement trees.
9. That all costs and liability associated with the tree removal and replacement shall be borne by the applicant.
10. That the applicant shall complete the removal within six (6) months of this approval notification, or April 18, 2018.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 44-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

CD:sjs

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of a Street Tree Removal at 2688 NW Mt. Ashland Drive



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311

www.mcminnvilleoregon.gov

**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF A STREET TREE REMOVAL AT 2688
NW MT. MAZAMA STREET**

DOCKET: L 44-17 (Street Tree Removal)

REQUEST: The applicant requested the removal of a street tree. The removal of a tree within the public right-of-way requires City approval.

LOCATION: The subject property is located at 2688 NW Mt. Mazama Street. The subject property is more specifically described as Tax Lot 4400, Section 24AD, T. 4 S., R. 5 W., W.M

ZONING: R-1 (Single Family Residential)

APPLICANT: Constance Nelson

STAFF: Chuck Darnell, Associate Planner

**DATE DEEMED
COMPLETE:** September 27, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: October 18, 2017. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL** of the street tree removal (L 44-17) **subject to the conditions of approval provided in this document.**

////////////////////////////////////

DECISION: APPROVAL WITH CONDITIONS

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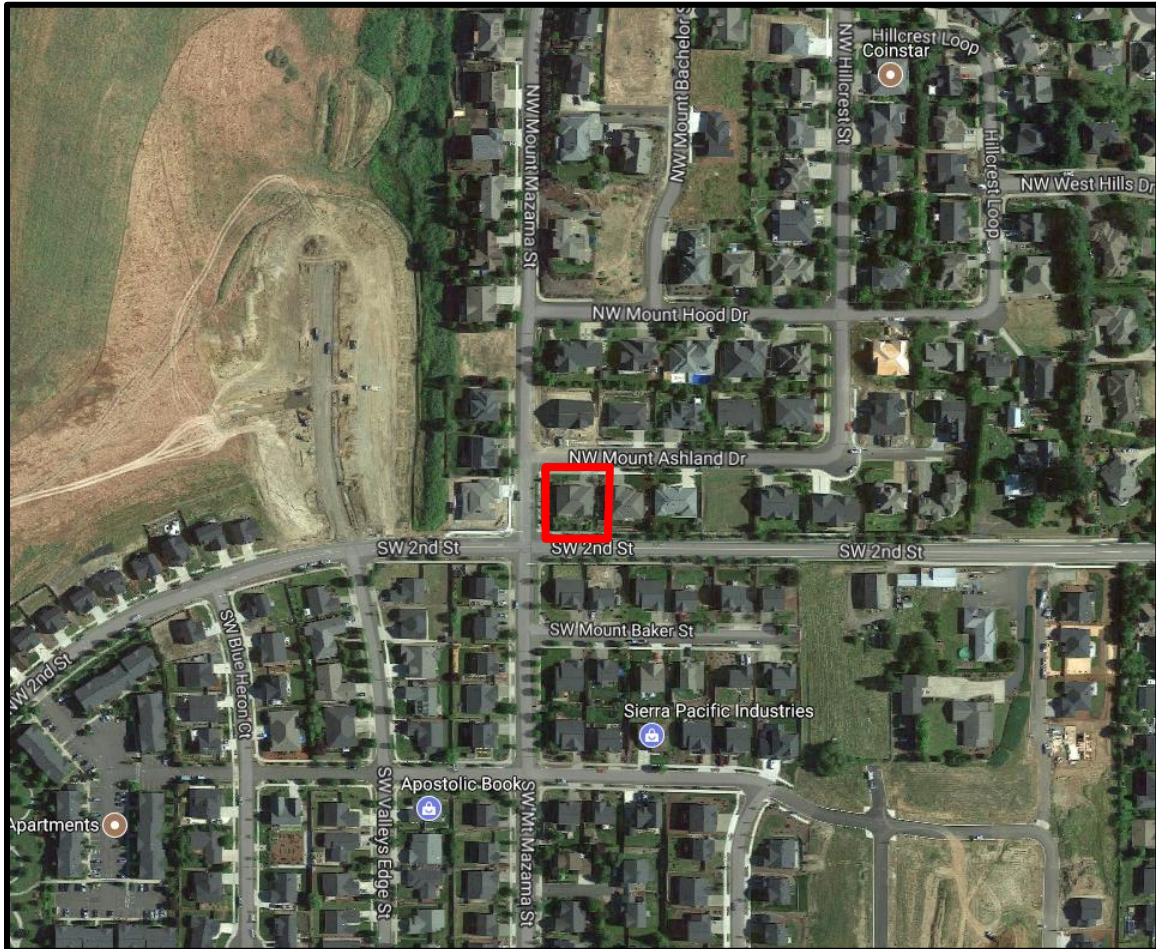
Date: _____

Date: _____

APPLICATION SUMMARY:

The applicant requested the removal of a street tree. The removal of a tree within the public right-of-way requires City approval.

The subject site can be seen below as a red outlined area:



The applicant is requesting the removal of one (1) street tree due to the tree dying suddenly in July 2017. The tree in question is a maple variety that measures approximately four (4) inches in diameter at breast height. The tree is located on the west side of the property, fronting NW Mt. Mazama Street. The applicant has provided photos that show the tree exhibiting distress and severe leaf curl and dead leaves.

CONDITIONS OF APPROVAL:

L 44-17 is **approved** subject to the following conditions:

1. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
2. That the tree's stumps and remaining surface roots shall be removed at least six (6) inches below grade.

Attachments:

Attachment 1 – Application for Street Tree Removal

3. The applicant shall use caution when removing the tree and the roots. The applicant shall take care to not come into contact with the buried secondary power facilities adjacent to the tree, and the applicant shall contact McMinnville Water and Light at (503) 472-6158 if there are any conflicts with the power facilities during the tree removal or replanting.
4. That the applicant shall plant one (1) street tree in place of the tree being removed. The replacement tree shall be an October Glory Red Maple (*Acer rubrum* 'October Glory'), and shall be a minimum of two (2) inches in caliper measured at six (6) inches above grade.
5. That the replacement tree shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of the tree and the curb side of the tree. The root barrier protection shall be placed in 10-foot lengths, centered on the tree, and to a depth of eighteen (18) inches. In addition, the tree shall be provided with deep watering tubes to promote deep root growth (see enclosed detail).
6. That the applicant shall contact the McMinnville Public Works Superintendent, David Renshaw, at (503) 434-7316 to discuss specific staking, watering tube requirements, and to schedule a planting inspection prior to backfilling.
7. That the applicant is reminded that trees are not to be planted within:
 - a. Five (5) feet of a private driveway or alley;
 - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
 - c. Twenty (20) feet of street light standards or street intersections.
8. That the planter areas shall be restored to original grade immediately following the planting of the replacement trees.
9. That all costs and liability associated with the tree removal and replacement shall be borne by the applicant.
10. That the applicant shall complete the removal within six (6) months of this approval notification, or April 18, 2018.

ATTACHMENTS:

1. Application for Street Tree Removal

COMMENTS:

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT

1. Constance Nelson submitted a tree removal application requesting the removal of a street tree. The removal of a tree within the public right-of-way requires City approval. The subject property is located at 2688 NW Mt. Ashland Drive. The property is more specifically described as Tax Lot 4400, Section 24AD, T. 4 S., R. 5 W., W.M.
2. The site is currently zoned R-1 (Single Family Residential), and is designated as Residential on the McMinnville Comprehensive Plan Map, 1980.

Attachments:

Attachment 1 – Application for Street Tree Removal

3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. No comments in opposition have been provided, and the comments provided by the Public Works Department and McMinnville Water and Light have been incorporated into the conditions of approval.
4. A public meeting was held by the Landscape Review Committee on October 18, 2017 to review the application and proposed street tree removal request. No comments in opposition were provided by the public prior to the public meeting.

CONCLUSIONARY FINDINGS:

McMinnville's Comprehensive Plan:

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL VI 1: TO ENCOURAGE DEVELOPMENT OF A TRANSPORTATION SYSTEM THAT PROVIDES FOR THE COORDINATED MOVEMENT OF PEOPLE AND FREIGHT IN A SAFE AND EFFICIENT MANNER.

Policy 132.38.00: Aesthetics and streetscaping shall be a part of the design of McMinnville's transportation system. Streetscaping, where appropriate and financially feasible, including public art, shall be included in the design of transportation facilities. Various streetscaping designs and materials shall be utilized to enhance the livability in the area of a transportation project.

Finding: GOAL VI 1 and Policy 132.38.00 is satisfied in that one (1) replacement tree is being required to be replanted in this location. Conditions of approval are included to ensure that the replacement tree is planted to the City's current standards, which will minimize impacts to surrounding infrastructure in the future. The planting of the replacement tree will enhance the streetscape and livability in the surrounding area.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

Attachments:

Attachment 1 – Application for Street Tree Removal

17.58.010 Purpose. The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues.

Finding: The approval of the removal request will allow for the removal of a tree that has died and will allow for a replacement tree to be planted. The removal of a dead tree and replacement with a healthy tree will carry out the purpose of the Trees chapter of the McMinnville Zoning Ordinance.

17.58.020 Applicability. The provisions of this ordinance shall apply to:

- A. Individual significant or historic trees as defined in this ordinance
- B. All trees planted in or upon any public area or right-of-way;
- C. All trees planted in or upon any private property which directly affect public infrastructure including but not limited to sewers, water mains, sidewalks, streets, public property, or clear vision distances at street intersections;
- D. All trees on developable land and subject or undergoing development review such as site plan review, tentative subdivision review, or partition review.

Finding: The tree being removed is located within the public right-of-way. Therefore, provisions of the Trees chapter of the McMinnville Zoning Ordinance apply and the removal of any tree within the public right-of-way requires City approval.

17.58.040 Tree Removal/Replacement

- A. The removal or major pruning of a tree, if applicable under Section 17.58.020, shall require City approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the McMinnville Planning Department. The applicant shall include information describing the location, type, and size of the subject tree or trees, and the reasons for the desired action, and the costs associated with tree removal, replacement, and repair of any other public infrastructure impacted by the tree removal or major pruning. Requests for tree removal or pruning of trees outside of the Downtown Tree Zone shall be forwarded to the McMinnville Landscape Review Committee for a decision within 30 (thirty) days of submittal. Requests for tree removal within the Downtown Tree Zone shall be submitted to the McMinnville Planning Department. Such requests shall be acted upon as soon as practicable, with consideration given to public safety, value of the tree to the public, and work schedules. The Planning Director or their designee should attempt to make decisions on such requests within five calendar days of submittal. The Landscape Review Committee or Planning Director, as appropriate, may approve, approve with conditions, or deny the request based on the criteria stated in Section 17.58.050. A decision of the committee or Director may be appealed to the Planning Commission if written notice of the appeal is filed with the Planning Department within 15 (fifteen) days of the committee's or Director's decision. A decision made by the Planning Director in response to a request to remove an unsafe tree, or a tree causing repeated and excessive damage to sidewalks or other public or private improvements or structures shall be final, unless appealed by the applicant; no other party shall have standing to appeal.
- B. Trees subject to this ordinance shall be removed or pruned following accepted pruning standards adopted by the City. The Planning Director, after consultation with appropriate city staff and/or a certified arborist, shall direct removal of downtown trees that are identified in a current Downtown Tree Zone inventory assessment as unhealthy, dangerous to the public, inappropriate for the downtown area, or otherwise in need of removal.

- C. The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.
- D. Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value. The value of the existing tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. Every attempt should be made to plant replacement trees in the same general location as the tree being removed. In the event that a replacement tree cannot be planted in the same general location, a condition of approval may be required to allow for the replacement tree to be planted in another location in the City as part of the City's annual tree planting program.
- E. The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.
- F. The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Landscape Review Committee's decision. The Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.
- G. Other conditions may be attached to the permit approval by the McMinnville Landscape Review Committee as deemed necessary.
- H. The planting of street trees shall be subject to the design drawings and specifications developed by the City in May 2014. Specific design drawings and specifications have been developed for trees outside the Downtown Tree Zone. Such design specifications may be periodically updated by the City to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees to minimize the potential for sidewalk / tree root conflict.

Finding: The provisions above are satisfied in that the applicant has requested a street tree removal to be reviewed by the Landscape Review Committee. The provisions related to standards to be followed in removing the tree are included as conditions of approval. A condition of approval has also been included to require one (1) replacement tree to be planted in place of the tree being removed. Conditions of approval are included to ensure that the replacement tree is planted to the City's current standards, which will minimize impacts to surrounding infrastructure in the future.

17.58.050 Review Criteria. A permit for major pruning or tree removal shall be granted if any of the following criteria apply:

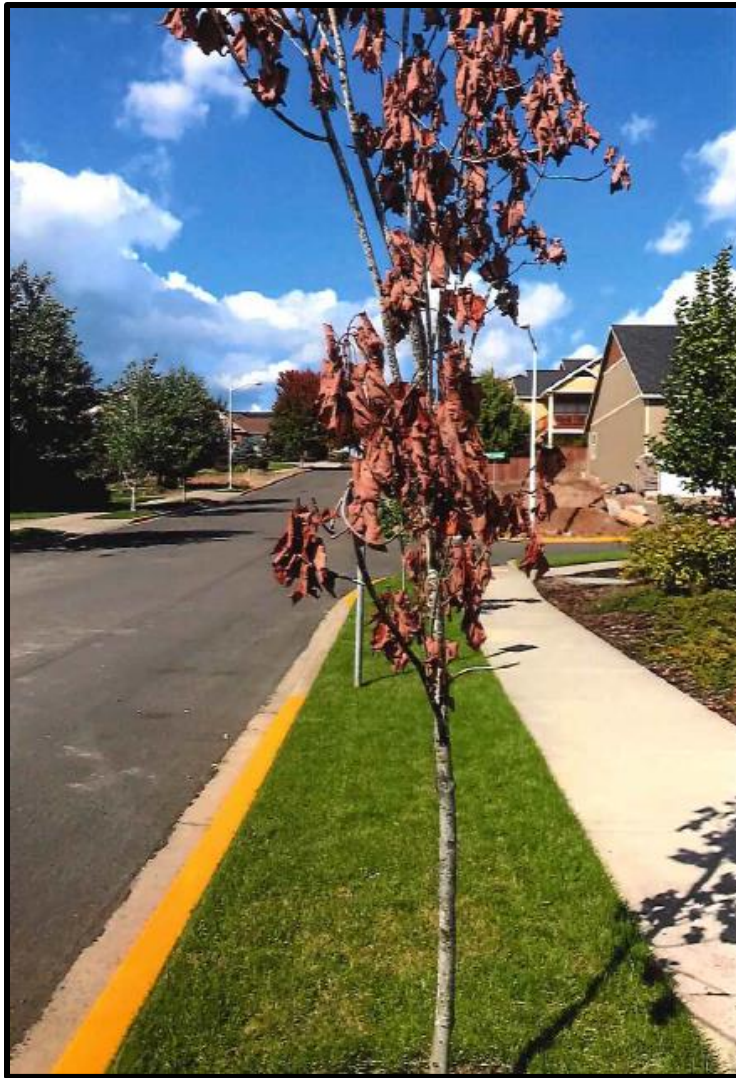
- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.

Finding: The tree in question does display obvious evidence of significant distress. The tree exhibits severe leaf curl and all of the leaves on the tree died suddenly in July 2017. The other street trees adjacent to the subject property are all healthy, and were presumably planted at the same time. The tree in question appears to have died unexpectedly, which meets the criteria for removal.

A photo of the distressed tree, in comparison to other trees adjacent to the subject site, is provided below:

Attachments:

Attachment 1 – Application for Street Tree Removal



CD:sjs



Planning Department

231 NE Fifth Street • McMinnville, OR 97128
(503) 434-7311 Office • (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:

File No. L44-17
Date Received 9-27-17
Fee 0
Receipt No. _____
Received by SP

Street Tree Removal

Applicant Information

Applicant is: ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other _____

Applicant Name Constance C Nelson Phone 206 399-3897

Contact Name _____ Phone _____
(If different than above)

Address 2688 NW Mt Ashland Dr.

City, State, Zip McMinnville, OR 97128

Contact Email ccn.jwb@yahoo.com

Property Owner Information

Property Owner Name See above Phone ~~206~~
(If different than above)

Contact Name _____ Phone _____

Address _____

City, State, Zip _____

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 2688 NW Mt. Ashland Dr. McMinnville, OR 97128
(Property nearest to tree(s) for removal)

Assessor Map No. R4 524 - AD - 04400 Total Site Area .23

Subdivision Hillcrest Phases Block _____ Lot 90

Comprehensive Plan Designation Res Zoning Designation R-1

Additional Information

1. How many trees are requested for removal? 1
2. What type (species) of tree(s) are they? red maple
3. What is the diameter of the tree(s), measured four feet above ground level? 4 3/8"
4. Why are you requesting the removal of the noted tree(s)? (See "Removal Criteria" on attached Information Sheet.) Explain which of the criteria is addressed through this application. _____

tree died suddenly in July 2017 -
Dead tree is located 42' from north of
NW SECOND ST. on Mt. Mezama St.

In addition to this completed application, the applicant must provide the following:

- ☒ A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the location of the tree(s) subject to the removal request, property lines, sidewalks, adjacent utilities (including overhead), north direction arrow, and adjacent streets.
- ☒ Arborist report, photographs, and/or other information which would help substantiate or clarify your request.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

[Signature]

Applicant's Signature

Sept 22, 2017

Date

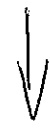
[Signature]

Property Owner's Signature

Sept. 22, 2017

Date

NW M. A. ZANAST



37'

DEAD TREE

5'

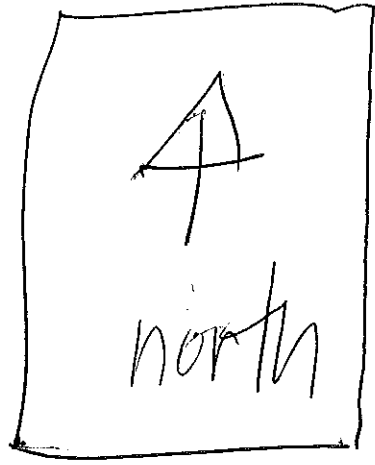
5'



MEDIAN STRIP

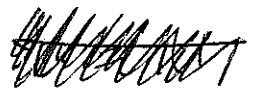
SIDEWALK

5'

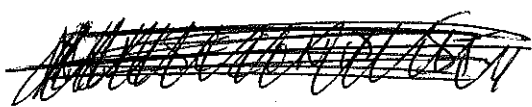


2688
NW Mt Ashland Dr
Mc Minnville, OR 97128
Property owners:
John W. Butler
Constance C. Nelson

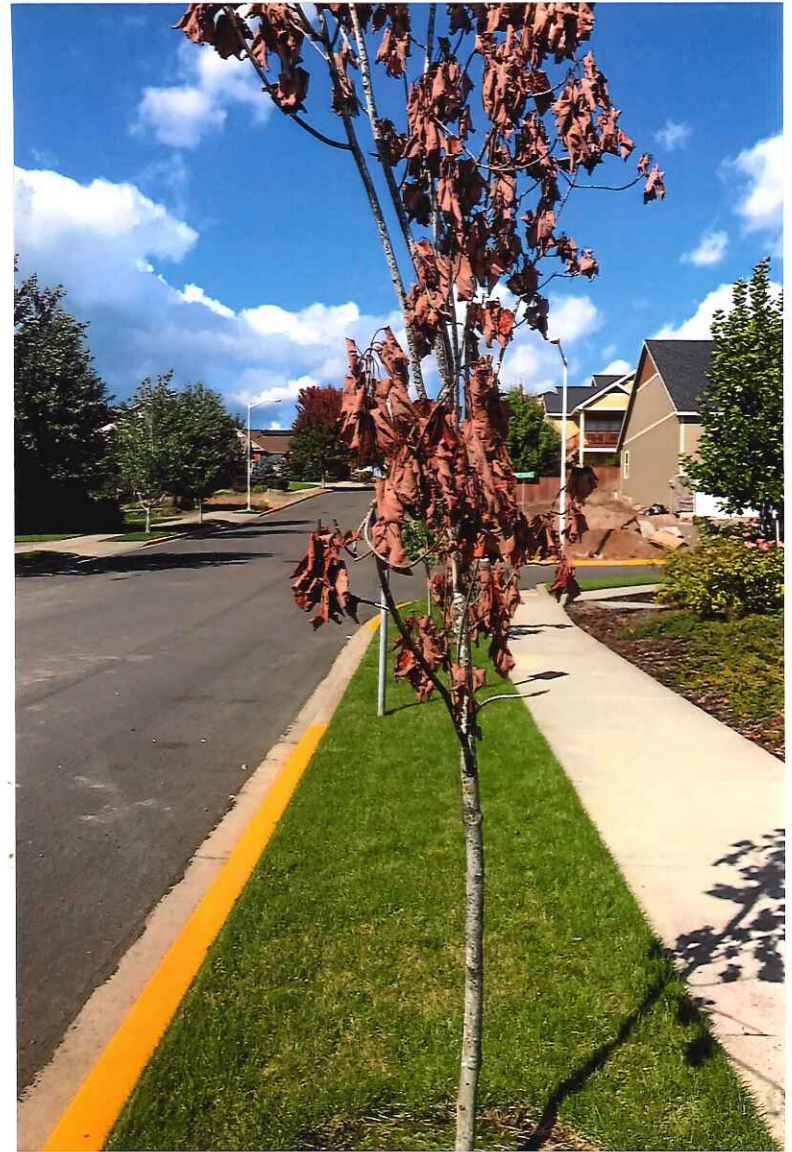
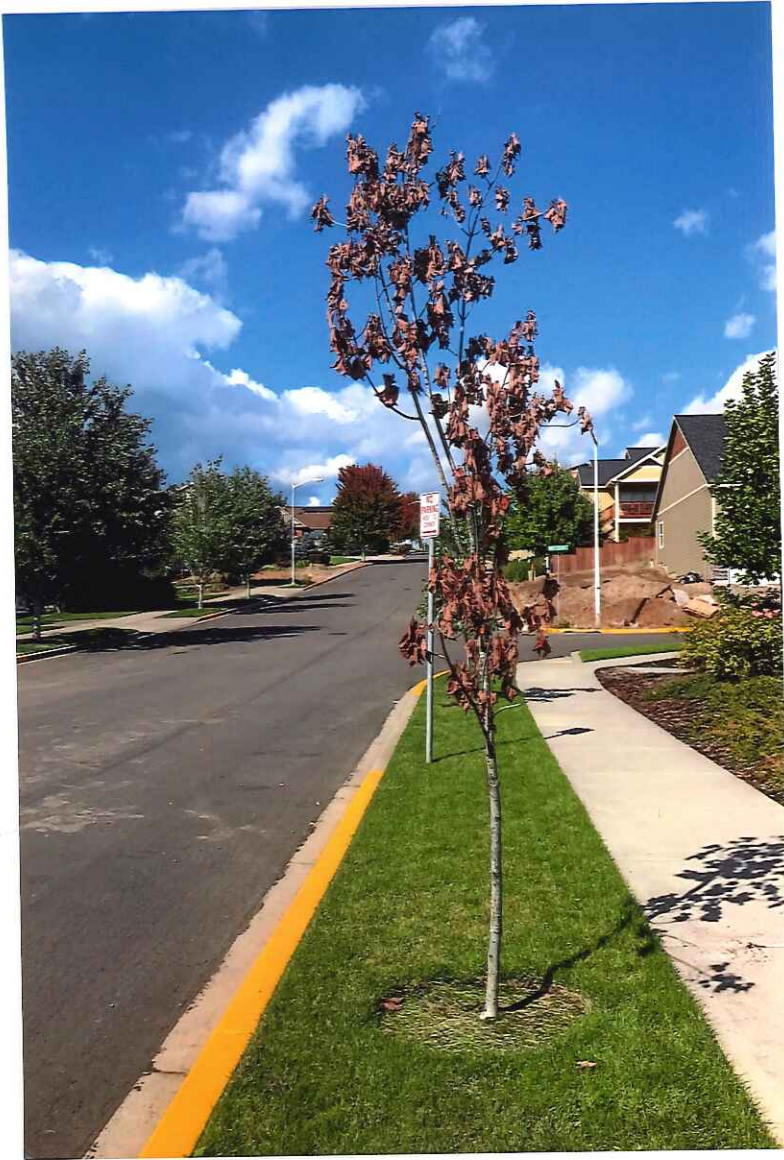
1 square = 1'



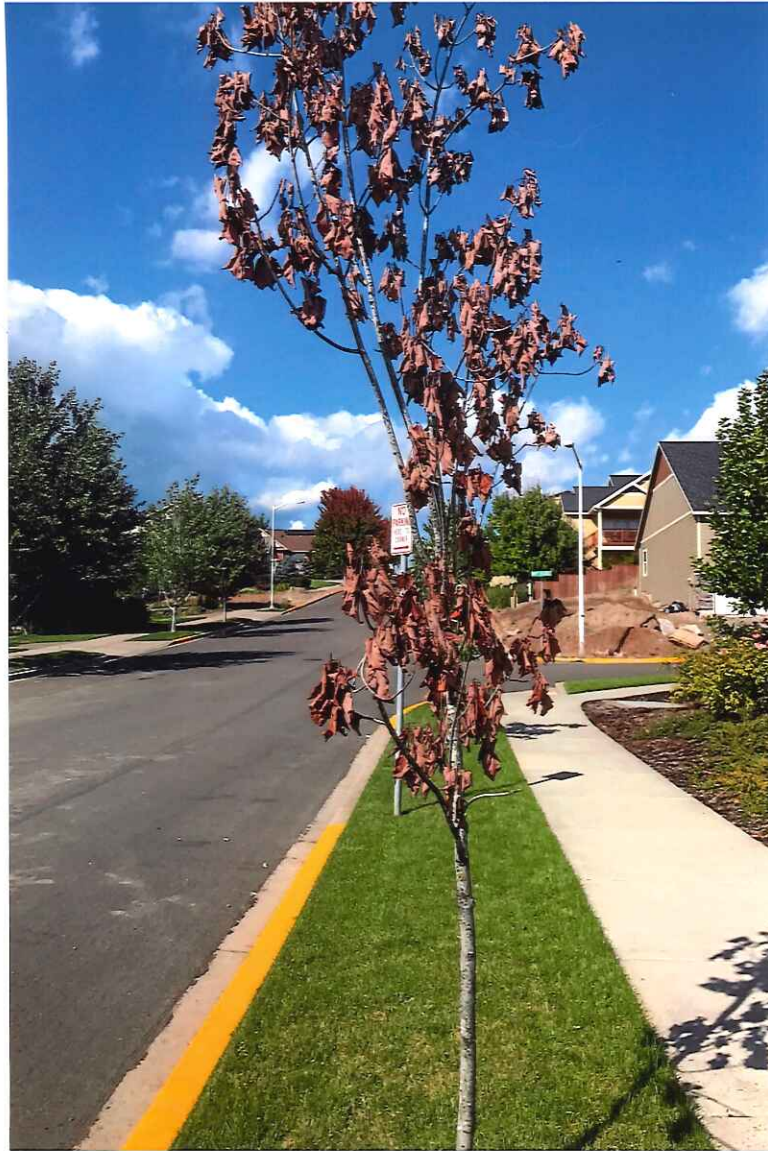
SIDEWALK



NW 2nd St.









City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

EXHIBIT 8 - STAFF REPORT

DATE: October 18, 2017
TO: Landscape Review Committee Members
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4H: L 34-17

Report in Brief:

A revised landscape plan for the construction of new industrial buildings (L 34-17) has been submitted to be reviewed by the Landscape Review Committee.

Background:

The applicant, Billy Anaya on behalf of Gallant Construction, submitted a landscape plan review application to install landscaping around two new industrial buildings proposed to be constructed on the property located at 1445 NE Miller Street. The subject property is more specifically described as Tax Lot 2100, Section 15C, T. 4 S., R. 4 W., W.M.

The Landscape Review Committee reviewed the original landscape plan at their September 20, 2017 meeting and continued the application to allow the applicant to make revisions to the plan to better meet the landscape plan review criteria in Section 17.57.070(B)(1) and Section 17.57.070(B)(2) of the McMinnville Zoning Ordinance. Specifically, the Landscape Review Committee had concerns with the proposed screening on the north and south sides of the new buildings. The Committee also had concerns with the planting densities on the east sides of the new buildings and within the planting islands adjacent to the entry driveway. During the original review, the proposed street tree species was identified as being too large to be planted under the existing overhead utility lines. The revised landscape plan includes revisions in response to the concerns of the Landscape Review Committee and the continuance of the originally proposed plan.

Discussion:

The subject property is zoned M-2 PD (General Industrial Planned Development). The existing site is vacant, and the applicant is proposing to construct two new industrial buildings on the property. The use of the new buildings is yet to be determined, but will be some type of either manufacturing or warehousing uses. The subject site can be seen below as a red outlined area:

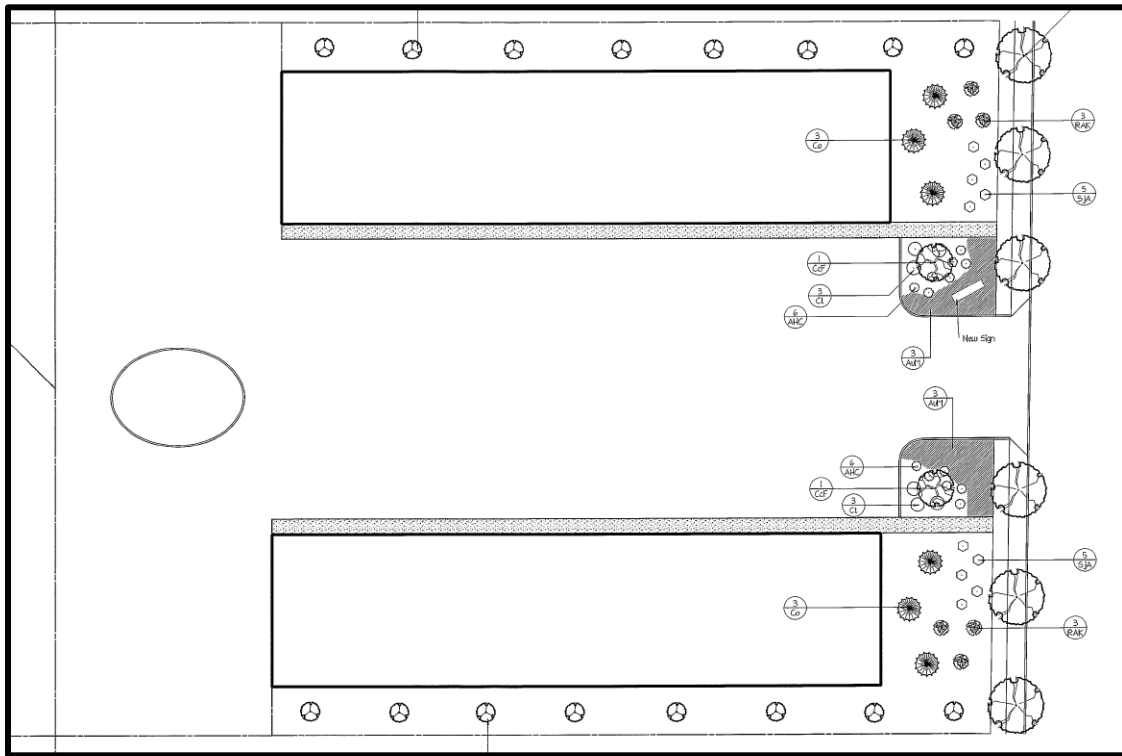
Attachments:

Attachment A - Decision Document

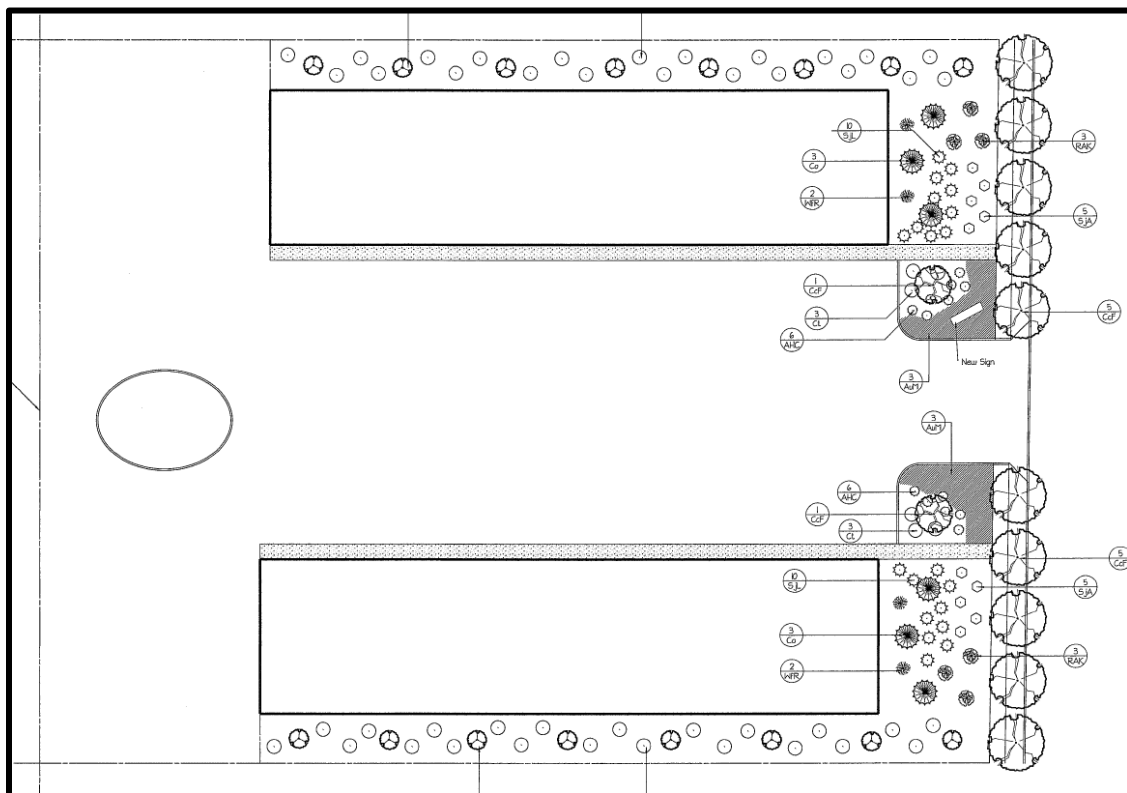


The Landscaping chapter of the McMinnville Zoning Ordinance requires that at least seven (7) percent of the gross area of a site being developed be landscaped (Section 17.57.070(A) (Area Determination – Planning Factors)). The landscape plan as proposed exceeds those requirements, as about 18 percent of the area of the site being developed is proposed to be landscaped.

The landscaping originally proposed on the portion of the site being developed can be seen below:



The revised landscaping now proposed on the portion of the site being developed can be seen below:



In response to the continuance of the original landscape plan and to better meet Section 17.57.070(B) (Area Determination – Planning Factors) of the McMinnville Zoning Ordinance, the applicant has

Attachments:

Attachment A - Decision Document

increased the planting density in all of the landscape beds. More detail on the proposed revisions is described in more detail below for each of the review criteria in Section 17.57.070(B):

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

On the north and south sides of each building, the applicant is proposing to install a continuous row of Vine Maple (*Acer circinatum*) trees. These trees are shown to be placed 25 to 30 feet apart on center, which will not provide for a continuous canopy. Therefore, the applicant has added 21 Otto Luyken Cherry Laurel (*Prunus laurocerasus* 'Otto Luyken') shrubs, placed in groups of three (3), between each of the Vine Maple trees. The Otto Luyken Cherry Laurel shrubs are a wide spreading shrub that can reach widths of up to 10 (ten) feet, and the proposed spacing of the shrubs is about 10 (ten) feet on center. This will provide for a full landscaped bed with a variety of shrubs and small trees that will provide more interest between the new buildings and adjacent properties.

Between the buildings and the sidewalk, the applicant is proposing to install a variety of trees and shrubs. Closer to the buildings, there will be three (3) Hinoki Falsecypress (*Chamaecyparis obtuse*) trees. These evergreen trees will be six (6) feet tall at installation, but will grow to be much taller in height at maturity. The spread on this species of tree can also be up to 20 feet, which will provide for full coverage of the planting area at maturity. In front of the row of Hinoki Falsecypress trees, the applicant had originally been proposing to install just rhododendron (*Rhododendron* 'Anah Kruschke') and Japanese spirea (*Spirea japonica* 'Anthony's Waterer'). To better fill out the planting area, the applicant has proposed to add 10 (ten) Little Princess Spirea (*Spirea japonica* 'Little Princess') and two (2) Red Prince Old Fashioned Weigela (*Weigela florida* 'Red Prince') on the east side of each of the two (2) buildings. Along with the wide spread of the Hinoki Falsecypress trees, the landscape bed will be full with more plant material and a variety of shrubs.

On each side of the entry drive aisle into the site, the applicant is proposing to create two additional planting islands to that will frame the entry to the site. One Forest Pansy Redbud (*Cercis canadensis* 'Forest Pansy') will be planted in each of these planting areas. This species of deciduous tree will reach a mature height of 20 feet and will have a wide spread up to 25 feet in width. Surrounding each of the Forest Pansy Redbud trees, the applicant is proposing to install Mexican Orange (*Choisya ternata*) and Hino Crimson Azalea (Azalea 'Hino Crimson'). To fill out these planting areas, Massachusetts Bears Grape will be installed as a groundcover. The Committee had concerns with the density of the Massachusetts Bears Grape, and the applicant clarified on the plans that there will be three (3) flats of four (4) inch plants planted in each planting island. This amounts to 54 plants in each of the planting islands as groundcover, which will provide for full coverage of the planting island.

Staff believes that the proposed planting plan landscaping is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

The proposed use will be screened on the sides most visible from the public right-of-ways by a combination of existing and new landscaping. Street trees will provide for some screening, and additional deciduous and evergreen trees will be installed between the buildings and the public right-of-way. Along the north and south sides of the property, Vine Maple trees will be installed that will reach heights of 10-20 feet with canopy widths of about the same size. These trees will provide for screening of the new buildings from adjacent properties to the north and south. Numerous shrubs are now provided in the landscaped beds, spaced at distances that will provide full coverage and screening of the proposed use from the adjacent public right-of-way and adjacent properties.

Street Tree Review:

In reviewing the street tree portion of the landscape plan, Section 17.58.090 of the McMinnville Zoning Ordinance requires the Landscape Review Committee to consider the following standards:

- A. The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.

The applicant had originally proposed to install October Glory Red Maple (*Acer rubrum* 'October Glory') trees within curb-side planting strips adjacent to the public right-of-way. The McMinnville Street Tree List lists Red Maple varieties as an approved street tree, and considers these types of trees to be "medium trees" based on their mature height of 40 feet. However, there are overhead utility lines within the public right-of-way adjacent to this site. McMinnville Water and Light has concerns with the use of October Glory Red Maple trees under the overhead utilities because their mature height will cause continual maintenance issues. Therefore, the applicant revised the plan to instead install Forest Pansy Redbud (*Cercis canadensis* 'Forest Pansy') trees in the planting strip. The Forest Pansy Redbud is a species that is listed on the Small Trees section of the McMinnville Street Tree List. All species from the Small Trees section are appropriate for planting beneath overhead utilities due to their mature height and size. The Forest Pansy Redbud grows to a mature height of 20 feet and a mature canopy width of 25 feet.

- B. Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

The applicant is proposing to install 1.75 inch caliper trees, based on the availability of the trees from local nurseries. This size is very close to the minimum standard, so staff believes the trees could be installed at 1.75 inches in caliper. A condition of approval is recommended to specify that the trees be a minimum of 1.75 inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety.

- C. Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes.

The street tree plan shows an evenly spaced planting pattern. The Forest Pansy Redbud tree, with a mature height of 20 feet and a mature canopy width of 25 feet, is classified as a small or narrow stature tree from the Small Trees section of the McMinnville Street Tree List. This results in a spacing requirement of no more than 20 feet between trees. The landscape plan shows the street trees spaced at 20 feet between trees, which amounts to five (5) trees on both the north and south sides of the entry driveway.

- D. When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three (3) feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four (4) feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb.

Miller Street is considered a local street. The applicant is proposing to include a five (5) foot wide planting strip along Miller Street, which is greater than the three (3) foot minimum requirement.

- E. Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.

Utilities were not identified on the street tree plan, but a condition of approval will be included to ensure that the street trees will meet the required setbacks from each type of utility and the driveway.

Fiscal Impact:

None.

Commission Options:

- 1) **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
- 2) **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
- 3) **CONTINUE** the application, requesting the applicant to submit more information or details for review.
- 4) **DENY** the application, providing findings of fact for the denial in the motion to deny.

Recommendation/Suggested Motion:

Based on the findings described in the staff report and decision document, staff is recommending that the landscape plan be approved with the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan received October 4, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
3. That the applicant shall install Forest Pansy Redbud (*Cercis canadensis* 'Forest Pansy') trees in the planting strip in the right-of-way adjacent to the subject site. The trees shall be a minimum of 1.75 inches in caliper measured at six (6) inches above grade. The use of other tree species may be permitted with prior approval from the Landscape Review Committee.
4. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

Attachments:

Attachment A - Decision Document

5. That each street tree shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of each tree and the curb side of each tree. The root barrier protection shall be placed in 10-foot lengths, centered on each tree, and to a depth of eighteen (18) inches. In addition, all trees shall be provided with deep watering tubes to promote deep root growth (see enclosed detail).
6. That the applicant shall schedule an inspection with the McMinnville Public Works Superintendent of the installed root barrier and water tubes prior to any street tree planting. Trees intended for planting shall be on-site and available for inspection. The applicant shall contact the McMinnville Public Works Superintendent, David Renshaw, at (503) 434-7316 to schedule a planting inspection prior to backfilling.
7. That the applicant is reminded that trees are not to be planted within:
 - a. Five (5) feet of a private driveway or alley;
 - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
 - c. Twenty (20) feet of street light standards or street intersections.
8. That the street trees shall be continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.
9. That the applicant shall maintain proper clearances around the future water and electrical services that will be located on the east side of the site. Landscaping shall not be placed within four (4) feet of fire hydrants, within four (4) feet of water valves, within four (4) feet of vaults, within three (3) feet of the back or side of a transformer, or within one (1) foot of water meters. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
10. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 34-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

CD:sjs



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311

www.mcminnvilleoregon.gov

**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF LANDSCAPE PLAN FOR AN
EXPANDED INDUSTRIAL BUILDING AT 1445 NE MILLER STREET**

DOCKET: L 34-17

REQUEST: The applicant requested the approval of a landscape plan for two new industrial buildings. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

LOCATION: The property in question is located at 1445 NE Miller Street. The subject property is more specifically described as Tax Lot 2100, Section 15C, T. 4 S., R. 4 W., W.M.

ZONING: M-2 PD (General Industrial Planned Development).

APPLICANT: Billy Anaya on behalf of Gallant Construction

STAFF: Chuck Darnell, Associate Planner

**DATE DEEMED
COMPLETE:** September 1, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: September 20, 2017 and October 18, 2017. Meetings were held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL WITH CONDITIONS** of the landscape plan (L 34-17).

DECISION: APPROVAL WITH CONDITIONS

Date: _____

Date: _____

APPLICATION SUMMARY:

The applicant requested the approval of a landscape plan for two new industrial buildings. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance.

The subject site can be seen below as a red outlined area:

**CONDITIONS OF APPROVAL**

L 34-17 is **approved** subject to the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan received October 4, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
3. That the applicant shall install Forest Pansy Redbud (*Cercis canadensis* 'Forest Pansy') trees in the planting strip in the right-of-way adjacent to the subject site. The trees shall be a minimum of 1.75 inches in caliper measured at six (6) inches above grade. The use of other tree species may be permitted with prior approval from the Landscape Review Committee.

Attachments:

Attachment 1 – Application for Landscape Plan Review

4. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.
5. That each street tree shall be provided with root barrier protection in order to minimize sidewalk and tree root conflicts. The barrier shall be placed on the public sidewalk side of each tree and the curb side of each tree. The root barrier protection shall be placed in 10-foot lengths, centered on each tree, and to a depth of eighteen (18) inches. In addition, all trees shall be provided with deep watering tubes to promote deep root growth (see enclosed detail).
6. That the applicant shall schedule an inspection with the McMinnville Public Works Superintendent of the installed root barrier and water tubes prior to any street tree planting. Trees intended for planting shall be on-site and available for inspection. The applicant shall contact the McMinnville Public Works Superintendent, David Renshaw, at (503) 434-7316 to schedule a planting inspection prior to backfilling.
7. That the applicant is reminded that trees are not to be planted within:
 - a. Five (5) feet of a private driveway or alley;
 - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm or water line; or
 - c. Twenty (20) feet of street light standards or street intersections.
8. That the street trees shall be continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.
9. That the applicant shall maintain proper clearances around the future water and electrical services that will be located on the east side of the site. Landscaping shall not be placed within four (4) feet of fire hydrants, within four (4) feet of water valves, within four (4) feet of vaults, within three (3) feet of the back or side of a transformer, or within one (1) foot of water meters. Minor adjustments in plant placement from the locations shown on the approved landscape plan are allowed if relocation is necessary to meet minimum clearances.
10. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

ATTACHMENTS

1. Application for Landscape Plan Review

COMMENTS

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT

1. Billy Anaya on behalf of Gallant Construction submitted a landscape plan review application to install landscaping on the property located at 1445 NE Miller Street. The subject property is more specifically described as Tax Lot 2100, Section 15C, T. 4 S., R. 4 W., W.M.

Attachments:

Attachment 1 – Application for Landscape Plan Review

2. The site is currently zoned M-2 PD (General Industrial Planned Development), and is designated as Industrial on the McMinnville Comprehensive Plan Map, 1980.
3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. McMinnville Water and Light expressed concerns with the locations of some of the plant materials, and conditions of approval have been added to address the concerns.
4. Public meetings were held by the Landscape Review Committee on September 20, 2017 and October 18, 2017 to review the application and proposed landscape plan. No comments in opposition were provided by the public prior to the public meetings.

CONCLUSIONARY FINDINGS:

McMinnville's Comprehensive Plan:

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL IV 6: TO INSURE INDUSTRIAL DEVELOPMENT THAT MAXIMIZES EFFICIENCY OF LAND USES, THAT IS APPROPRIATELY LOCATED IN RELATION TO SURROUNDING LAND USES, AND THAT MEETS NECESSARY ENVIRONMENTAL STANDARDS.

Policy 54.00: The City of McMinnville shall establish industrial planned development ordinances which shall be placed over the future industrial areas designated on the McMinnville Comprehensive Plan Map, the industrial reserve area, and certain existing industrially designated areas within the city limits. The overlay shall also be applied to any areas which are in the future designated for future industrial use through an amendment to the comprehensive plan map. The overlays shall provide standards to control the nuisance and negative environmental effects of industries. These controls shall cover, but not be limited to, the following areas:

- 1. Landscaping and screening*

Finding: Goal IV 6 and Policy 54.00 are satisfied in that the Comprehensive Plan states that industrial development shall be located appropriately to be compatible with surrounding uses. Landscaping is a standard that is listed in the Comprehensive Plan as one way to mitigate the effects of industrial developments. Landscaping is proposed to be installed with this industrial development, which will provide for additional screening of the proposed use resulting in the industrial development being more compatible with the surrounding properties.

GOAL VI 1: TO ENCOURAGE DEVELOPMENT OF A TRANSPORTATION SYSTEM THAT PROVIDES FOR THE COORDINATED MOVEMENT OF PEOPLE AND FREIGHT IN A SAFE AND EFFICIENT MANNER.

Policy 122.00: The City of McMinnville shall encourage the following provisions for each of the three functional road classifications:

- 1. Major, minor arterials.*
–Landscaping should be encouraged along public rights-of-way.
- 2. Major, minor collectors.*
–Landscaping should be encouraged along public rights-of-way.
- 3. Local Streets*
–Landscaping should be encouraged along public rights-of-way.

Attachments:

Attachment 1 – Application for Landscape Plan Review

Finding: Goal VI 1 and Policy 122.00 are satisfied in that street trees will be installed within the public right-of-way, and landscaping will be installed within the site adjacent to the public right-of-way.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMinnville.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.57.010 Purpose and intent. The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. [...]

Finding: The landscape plan as proposed would enhance the appearance of the city and will benefit the economic, ecological, and aesthetic environment of the city. The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below.

17.57.030 Zones where required. Landscaping shall be required in the following zones except as otherwise noted: [...]

H. M-2 (General Industrial zone).

Finding: The subject site is zoned M-2 (General Industrial), and landscaping is being provided as required.

17.57.050 Plans—Submittal and review—Approval—Time limit for completion.

C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;

Finding: The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below. Modifications as required by the conditions of approval will be discussed with the applicant and agreed to prior to the issuance of a building permit.

Attachments:

Attachment 1 – Application for Landscape Plan Review

17.57.070 Area Determination—Planning factors.

A. Landscaping shall be accomplished within the following ranges:

1. Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

Finding: The landscape plan as proposed shows 18 percent of the portion of the site being developed as landscaped area.

B. The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

Finding: The subject site is a larger parcel, but the applicant is only proposing to develop the eastern half of the site at the current time. Therefore, landscaping is only required and proposed on the portion of the site being developed. The access to the site will be in the center of the existing tax lot, and will lead into a drive aisle and parking area with identical industrial buildings on the north and south sides of the site. The applicant is proposing to install a majority of the landscaping on the east side of the proposed buildings, between the buildings and NE Miller Street, and also along the north and south sides of the proposed buildings. The applicant is also proposing to install street trees in the public right-of-way adjacent to the site, which will be discussed in more detail below.

Between the buildings and the sidewalk, the applicant is proposing to install a variety of trees and shrubs. Closer to the buildings, there will be three (3) Hinoki Falsecypress (*Chamaecyparis obtuse*) trees. These evergreen trees will be six (6) feet tall at installation, but will grow to be much taller in height at maturity. The spread on this species of tree can also be up to 20 feet, which will provide for full coverage of the planting area at maturity. In front of the row of Hinoki Falsecypress trees, the applicant is proposing to install a variety of rhododendron (*Rhododendron* 'Anah Kruschke'), Japanese spirea (*Spirea japonica* 'Anthony's Waterer'), Little Princess Spirea (*Spirea japonica* 'Little Princess'), and Red Prince Old Fashioned Weigela (*Weigela florida* 'Red Prince') to fill out the planting area.

On each side of the entry drive aisle into the site, the applicant is proposing to create two additional planting islands that will frame the entry to the site. One Forest Pansy Redbud (*Cercis canadensis* 'Forest Pansy') will be planted in each of these planting areas. This species of deciduous tree will reach a mature height of 20 feet and will have a wide spread up to 25 feet in width. Surrounding each of the Forest Pansy Redbud trees, the applicant is proposing to install Mexican Orange (*Choisya ternata*) and Hino Crimson Azalea (Azalea 'Hino Crimson'). To fill out these planting areas, three (3) flats of four (4) inch Massachusetts Bears Grape plants will be planted in each planting island. This amounts to 54 Massachusetts Bears Grape plants in each of the planting islands as groundcover, which will provide for full coverage of the planting island.

On the north and south sides of each building, the applicant is proposing to install a continuous row of Vine Maple (*Acer circinatum*) trees. These trees are shown to be placed 25 to 30 feet apart on center, which will not provide for a continuous canopy. Therefore, the applicant has added 21 Otto Luyken Cherry Laurel (*Prunus laurocerasus* 'Otto Luyken') shrubs, placed in groups of three (3), between each of the Vine Maple trees. The Otto Luyken Cherry Laurel shrubs are a wide spreading shrub that can reach widths of up to 10 (ten) feet, and the proposed spacing of the shrubs is about 10 (ten) feet on center. This will provide for a full landscaped bed with a variety of shrubs and small trees that will provide more interest between the new buildings and adjacent properties.

Attachments:

Attachment 1 – Application for Landscape Plan Review

Staff believes that the proposed planting plan landscaping is compatible with the proposed development and that the subject site will be compatible with surrounding properties.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

Finding: The proposed use will be screened on the sides most visible from the public right-of-ways by a combination of existing and new landscaping. Street trees will provide for some screening, and additional deciduous and evergreen trees will be installed between the buildings and the public right-of-way. Along the north and south sides of the property, Vine Maple trees will be installed that will reach heights of 10-20 feet with canopy widths of about the same size. These trees will provide for screening of the new buildings from adjacent properties to the north and south. Numerous additional shrubs are provided in the landscaped beds, spaced at distances that will provide full coverage and screening of the proposed use from the adjacent public right-of-way and adjacent properties.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

Finding: A majority of the site is vacant of any vegetation, and has been used for agriculture use in the interim until the site was developed. Therefore, there is not much existing natural features to preserve. However, there are a few trees located on the south property line, approximately 50 feet into the site. These trees will be preserved, and the applicant has identified the drip line of these trees on the building permit plan set to ensure that they are protected during the construction process. The site is basically flat and the existing grade will be maintained.

4. The development and use of islands and plantings therein to break up parking areas.

Finding: The proposed project does not include the installation of landscaping islands within the parking areas. The applicant has designed the site to have the parking areas internal to the site, between the two buildings being constructed. The parking areas will be screened from view from the public right-of-way by the landscaping installed on the eastern portion of the site, and the planting islands framing the entry drive aisle will slightly break up the parking areas by providing landscaping between the sidewalks leading to the buildings and the drive aisle.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

Finding: The landscape plan does include the installation of street trees, which will be discussed in more detail below.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

Finding: The applicant has included a note on the landscape plan that all landscape beds will receive a design build automatic irrigation system.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Finding: A condition of approval will require that all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

17.58.080 Street Tree Planting—When Required. All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.

Finding: The street tree plan as proposed will include street trees adjacent to the new industrial development site, and the street trees will be installed in a designated curb-side planting strip fronting the public right-of-way.

17.58.090 Street Tree Standards.

- A. The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.

Finding: The applicant is proposing to install Forest Pansy Redbud (*Cercis canadensis* 'Forest Pansy') trees in the planting strip. The Forest Pansy Redbud is a species that is listed on the Small Trees section of the McMinnville Street Tree List. All species from the Small Trees section are appropriate for planting beneath overhead utilities due to their mature height and size. The Forest Pansy Redbud grows to a mature height of 20 feet and a mature canopy width of 25 feet.

- B. Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

Finding: The applicant is proposing to install 1.75 inch caliper trees, based on the availability of the trees from local nurseries. This size is very close to the minimum standard, so staff believes the trees could be installed at 1.75 inches in caliper. A condition of approval is recommended to specify that the trees be a minimum of 1.75 inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety.

- C. Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes.

Finding: The street tree plan shows an evenly spaced planting pattern. The Forest Pansy Redbud tree, with a mature height of 20 feet and a mature canopy width of 25 feet, is classified as a small or narrow stature tree from the Small Trees section of the McMinnville Street Tree List. This results in a spacing requirement of no more than 20 feet between trees. The landscape plan shows the street trees spaced at 20 feet between trees, which amounts to five (5) trees on both the north and south sides of the entry driveway.

- D. When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three (3) feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four (4) feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb.

Finding: Miller Street is considered a local street. The applicant is proposing to include a five (5) foot wide planting strip along Miller Street, which is greater than the three (3) foot minimum requirement.

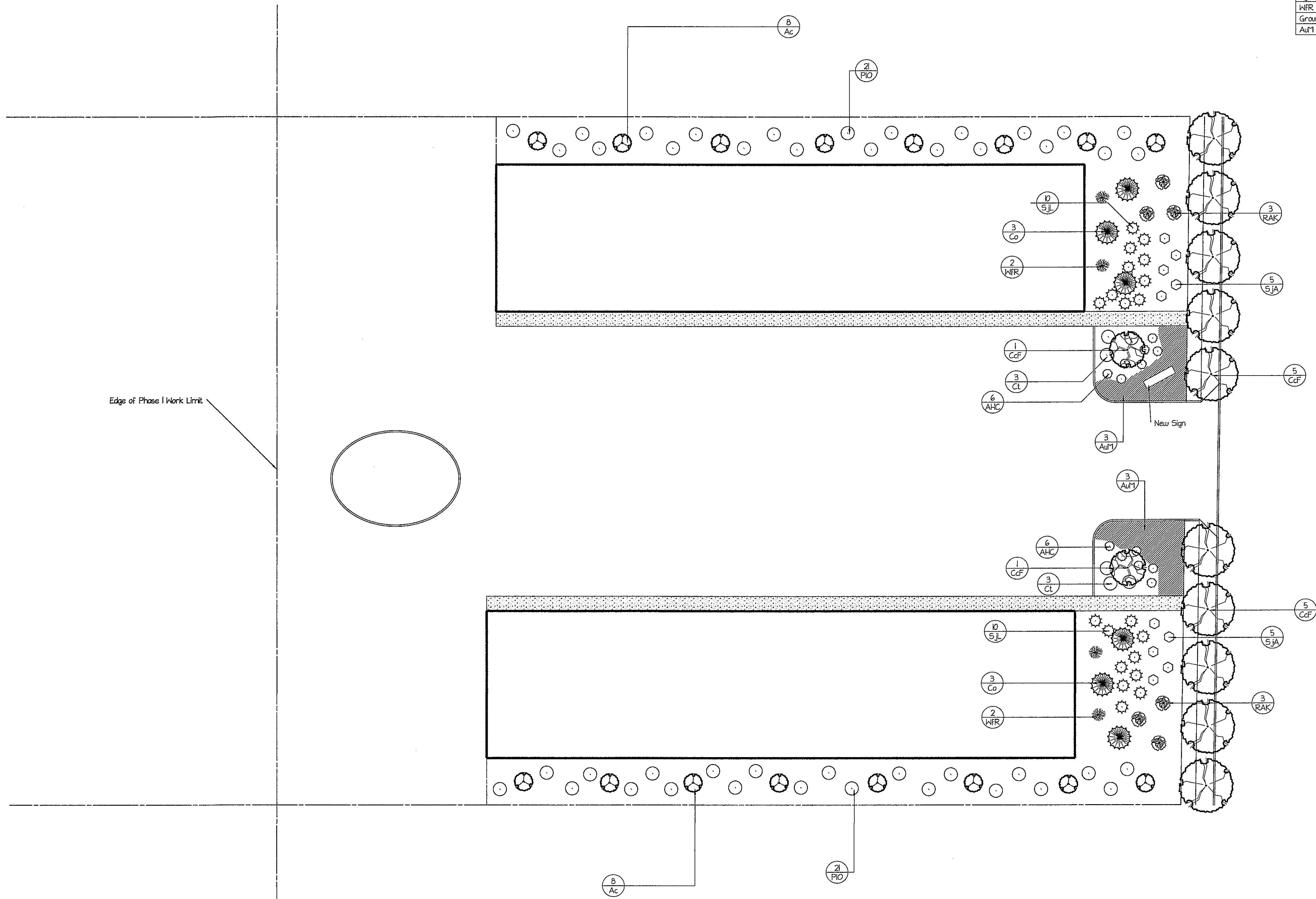
- E. Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.

Finding: Utilities were not identified on the street tree plan, but a condition of approval will be included to ensure that the street trees will meet the required setbacks from each type of utility and the driveway.

17.58.120 Street Tree Maintenance. Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.

Finding: A condition of approval has been included to ensure that the applicant or future property owner will maintain the street trees as approved.

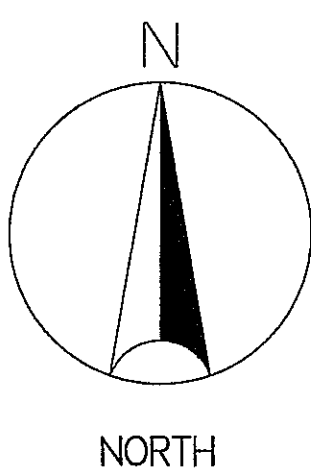
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Key	Qty	Botanical Name	Common Name	Size/Condition
Trees				
Ac	16	Acer circinatum	VINE MAPLE	5-7'
CcF	12	Cercis canadensis 'Forest Pansy'	FOREST PANSY REDBUD	175" Cal
Co	6	Chamaecyparis obtusa	HINOKI FALSE CYPRESS	7-8'
Shrubs				
AHC	12	Azalea 'Hino Crimson'	HINO CRIMSON AZALEA	3 gal.
Cl	6	Choisya ternata	MEXICAN ORANGE	5 gal.
PIO	42	Prunus laurocerasus 'Otto Luyken'	OTTO LUYKEN CHERRY LAUREL	5 gal.
RAK	6	Rhododendron 'Annah Krutskel'	ANNAH KRUTSKEL RHODODENDRON	5 gal.
SJA	10	Spiraea japonica 'Anthony Waterer'	ANTHONY WATERER SPIREA	5 gal.
SJA	20	Spiraea japonica 'Little Princess'	LITTLE PRINCESS SPIREA	3 gal.
WFR	4	Weigela Florida 'Red Prince'	RED PRINCE OLD FASHIONED WEIGELA	5 gal.
Groundcovers				
AuM	6	Arctostaphylos uva-ursi 'Massachusetts'	MASSACHUSETTS BEARS GRAPE	Flats of 4" Pots

- * All Landscape beds to receive design build automatic irrigation system
- * All Shrub beds to receive 2" of Hemlock Bark Mulch

RECEIVED
OCT 04 2017
COMMUNITY DEVELOPMENT
CENTER



Landscape Planting Plan

Sawtooth Industrial Development
1445 NE Miller Street, McMinnville, Or 97128
SCALE: 1" = 20'
DATE: 08/08/17
DRAWING #: 2017/063



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311

www.mcminnvilleoregon.gov

EXHIBIT 9 - STAFF REPORT

DATE: October 18, 2017
TO: McMinnville Landscape Review Committee
FROM: Chuck Darnell, Associate Planner
SUBJECT: Agenda Item 4I: L 24-17

Report in Brief:

An application for a landscape plan for a portion of an existing industrial site and facility (L 24-17) to be reviewed by the Landscape Review Committee.

Background:

The applicant, Dan Dunham with Ultimate RB, submitted a landscape plan review application to install landscaping on a portion of the existing industrial site and facility located at 904 NE 10th Avenue. The subject property is more specifically described as Tax Lot 3800, Section 21BA, T. 4 S., R. 4 W., W.M.

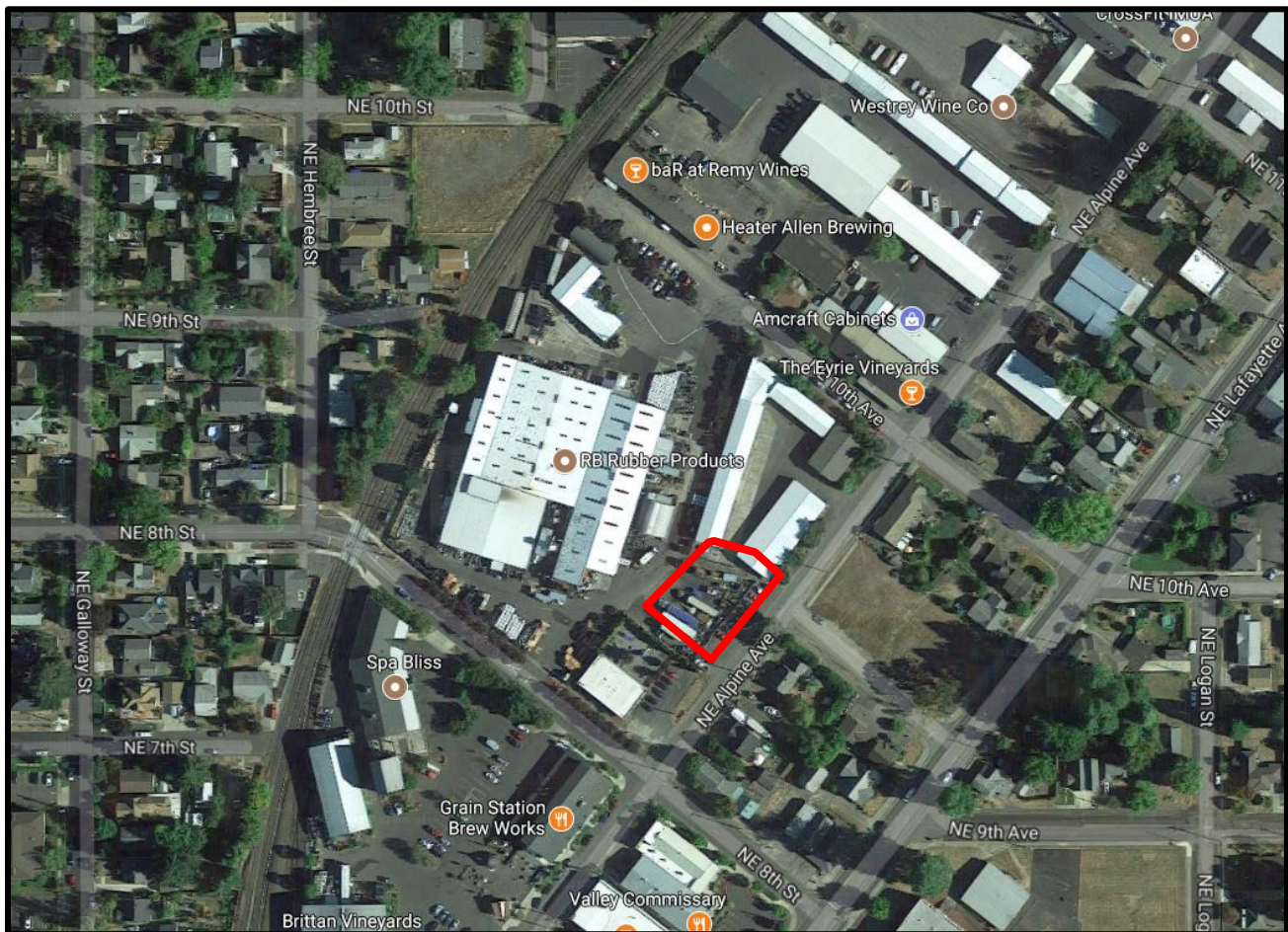
The Landscape Review Committee reviewed the proposed landscape Plan at their July 19, 2017 meeting. At that meeting, the Committee decided to continue the application to allow for a review of the proposed planting material against the landscaping that will be installed within the Alpine Avenue right-of-way as part of the street reconstruction. Also, the Committee requested that the applicant provide more information on the irrigation of the proposed planting area.

Discussion:

The subject property is zoned M-2 (General Industrial), and is also located in the Northeast Gateway Overlay District (Ordinance No. 4971). The site is currently developed with a manufacturing facility specializing in the production of rubber products. A portion of the site on the south east side, which front Alpine Avenue has historically been used for employee parking. It was determined during the reconstruction of Alpine Avenue that this parking area was located in the right-of-way. Therefore, the property owners were required to relocate the parking to an area completely within their site. The applicant has provided a parking lot plan that is completely within their site. The landscape plan that has been submitted for review provides for landscaping and screening around this new parking lot area. The subject site can be seen below as a red outlined area:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for an Existing Industrial Site at 904 NE 10th Avenue
Attachment B – Alpine Avenue Landscape Plan



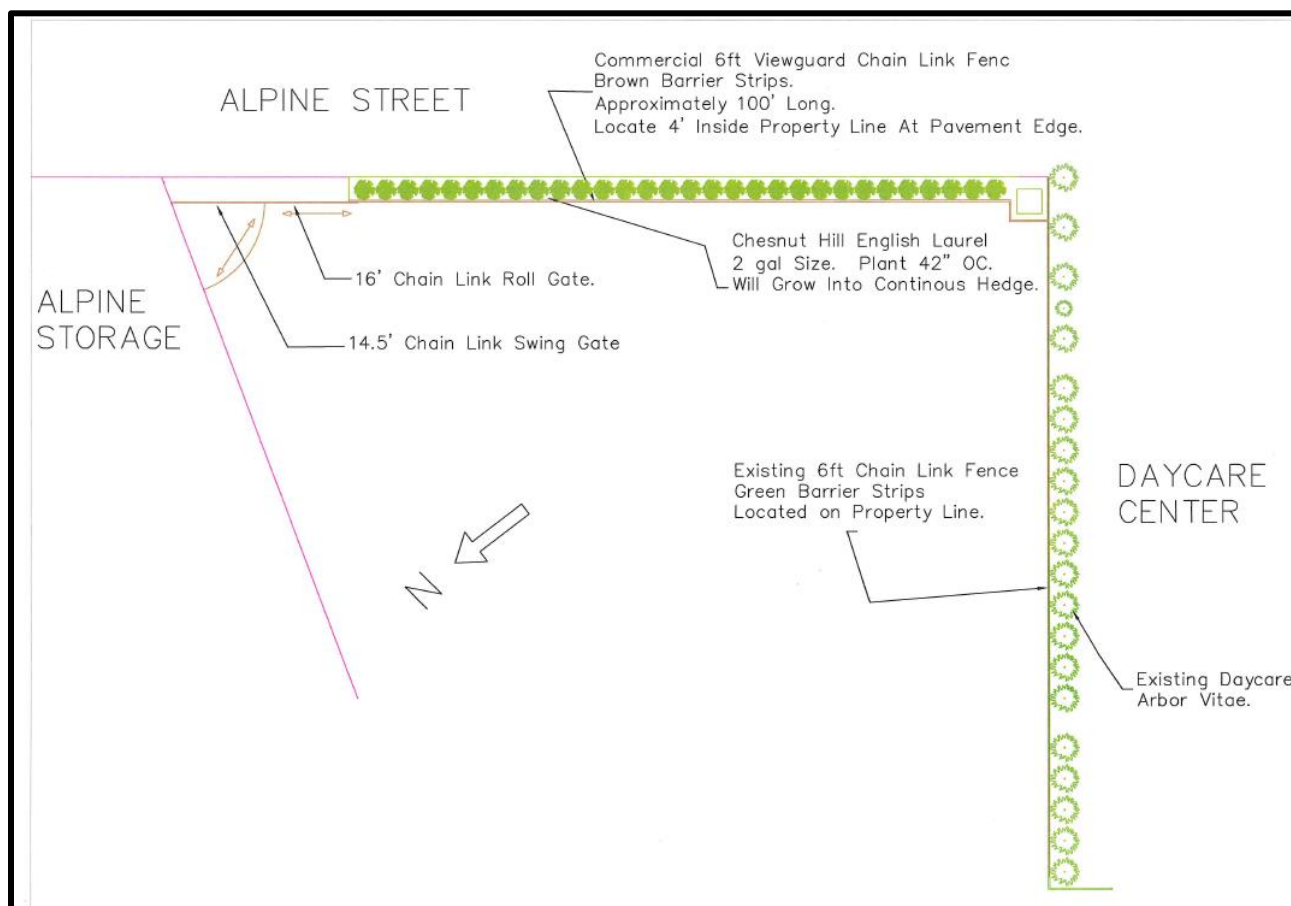
The Landscaping chapter of the McMinnville Zoning Ordinance requires that at least seven (7) percent of the gross area of a site being developed be landscaped (Section 17.57.050(A) (Area Determination – Planning Factors)). The applicant is not proposing to update landscaping on the overall site at this time. Since they are only proposing to update one particular landscaped area on the site, the seven (7) percent of the overall gross area of the site will not be calculated for this landscape plan.

The landscaping being proposed on the eastern portion of the site can be seen below:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for an Existing Industrial Site at 904 NE 10th Avenue

Attachment B – Alpine Avenue Landscape Plan



The applicant is proposing to install Chestnut Hill English Laurel (*Prunus laurocerasus* 'Chestnut Hill'), which is also often referred to as Cherry Laurel, planted at 42 inches on center. The applicant's intent is that the shrubs will grow into a continuous hedge. English Laurel will reach a mature height of about four (4) feet and will spread to a width of four (4) to six (6) feet. The spacing of 3.5 feet should allow for eventual growth into a continuous hedge.

The Landscape Review Committee had asked that staff review the landscape plan for the Alpine Avenue reconstruction project to ensure that the proposed plant material was consistent with that plan. The planting plan for the portion of Alpine Avenue adjacent to the subject site is attached to the staff report for reference. Staff found that the planting areas in Alpine Avenue adjacent to the subject site will be mainly grasses, with some larger trees and shrubs installed around the larger areas of grasses. The grass species adjacent to the site will include Autumn Moor Grass (*Sesleria autumnalis*) and Blue Oat Grass (*Helictotrichon sempervirens*). The shrubs near the subject site will include English Lavender (*Lavandula angustifolia*) and Newport Dwarf Escallonia (*Escallonia* 'Newport Dwarf'). The plans show the use of Sunset Manzanita, but that shrub was not able to be sourced so the Newport Dwarf Escallonia is being used in its place.

The applicant has stated that they would be willing to also install Newport Dwarf Escallonia in their landscaped area, but they prefer the Chestnut Hill English Laurel due to its mature height. The Newport Dwarf Escallonia only reaches a mature height of two (2) to three (3) feet, while the English Laurel will reach a mature height of four (4) feet. Photos of both of the species are provided below, with the Newport Dwarf Escallonia shown on top and the Chestnut Hill English Laurel shown on bottom:

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for an Existing Industrial Site at 904 NE 10th Avenue

Attachment B – Alpine Avenue Landscape Plan



Staff believes that the proposed English Laurel would be compatible with the Newport Dwarf Escallonia shrubs, should the Landscape Review Committee approve the applicant's proposed landscape plan. Both species are compact evergreen shrubs with slightly glossy leaves. Also, both species bloom in the spring, although with different colors (the English Laurel has white flowers while the Newport Dwarf Escallonia has red).

In terms of the watering of the new landscaped area, no irrigation facilities are proposed on the landscape plan submitted. The applicant has stated that it would be extremely difficult for them to provide a water line to this portion of the property, and instead have worked with a local nursery to select a plant material that is drought tolerant and can grow well in full sun exposure. If the Landscape Review Committee is comfortable with this type of plant material without any installed irrigation system, the plan can be approved. Staff would suggest that a condition of approval be included to ensure that the landscaping is continually maintained, including necessary watering, weeding, pruning, mowing, and replacement if necessary. If the Landscape Review Committee believes that irrigation is necessary in this location, staff would suggest that a condition of approval be included to require that automatic irrigation be provided within the new landscaped area.

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for an Existing Industrial Site at 904 NE 10th Avenue

Attachment B – Alpine Avenue Landscape Plan

Fiscal Impact:

None.

Recommendation/Suggested Motion:

If the Landscape Review Committee is comfortable with the proposed plan without irrigation, staff is recommending that the landscape plan be approved with the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan received on June 7, 2017.
2. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
3. That the applicant shall maintain proper clearances around the existing water services located near the east end of the new fence. The fence shall not be placed within four (4) feet of the existing water valve.
4. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

If the Landscape Review Committee finds that irrigation is required, staff is recommending that the landscape plan be approved with the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan received on June 7, 2017.
2. That the applicant shall provide irrigation facilities for the new landscaped area.
3. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
4. That the applicant shall maintain proper clearances around the existing water services located near the east end of the new fence. The fence shall not be placed within four (4) feet of the existing water valve.
5. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Suggested Motion:

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, THE LANDSCAPE REVIEW COMMITTEE APPROVE L 24-17 WITH THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

CD:sjs

Attachments:

Attachment A – Decision, Conditions of Approval, and Findings of Fact of the McMinnville Landscape Review Committee for Approval of Landscape Plan for an Existing Industrial Site at 904 NE 10th Avenue
Attachment B – Alpine Avenue Landscape Plan



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311

www.mcminnvilleoregon.gov

**DECISION, CONDITIONS OF APPROVAL, AND FINDINGS OF FACT OF THE MCMINNVILLE
LANDSCAPE REVIEW COMMITTEE FOR APPROVAL OF LANDSCAPE PLAN FOR AN
EXISTING INDUSTRIAL SITE AT 904 NE 10th AVENUE**

DOCKET: L 24-17

REQUEST: The applicant, Dan Dunham with Ultimate RB, submitted a landscape plan review application to install landscaping on a portion of the existing industrial site and facility. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

LOCATION: The subject property is located at 904 NE 10th Avenue. The subject property is more specifically described as Tax Lot 3800, Section 21BA, T. 4 S., R. 4 W., W.M.

ZONING: M-2 (General Industrial). The subject site is also located within the Northeast Gateway Planned Development Overlay District (Ordinance No. 4971).

APPLICANT: Dan Dunham

STAFF: Chuck Darnell, Associate Planner

**DATE DEEMED
COMPLETE:** June 30, 2017

HEARINGS BODY: McMinnville Landscape Review Committee

DATE & TIME: July 19, 2017 and October 18, 2017. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

Based on the findings and conclusions, the Landscape Review Committee recommends **APPROVAL** of the landscape plan (L 24-17) **subject to the conditions of approval provided in this document.**

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DECISION: APPROVAL WITH CONDITIONS

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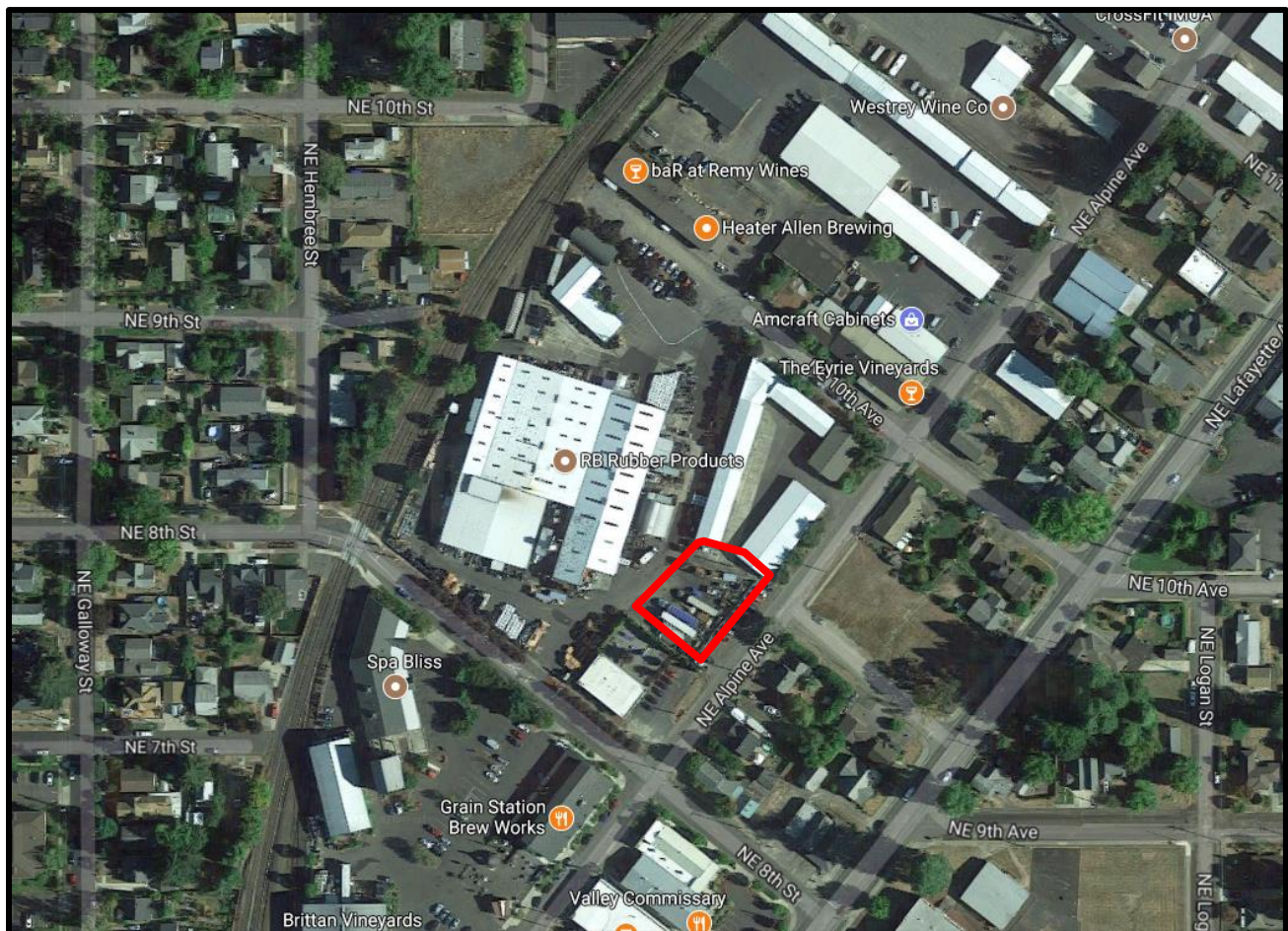
Date: _____

Date: _____

APPLICATION SUMMARY:

The applicant requested the approval of a landscape plan to install landscaping on a portion of the existing industrial site and facility. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance.

The subject property is zoned M-2 (General Industrial), and is also located in the Northeast Gateway Overlay District (Ordinance No. 4971). The site is currently developed with a manufacturing facility specializing in the production of rubber products. A portion of the site on the south east side, which front Alpine Avenue has historically been used for employee parking. It was determined during the reconstruction of Alpine Avenue that this parking area was located in the right-of-way. Therefore, the property owners were required to relocate the parking to an area completely within their site. The applicant has provided a parking lot plan that is completely within their site. The landscape plan that has been submitted for review provides for landscaping and screening around this new parking lot area. The subject site can be seen below as a red outlined area:



CONDITIONS OF APPROVAL:

L 24-17 is **approved** subject to the following conditions:

1. That the applicant shall install landscaping as shown on the submitted landscape plan received on June 7, 2017.

Attachments:

Attachment 1 – Application for Landscape Plan Review

2. That the applicant shall provide irrigation facilities for the new landscaped area.
3. That the applicant contact the appropriate utility-locate service (dial 811 or 800-332-2344) prior to digging to ensure that underground utilities are not damaged during this process.
4. That the applicant shall maintain proper clearances around the existing water services located near the east end of the new fence. The fence shall not be placed within four (4) feet of the existing water valve.
5. That all landscaping approved by the Landscape Review Committee and required as conditions of approval shall be maintained, including necessary watering, weeding, pruning, mowing, and replacement.

ATTACHMENTS:

1. Application for Landscape Plan Review

COMMENTS:

This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval.

FINDINGS OF FACT:

1. Dan Dunham submitted a landscape plan review application for the installation of landscaping on a portion of the property at 904 NE 10th Avenue. The subject property is more specifically described as Tax Lot 3800, Section 21BA, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned M-2 (General Industrial), and is also located within the Northeast Gateway Planned Development Overlay District (Ordinance No. 4971.) The subject site is designated as Industrial on the McMinnville Comprehensive Plan Map, 1980.
3. This matter was referred to the following public agencies for comment: McMinnville Public Works Department and McMinnville Water and Light. Comments were received by the Planning Department and have been incorporated into the conditions of approval
4. A public meeting was held by the Landscape Review Committee on October 18, 2017 to review the application and proposed landscape plan. No comments in opposition were provided by the public prior to the public meeting.

CONCLUSIONARY FINDINGS:

McMinnville's Comprehensive Plan:

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on

Attachments:

Attachment 1 – Application for Landscape Plan Review

planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Planning Commission and/or McMinnville City Council review of the request and recommendation at an advertised public hearing. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville's City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

17.57.010 Purpose and intent. The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. [...]

Finding: The landscape plan as proposed would enhance the appearance of the city and will benefit the economic, ecological, and aesthetic environment of the city. The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below.

17.57.050 Plans—Submittal and review—Approval—Time limit for completion.

C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;

Finding: The landscape plan as proposed meets the intent and purpose of the Landscaping chapter, as described in the findings for the specific landscape plan review criteria below. Modifications as required by the conditions of approval will be discussed with the applicant and agreed to prior to the issuance of a building permit.

17.57.070 Area Determination—Planning factors.

A. Landscaping shall be accomplished within the following ranges:

1. Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

Finding: The applicant is not proposing to update landscaping on the overall site at this time. Since they are only proposing to update one particular landscaped area on the site, the seven (7) percent of the overall gross area of the site will not be calculated for this landscape plan.

B. The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

Attachments:

Attachment 1 – Application for Landscape Plan Review

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

Finding: The surrounding area consists primarily of a mixture of industrially and commercially zoned property along NE Alpine Avenue, NE 8th Street, NE 9th Avenue, and NE 10th Avenue. There are some residential uses located across Alpine Avenue from the proposed parking lot. The applicant is proposing to install landscaping and a sight-obscuring fence within the site between the new parking lot and the public right-of-way. This will minimize impacts on the abutting properties.

The applicant is proposing to install Chestnut Hill English Laurel (*Prunus laurocerasus* 'Chestnut Hill'), which is also often referred to as Cherry Laurel, planted at 42 inches on center. The applicant's intent is that the shrubs will grow into a continuous hedge. English Laurel will reach a mature height of about four (4) feet and will spread to a width of four (4) to six (6) feet. The spacing of 3.5 feet should allow for eventual growth into a continuous hedge.

The planting areas in the Alpine Avenue right-of-way adjacent to the subject site consist mainly of grasses, with some larger trees and shrubs installed around the larger areas of grasses. The grass species adjacent to the site will include Autumn Moor Grass (*Sesleria autumnalis*) and Blue Oat Grass (*Helictotrichon sempervirens*). The shrubs near the subject site will include English Lavender (*Lavandula angustifolia*) and Newport Dwarf Escallonia (*Escallonia* 'Newport Dwarf'). The plans show the use of Sunset Manzanita, but that shrub was not able to be sourced so the Newport Dwarf Escallonia is being used in its place. The proposed English Laurel will be compatible with the Newport Dwarf Escallonia shrubs, as both species are compact evergreen shrubs with slightly glossy leaves. Also, both species bloom in the spring, although with different colors (the English Laurel has white flowers while the Newport Dwarf Escallonia has red).

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

Finding: The proposed parking lot will be screened from the adjacent public right-of-way (Alpine Avenue) and the adjacent property (currently used as a day care center). The use of the Chestnut Hill English Laurel as a hedge, which will grow to a height of about four (4) feet, and the proposed sight-obscuring chain link fence will provide screening of the parking lot from the public right-of-way. This treatment will also provide screening of the other industrial uses that occur within the site. The applicant has also provided photos of the existing sight-obscuring fence located along the shared property line with the property to the west (currently used as a day care center). This six (6) foot tall fence has sight-obscuring slats installed within it and there is also a continuous row of arborvitae located on the day care center property.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

Finding: The existing site is currently fully developed, and there is no existing vegetation to preserve.

4. The development and use of islands and plantings therein to break up parking areas.

Finding: The applicant is not proposing to install plantings within the parking areas in the site. The subject site is nonconforming in terms of the amount of required parking on the site. In an effort to provide as much parking as possible, and therefore reduce the nonconformity to the maximum extent, planting islands were not included in the parking lot to add as much parking as possible.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

Finding: The landscape plan does not include the installation of street trees, as the areas shown to be planted are all within the subject site and are not within the public right-of-way.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

Finding: No irrigation facilities are proposed on the landscape plan submitted. A condition of approval is included to require that irrigation facilities be included in the proposed planting areas.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.

Finding: A condition of approval is included to ensure that the landscaping is continually maintained, including necessary watering, weeding, pruning, mowing, and replacement if necessary.

17.57.060 Zones where required. Landscaping shall be required in the following zones except as otherwise noted:

- H. M-2 (General Industrial zone).

Finding: The subject site is zoned M-2 (General Industrial), and landscaping is being provided as required.

The following Sections of the Northeast Gateway Planned Development Overlay District (Ord. No. 4971) are applicable to the request:

Section 10 – Landscaping [...]

- B. Off-street parking located behind the building but visible from the public right-of-way shall be screened through the provision of a continuous row of shrubs, or a fence or seating wall, not less than three feet and no more than four feet high.

Finding: The proposed Chestnut Hill English Laurel hedge meets this requirement, as it will grow to be no more than four feet in height and will be maintained as a continuous hedge. The landscaped hedge will be the immediate buffer between the sidewalk and the subject site. The proposed six foot tall sight-obscuring fence will be located behind the landscaped hedge, approximately four feet into the property. While the fence is taller than the four feet height in the Northeast Gateway screening requirement, this fence will be set back slightly to not impede on the public right-of-way or sidewalk and the additional screening of the nonconforming industrial uses on the subject site will be an overall benefit to the surrounding area and adjacent uses. This combined treatment of the use of the hedge and the six foot sight-obscuring fence meets the requirements of the Northeast Gateway screening requirement, while also meeting the intent of the Landscaping chapter in terms of compatibility with the surrounding area and adjacent uses.

CD:sjs



Planning Department

231 NE Fifth Street • McMinnville, OR 97128

(503) 434-7311 Office • (503) 474-4955 Fax

www.ci.mcminnville.or.us

Office Use Only:

File No. L 24-17

Date Received 6-26-17

Fee 140.00

Receipt No. 17MD123

Received by SJS

Landscape Plan Review Application

Applicant Information

Applicant is: ☒ Property Owner ☐ Contract Buyer ☐ Option Holder ☐ Agent ☐ Other _____

Applicant Name ULTIMATE RB Phone (503) 472-4691

Contact Name DAN DUNHAM Phone (503) 472-4691
(If different than above)

Address 904 NE 10th Ave

City, State, Zip McMinnville, OR 97128

Contact Email ddunham@ultimate rb.com

Property Owner Information

Property Owner Name SAME Phone _____
(If different than above)

Contact Name _____ Phone _____

Address _____

City, State, Zip _____

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 904 NE 10th Ave

Assessor Map No. R4 - - Total Site Area _____

Subdivision _____ Block _____ Lot _____

Comprehensive Plan Designation _____ Zoning Designation ML


Landscaping Information

1. Total Landscaped Area: 400 sq ft
2. Percent Landscaped: _____
3. Building Floor Area:
New Structure: Existing Structure: 45-50K Addition:
4. Architect Name N/A Phone _____
(Landscape Architect, Engineer, or Other Designer)
Contact Name _____ Phone _____
Address _____
City, State, Zip _____
Contact Email _____


In addition to this completed application, the applicant must provide the following:

- ☐ Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and [Chapter 17.57 \(Landscaping\)](#) of the Zoning Ordinance.
- ☐ Payment of the applicable review fee, which can be found on the [Planning Department](#) web page.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.


Applicant's Signature

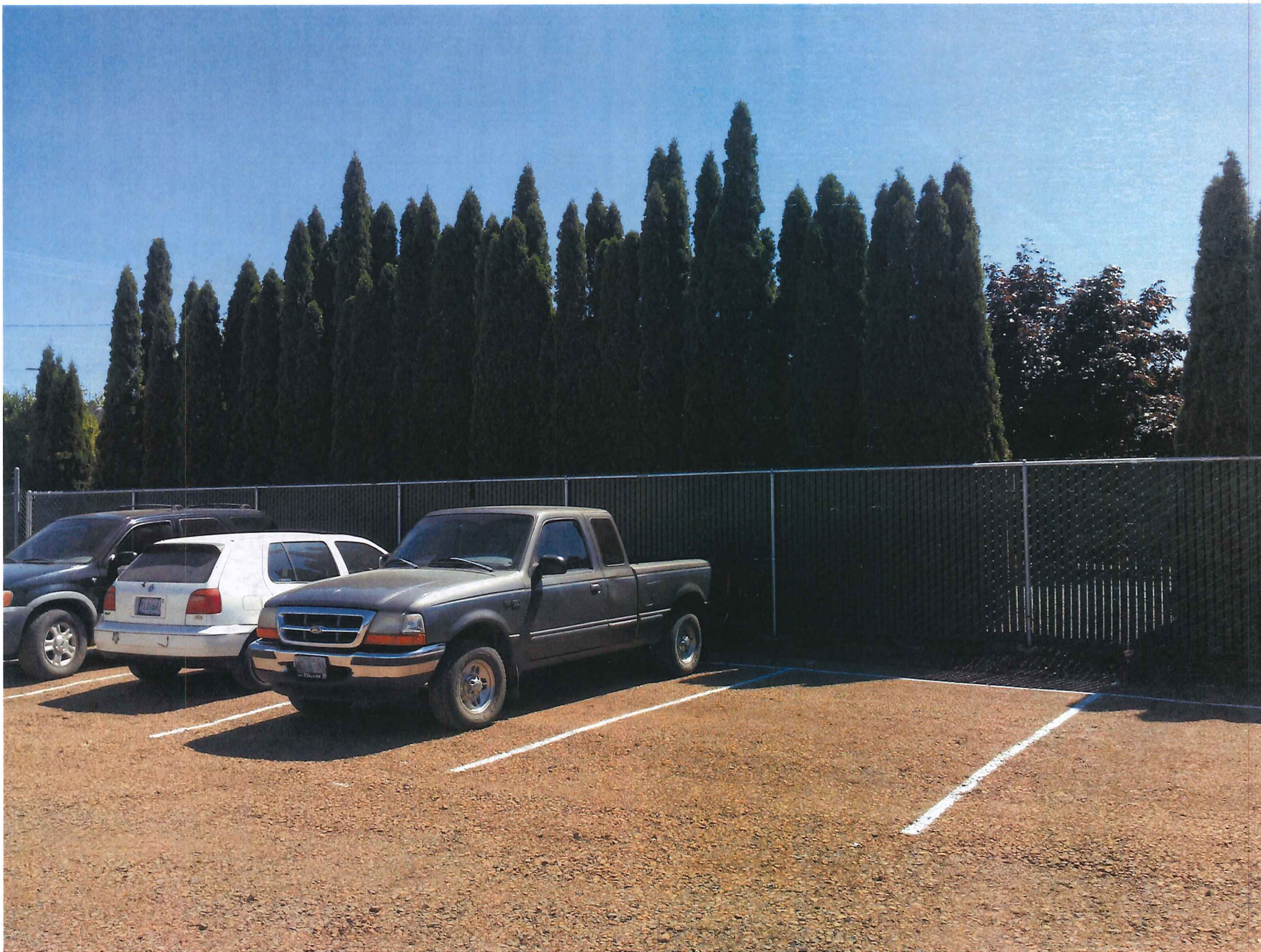
6/26/17
Date


Property Owner's Signature

6/26/17
Date

DAN DONHAM
Project Engineer, ultimate R15





ALPINE STREET

Commercial 6ft Viewguard Chain Link Fence
Brown Barrier Strips.
Approximately 100' Long.
Locate 4' Inside Property Line At Pavement Edge.

ALPINE
STORAGE

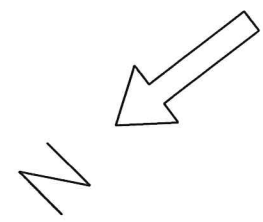
16' Chain Link Roll Gate.
14.5' Chain Link Swing Gate

Chesnut Hill English Laurel
2 gal Size. Plant 42" OC.
Will Grow Into Continuous Hedge.

Existing 6ft Chain Link Fence
Green Barrier Strips
Located on Property Line.

DAYCARE
CENTER

Existing Daycare
Arbor Vitae.



ULTIMATE RB, McMinnville, OR	
TITLE: INSIDE PARKING LOT FENCE & LANDSCAPE DETAIL	
DRWG NO: URBM-17006	
REV: 2.2	DATE: 7/5/2017
DRAWN BY: DAN DUNHAM	
SCALE: 1/16" = 1'0"	
CONFIDENTIAL SHEET 3 of 3	