

Planning Department
 231 NE Fifth Street • McMinnville, OR 97128
 (503) 434-7311 Office • (503) 474-4955 Fax
www.mcminnvilleoregon.gov

569-19-00011-Plng

Office Use Only:	
File No.	DDR 5-19
Date Received	10-1-19
Fee	1200. ⁰⁰
Receipt No.	201356
Received by	SA

Downtown Design Standards & Guidelines Application

Applicant Information

Applicant is: Property Owner Contract Buyer Option Holder Agent Other Project Manager

Applicant Name RON BURCHAM Phone 971-241-0666

Contact Name _____ Phone _____
 (If different than above)

Address 1170 NE 19th St.

City, State, Zip McMinnville, OR 97128

Contact Email reburcham@gmail.com

Property Owner Information

Property Owner Name Mini Super Hidalgo LLC Phone 503-
 (If different than above)

Contact Name Blanca Ortiz Gonzales Phone project manager

Address 903 NE 3rd St.

City, State, Zip McMinnville OR 97128

Contact Email project manager

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 903 NE 3rd St. McMinnville, OR 97128

Assessor Map No. R4421 - BD- 4400 Total Site Area _____

Subdivision _____ Block _____ Lot _____

Comprehensive Plan Designation Commercial Zoning Designation C3

This request is for a:

Design Review

Design Waiver

1. Attach a written narrative that describes:

- A. The proposed project in detail, including descriptions of the architectural features and building materials being used;
- B. How the project meets the applicable downtown design standards and guidelines;
- C. How the project meets the historic preservation standards and guidelines (if applicable); and
- D. How the project will fit into the context of the downtown historic district.

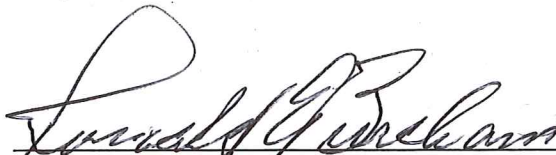
2. As part of this application, is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so, explain in detail how the criteria for waiving a standard or guideline as listed in Section 17.59.040(A) have been met (*attach additional pages if necessary*).

SEE ATTACH NARRATIVE FOR WAIVER REQUEST
OF GLAZING TO FACING STREETS,

In addition to this completed application, the applicant must provide the following:

- A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size). For new construction or for structural modifications show the information listed in page one of the information sheet.
- Building and construction drawings including building elevations of all visible sides.
- A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
- Photographs of the subject site and adjacent property.
- Other information deemed necessary by the Planning Director.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.


Applicant's Signature

10/1/2019
Date


Property Owner's Signature

10-01-19
Date

MARCIA A. MIKESH
ARCHITECT, INC.

P: 503.474.1900
524 SE Hembree St., McMinnville, OR 97128-6051
www.goodhut.com
marcia@goodhut.com

9/30/19

Job #2019.06

Addition and Remodel for Mini Super Hidalgo, LLC

Location: 903 NE Third St, McMinnville, OR 97128

Yamhill County Tax lot R4421BD - 4400

Mailing Address: same

Primary Owner contact and decision maker: Blanca Ortiz Gonzalez Phone: verify e-mail: verify

Project Manager: Ron Burcham, 971-241-0666; reburcham@gmail.com
1170 NE 19th St, McMinnville, OR 97128

To: (via hand-delivered)
McMinnville Planning Dept.

We are sending you copies of:

Copies	Date	Description
1	9/30/19	Design Review application and \$1200fee
1	9/27/19	Phase 1 Design Review drawings: floor plan, exterior elevations, sections (24x36 and a set 11x17); site plan, photos of existing and neighbor buildings and context, color view (8.5x11).
1	9/30/19	Application Narrative, photo of proposed new pedestal sign, Waiver Request. <i>plus copy via pdf of drawings + narrative,</i>

These are transmitted for your review and comment.

Remarks:

- Respond with comments.

Copy: Ron Burcham

MARCIA A. MIKESH

ARCHITECT, INC.

P: 503.474.1900

524 SE Hembree St., McMinnville, OR 97128-6051

www.goodhut.com

marcia@goodhut.com

Revised 10/31/19 9/30/2019

Job # 2019.06

Addition and Remodel for Mini Super Hidalgo, LLC

Location: 903 NE Third St, McMinnville, OR 97128

Yamhill County Tax lot R4421BD - 4400

Primary Owner decision maker: Blanca Ortiz Gonzalez

Project Manager and primary contact: Ron Burcham 971-241-0666 reburcham@gmail.com

1170 NE 19th St, McMinnville, OR 97128

Phase 1 Design Review Application Narrative

Phase 1 is an addition under the existing roof (250 sf), infilling the existing building perimeter walls, and applying façade improvements per design standards. The total finished gross floor area will be 2020 sf.

Phase 2 design revisions continue, so design review will be separate applications. Phase 2 will be an addition that will include a permanent restaurant replacing the food wagon and storage, and improvements to the existing parking lot and site.

A. Project description and details:

Phase 1 is an addition under the existing roof (250 sf), infilling the existing building perimeter walls, and applying façade improvements per design standards. The total finished gross floor area will be 2020 sf.

Architectural features include added storefront glazing, brick base on walls facing streets, new awning wrapping the street facing building walls, and an improved fascia with a new cornice trim.

The existing painted "stucco" finish on wood panels will be improved **on street faces to match existing stucco on CMU, and the new "stucco" finish on new wood construction will be a thin coat texture system on wood sheathing or fiber-cement panels** between new windows and at improved fascia.

Some existing glazing is remaining unchanged.

B. How the project meets the applicable downtown design standards and guidelines:

Applicable overlay Design Standards: McMinnville Downtown Design Standards AND McMinnville NE Gateway Design Standards.

Site improvements are not required for a commercial building less than 3000 sf, so no additional landscaping or parking lot improvements are proposed or required (per preapplication meeting notes 7/23/2019).

NE Gateway PD overlay - Project site is located in Zone 1.

Per Section 3.D.2, the Gateway PD overlay does not apply to an expansion of an existing structure of less than 15%. Existing building is 1740 square feet (sf), and addition for phase 1 is 250 sf, or 14.6 % of the existing building area.

Per Section 7, the Downtown Design Standards and Guidelines, Sections 17.59.050 through 17.59.080 apply to zone 1 sites.

McMinnville Downtown Design Standards - This site is within the area for downtown design standards.

Per Section 17.59.020, Applicability, the Design Standards apply to all new building construction (addition), exterior building or site alteration (remodel and improvements, excludes existing elements and maintenance), and new signage.

This property is NOT a designated historic landmark (17.59.040.A2)

The proposed addition use is an extension of the existing retail space.

Phase 1 has been determined by planning director to require regular review per 17.59.030, significant façade changes require review as a "major review" by the historic landmarks committee and neighbors will be notified.

17.59.040 Review Criteria

A.1 The City's historic preservation policies set forth in the Comprehensive Plan;

Comprehensive Plan Policy 17.01: This property is not a designated historic landmark. The existing construction does not have historic features. However, proposed new construction and remodel features will meet the design guidelines of the downtown historic district.

Comprehensive Plan Policy 17.03, Proposal 3.07: Owner intent is to create a project which contributes and supports an authentic experience for visitors while providing compatible new development. Owner intent is also to comply with intent of Urban Renewal Board so the project can qualify for possible funding.

Comprehensive Plan Policy 17.06, Proposal 3.19: Project has taken advantage of the façade grant program for Free Design Assistance. Phase 2 improvements intend to take advantage of grant programs.

A.3: Waiver requests are in separate memo, for Third St. and Irvine St. glazing requirements per 17.59.050.B.3.c.

Due to the structural requirements of the existing building, this waiver is requesting the minimum glazing change necessary to alleviate the difficulty of meeting the design standards for glazing.

Due to the minimal new construction along the Irvine St. facade, this waiver is requesting the minimum glazing change necessary to alleviate the difficulty of meeting the design standards for glazing.

17.59.050 Building and Site Design.

A. Building Setback: existing building setback is maintained. Proposed new construction is an infill of an existing building gap under the existing roof, and it aligns with existing building facades facing both Third and Irvine Streets. Minimal new construction will be along Irvine; the existing exterior wall is less than 2' from the Irvine property line, so new construction aligns with existing exterior wall.

The proposed new construction will reduce existing non-conformity.

B. Building Design.

1. Existing single story building massing is not going to be substantially changed by project, proposed addition is an infill of an existing building gap under the existing roof, and it aligns with existing building exterior walls.

Existing building exterior walls do not align with nearby buildings.

(Phase 2 preliminary design option considered a new building at corner of Third and Irving Streets, but location and condition are unknown of existing underground gas tanks. The gas tanks were decommissioned in 1990 by filling with concrete grout, per receipts in file, and DEQ 1989 permit. The ports were located by surveyor. A new building would require a long foundation over the existing underground tank likely locations. It is not feasible to locate a new 2-story building at the street corner property lines.)

2. The existing building is 62' wide along Third St, and 32' along Irving St. The façade improvements (grouped windows, new recessed entry, brick base, awning, fascia along existing parapet) are along the existing building street facing perimeter. A recessed doorway provides visual subdivision. The proposed new awning is continuous. The new windows facing Third St. are grouped in proportional bays, and walls between the window groups will appear to vertically divide the bays.

3. The "storefront" improvements facing a public street are single story.

b. A new 24" brick veneer bulkhead is proposed at both Third and Irvine street facades at the street level.

c. Glazing below the transom line of 8', applied to new construction:

- Third St. new construction and remodel:
 - wall area below 8': 497 sf
 - original wall glazing area 32%
 - new glazing area 61%.
 - Waiver requested.
- Irvine St. new wall construction - wall area 48 sf; new glazing area 44%. Waiver requested.
- Irvine St. existing wall construction - Wall area 208 sf; original glazing area 15%. No changes proposed, not applicable.

- d. Third St: A new recessed entry and transom with transparent door is provided at Third St. façade.
- d. Irvine St: The new exterior façade wall along Irvine St. is minimal (6' long) with minor interior alterations. The interior layout of the existing and new space does not work with an exterior door along Irvine St. A new recessed doorway is not applicable.
- e. A new decorative cornice or cap trim will be provided at the improved parapet façade at the roofline.

4. No change to rooflines proposed. Existing roof is very low pitched, screened towards public streets behind improved existing parapet façade.

5. The primary entrance to the building shall be a new recessed entry along the Third St. façade and will open to face the Third St public right-of-way. A second door is added flush along the Third St. facade.

6. New windows shall be installed so the glazing is recessed in the new wall, and not flush or project from the surface of the outer wall. New windows are oriented vertically.

7. The scale and proportion of altered or added building elements, such as new windows or doors, are visually compatible with the original architectural character of the building. The original architectural character of the building is very plain, appearing to be a cross between "convenience store" and "gas station".

8. Per item 3b, a new brick veneer base will be provided on Third and Irvine Streets from ground floor to the lower windowsills.

C. Building Materials.

1. Proposed exterior materials include extending the existing painted stucco finish onto new construction, with a new brick veneer base. The existing painted "stucco" finish on wood panels will be improved **on street faces to match existing stucco on CMU, and the new "stucco" finish on new wood construction will be a thin coat texture system on wood sheathing or fiber-cement panels** between new windows and at improved fascia. The improved façade at the parapet **will include** decorative trim at the existing parapet top. New glazing will match existing glazing, and any coating shall be low reflective.

3. Exterior building colors shall be of low reflective, subtle, neutral or earth tone color.

17.59.060 Surface Parking Lots: No parking changes required for phase 1. Current existing parking spaces 12. Building shall be entirely Retail use. Building area, existing and with improvements, is 1990 sf. Retail requires 1 off-street parking space per 250 sf building area. 8 parking spaces required for phase 1 total building, which is less than 12 spaces existing. No changes proposed to existing surface parking lot.

17.59.070 Awnings: New awnings are proposed on both Third and Irvine Street facades. There are no existing building features to obscure. Awnings will be continuous matt finished fabric over metal frame attached to wall. There are no existing adjacent buildings to align with, although the awning will be at a similar level to the awnings on Golden Valley Brew Pub. Awnings are shown placed at 8', the head of the new windows and transom over exterior doors. Awnings are proposed to be of a low reflective, subtle, neutral or earth tone color. Awnings will not be internally illuminated.

17.59.080 Signs - The existing non-compliant pole sign will be removed.

A. Signage will meet design standards:

1. **There will not be a new monument sign at this time.**

2. Flush wall-mounted sign similar to existing, painted wood material, located on fascia above new awning, below building cornice. Sign will be about 40 sf, one sided.

B. Single business occupies building.

D. Building frontage = 62'. Site frontage = 120'.

Signage area allowed: $1.5 \text{ sf} \times 62' = 93 \text{ sf}$ (less than 200 sf).

Signage area proposed = 40 sf, less than 93 sf allowed.

E.3: The existing non-compliant pole sign will be removed. There are no other prohibited types of signage on the site or existing building. Existing signage is located on the building façade, is modest in size, and will be replaced for phase 1.

17.62.020 Signage Scope (McMinnville Zoning Ordinance): "... further, this chapter does not apply to lands within the areas described in Section 17.59.020(A) of the Downtown Design Standards and Guidelines ..." (because there are signage requirements in the downtown design standards).

17.60.070 Off-street loading: Completed building will be less than 5000 square feet, so no loading berth will be required.

17.60.140 Bicycle Parking: will provide new element for bicycle parking for at least 2 spaces.

Chapter 17.61 Solid Waste and Recycling: 17.61.020 A and B - Phase 1 project is not a change of use or a new commercial development, so this Chapter does not apply.

C. The project is not a designated historic landmark.

D. How this project will fit into the context of the downtown historic district:

This project will have significantly more glazing facing Third St. than the existing building, new masonry veneer wall base, and a continuous awning, all of which will help this retailer fit into the downtown historic district. It will also fit better with nearby buildings with extensively glazed street facades.

Removal of the existing pole sign at the street corner, will fit the historic district patterns.

The new work proposed with this project will serve to help extend the historic downtown design standards further east along Third St.

End of Memo.

MARCIA A. MIKESH

ARCHITECT, INC.

P: 503.474.1900

524 SE Hembree St., McMinnville, OR 97128-6051

www.goodhut.com

marcia@goodhut.com

9/30/2019

Job # 2019.06

Addition and Remodel for Mini Super Hidalgo, LLC

Location: 903 NE Third St, McMinnville, OR 97128

Yamhill County Tax lot R4421BD - 4400

Primary Owner decision maker: Blanca Ortiz Gonzalez

Project Manager and primary contact: Ron Burcham 971-241-0666 reburcham@gmail.com

1170 NE 19th St, McMinnville, OR 97128

Phase 1 Design Review Application - Design Standards Waiver Request

Phase 1 is an addition under the existing roof (250 sf), infilling the existing building perimeter walls, and applying façade improvements per design standards. The total finished gross floor area will be 2020 sf.

A.3: Design Standards Waiver requests

For Third St. glazing requirements per 17.59.050.B.3.c.

a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

There is a demonstrable difficulty in meeting the glazing requirements of this Chapter due to the existing structure. The existing original structure is unreinforced masonry walls (concrete block) supporting an existing wood heavy-frame roof system. The existing roof framing system divides the existing building into structural bays which affect the new window placement.

The existing east addition is a wood frame structure that will have new openings added to the Third St. façade for a new recessed entry, and new windows.

New wall construction is to be 2x6 wood frame, with three new steel columns and foundations supporting the existing roof beams. The new wall facing Third St. will have new openings, however, a new shear wall is required along this new wall, and it needs to be located with a new column under an existing roof beam. The 5'-6" wide shear wall shown is the minimal length required to improve the existing structure along gridline C. Except for the shear wall, there are small parts of solid wall separating sets of windows.

b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;

The original Third St. façade has 32% glazing below 8'. The proposed new glazing will be 61% of wall area below 8', a significant glazing improvement over the existing façade, but less than the 70% required in the design standards.

The new and existing Third St. and Irvine St facades will include a 24" brick veneer bulkhead (required by design standards). This height is common on other Third St. buildings downtown, and will help protect the new large windows from deliveries and foot traffic along the building façade.

The new window and door openings along the Third St. new construction façade are grouped in proportional bays aligned with the existing roof beams bearing on the new wall. The narrow portions of walls between the window groups will appear to vertically divide the bays.

The proposed alternate design is consistent with the design standards.

c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

Due to the structural requirements of the existing building, this waiver is requesting the minimum glazing change necessary to alleviate the difficulty of meeting the design standards for glazing.

For Irvine St. glazing requirements per 17.59.050.B.3.c.

a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site;

The existing Irvine St. façade has no proposed changes to the existing glazing (15%), and the new portion of the Irvine St. façade is only 6' long, to fit under the existing roof. There are minimal changes to the interior layout along this façade, and the interior layout of the existing and new space does not work with an exterior door along Irvine St.

b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein;

The proposed new construction along Irvine St. facade is 6' long (fitting under existing roof), with a new window that matches the new Third St. façade windows. Matching the new window sizes in new construction for this corner facade is good design.

There will be a 2' brick veneer bulkhead required by design standards.

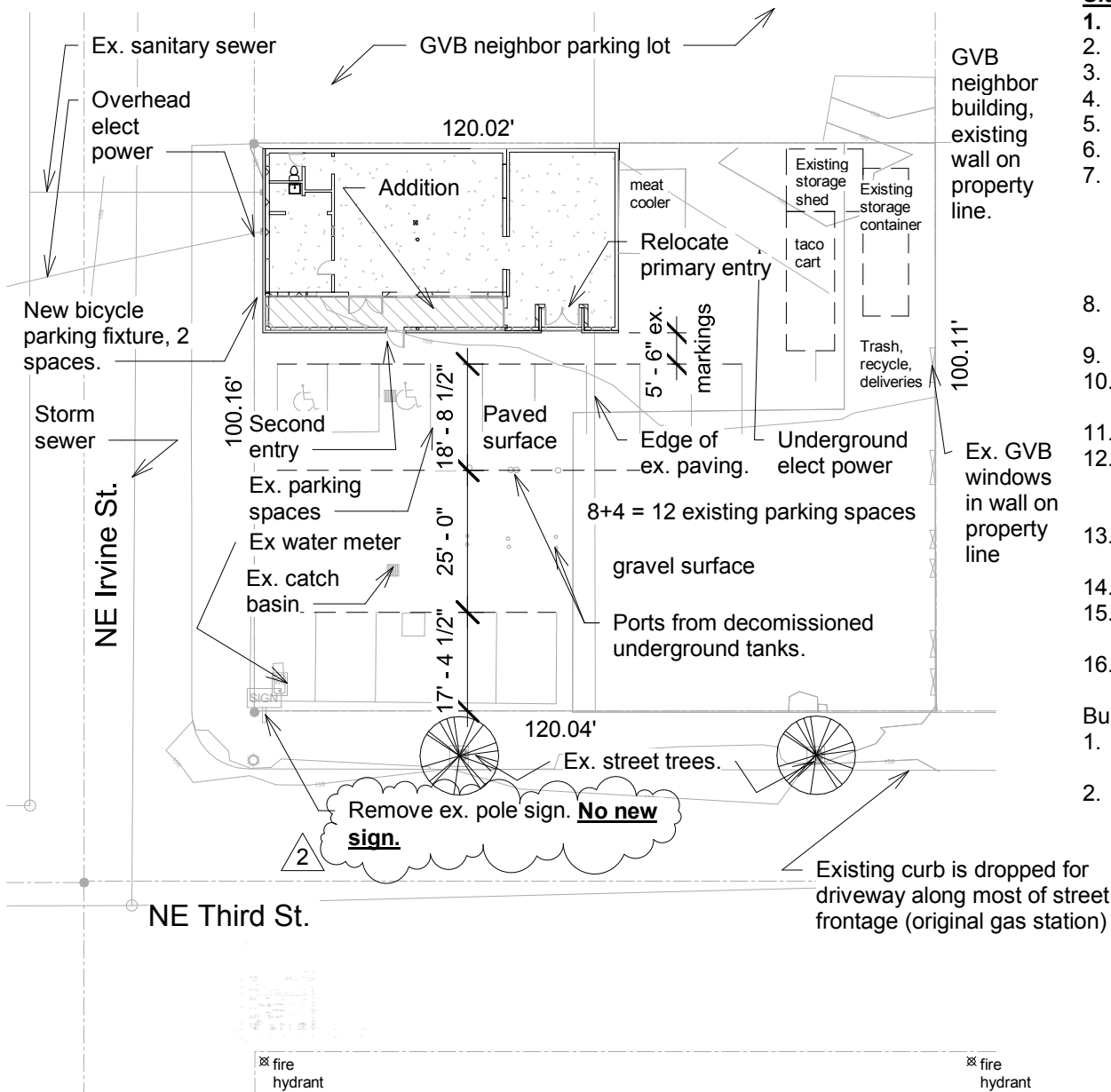
There will be 44% glazing in this minimal new wall. The entire west wall will be improved from 15% to an overall 20% glazing.

The proposed alternate design is consistent with the design standards, considering existing conditions.

c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

Due to the minimal new construction along the Irvine St. facade, this waiver is requesting the minimum glazing change necessary to alleviate the difficulty of meeting the design standards for glazing.

End of Design Standards Waiver Request Memo.

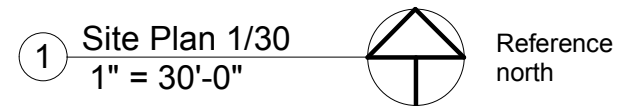


Site Plan Notes:

1. Project: **Mini Super Hidalgo, LLC**
2. Location: 903 NE Third Street, McMinnville, OR 97128
3. Yamhill County Tax lot R4421BD - 4400
4. Lot size: 12,033.22 sf (verify)
5. Zoning: C3
6. Setbacks: none.
7. DDR 5-19: Project has been submitted to city of McMinnville for Design Review. Design standards: Downtown McMinnville Design Standards, referenced also by Gateway District Design standards due to location along Third St.
8. Project site is outside the downtown parking exclusion zone.
9. Property is NOT designated a historic landmark.
10. Site plan based on survey 2/28/2019 by MacDonald Survey.
11. Existing building FFE = 159.16'
12. Parking required: Building shall be entirely Retail use, 1 space / 250 sf. Completed building will be 1990 sf / 250 = 8 spaces required.
13. Existing parking provided 12 spaces, 2 are accessible. Adequate existing parking.
14. Bicycle parking - 2 new spaces will be provided.
15. Off-street loading: not required for building less than 5000 sf.
16. Landscape area improvements are not required.

Building: (2014 OSSC)

1. Existing building: 1740 sf. Proposed addition: 250 sf. Total gross building area: 1990 sf.
2. Addition use is expansion of existing retail use.



Phase 1

Verify all existing conditions prior to construction and notify Architect where conflicts or changes to the design are required.

Owner contact: Ron Burcham, Project Manager
 971-241-0666 reburcham@gmail.com
 1170 NE 19th St, McMinnville, OR 97128

MARCIA A. MIKESH
 ARCHITECT, INC.

524 SE Hembree St.
 McMinnville, OR 97128-6051
 P: 503.474.1900
 www.goodhut.com
 marcia@goodhut.com

Phase 1 Remodel for Mini Super Hidalgo Market

Site Plan

Project number	2019.06
Date	10/4/2019
Revised	10/31/19

A1.1

Scale 1" = 30'-0"



Existing aerial site image from Google Maps.

Preliminary Not for Construction

Field verify all existing conditions.

903 NE 3rd St, McMinnville, OR 97128



SE building corner, existing awnings to be removed.



SW building corner, owner wants to enclose area under existing roof overhang



West wall, along Irvine St. Note overhead electrical service.

MARCIA A. MIKESH
ARCHITECT, INC.

524 SE Hembree St.
McMinnville, OR 97128-6051
P: 503.474.1900
www.goodhut.com
marcia@goodhut.com

Phase 1 Remodel for

Mini Super Hidalgo Market

Existing photos

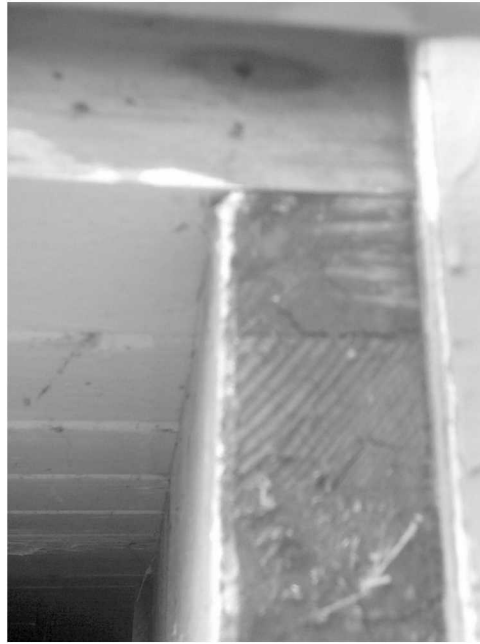
Project number	2019.06
Date	9/27/2019
Revised	

A1.2

Scale



NW corner. Existing soffit and parapet wall.



Existing GLB with 3x decking, at south fascia.



Existing SE corner, note lap siding on east wall of existing wood-framed addition.



Existing north exterior CMU wall, attic vent in CMU gap. Note CMU above has no grout. Vents are typically dirty.

MARCIA A. MIKESH
ARCHITECT, INC.

524 SE Hembree St.
McMinnville, OR 97128-6051
P: 503.474.1900
www.goodhut.com
marcia@goodhut.com

Phase 1 Remodel for Mini Super Hidalgo Market

Existing photos - Ext details

Project number	2019.06
Date	9/27/2019
Revised	

A1.3

Scale



Roof looking east towards step down to wood framed addition



Roof looking north towards ex. HVAC unit, wood shelter for compressor, and parapet wall along north property line.



Attic - south wall. Note GLB bears on CMU, between 2 original openings of overhead doors. Note roof decking above, below is ceiling framing with batt insulation and HVAC ducts.

Attic - north wall. Note GLB bears on CMU wall, roof decking above. Note containers to catch roof leaks around both roof drain and HVAC penetrations.



MARCIA A. MIKESH
ARCHITECT, INC.

524 SE Hembree St.
McMinnville, OR 97128-6051
P: 503.474.1900
www.goodhut.com
marcia@goodhut.com

Phase 1 Remodel for Mini Super Hidalgo Market

Existing Photos - Roof / Attic

Project number	2019.06
Date	9/27/2019
Revised	

A1.4

Scale



GVB west wall (on Hidalgo property line) and at Third St.



GVB wall at Third St, Hidalgo visible behind, similar windows.



GVB wall at Third St, note overhead door, bays with no windows.



Hidalgo Building

Site Plan - Context Aerial Image showing parking lots all corners facing Third and Irvine St.

MARCIA A. MIKESH
ARCHITECT, INC.

524 SE Hembree St.
McMinnville, OR 97128-6051
P: 503.474.1900
www.goodhut.com
marcia@goodhut.com

Phase 1 Remodel for Mini Super Hidalgo Market

Third St.

Project number	2019.06
Date	9/27/2019
Revised	

A1.5

Scale



Irvine St. north - GVB parking lot.
 GVB building not visible.
 Hidalgo building west wall visible.



Irvine St. south - church parking lot, side view of church.



Irvine St. west - Vet office and parking lot
 Note Vet office is set back from both street property lines.



Irvine St. southwest - convenience store and parking lot.
 Note store building is set back from both street property lines.
 Hidalgo pole sign to be removed.

MARCIA A. MIKESH
 ARCHITECT, INC.

524 SE Hembree St.
 McMinnville, OR 97128-6051
 P: 503.474.1900
 www.goodhut.com
 marcia@goodhut.com

Phase 1 Remodel for Mini Super Hidalgo Market

Irvine St.

Project number	2019.06
Date	9/27/2019
Revised	

A1.6

Scale



Phase 1

View from NE Third and Irvine Streets, McMinnville, OR.

Design Review

Proposed Remodel and Addition for Mini Super Hidalgo Market

MARCIA A. MIKESH
ARCHITECT, INC.

524 SE Hembree St.
McMinnville, OR 97128-6051
P: 503.474.1900
www.goodhut.com
marcia@goodhut.com

Phase 1 Remodel for Mini Super Hidalgo Market

View

Project number	2019.06
Date	9/27/2019
Revised	

A7.1

Scale 12" = 1'-0"

