

569-19-000394-PLNG



Planning Department
231 NE Fifth Street • McMinnville, OR 97128
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Office Use Only:	
File No.	<u>DDR 4-19</u>
Date Received	<u>7/3/19</u>
Fee	<u>\$1200</u>
Receipt No.	<u>200860</u>
Received by	<u>RLH</u>

Downtown Design Standards & Guidelines Application

Applicant Information

Applicant is: Property Owner Contract Buyer Option Holder Agent Other Architect

Applicant Name Kelley Wilson Phone 503.715.5847

Contact Name Same Phone _____
(If different than above)

Address 231 SE 12th Ave.

City, State, Zip Portland, OR 97214

Contact Email kelley@sumcdesignstudio.com

Property Owner Information

Property Owner Name First Federal Savings & Loan Phone 503.472.6171
(If different than above)

Contact Name Jim Schlotfeldt Phone _____

Address 118 NE 3rd St.

City, State, Zip McM. 97218

Contact Email jschlotfeldt@firstfedweb.com

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 118 NE 3rd St.

Assessor Map No. <u>R44</u>	<u>-20AP 08700</u>	Total Site Area <u>43,440 SF +/-</u>
Subdivision <u>-</u>	<u>" 08600</u>	Block _____ Lot _____
	<u>09200</u>	
Comprehensive Plan Designation <u>Commercial</u>	Zoning Designation <u>C-3</u>	

This request is for a:

Design Review

Design Waiver

1. Attach a written narrative that describes:

- A. The proposed project in detail, including descriptions of the architectural features and building materials being used;
- B. How the project meets the applicable downtown design standards and guidelines;
- C. How the project meets the historic preservation standards and guidelines (if applicable); and
- D. How the project will fit into the context of the downtown historic district.

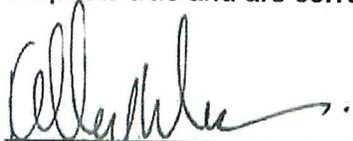
2. As part of this application, is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so, explain in detail how the criteria for waiving a standard or guideline as listed in Section 17.59.040(A) have been met (*attach additional pages if necessary*).

yes, four design waivers are requested. please see
attached narrative/application.

In addition to this completed application, the applicant must provide the following:

- A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size). For new construction or for structural modifications show the information listed in page one of the information sheet.
- Building and construction drawings including building elevations of all visible sides.
- A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
- Photographs of the subject site and adjacent property.
- Other information deemed necessary by the Planning Director.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.


 Applicant's Signature

7.2.19.
 Date


 Property Owner's Signature

7-3-19
 Date

Land Use Application
Design Review
For
Downtown Design Standards and Guidelines
REVISED SEPT. 09, 2019

Project: Replacement Building for First Federal Savings and Loan
118 NE Third Street
(full block between NE Adams/ NE Baker and 2nd/3rd)
McMinnville, OR 97128

Submitted to: City of McMinnville
Planning Department
231 NE 5th Street
McMinnville, OR 97218

Applicant/Owner: First Federal Savings & Loan Association
118 NE Third Street
McMinnville, OR 97128
Mr. Jim Schlotfeldt, President and CEO

Contact: Kelley Wilson, Architect
SUM design studio + architecture
231 SE 12th Avenue
Portland, OR 97214
503.715.5847
kelley@sumdesignstudio.com

I. Executive Summary

First Federal Savings and Loan is an important financial partner in the local McMinnville economy. They value being a part of the community and would like to expand their presence by constructing a new building that will accommodate their customer service branch as well as provide an integrated and efficient location for all executive personnel and related functions.

First Federal intends to replace the two buildings currently located on the block between NE Adams & NE Baker Streets and Second & Third Streets. The existing main building located at the north-west corner of the site, built in 1974, is very much undersized for their current and future needs but provides an important location for retail branch for banking customers. The second and smaller building located at the north-east corner of the site currently houses their loan department. First Federal also has some functions across Third Street which will be accommodated in the new building.

The new building will provide space for all current functions on and around the site as well as additional space for growth.

II. Building and Site Design Summary

After an extensive site and operational analysis, it was determined the placement of the new building must allow the existing branch building to remain in place and operational during the construction of any new building. Demolishing the existing building before a new building is complete, forcing a relocation of the branch services to a temporary location, with a duration of over a year, would result in a permanent loss of customers, a significant inconvenience to the remaining and loyal customers and a long term negative economic consequence for First Federal Savings and Loan.

With this in mind, it was determined the new building would be best located near the corner of NE Baker Street and Third. This location would allow adequate space for the existing building to remain in place. This would also allow the building to front Third Street and Baker Street. First Federal very much wanted to maintain its “front door” on Third Street and provide a strong urban presence and help McMinnville’s Downtown District remain vibrant and cohesive.

To accommodate First Federal's needs the building will be approximately 32,000 square feet and three stories tall. The ground floor will house the more public areas such as the branch and the loan department. The upper two floors will house a call center, executive offices, a board room and other administrative functions. There will be two primary customer entrances: one at the corner of NE Third and NE Baker and one from the parking area on the south side of the building.

The parking lot, which will accommodate approximately 62 cars will also have two drive through lanes for automobile transactions. The entire parking lot will receive new asphalt paving. New landscape will also be installed that will meet the zoning code and in some areas exceed the zoning minimums.

III. Design Guideline Adherence Responses

The following are specific responses to Chapter 17.59 DOWNTOWN DESIGN STANDARDS AND GUIDELINES of the McMinnville Zoning Code.

17.59.050 Building and Site Design.

A. Building Setback.

1. *Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.*

Response: The building will front the property line on the west façade (NE Baker Street) and north façade (NE Third Street). We believe this meets the design criteria.

B. Building Design.

1. *Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.*

Response: Specific to this criterion there are no other buildings on the block so the new building will establish its own datum lines. The building will be three stories along both Third and NE Baker and will be similar in height to other buildings to the east along Third Street. The building will be set back at the northeast corner which should reduce its perceived scale. We believe this meets the design criteria.

2. *Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.*

Response: The building elevation along Third Street is divided into three separate sections to provide relief and interest similar to the pattern of the approximately 60-foot subdivisions along NE Third Street to the east. The NE Baker Street elevation is also reduced to separate sections that reduce

its scale. We believe these architectural details meet the intent of the design criteria.

3. Storefronts (that portion of the building that faces a public street) should include the basic features of a historic storefront, to include:

a. A belt course separating the upper stories from the first floor;

Response: The building has a precast-concrete belt course along the partial north and south facades and along the entire west façade. To continue this architectural feature, the remaining part of the facades have a brick soldier course aligned with the precast belt course. This belt course is approximately 15 feet above the first floor. We believe these elements meet the intent of the design criteria.

b. A bulkhead at the street level;

Response: The Third Street windows located in the brick portions of the facade will have bulkheads of stone panels. The windows at the branch also have bulkheads that match the surrounding stone panels. We believe this meets the design criteria.

c. A minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;

*** Response: **A waiver is requested for this design criteria to allow glazing percentage to be less than the required amount.** Allow the north façade along Third Street to have an aggregate of 40% glazing area below the 8-foot transom line (the glazing area above the transom line and below the horizontal trim band between the first and second floors meets the 40% guideline); and on the east façade along Baker Street to have a 25% glazing area below the 8-foot transom line and to have a 25% glazing area above the 8-foot transom line and below the horizontal trim band between the first and second floors.

Criteria 17.59.040 A.3.a There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

We understand this design guideline is to preserve, protect and enhance the historic pattern as well as encourage an open and inviting glass storefronts in the Downtown District and to provide an organized, coordinated and cohesive historic district.

The building's use as a bank (savings and loan) and associated offices is not a typical storefront use and requires a specific architectural response. This type of use requires a certain level of privacy and security that are difficult to meet with the required level of glazing. The offices along Third Street require privacy from the street and our proposed window sizes are composed to strike a balance of openness and privacy. The bank teller area has limited windows for security reasons and there is limited opportunity for windows due to the building layout. This layout is derived partly due to the need to retain the existing building in its present location and remain operational.

Criteria 17.59.040 A.3.b There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;

The ground floor window pattern along Third Street provides a familiar and friendly urban experience as well as a pleasing regular rhythm of windows. Although it does not meet the glazing area it does provide a series of windows that provide interest and is not unlike several other buildings in the Downtown district. Certain newer buildings with uses other than retail have established a precedent of a lesser amount of glazing, (see Exhibit A1 and Exhibit A2), such as:

- Atticus Hotel at 4th and Ford Street
- Apartments and street level offices at 811 3rd Street
- Lewis and Stark building at 640 3rd Street.

Although these buildings don't meet these criteria, they do successfully support an organized, coordinated and cohesive historical district. Also, the applicant's building location at the end of Third Street does not interrupt the retail experience that dominates the Downtown District along Third Street, primarily between Baker Street and Galloway Street. This project establishes its own presence at street level and would continue the varied but historical pattern of the downtown district.

Criteria 17.59.040 A.3. c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

A waiver would allow the privacy and security the applicant needs to maintain a professional and secure office and banking environment.

d. A recessed entry and transom with transparent door; and

Response: The main entry at the corner of 3rd Street and Baker is recessed with a glass door and glass transom. This meets the design criteria.

e. Decorative cornice or cap at the roofline.

Response: The building has a complementary metal cornice cap to accentuate the top of the building. We believe this meets the design criteria.

4.Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

Response: There are no adjacent buildings on the block, but the new building does relate to other buildings in the downtown district with its similar scale and three-story height. Also, the building does not use gable

forms or other residential elements. We believe this meets the design criteria.

5. The primary entrance to a building shall open on to the public right-of-way and should be recessed.

Response: The building's entrance is recessed and is located on the corner of Third Street and Baker Street. We believe this meets the design criteria.

6. Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical.

Response: The windows are recessed to create a strong shadow line. In addition, we have provided a protruding brick surround at the windows to create an additional shadow line to further give an appearance of a deep-set window. The upper windows are vertically oriented. We believe this meets the design criteria.

7. The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.

Response: The project is not a remodel, so these criteria do not apply.

8. Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.

The building uses several elements to create a distinct base. The sections along Third Street have a distinct but complementary material (stone panels) at the window bulkheads to establish a differentiated base and the window awnings establish a horizontal line to separate the base from the upper parts of the building. The branch or banking areas at the main entry and along Baker Street use a stone panel to clearly identify the branch

function as well as create a strong, distinct and welcoming base. We believe this meets the design criteria.

C. Building Materials.

1. Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

Response: The building's primary material is brick which is used on the upper floors. The material in the small areas between the grouped windows on the second and third floors is a stone panel. The branch areas at the street level also use a stone panel. We believe this meets the design criteria.

2. The following materials are prohibited for use on visible surfaces (not applicable to residential structure):

- a. Wood, vinyl, or aluminum siding;*
- b. Wood, asphalt, or fiberglass shingles;*
- c. Structural ribbed metal panels;*
- d. Corrugated metal panels;*
- e. Plywood sheathing, to include wood paneling such as T-111;*
- f. Plastic sheathing; and*
- g. Reflective or moderate to high grade tinted glass.*

Response: The building does not use any of the above listed materials. We believe this meets the design criteria.

3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim. (Ord. 4797 §1, 2003).

Response: We believe the exterior materials meet all the above criteria.

17.59.060 Surface Parking Lots

A. Surface parking lots shall be prohibited from locating on Third Street. In addition, vehicular access to parking lots from Third Street is prohibited.

*** Response: **A waiver is requested for this design criteria to allow a parking lot along NE Third Street as well as an entrance from the parking lot onto 3rd Street.**

Criteria 17.59.040 A.3.a There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

First Federal Savings is replacing the two buildings on the site. The loan and title services are currently housed in the smaller one-story building and can be temporarily relocated off-site because they can be easily accommodated in typical office space and they have relatively low public interface resulting in low public inconvenience and low economic impact.

The main building, on the other hand, has a high public interaction and houses specialized services and equipment. This is especially true for the auto drive-up functions as well as vault services for cash and safety deposit boxes. In order to avoid customer inconvenience and the high cost of temporarily moving these functions off-site, it is the bank's intent to keep their current bank building open and operational during construction. To accomplish this the new building will be located on the NE corner of the site. This avoids the existing building yet still maintains the primary pedestrian entrance on Third Street. When construction is complete and the new building is operational, the existing bank building will be demolished. The area where this existing building stood will then be open and the highest and best use is as a parking lot. First Federal's design intention was not to place a parking lot along Third, but the remaining open area left little choice but to utilize it as a parking lot. However, they do realize the importance of maintaining the cohesive and pleasant downtown

experience and propose to buffer the sidewalk from the parking area with a generous amount of landscaping beyond the zoning minimum. In addition, the application is proposing a portion of the landscaped area for a public art installation or a historical marker. See Exhibits C3 and C4.

The vehicle drive from the parking lot, also included in this waiver request, is proposed as a narrow drive of just 12 feet to reduce the crossing distance for pedestrians and also as an exit-only and right-turn only. This right-turn only will improve flow from the parking lot onto Third by allowing cars to only go east on Third. This will reduce possible conflict with cars turning from Adams onto Third as well avoid cars trying to make left turn into a short queuing line to Adams Street. It will also reduce the potentially more dangerous entry on to Adams or Baker, which tend to have faster moving traffic and more volume.

It should be noted that this new proposed design is a substantial improvement over the current conditions. The property currently has three driveways on to Third with parking fronting Third Street for more than half its length. Additionally, one driveway on to Baker will be eliminated.

Also, see the “Applicant’s Supplement to its Land Use Application as Revised August 01, 2019” for additional information addressing this waiver request.

Criteria 17.59.040 A.3.b There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;

The generous landscaped setback from the sidewalk will provide a pleasant buffer from the parking lot. We believe the purpose of the criteria is to shield pedestrians from a parking lot which the landscape buffer accomplishes.

Criteria 17.59.040 A.3. c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

The difficulty in meeting the requirement would be to leave the area completely undeveloped with no practical use the applicant. Allowing the parking lot would allow the applicant reasonable use of the property and the generous landscaping set back would be a benefit and asset to the community.

B. All parking lots shall be designed consistent with the requirements of Section 17.60.080 of the McMinnville Zoning Ordinance.

Response: The parking lots have been designed to meet the above zoning ordinances.

C. A hedge or wall, thirty (30) inches in height, or dense landscaping within a buffer strip a minimum of five feet in width shall be placed along the street-side edge of all surface parking lots. Landscaping within the buffer strip shall include street trees selected as appropriate to the situation and spaced according to its type, shrubs spaced a minimum of three feet on center, and groundcover. A landscaping plan for this buffer shall be subject to review and approval by the McMinnville Landscape Review Committee. (Ord. 4797 §1, 2003).

*****Response: A waiver is requested for this design criteria to allow a landscaping buffer strip of 3 feet along Second Street.**

Criteria 17.59.040 A.3.a There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

The applicant was required by the city to dedicate private property when Second Street right-of-way improvements were recently constructed by the city. This widening of the right-of-way and sidewalk reduced the usable area available to the applicant. The reduction has now resulted in limited clearances between Second Street and the new building. This remaining distance with a three-

foot landscape buffer would allow adequate space for parking and drive isles that meet city zoning requirements. The applicant is asking to have the landscape buffer along Second Street reduced by two feet to accommodate the parking and to regain a portion of the area previously dedicated for public use.

Also, the reduced buffer includes the required street trees for Second Street by providing a tree wells that protrude from the buffer edge. This would effectively increase the buffer width to 5 feet at the street tree locations. Please see the Landscape Plan

Criteria 17.59.040 A.3.b There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;

The applicant is proposing a more densely landscaped area in the requested three-foot buffer and will also provide a decorative fence/trellises that is approximately 30-inches tall. This additional landscaping and decorative fence will provide equal or superior screening that the required 5-foot buffer. See Exhibit C.

Criteria 17.59.040 A.3. c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

A three-foot landscape buffer would allow the applicant to achieve the clearances needed for two rows of parking and the drive through lanes. More than three-foot would necessitate removing one row of parking. Many employees and customers drive full size trucks and a 27 foot drive aisle will reduce conflicts and difficulty in parking and navigating the lot.

17.59.070 Awnings.

A. Awnings or similar pedestrian shelters shall be proportionate to the building and shall not obscure the building's architectural details. If transom windows

exist, awning placement shall be above or over the transom windows where feasible.

Response: The awnings are provided at each of the Third Street windows and are sized to compliment the building size as well as provide protection for pedestrians. We believe this meets the design criteria.

B. Awnings shall be placed between pilasters.

Response: The awnings are placed over each window and between pilasters. We believe this meets the design criteria.

C. Where feasible, awnings shall be placed at the same height as those on adjacent buildings in order to maintain a consistent horizontal rhythm along the street front.

Response: There are no adjacent building on the block, so the awnings establish their own height and continuous pattern. We believe this meets the design criteria.

D. Awnings should be constructed of soft canvas, fabric, or matte finished vinyl. The use of wood, metal or plastic awnings is prohibited.

*****Response: A waiver is requested for this design criteria to allow awnings of a different material.**

Criteria 17.59.040 A.3.a There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

The applicant is requesting a waiver to allow finished steel awnings that complement the design of the building and are a high quality and durable material. The required “soft canvas, fabric or matte finish vinyl” has a short life span and the applicant would like the material to represent their values in terms of longevity and durability.

The proposed awnings are an attractive alternative and will provide long lasting protection for pedestrians along Third Street. This will be the only building on this block of Third Street and will therefore not be in potential contrast to adjacent buildings.

Criteria 17.59.040 A.3.b There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;

The proposed steel awnings will provide weather protection along Third Street that is comparable or superior to “soft canvas, fabric or matte finish vinyl”. The thin profile of the proposed awnings will also provide a subtle and attractive feature to the street scape and more in keeping with the architectural design of the building.

In addition, there is a precedent of HLC approving alternate materials for an awning. The recent approval of the 618 Proposal at 608 NE 3rd proposed an awning similar to the applicant’s design. Also, there is a current flat metal awning at 211 3rd Street (Naked Winery tasting room). See Exhibit B.

Also, see the “Applicant’s Supplement to its Land Use Application as Revised August 01, 2019” for additional information addressing this waiver request.

Criteria 17.59.040 A.3. c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

Allowing a durable material that is a good long-term investment would alleviate the need for continual cleaning and maintenance and provide a longer life span for the awnings.

E. Awnings may be indirectly illuminated; internal illumination of awnings is prohibited.

Response: The proposed awnings are not internally illuminated. This meets the design criteria.

F. Awning colors shall be of a low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the awning are prohibited.

Response: The proposed awnings will be painted to complement the colors and materials of the building and will not use high intensity colors. We believe this meets the design criteria.

17.59.080 Signs.

A. The use of flush-mounted signs, flag-mounted signs, window signs, and icon signs are encouraged. Sign materials shall be compatible with materials used in the building.

Response: The proposed signs will be flush mounted to the exterior of the building. The applicant is proposing three signs. Two larger signs, one on the west façade and one on the south façade. See Exhibit B1 and B4. A third sign, which will be the applicants trademark symbol will be mounted to the north façade and may be lit although not internally. See Exhibit B1. We believe this meets the design criteria.

B. Where two or more businesses occupy the same building, identifying signs should be grouped together to form a single panel.

Response: Only one business will occupy the building.

C. Wall signs shall be placed in traditional locations in order to fit within architectural features, such as: above transoms; on cornice fascia boards; or, below cornices. Wall signs shall not exceed the height of the building cornice.

Response: The proposed signs will be located per Exhibit B1 and B4 and are sized and located to complement the building design. We believe this meets the design criteria.

D. For every lineal foot of building frontage, 1.5 square feet of signage may be allowed, to a maximum of 200 square feet.

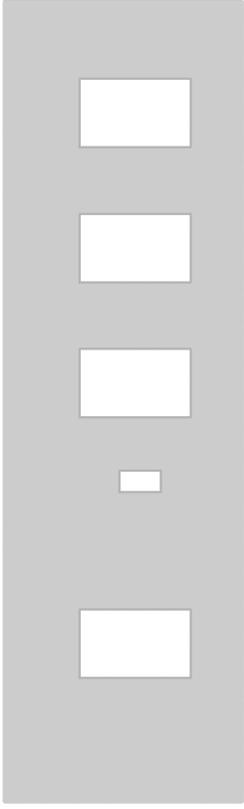
Response: The proposed signs will be less than 200 SF total. The west and south signs are approximately 40 SF each and the icon sign on the north façade will be approximately 22 SF. Total sign area is approximately 102 SF. We believe this meets the design criteria.

E. The use of the following is prohibited in the downtown area:

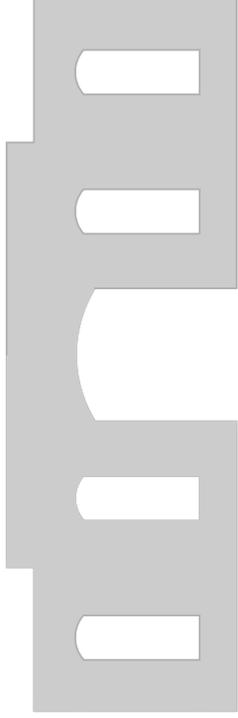
- 1. Internally lit signs;*
- 2. Flashing signs;*
- 3. Pedestal signs and pole-mounted signs;*
- 4. Portable trailer signs;*
- 5. Cabinet-type plastic signs;*
- 6. Billboards of all types and sizes;*
- 7. Historically incompatible canopies, awnings, and signs;*
- 8. Signs that move by mechanical, electrical, kinetic or other means; and,*
- 9. Inflatable signs, including balloons and blimps. (Ord. 4797 §1, 2003).*

Response: The project will not include any of these types of signs.

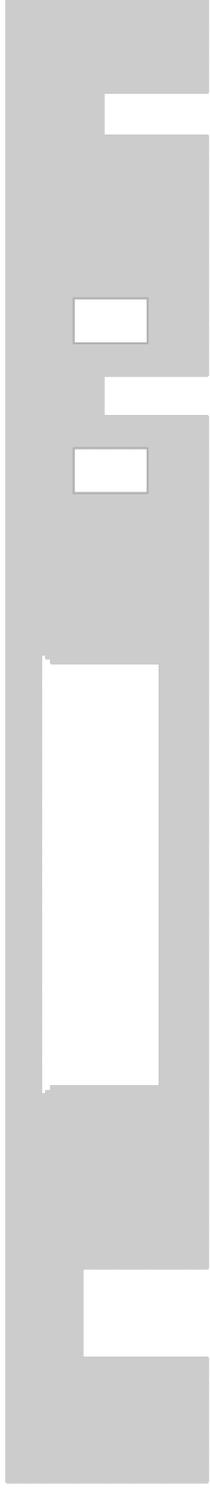
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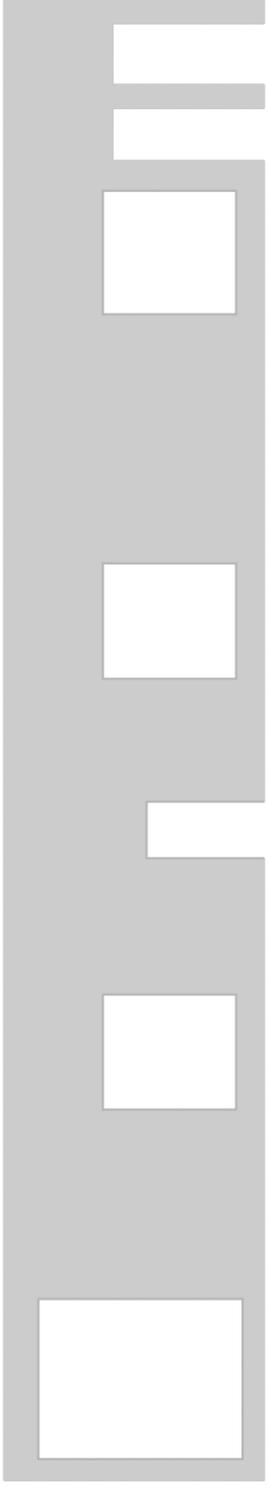
OLD U.S. POST OFFICE, SOUTH ELEVATION: 18% GLAZING



ATTICUS HOTEL, EAST ELEVATION: 30% GLAZING



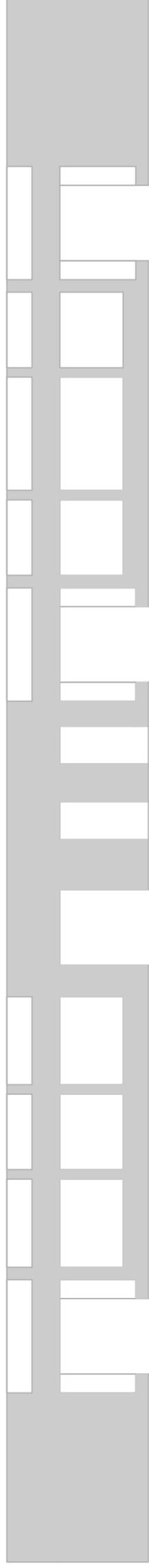
ATTICUS HOTEL, NORTH ELEVATION: 26% GLAZING



ODD FELLOWS LODGE, EAST ELEVATION: 26% GLAZING



640 NE 3RD ST, NORTH ELEVATION: 23% GLAZING



811 NE 3RD ST, SOUTH ELEVATION: 43% GLAZING

EXHIBIT A2: GLAZING PERCENTAGE COMPARISON

North Side of Third Street from Adams to Baker Street













Flat metal awning at 211 NE 3rd Street
(existing)



Flat metal awning at 608 NE 3rd Street
(approved by Historic Landmark Commission and under construction)

EXHIBIT B

Applicant's Supplement of August 28, 2019 to its Land Use Application as Revised August 01, 2019

Applicant, First Federal Savings and Loan Association, submits the following additional narrative in support of its Downtown Design Review Application (ODR 4-19) and waiver from (5) of the applicable Downtown Design Standards. They are as follows:

- 1) A surface parking lot on Third Street;
- 2) Vehicular access from the proposed parking lot to Third Street;
- 3) Landscaping near surface parking lot north side of Second Street;
- 4) Glazing requirements; and
- 5) Awning materials.

1. A surface parking lot on Third Street.

Criteria 17.59.040 A.3.b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained therein.

Currently, the frontage along the south side of Third Street from Adams to Baker Street, is approximately two thirds (2/3) parking lot with three vehicular accesses onto Third Street, and another vehicular access onto Baker Street. The remaining approximately one third (1/3) of the block of the Third Street frontage is the existing brick bank facility on the southeast corner of Third and Adams Streets.

The Third and Adams Street intersection is a key gateway to historic downtown McMinnville. This unique location in of itself supports Applicant's proposed development for historic purposes as hereafter discussed.

As one drives south on Adams Street and turns left onto Third Street, you enter the McMinnville Downtown Historic District corridor with the historic Cozine House on your left. Applicant suggests and proposes that the area on the right side of Third Street between the sidewalk and the 18 space parking area be developed for historic purposes.

The area could include a sign "Welcome to Historic Downtown McMinnville" on the Adams Street side of the Applicant's proposed Third Street access. Another wall on the east side of the Third Street access could, for example, set forth a history of McMinnville. Applicant proposes that the way to design and develop this area would be through a decision process by Applicant's Board with input from planning staff, and Steve Rupp, chair of the Downtown Public Arts Committee. Additionally, art could be included that would consist of one or two historically relevant statues which, if appropriately placed, would serve to draw attention to them and away from the exit from the parking lot onto Third Street. A redesign of this exit is addressed in number (2) of this Supplement.

The benefits of this proposal are significant: the public will have an enhanced access to Third Street, a significant opportunity to present a brief history of McMinnville will be utilized, the proposed parking lot will abut this proposed historic use and not Third Street and the proposed walls and the statue(s) will significantly shield and reduce the presence of the parking lot.

Applicant submits that the proposed area would accomplish an important purpose for the downtown core as set forth in McMinnville ordinance 4797, Section 17.59.010 Purpose (as amended) which provides: “Rather, its (ordinance 4797), purpose is to build on the “main Street” qualities that currently exist with the downtown and to foster an organized coordinated and cohesive historic district that reflects the “sense of place, economic base, and history unique to McMinnville and the downtown core. (ordinance 4797, October 23, 2003).”

As such, the proposed area could be determined to be a unique and separate which would separate the parking lot from Third Street whereby the parking lot would abut this proposed area, and not Third, and thus not requiring a waiver.

In addition, Applicant’s proposed area addresses the purpose tests set forth in Chapter 17.65.010 of ordinance 5034 which are:

- A. Stabilize and improve property values through restoration efforts;
- B. Promote the education of local citizens on the benefits associated with an active historic preservation program;
- C. Foster civic pride in the beauty and noble accomplishments of the past;
- D. Protect and enhance the City’s attractions for tourists and visitors; and
- E. Strengthen the economy of the City.

2. Vehicular access from the proposed parking lot to Third Street.

Criteria 17.59.040 A.3.a There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site.

Without this exit onto Third Street, traffic from the site’s parking lots, would be forced to exit on one of three busy streets, two of which are state highways and the third, Second Street, is a major arterial all of which have the following issues and impacts:

- a) They are near traffic lights;
- b) When the applicable traffic light is red, traffic quickly, if not immediately, blocks the exit;
- c) If the traffic light is green, vehicles exiting the parking lot must merge with traffic moving at, or near, the posted speed limit;
- d) Traffic at all three of these locations is known for back-ups. This condition and associated problems will worsen as McMinnville grows and traffic volume increases (McMinnville is projecting growth of approximately 33% in the next 20 years);
- e) Without the existing exit onto Third Street, traffic desiring to continue east on Third Street, or turn left at Third and Baker and go north on Baker Street will have to exit at one of the other out of direction exits and further impact traffic at these exits;
- f) Continued access onto Third Street has several important advantages. First, the traffic proceeding east from Adams Street onto Third Street is significantly less than on the other three streets and is also moving at a much slower speed having just turned east off of Adams Street. Second, the traffic exiting Applicant’s drive onto Third Street can then

proceed to the traffic light at Third and Baker Streets and then have a controlled movement to continue east on Third Street, or to make a left turn and proceed north on Baker Street;

- g) As future traffic loads on the other three streets increase, this exit out to Third Street will be used and even more beneficial to downtown traffic movement; and
- h) Finally, the traffic pattern and volume of Applicant's site is unique as to its location with three sides abutted by major arterials. The Third Street access is the best mitigation of traffic from this unique site.

Criteria 17.59.040 A.3.b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein.

Applicant currently has parking on its site that abuts the south at the proposed 18 parking spaces which are located in the northwest quarter of Applicant's property. This existing parking has been on the site since 1974 and has been and is now served by the existing driveway which runs northerly to Third Street. In effect, Applicant is seeking an approximate 30 foot westerly relocation of this existing access to Third Street. The question then becomes, is it a new use requiring a waiver, or approval of a relocation of an existing use? Applicant believes it is the latter. Either way, the impact of continuing an existing use does not create a new impact, rather a continuation of the status quo. In addition, the net effect of the proposed site plan results in the elimination of two driveway accesses on Third Street and one on Baker Street and 120 feet of current parking lot frontage.

Finally, Applicant would provide appropriate historical objects of art to be located on each side of the exit, or as otherwise appropriate, to minimize the impact of this exit onto Third Street. Continuing the exit onto Third Street best satisfies the requirements of MMc Section 17.59.040(A)(3).

Criteria 17.59.040 A.3.c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter (Ord. 4797 §1, 2003).

The proposed site plan results in a reduction from approximately 160 feet of the south side of the Third Street from Baker to Adams, being used for a parking lot and Third Street access to 12 feet of Third Street access. If the proposed building were to be located elsewhere on the block, all of these impacts on Third Street would continue.

3. Landscaping near surface parking lot.

Applicant believes it has adequately addressed and has met the circumstances necessary to support this waiver. See pages 12-14 of Applicant's Land Use Application Revised August 01, 2019. Applicant would again stress the significant numbers of employees, and also customers who use these parking lots and drive extended and four door pickups which require significant maneuvering space.

4. **Glazing requirements.**

Applicant believes it has adequately addressed and has met the circumstances necessary to support this Waiver. See pages 5-9 of Applicant's Land Use Application Revised August 01, 2019. Applicant reserves the opportunity to submit further information.

5. **Awning materials.**

Applicant supplements Section 1, 17.59.070 Awnings, Subpart D, on page 14 of its Downtown Design Review Application as follows:

McMinnville ordinance at Section 17.06.05 (General Definitions) provides as follows:

Awning – A secondary covering attached to the exterior wall of a building. The location of an awning on a building may be above a window, a door, or over a sidewalk. An awning is often painted with information as to the name of the business, thereby acting as a sign, in addition to providing protection from weather.

Clearly, McMinnville's definition of an awning allows for the flat awning proposed by Applicant.

McMinnville's ordinance in its section of Design Standards for awnings provides:

D. Awnings should be constructed of soft canvas, fabric, or matte finished vinyl. The use of wood, metal, or plastic awnings is prohibited.

The standards in this section D would apply, and are consistent with a sloped awning. The materials, such as are proposed in section D, clearly will not work for allowed flat awnings as proposed by Applicant as they will impound water, which will cause them to sag and collect more water until the water will ultimately spill over – potentially onto pedestrians. The opposite result of what an awning should accomplish.

The committee's role in case of such a drafting oversight, that is materials which are not intended for an allowed flat awning, is to grant such a waiver as will to effectuate the use of an appropriate material.

The design alternative for this Applicant is to eliminate the awnings to the detriment of pedestrians.

Applicant points out the committee's waiver an allowance of metal for the Taylor Dale Building as an example of an appropriate waiver.

Applicant believes it has adequately addressed and has met the circumstances necessary to support this waiver. See pages 14-16 of Applicant's Land Use Application Revised August 01, 2019.

Chuck Darnell

From: Kelley Wilson <kelley@sumdesignstudio.com>
Sent: Wednesday, August 7, 2019 11:38 AM
To: Heather Richards; Jim Schlotfeldt
Cc: Chuck Darnell; Jeannette Mayer; Christian Sterner; Matt Loosemore
Subject: RE: Design Review submittal
Attachments: First Fed - trash pickup design approval.pdf

This message originated outside of the City of McMinnville.

Chuck and Heather,
Per your request on the Completeness Letter we have received approval from Recology on our proposed trash/recycling pickup configuration. Please see the attached email from Recology.

Thank you.

Kelley Wilson
project manager/architect

sum DESIGN STUDIO + architecture

From: Heather Richards <Heather.Richards@mcminnvilleoregon.gov>
Sent: Friday, August 2, 2019 4:51 PM
To: Jim Schlotfeldt <JSchlotfeldt@firstfedweb.com>
Cc: Kelley Wilson <kelley@sumdesignstudio.com>; Chuck Darnell <Charles.Darnell@mcminnvilleoregon.gov>; Jeannette Mayer <JMayer@firstfedweb.com>; Christian Sterner <christian@sumdesignstudio.com>; Matt Loosemore <matt@sumdesignstudio.com>
Subject: Re: Design Review submittal

Hi Jim,

We will look at your revised submittal next week and get back to you on whether it is complete to bring to the August HLC meeting.

Heather Richards, PCED
Planning Director
231 NE Fifth Street
McMinnville, OR 97128

503-474-5107 (work)
541-604-4152 (cell)

On Aug 2, 2019, at 4:36 PM, Jim Schlotfeldt <JSchlotfeldt@firstfedweb.com> wrote:

This message originated outside of the City of McMinnville.

Kelley Wilson

From: Rich Kuehn <rkuehn@westernoregonwaste.com>
Sent: Wednesday, August 7, 2019 11:24 AM
To: Kelley Wilson
Cc: Christian Sterner; KnightC@aks-eng.com
Subject: RE: First Federal Savings and Loan, McMinnville - new building

Good morning Kelley,

I have reviewed the site plans. While we strive with new construction to have trash and recycling enclosures sited in such a manner that we can directly stab the containers vs. our driver having to wheel them out of the enclosure by hand, we understand this is not always possible. This enclosure design and dimensions should work for a building of this size. Based on a few other businesses of like size in the area they will most likely need a 4 yard trash, 6 yard OCC, and (4-6) 90 gallon carts for commingled recycling. Please let me know if you have any further questions.

Thank you,

Rich Kuehn
Operations Manager

Recology™ Western Oregon
1850 NE Lafayette Avenue | McMinnville, OR 97128
T: 503.472.3176 | F: 503.474.4843 | rkuehn@recology.com

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From: Kelley Wilson [<mailto:kelley@sumdesignstudio.com>]
Sent: Wednesday, July 31, 2019 10:40 AM
To: *RWO Info <RWOinfo@recology.com>
Cc: Christian Sterner <christian@sumdesignstudio.com>; Chris Knight <KnightC@aks-eng.com>
Subject: First Federal Savings and Loan, McMinnville - new building

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

We are the architects working on the design of a new building for First Federal S&L in McMinnville. The new building will be on the same site as their current buildings at 118 NE Third Street. The current buildings will be demolished.

I would like to confirm the location and access to the trash enclosure we are currently showing. I would also like to confirm the size of the enclosure. It is 10 feet deep and 15'4" wide. We have not determined the size of dumpster so if you could suggest an appropriate size for this 30,000 SF/100 employees office building it would be appreciated. Please see the attached site plan.

Thank you and please call if you have any questions or would like to discuss the project.

Kelley Wilson
project manager/architect

sum DESIGN STUDIO + architecture
231 SE 12th Avenue
office 503 715 5847 | ext. 111
cell 503 282 1400

Jim Schlotfeldt

From: KNECHT Casey <Casey.KNECHT@odot.state.or.us>
Sent: Thursday, May 30, 2019 4:04 PM
To: Christian Sterner
Cc: Kelley Wilson; EARL Robert; WAKEM Jordan
Subject: RE: McMinnville First Federal Savings and Loan

RECEIVED

AUG 22 2019

COMMUNITY DEVELOPMENT
CENTER

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Christian,

Jurisdiction of highways within city limits is a little tricky. For this section of OR-99W, ODOT has curb-to-curb jurisdiction. Everything beyond the curblines is city controlled. Well, except for ADA ramps and driveways, since those are access points to the highway. There are a few things ODOT would still be concerned about like sight distance at the corner, oversized vehicle clearance, etc. But none of that appears to be affected by the design proposal.

Long story short, this is a question for the city.

Thanks,

Casey Knecht, P.E.

Development Review Coordinator | ODOT Region 2
885 Airport Rd SE, Bldg P | Salem OR 97301
503-986-5170 | casey.knecht@odot.state.or.us

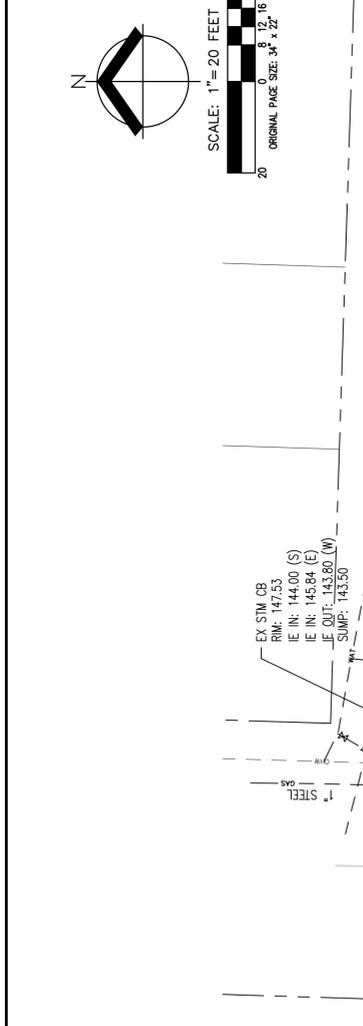
From: Christian Sterner [mailto:christian@sumdesignstudio.com]
Sent: Thursday, May 30, 2019 11:35 AM
To: KNECHT Casey
Cc: Kelley Wilson
Subject: McMinnville First Federal Savings and Loan

Hi Casey,

We are designing the bank and their offices at the corner of NE Baker and NE Third and have an overhang over the sidewalk on NE Baker. The overhang starts at 15'-0" and extends 3'-8" there and at the roof is 4'-0" in the same footprint, please see site plan and elevations calling this area out for you. The rendering has NE Baker on the left (where the overhang is) and NE Third on the right. The overhang allows for the bank's tight program of interior spaces and engages the corner in an attractive way. Since NE Baker is one of the streets controlled by ODOT, can you please let me know if there are any issues with this overhang? Thanks very much!

Christian Sterner

sum DESIGN STUDIO + architecture
231 SE 12th Ave.
Portland, OR 97214
503.715.5847 x112



TREE NUMBER	TYPE	DBH (IN.)
10154	DECIDUOUS	15
10286	DECIDUOUS	6
10257	DECIDUOUS	6
10441	DECIDUOUS	6
10826	DECIDUOUS	10
10887	DECIDUOUS	8
11388	DECIDUOUS	14
11394	DECIDUOUS	7
11591	DECIDUOUS	14
11704	DECIDUOUS	6,6,7,9

NOTES:
 1. UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS. PROVIDED PER UTILITY LOCATE TICKET NUMBER 18333435, 18333447, 18333452, AND 18333454. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCALITIES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
 2. FIELD WORK WAS CONDUCTED DECEMBER 19-21, 2018.
 3. VERTICAL DATUM: ELEVATIONS ARE BASED ON 3 CITY OF MINNIVILLE VERTICAL BENCHMARKS AND A NGS VERTICAL BENCHMARK. A 3-1/2" BRASS DISK LOCATED IN A WINDOW SILL AT THE NE CORNER OF 5TH AND EVANS, NGS POINT ID = "E103". THE BRASS DISK ELEVATION = 157.16 PER CITY INFORMATION. THE 3 CITY MONUMENTS ARE LOCATED AT THE FOLLOWING LOCATIONS: THE CENTERLINE-CENTERLINE INTERSECTION OF 5TH AND DAVIS. ELEVATION = 154.06; THE CENTERLINE-CENTERLINE INTERSECTION OF 2ND AND GALLOWAY. ELEVATION = 152.65; AND THE CENTERLINE-CENTERLINE INTERSECTION OF 2ND AND GALLOWAY. ELEVATION = 158.03. ELEVATIONS ARE BASED ON NGVD 29 DATUM.
 4. THIS MAP DOES NOT CONSTITUTE A PROPERTY BOUNDARY SURVEY TO BE CONDUCTED WITH THE COUNTY BOUNDARIES MAY BE PRELIMINARY AND SHOULD BE CONFIRMED WITH THE STAMPING SURVEYOR PRIOR TO RELYING ON FOR DETAILED DESIGN OR CONSTRUCTION.
 5. SURVEY IS ONLY VALID WITH SURVEYOR'S STAMP AND SIGNATURE.
 6. BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING FEES.
 7. CONTOUR INTERVAL IS 1 FOOT.
 8. TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE DETERMINED BY VISUAL INSPECTION. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.
 9. THERE IS AN EXISTING SEWER EASEMENT THAT DOES NOT FOLLOW THE EXISTING SEWER LINE. THE EASEMENT DESCRIBES A CENTERLINE BUT NO SPECIFIC WIDTH. THIS IS DESCRIBED IN FOUR SEPARATE DOCUMENTS IN BOOK 100, PAGES 570-573.

LEGEND

EXISTING

- DECIDUOUS TREE
- CONIFEROUS TREE
- FIRE HYDRANT
- WATER BLOWOFF
- WATER METER
- WATER VALVE
- DOUBLE CHECK VALVE
- AIR RELEASE VALVE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- SIGN
- STREET LIGHT
- MAILBOX
- STORM DRAIN CLEAN OUT
- STORM DRAIN CATCH BASIN
- STORM DRAIN AREA DRAIN
- STORM DRAIN MANHOLE
- GAS METER
- GAS VALVE
- GUY WIRE ANCHOR
- UTILITY POLE
- POWER VAULT
- POWER JUNCTION BOX
- POWER PEDESTAL
- COMMUNICATIONS VAULT
- COMMUNICATIONS JUNCTION BOX
- COMMUNICATIONS RISER

EXISTING

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- PROPERTY LINE
- CENTERLINE
- DITCH
- CURB
- EDGE OF PAVEMENT
- EASEMENT
- FENCE LINE
- GRAVEL EDGE
- POWER LINE
- OVERHEAD WIRE
- COMMUNICATIONS LINE
- FIBER OPTIC LINE
- GAS LINE
- STORM DRAIN LINE
- SANITARY SEWER LINE
- WATER LINE
- GROUND LIGHT CAN
- DRIVEWAY
- TAX LOT

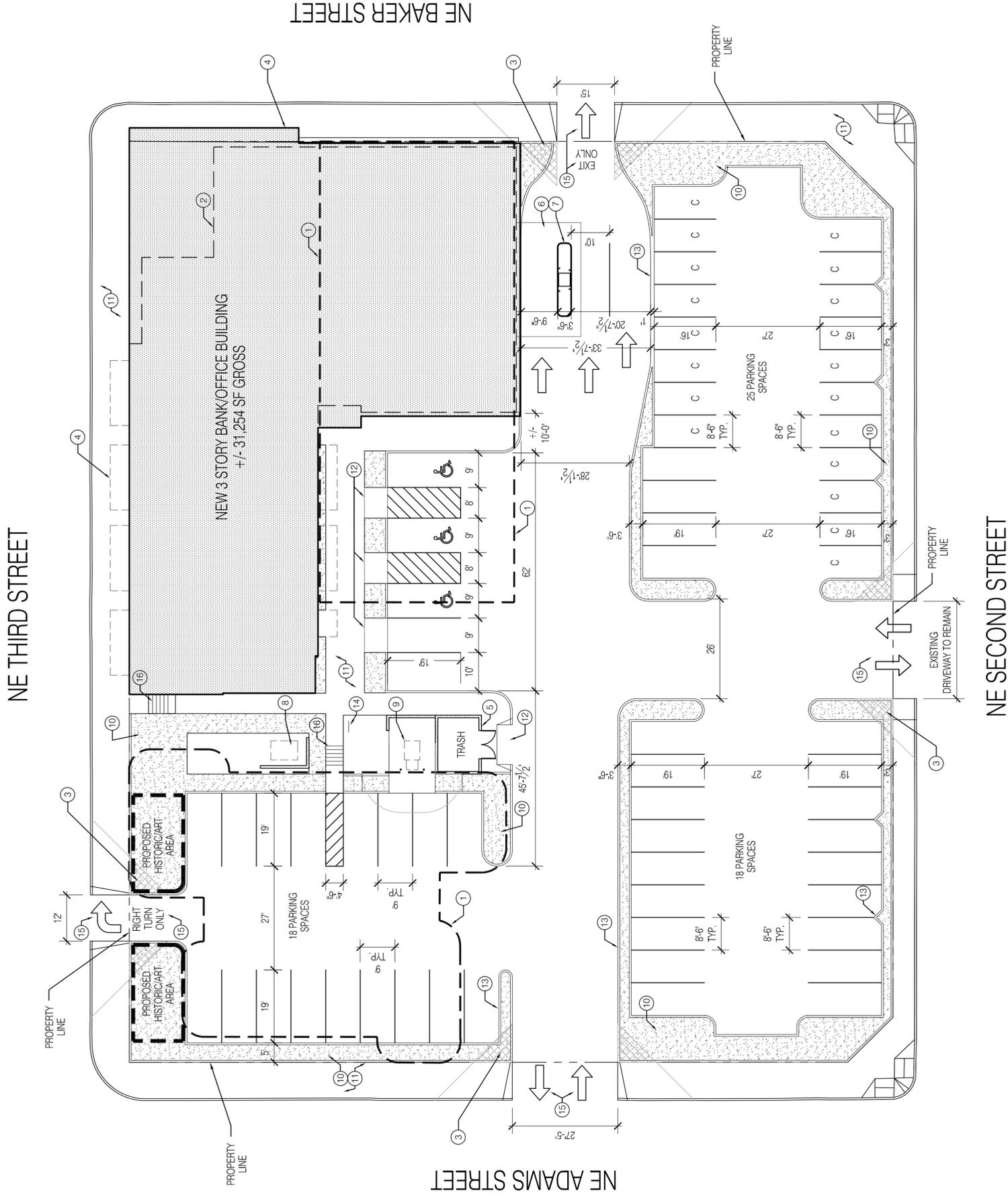


SITE PLAN NOTES

1. DIMENSIONS ARE APPROXIMATE. SEE CIVIL DRAWINGS AND SITE SURVEY FOR MORE INFORMATION.
2. DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, OR TO CENTERLINE OF PAVEMENT STRIP OR OBJECT, U.N.O.
3. REFER TO PROJECT SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS, AND BENCHMARK INFORMATION.
4. FOR GRADING & UTILITY INFORMATION, SEE CIVIL DRAWINGS
5. FOR LANDSCAPE INFORMATION, SEE LANDSCAPE DRAWINGS
6. FOR EXTERIOR BUILDING LIGHTING, SEE REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS

KEYNOTES

1. OUTLINE OF BUILDING TO BE DEMOLISHED
2. LINE OF GROUND FLOOR, NEW BUILDING
3. 10' X 10' CLEAR VISION AREA
4. LINE OF CANOPY, SEE PLANS AND ELEVATIONS
5. TRASH ENCLOSURE: CMU, PAINTED STEEL ROOF
6. DRIVE-THROUGH CANOPY
7. CONCRETE DRIVE-THROUGH ISLAND
8. WATER DOUBLE CHECK DETECTOR
9. ELECTRICAL TRANSFORMER, SEE CIVIL AND ELEC. PLANS
10. LANDSCAPING, SEE LANDSCAPE DRAWINGS
11. CONCRETE SIDEWALK, SEE CIVIL PLANS
12. CURB RAMP, SEE CIVIL DRAWINGS
13. CONCRETE CURB, SEE CIVIL DRAWINGS
14. BIKE RACK FOR TWO BIKES, SEE DETAIL
15. DIRECTIONAL SURFACE SIGNS
16. SITE STAIRS, SEE CIVIL DRAWINGS



1. SITE PLAN
ORIGINAL SCALE: 1/16" = 1'-0"



FIRST FEDERAL SAVINGS & LOAN
118 NE THIRD STREET
MCMINNVILLE, OREGON 97128
August 29, 2019
100% DESIGN DEVELOPMENT SET

IN THE EVENT CONFLICTS ARE ENCOUNTERED BETWEEN THE ORIGINAL BOARD AND THESE REVISIONS, THE BOARD'S DECISION SHALL PREVAIL. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE DRAWINGS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE RECEIVED BY THE ARCHITECT FROM THE CLIENT. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO ANY OTHER MATTER, INCLUDING BUT NOT LIMITED TO, THE DESIGN OR CONSTRUCTION OF ANY OTHER BUILDING OR STRUCTURE, OR THE PERFORMANCE OF ANY OTHER PROFESSIONAL SERVICE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE RECEIVED BY THE ARCHITECT FROM THE CLIENT.

PROJECT NUMBER:	19004
PLOT DATE:	19-0905
TEAM:	
REVISION LOG:	

SHEET:
SITE PLAN



FIRST FEDERAL SAVINGS & LOAN
118 NE THIRD STREET
MCMINNVILLE, OREGON 97128
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August 29, 2019

IN THE EVENT CONFLICTS ARE PROVIDED BETWEEN THE ORIGINAL BOARD AND THESE REVISIONS, THE BOARD'S DECISION SHALL PREVAIL. THE BOARD'S DECISION SHALL BE FINAL AND NOT SUBJECT TO APPEAL. THE ORIGINAL BOARD AND BOARD MEMBERS SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THEM BY THE ARCHITECT AND/OR OTHER PROFESSIONALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THEM BY THE ARCHITECT AND/OR OTHER PROFESSIONALS.

PROJECT NUMBER:	19004
PLOT DATE:	19-0827
TEAM:	
REVISION LOG:	

SHEET:
FLOOR PLAN - LEVEL 1

EXHIBIT C5

A111

FLOOR PLAN NOTES

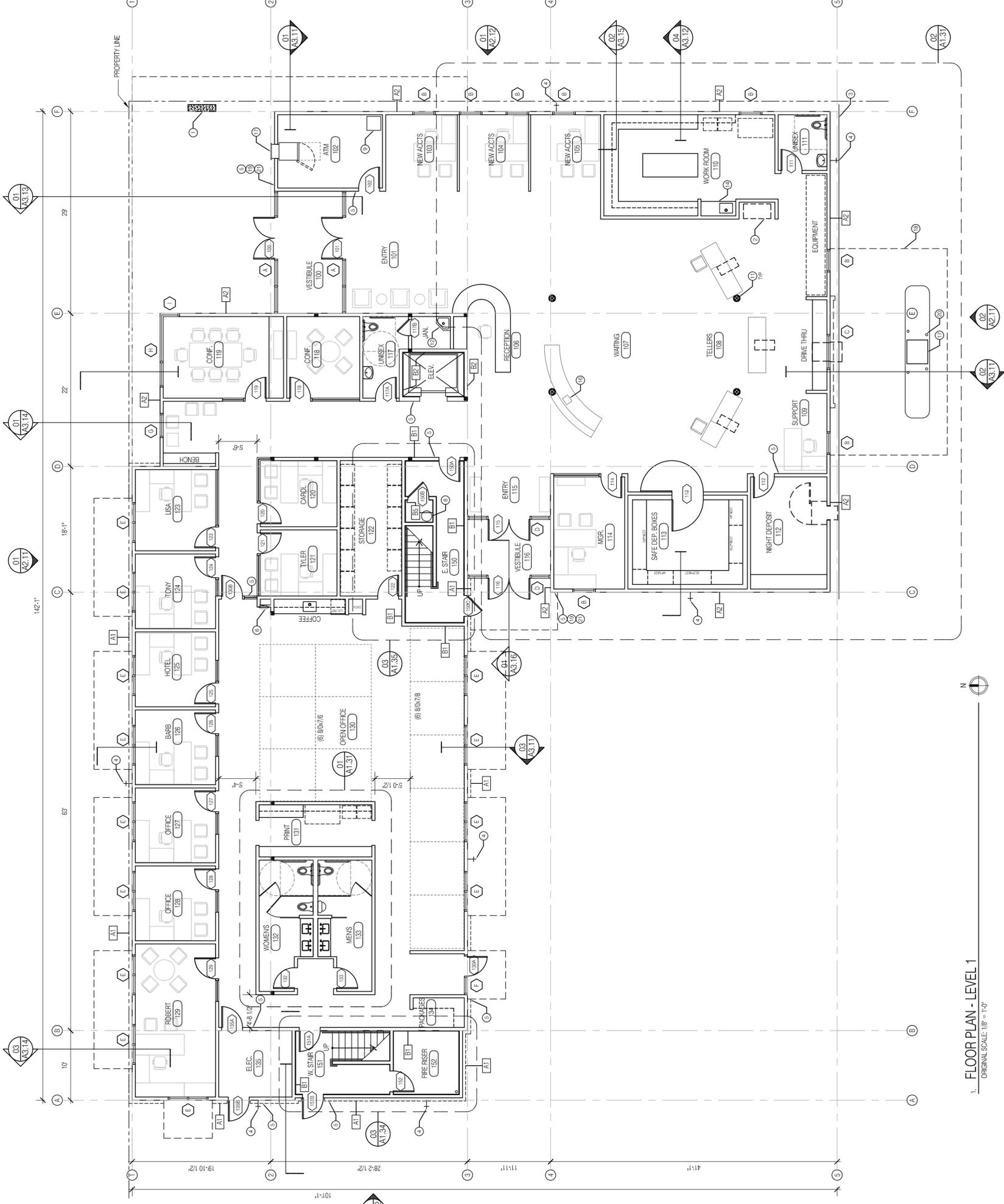
- REFERENCE AS TO FOR ASSEMBLIES, INTERIOR WALL ASSEMBLIES ARE TYPE BA, TYP. U.N.C.
- THERE SHALL BE NO EXPOSED PIPES, DUCTS, CONDUIT, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED CONSTRUCTION ON THE DRAWINGS.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF ANY KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, GRIDLINE, OR CENTERLINE OF OBJECT, U.N.C.
- REFERENCE STRUCTURAL FOR SHEAR AND BEARING WALL LOCATIONS.
- PROVIDE BACKING OR STRAPPING FOR ALL WALL MOUNTED ACCESSORIES, FURNISHINGS, AND EQUIPMENT. VERIFY WEIGHTS AND LOCATIONS.
- REFER TO FINISH SCHEDULE FOR ALL FINISHES.
- REFER TO APPLIANCE & EQUIPMENT SCHEDULE FOR WINDOW TREATMENT SPEC AND LOCATIONS.
- NOT ALL KEYNOTES ARE USED ON ALL PLANS.

SHEET KEY

- DOOR / DOOR SYMBOL - SEE SHEET A6.11 FOR TYPES
- WINDOW / WINDOW SYMBOL - SEE SHEET A6.10 FOR TYPES
- ASSEMBLY TAG, SEE AS.10 AND AS.11

KEYNOTES

- CONCRETE COLUMN
- COIN COUNTER
- CONCRETE CURB AT DRIVE THROUGH SEE SITE PLAN AND CIVIL DRAWINGS
- HOSE BIBB
- CARD READER, VERIFY LOCATION W/ OWNER
- WATER BOTTLE FILLING STATION WITH INTERNAL CHILLER
- EXHAUST SHAFT
- WATER HEATER MOUNTED HIGH
- ID/FID/F RACK, SEE ELECTRICAL
- RECESSED FIRE EXTINGUISHER CABINET, COORDINATE LOCATION W/ FIRE MARSHAL
- STRUCTURAL POST
- MOP SINK, SEE MEP, VERIFY REOD CLEARANCES
- PROVIDE WATER LINE FOR ICE MAKER AND REFRIGERATOR
- COFFEE STATION, PROVIDE WATERLINE
- SINK W/ GARBAGE DISPOSAL
- GLASS FILLER OR WATER STATION AND SINK
- ATM
- DRIVE-THRU CANOPY
- DOOR ACTUATOR BUTTON, VERIFY LOCATION W/ ARCH
- CONC FILLED STEEL BOLLARDS, VERIFY REOD HT AND LOCATIONS, SEE DETAIL
- LOCK BOX, COORDINATE LOCATION W/ FIRE MARSHAL
- AREA OF DEPRESSED SLAB FOR INSET CARPET, SEE FINISH PLAN
- CONC SLAB CONTROL JOINTS AT BLDG INTERIOR, LOCATE ON GRID LINES, TYP. CONTROL JOINTS NOT SHOWN FOR CLARITY
- NON-WALL OPERABLE WALL OR EQUAL.



1. FLOOR PLAN - LEVEL 1
ORIGINAL SCALE: 1/8" = 1'-0"



FIRST FEDERAL SAVINGS & LOAN
118 NE THIRD STREET
MCMINNVILLE, OREGON 97128
100% DESIGN DEVELOPMENT SET
August 29, 2019

IN THE EVENT CONFLICTS ARE PROVIDED BETWEEN THE ORIGINAL BOARD AND BOARD MEMBERS, THE BOARD MEMBERS SHALL PREVAIL. THE BOARD MEMBERS SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE BOARD MEMBERS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE BOARD MEMBERS.

PROJECT NUMBER:	19004
PLOT DATE:	19-0827
TEAM:	
REVISION LOG:	

SHEET:
FLOOR PLAN - LEVEL 2

EXHIBIT C6

A1.12

FLOOR PLAN NOTES

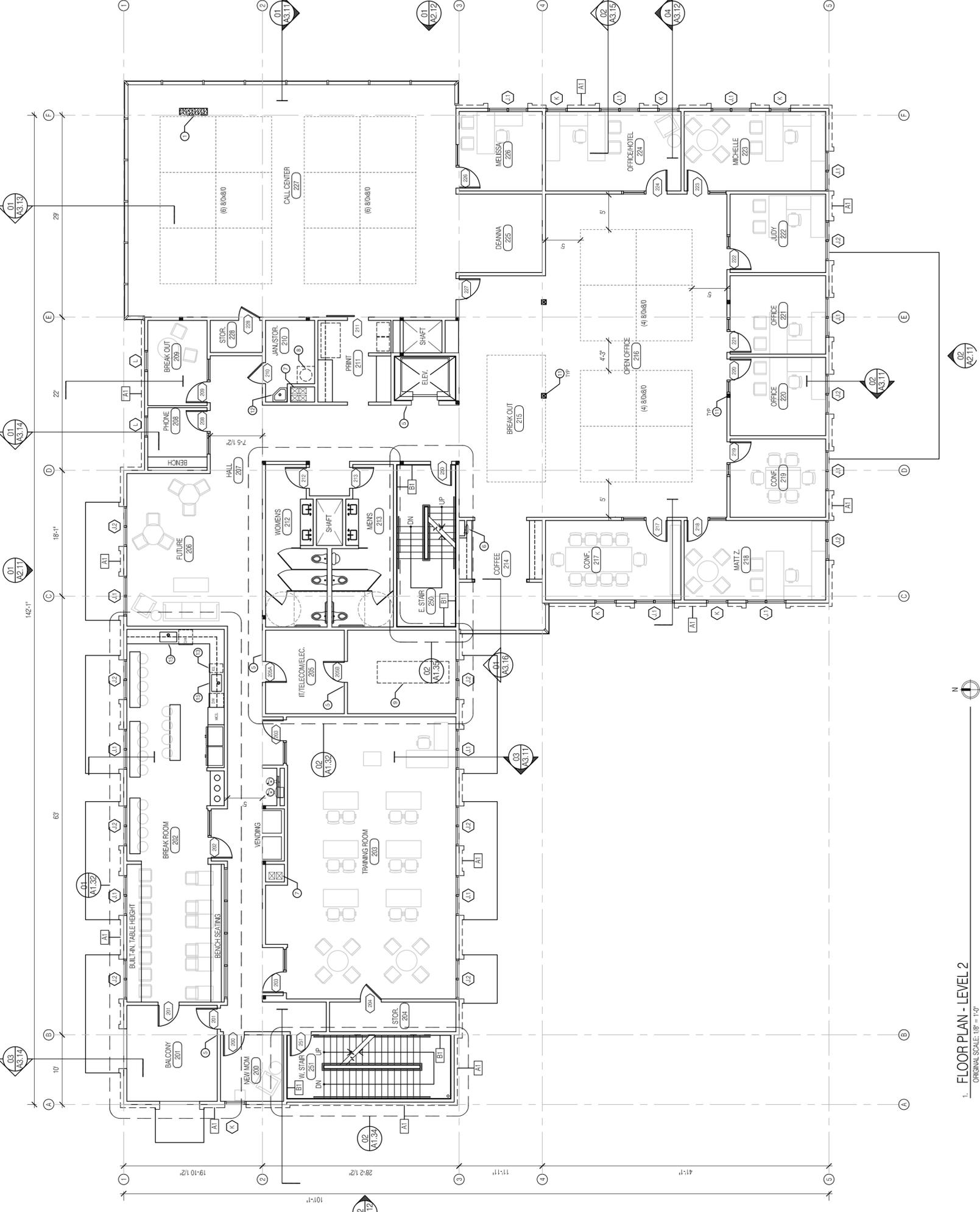
- A. REFERENCE AS TO FOR ASSEMBLIES, INTERIOR WALL ASSEMBLIES ARE TYPE BA, TYP, U.N.C.
- B. THERE SHALL BE NO EXPOSED PIPES, DUCTS, CONDUIT, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED CONSTRUCTION ON THE DRAWINGS.
- C. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF ANY KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- D. DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, GRIDLINES, OR CENTERLINE OF OBJECT, U.N.C.
- E. REFERENCE STRUCTURAL FOR SHEAR AND BEARING WALL LOCATIONS.
- F. PROVIDE BACKING OR STRAPPING FOR ALL WALL MOUNTED ACCESSORIES, FINISHINGS, AND EQUIPMENT. VERIFY WEIGHTS AND LOCATIONS.
- G. REFER TO FINISH SCHEDULE FOR ALL FINISHES.
- H. REFER TO APPLIANCE & EQUIPMENT SCHEDULE FOR WINDOW TREATMENT SPEC AND LOCATIONS.
- I. NOT ALL KEYNOTES ARE USED ON ALL PLANS.

SHEET KEY

- DOOR / DOOR SYMBOL - SEE SHEET A6.11 FOR TYPES
- WINDOW / WINDOW SYMBOL - SEE SHEET A6.10 FOR TYPES
- ASSEMBLY TAG, SEE A5.10 AND A5.11

KEYNOTES

- 1. CONCRETE COLUMN
- 2. COIN COUNTER
- 3. CONCRETE CURB AT DRIVE THROUGH SEE SITE PLAN AND CIVIL DRAWINGS
- 4. HOSE BIBB
- 5. CARD READER, VERIFY LOCATION W/ OWNER
- 6. WATER BOTTLE FILLING STATION WITH INTERNAL CHILLER
- 7. EXHAUST SHAFT
- 8. WATER HEATER MOUNTED HIGH
- 9. IDF/IDF RACK, SEE ELECTRICAL
- 10. RECESSED FIRE EXTINGUISHER CABINET, COORDINATE LOCATION W/ FIRE MARSHAL
- 11. STRUCTURAL POST
- 12. MOP SINK, SEE MEP, VTY RECORD CLEARANCES
- 13. PROVIDE WATER LINE FOR ICE MAKER AND REFRIGERATOR
- 14. COFFEE STATION, PROVIDE WATERLINE
- 15. SINK W/ GARBAGE DISPOSAL
- 16. GLASS FILLER OR WATER STATION AND SINK
- 17. ATM
- 18. DRIVE-THRU CANOPY
- 19. DOOR ACTUATOR BUTTON, VTY LOCATION W/ ARCH
- 20. CONC FILLED STEEL BOLLARDS, VTY RECORD HT AND LOCATIONS, SEE DETAIL
- 21. LOCK BOX, COORDINATE LOCATION W/ FIRE MARSHAL
- 22. AREA OF DEPRESSED SLAB FOR INSET CARPET, SEE FINISH PLAN
- 23. CONC SLAB CONTROL JOINTS AT BLDG INTERIOR, LOCATE ON GRID LINES, TYP. CONTROL JOINTS NOT SHOWN FOR CLARITY
- 24. NON-WALL OPERABLE WALL OR EQUAL



1. FLOOR PLAN - LEVEL 2
ORIGINAL SCALE: 1/8" = 1'-0"



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IN THE EVENT CONFLICTS ARE PROVIDED BETWEEN THE ORIGINAL BOARD AND BOARD MODIFICATIONS PROVIDED BY THE ARCHITECT, THE ARCHITECT'S INTENT SHALL PREVAIL. THE ARCHITECT'S INTENT SHALL BE DETERMINED BY THE ARCHITECT'S INTERPRETATION OF THE DRAWINGS AND SPECIFICATIONS. THE ORIGINAL BOARD AND BOARD MODIFICATIONS SHALL BE PROVIDED TO THE ARCHITECT BY THE ARCHITECT'S CLIENT. THE ARCHITECT'S INTENT SHALL BE DETERMINED BY THE ARCHITECT'S INTERPRETATION OF THE DRAWINGS AND SPECIFICATIONS. THE ORIGINAL BOARD AND BOARD MODIFICATIONS SHALL BE PROVIDED TO THE ARCHITECT BY THE ARCHITECT'S CLIENT.

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SHEET:
FLOOR PLAN - LEVEL 3

EXHIBIT C7

FLOOR PLAN NOTES

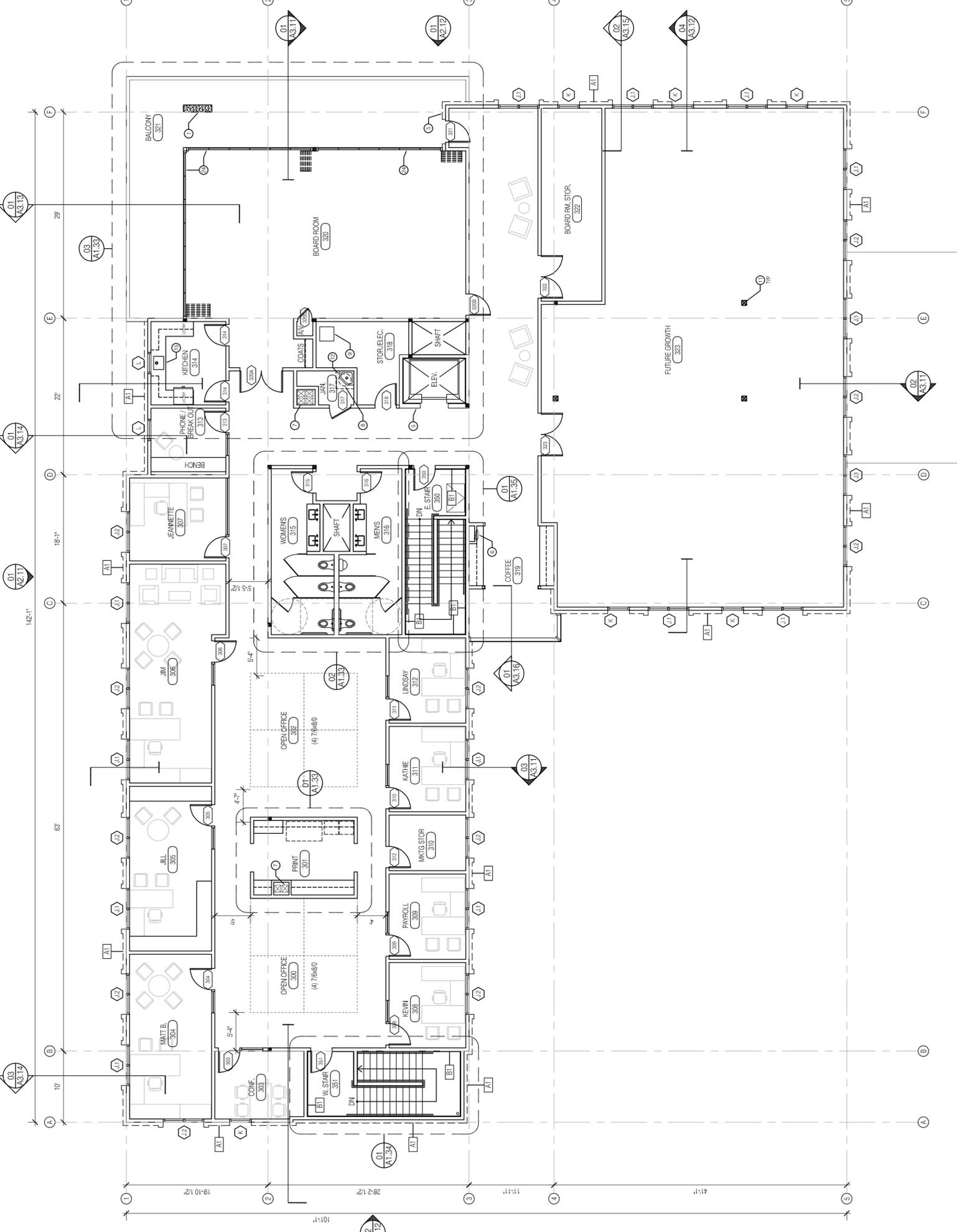
- REFERENCE AS TO FOR ASSEMBLIES, INTERIOR WALL ASSEMBLIES ARE TYPE BA, TYP. U.N.C.
- THERE SHALL BE NO EXPOSED PIPES, DUCTS, CONDUIT, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS NOTED AS EXPOSED CONSTRUCTION ON THE DRAWINGS.
- ALL EXIST DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF ANY KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, GRIDLINES, OR CENTERLINE OF OBJECT, U.N.C.
- REFERENCE STRUCTURAL FOR SHEAR AND BEARING WALL LOCATIONS.
- PROVIDE BACKING OR STRAPPING FOR ALL WALL MOUNTED ACCESSORIES, FURNISHINGS, AND EQUIPMENT. VERIFY WEIGHTS AND LOCATIONS.
- REFER TO FINISH SCHEDULE FOR ALL FINISHES.
- REFER TO APPLIANCE & EQUIPMENT SCHEDULE FOR WINDOW TREATMENT SPEC AND LOCATIONS.
- NOT ALL KEYNOTES ARE USED ON ALL PLANS.

SHEET KEY

- DOOR / DOOR SYMBOL - SEE SHEET A6.11 FOR TYPES
- WINDOW / WINDOW SYMBOL - SEE SHEET A6.10 FOR TYPES
- ASSEMBLY TAG, SEE AS.10 AND AS.11

KEYNOTES

- CONCRETE COLUMN
- COIN COUNTER
- CONCRETE CURB AT DRIVE THROUGH SEE SITE PLAN AND CIVIL DRAWINGS
- HOSE BIBB
- CARD READER, VERIFY LOCATION W/ OWNER
- WATER BOTTLE FILLING STATION WITH INTERNAL CHILLER
- EXHAUST SHAFT
- WATER HEATER, MOUNTED HIGH
- ID/F/IDF RACK, SEE ELECTRICAL
- RECESSED FIRE EXTINGUISHER CABINET, COORDINATE LOCATION W/ FIRE MARSHAL
- STRUCTURAL POST
- MOP SINK, SEE MEP, VERIFY REOD CLEARANCES
- PROVIDE WATER LINE FOR ICE MAKER AND REFRIGERATOR
- COFFEE STATION, PROVIDE WATERLINE
- SINK W/ GARBAGE DISPOSAL
- GLASS FILLER OR WATER STATION AND SINK
- ATM
- DRIVE-THRU CANOPY
- DOOR ACTUATOR BUTTON, VERIFY LOCATION W/ ARCH
- CONC FILLED STEEL BOLLARDS, VERIFY REOD HT AND LOCATIONS, SEE DETAIL
- LOCK BOX, COORDINATE LOCATION W/ FIRE MARSHAL
- AREA OF DEPRESSED SLAB FOR INSET CARPET, SEE FINISH PLAN
- CONC SLAB CONTROL JOINTS AT BLDG INTERIOR, LOCATE ON GRID LINES, TYP. CONTROL JOINTS NOT SHOWN FOR CLARITY
- NON-WALL OPERABLE WALL OR EQUAL



1. FLOOR PLAN - LEVEL 3
ORIGINAL SCALE: 1/8" = 1'-0"

1.



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IN THE EVENT CONFLICTS ARE ENCOUNTERED BETWEEN THE ORIGINAL BOARD AND THESE REVISIONS APPROVED BY THE BOARD, THE BOARD'S DECISION SHALL BE FINAL AND BINDING. THE ORIGINAL BOARD AND BOARD DOCUMENTS SHALL GOVERN IN ALL CIRCUMSTANCES.

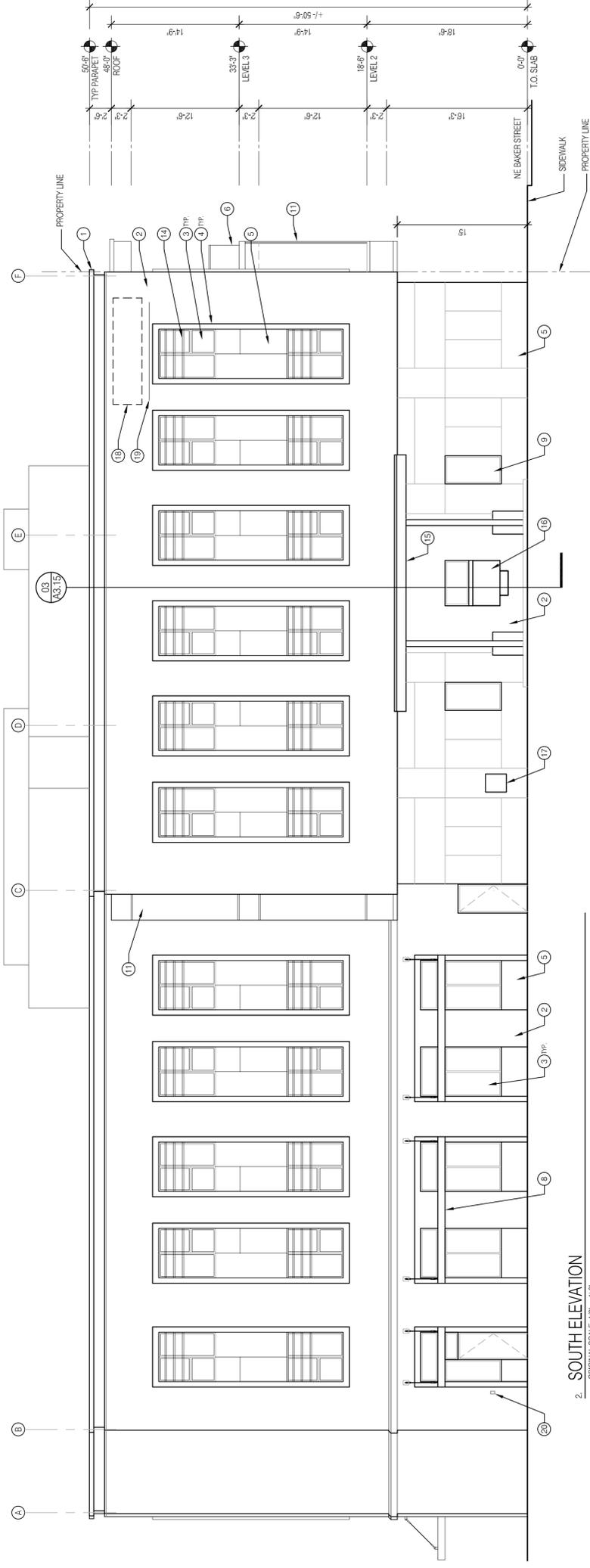
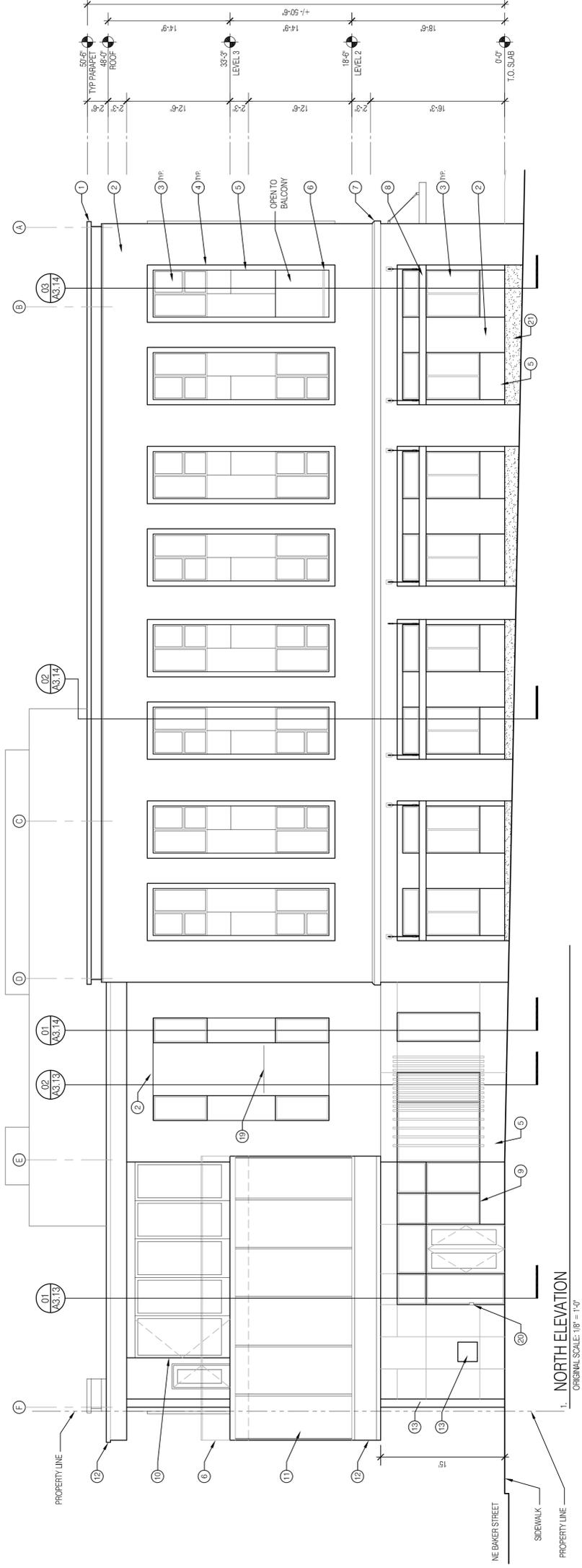
THE USE OF THESE PLANS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THESE PLANS OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS OR SPECIFICATIONS.

PROJECT NUMBER:	19004
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SHEET: ELEVATIONS

KEYNOTES

1. PRE-FINISHED SHEET METAL CORNICE CAP
2. FIELD BRICK, MUTUAL MATERIALS - COLOR: COAL CREEK, SIZE: NORMAN
3. WINDOW: KAWNEER TRIFAB 601/UT FRAMING SYSTEM WITH UV COATED/ARGON FILLED 1" INSULATED UNITS, TYP.
4. PERIMETER BRICK PROTRUSION FOR SHADOW LINE (SAME COLOR AS FIELD BRICK), TYP.
5. STONE PANELS
6. GLASS GUARDRAIL
7. PRECAST CONCRETE BAND
8. PAINTED STEEL RAINING
9. STOREFRONT: KAWNEER TRIFAB 601/UT FRAMING SYSTEM WITH UV COATED/ARGON FILLED 1" INSULATED UNITS, TYP.
10. OPERABLE DOOR SYSTEM: MANUWALL SL20 WITH UV COATED/ARGON FILLED INSULATED UNITS, TYP.
11. CURTAIN WALL SYSTEM: KAWNEER 1600UT SYSTEM 1.7 1/2" X 2 1/2" FRAME, UV COATED/ARGON FILLED 1" INSULATED UNITS
12. METAL WALL PANEL SYSTEM
13. AUTOMATED TELLER MACHINE (ATM)
14. METAL SUNSHADES
15. CANOPY OVER DRIVE-UP
16. DRIVE-UP WINDOW
17. NIGHT DEPOSIT BOX
18. SIGN LOCATION (SIGNAGE BY OTHERS)
19. EXTERIOR LIGHT FIXTURE FOR SIGNAGE
20. DOOR ACCESS CONTROL SYSTEM (BY OTHERS)
21. EXPOSED FOUNDATION WALL SKIM COAT
22. CP CONCRETE COLUMN



GENERAL NOTES

1.



KEYNOTES

1. PRE-FINISHED SHEET METAL CORNICE CAP
2. FIELD BRICK: MUTUAL MATERIALS - COLOR: COAL CREEK, SIZE: NORMAN
3. WINDOW: KAWNEER TRIFAB 601/UT FRAMING SYSTEM WITH UV COATED ARGON FILLED 1" INSULATED UNITS, TYP.
4. PERIMETER BRICK PROTRUSION FOR SHADOW LINE (SAME COLOR AS FIELD BRICK), TYP.
5. STONE PANELS
6. GLASS GUARDRAIL
7. PRECAST CONCRETE BAND
8. PAINTED STEEL RAINING
9. STOREFRONT: KAWNEER TRIFAB 601/UT FRAMING SYSTEM WITH UV COATED ARGON FILLED 1" INSULATED UNITS, TYP.
10. OPERABLE DOOR SYSTEM: MANAWALL S2.0 WITH UV COATED ARGON FILLED INSULATED UNITS, TYP.
11. CURTAIN WALL SYSTEM: KAWNEER 1600UT SYSTEM 1.7 1/2" X 2 1/2" FRAME, UV COATED ARGON FILLED 1" INSULATED UNITS
12. METAL WALL PANEL SYSTEM
13. AUTOMATED TELLER MACHINE (ATM)
14. METAL SUNSHADES
15. CANOPY OVER DRIVE-UP
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IN THE EVENT CONTRACT IS MODIFIED BY THE ORIGINAL BOARD AND SAID MODIFICATIONS ARE NOT IN ACCORDANCE WITH THE ORIGINAL CONTRACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE ORIGINAL BOARD AND SAID MODIFICATIONS IN ACCORDANCE WITH THE ORIGINAL CONTRACT.

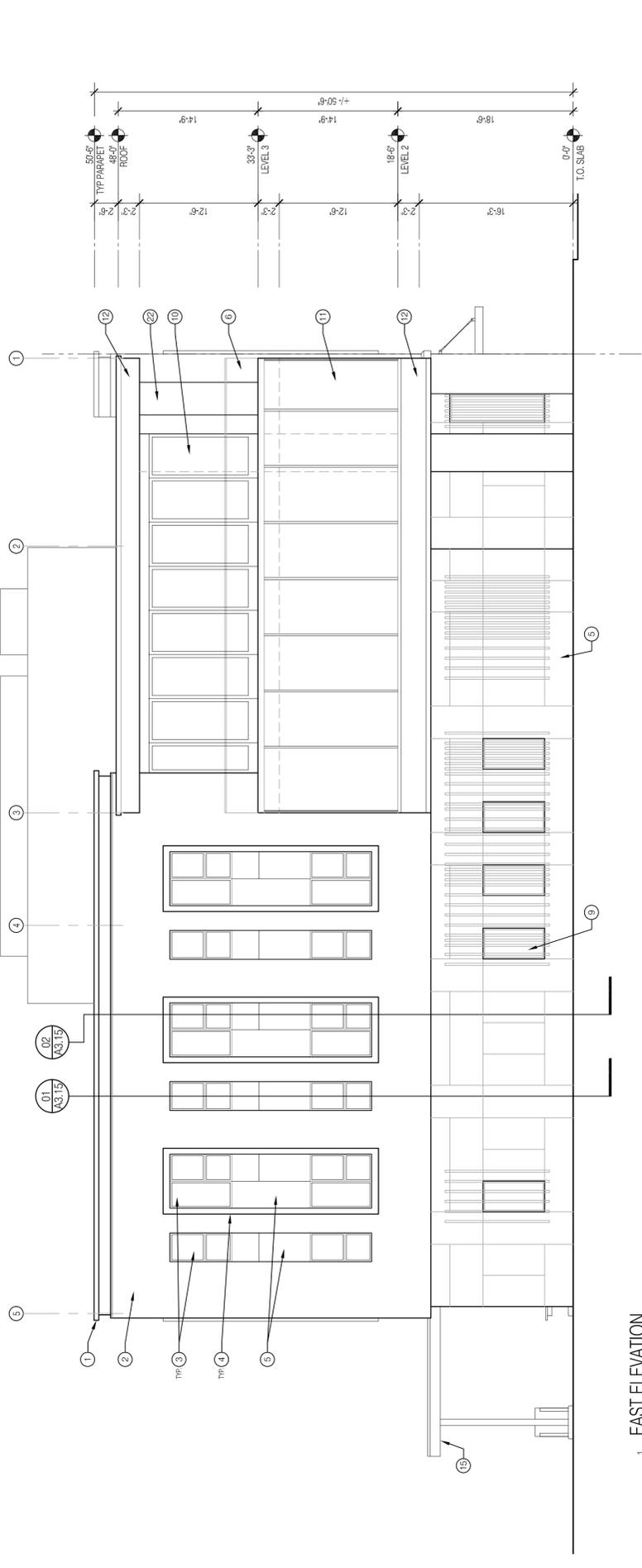
THE USE OF THIS PLAN AND SPECIFICATIONS SHALL BE RESTRICTED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THIS PLAN OR SPECIFICATIONS FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF SUM DESIGN STUDIO IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN OR SPECIFICATIONS.

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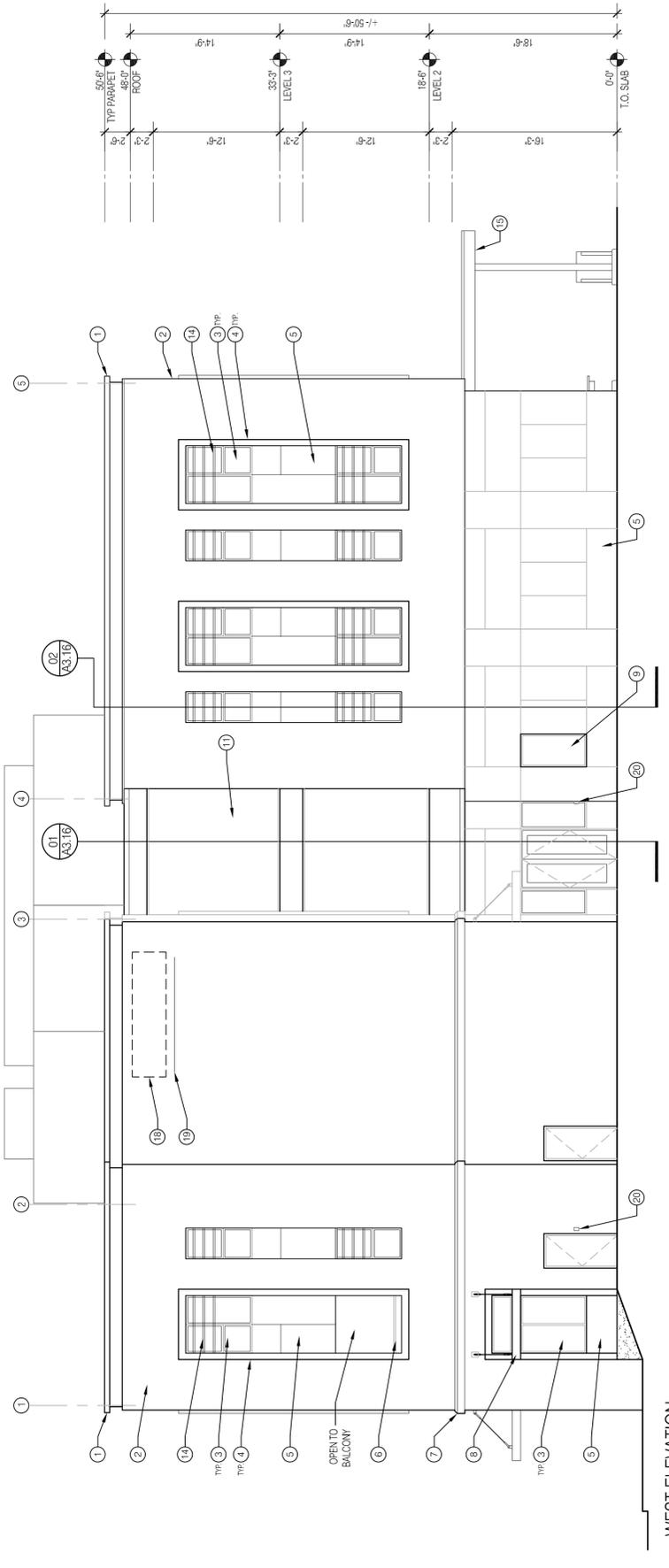
SHEET: ELEVATIONS

EXHIBIT C10

A2.12



1. EAST ELEVATION
ORIGINAL SCALE: 1/8" = 1'-0"



2. WEST ELEVATION
ORIGINAL SCALE: 1/8" = 1'-0"



FIRST FEDERAL SAVINGS AND LOAN 100% DESIGN DEVELOPMENT RENDERING A
AUGUST 29, 2019



EXHIBIT D1





FIRST FEDERAL SAVINGS AND LOAN 100% DESIGN DEVELOPMENT RENDERING B
AUGUST 29, 2019



EXHIBIT D2





FIRST FEDERAL SAVINGS AND LOAN 100% DESIGN DEVELOPMENT RENDERING C
AUGUST 29, 2019



EXHIBIT D3





FIRST FEDERAL SAVINGS AND LOAN 100% DESIGN DEVELOPMENT RENDERING D
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EXHIBIT D4





FIRST FEDERAL SAVINGS AND LOAN 100% DESIGN DEVELOPMENT RENDERING E
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EXHIBIT D5





FIRST FEDERAL SAVINGS AND LOAN 100% DESIGN DEVELOPMENT RENDERING F
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EXHIBIT D6

