

Planning Department
 231 NE Fifth Street ◦ McMinnville, OR 97128
 (503) 434-7311 Office ◦ (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:	
File No.	<u>DOR 1-21</u>
Date Received	<u>5-24-21</u>
Fee	<u>1200.00</u>
Receipt No.	_____
Received by	<u>[Signature]</u>

Downtown Design Standards & Guidelines Application

Applicant Information

Applicant is: Property Owner Contract Buyer Option Holder Agent Other _____

Applicant Name AMY + SILAS HALLORAN-STEINER Phone (503) 435-7572

Contact Name _____ Phone _____
(If different than above)

Address 17504 SW MASONVILLE ROAD

City, State, Zip McMINNVILLE OR 97128

Contact Email silashalloransteiner@gmail.com

Property Owner Information

Property Owner Name SAME AS ABOVE Phone _____
(If different than above)

Contact Name _____ Phone _____

Address _____

City, State, Zip _____

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 631 NE FIRST STREET, McMINNVILLE, OR 97128

Assessor Map No. R4 421 - BC - 11300 Total Site Area 4000 SQ. FT.

Subdivision ROWLANDS ADDITION Block 5 Lot 7

Comprehensive Plan Designation COMMERCIAL Zoning Designation C-3

This request is for a:

Design Review

Design Waiver

1. Attach a written narrative that describes:
 - A. The proposed project in detail, including descriptions of the architectural features and building materials being used;
 - B. How the project meets the applicable downtown design standards and guidelines;
 - C. How the project meets the historic preservation standards and guidelines (if applicable); and
 - D. How the project will fit into the context of the downtown historic district.

2. As part of this application, is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so, explain in detail how the criteria for waiving a standard or guideline as listed in Section 17.59.040(A) have been met (*attach additional pages if necessary*)._____

SEE ATTACHED.

In addition to this completed application, the applicant must provide the following:

- A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size). For new construction or for structural modifications show the information listed in page one of the information sheet.
- Building and construction drawings including building elevations of all visible sides.
- A narrative describing the architectural features that will be constructed and how they fit into the context of the Downtown Historic District.
- Photographs of the subject site and adjacent property.
- Other information deemed necessary by the Planning Director. EMAIL DATED 4/5/21.

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

Amy Halbran St
Applicant's Signature

5/20/21
Date

[Signature]
Property Owner's Signature

5/20/21
Date

Downtown Design Standards and Guidelines Narrative: Amy and Silas Halloran-Steiner

1. *Attach a written narrative that describes:*

(Please note that italic is copied from the application questions)

The proposed project in detail, including descriptions of the architectural features and building materials being used;

The project is a new 2700 square foot mixed use office building with two (2) upper story dwellings above the office space. The building will be stucco exterior finish with a flat roof system with a roof deck on top of the building, and partial roof deck on the third level. The lot is zoned C-3.

How the project meets the applicable downtown design standards and guidelines;

17.59.050 Building and Site Design.

A. Building Setback: the C-3 zone calls for a zero setback from the sidewalk or property line. We are seeking a waiver to allow for a plaza/courtyard area in front of the building. 17.59.050(A)(2) states: "Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways." We are proposing a seven (7) foot setback for the following reasons:

- a. The proposed small plaza will provide a visual transition of the building massing between the fourteen (14) foot average setback of the nearby 1-2.5 story houses and the required zero setback of this 3-story building.
 - i. The proposed 7' plaza is the largest dimension to allow off-street parking behind the building.
 - ii. The proposed plaza has less setback than the adjacent single story post office to the east.
- b. The proposed plaza will include some landscaping to soften the transition between this commercial building and the nearby houses.
- c. The proposed plaza allows for better visibility in the new drive aisle for a safe exit onto 1st street.
- d. Functional Accessibility: the plaza will provide a few inches for slope from the existing sidewalk to the threshold of the accessible front door.

B. Building Design:

1. The location for the proposed building is in a transition neighborhood, where older single and multifamily dwellings are being replaced with commercial buildings which are larger in massing and configuration than the nearby older houses. The area is zoned C-3, so while the city planned for this transition to occur, newer commercial buildings designed to meet the downtown design standards will appear visually different from adjacent houses and older commercial structures.

A building designed to be similar to adjacent houses will not meet the downtown design standards. A building designed to match adjacent house front setbacks will not allow space on

this small site for critical off-street parking. A building designed to be smaller in mass will not be financially feasible.

The site plan shows a rectangular footprint which is seen in the buildings in all four directions around the property. The average square feet of the five (5) buildings to the North and West on the same block is 3,109 square feet. The Post Office building is a rectangular building with larger overall massing, but the effect is reduced with the setback and being a single story structure. The three (3) properties to the South, across First Street, average 3,286 square feet and are rectangular building footprints.

2. Not applicable, proposed building is 22'-6" wide, less than 60'.

3. The storefront portion of the building (office ground floor) includes:

- a) A belt course, or nearly 2' wide trim band, which separates the upper 2 stories from the commercial ground level.
- b) A nearly 2' bulkhead is provided at the street level under the window sills along the street facade. Proposed finish is stucco.
- c) The proposed glazing and entry door recess in the lower 8' of the front façade exceeds the 70% minimum area requirement. There is more than 40% area devoted to glazing and the entry door recess between the belt course (also known as a horizontal trim band separating ground level from second level) and the ground level.
- d) A recessed entry with full glazed door and transom is provided that is both accessible and meets the design standard requirements.
- e) There is a decorative trim at the top of the parapet wall and at the top of the front wall wrapping around the roof deck on the third level.

4. Proposed building is oriented with the narrow face to the street, similar to nearby houses. The proposed flat roofline is similar to other C-3 buildings, including the adjacent Post Office building. As noted in 17.59.050(B)(4) "Gable roof shapes, or other residential roof forms, are discouraged..." There are many examples within historic downtown design standard that demonstrate a flat roof with a parapet at street-visible facades. We want to avoid creating any more visual height, and a gable roof line would add to overall building height. We intend to cover a portion of the roof in an ecoroof or greenroof that will be a combo of sedum and grasses.

5. The primary entrance is recessed 3' from the street face of the building.

6. We have set the windows flush to the inside face of the building so they appear to be recessed. We have oriented the upper story windows as vertical using single-hung windows, per 17.59.050(B)(5-6).

7. This is an entirely new building, so this item is not applicable.

8. A nearly 2' bulkhead is provided at the street level under the window sills along the street facade. Proposed finish is stucco and will be a dark grey to tie into the other trim color.

C. Building Materials:

1. The proposed building exterior materials will be smooth stucco. The proposed horizontal trim bands will be stucco. Windows will be black exterior frames. Prefinished metal is proposed for the visible railings for the roof decks and spiral stair access to upper roof. No awnings are proposed.
2. There are no prohibitive materials proposed on this commercial structure.
3. Exterior building colors shall be low reflective light grey with medium and dark grey trim bands and black trim along the parapet. Exterior finish of visible metal railings and stair will be black to match the windows.

17.59.060 Surface Parking lots:

- A. The off-street parking is set behind the building, screened from view from First Street. Vehicle access is allowed from First Street. Design complies.
- B. Parking lot designed per 17.60.080:
 - a. Lot and driveway will be paved.
 - b. Not applicable to residential standards.
 - c. Driveway and parking lot access and maneuvering will be reviewed and approved by city prior to construction.
 - d. Parking areas will have a curb at edges. There is a sight-obscuring fence along the residential properties. Exterior lighting for the parking lot will be shielded so not to shine into residential zone.
 - e. Parking lot spaces are designed to meet minimum standards.
 - f. Parking space types and proportions are designed to meet McMinnville standards.
 - g. Driveway and parking lot access and maneuvering will be reviewed and approved by city prior to construction.
- C. The parking lot is set behind the building, out of view of the street. Adjacent residential properties have 6' visually solid fencing. Adjacent to the post office parking lot is an existing landscape strip with mature trees and shrubs.

The site plan shows the off-street parking behind the building. The city planning director approved a shared parking arrangement for this site, with conditions outlined in the attached email from Chuck Darnell.

We intend to use the commercial space for business, and to primarily bike to work and keep driveway volume low in order to positively impact the environment and the neighbors who live nearby.

17.59.070 Awnings

No awnings are proposed for this project.

17.59.080 Signs

We will comply with the sign regulations. The maximum sign area will be 22.5 LF building frontage x 1.5 SF sign / LF = 33.75 SF maximum sign area.

How the project meets the historic preservation standards and guidelines (if applicable);

Not applicable.

How the project will fit into the context of the historic district.

The proposed new construction will extend historic downtown design standards further south on First Street and provide a strong example of a mixed use building in the C-3 zone.

2. *As part of this application is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so explain in detail how the criteria for waiving a standard or guidelines as listed in Section 17.59.040(A) have been met.*

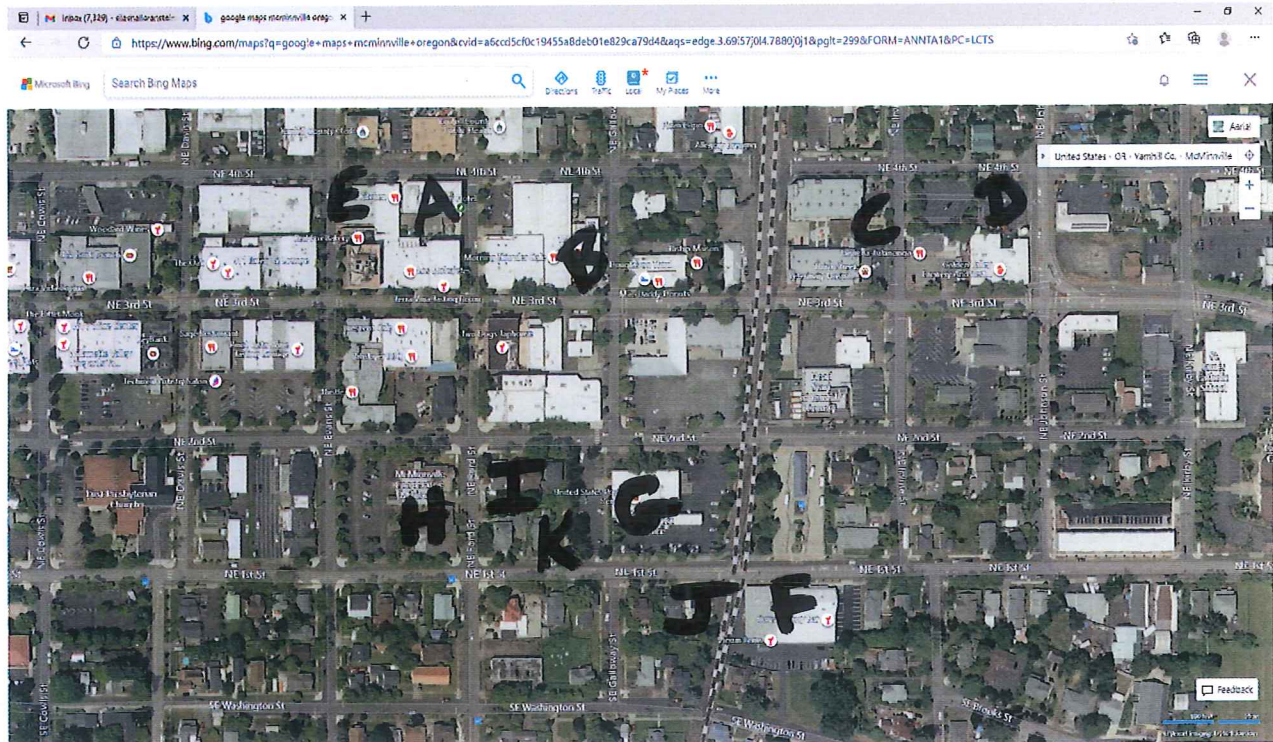
The review criteria under Section 17.59.040(A)(3) state: "If applicable (waiver request), that all of the following circumstances are found to exist: a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site; b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

As mentioned above, we are seeking a waiver to allow for a plaza/courtyard area in front of the building. 17.59.050(A)(2) states: "Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways." We are proposing a seven (7) foot setback for the following reasons:

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- d. Functional Accessibility: the plaza will provide a few inches for slope from the existing sidewalk to the threshold of the accessible front door.

In summary, the waiver request meets the criteria in Section 17.59.040(A)(3)(a-c) because of the unique difficulty of the site, including but not limited to the narrow lot, city parking requirements, as well as visibility considerations for a safe exit onto First Street. Additionally, the alternative design accomplishes the purpose of the Chapter in a manner equal or superior to the standards in that it allows for a plaza space, including a visual transition and softening of the commercial buildings mixed with nearby houses even though it is all zoned C-3. The waiver

request is the minimum needed to meet the requirements of the Chapter and allow for the site to be feasible for our purposes as stated in this narrative application; we are not seeking a significant setback of fourteen (14) feet, for example, as did the previous owner's when they presented to the HLC on June 27, 2018 and were approved (with conditions) for the requested setback.



KEY:

A = ATTICUS PLAZA and WINDOW

B = 1882 BACK PLAZA and STREET PLAZA

C = VILLAGE QUARTER PLAZA

D = GVB PLAZA

E = PLAZA 4th and EVANS

F = BOHO PLAZA and 8' SET BACK ON FIRST

G = POST OFFICE SET BACK and ROOF EXAMPLE

H = COOP BUILDING VARIOUS SET BACKS on FIRST, SECOND, FORD

I = C-3 HOUSES TO NORTH and WEST (SECOND STREET)

J = NEIGHBOR ON FIRST STREET WITH BLACK WINDOWS

K = BUILDING SITE and STREET TREE

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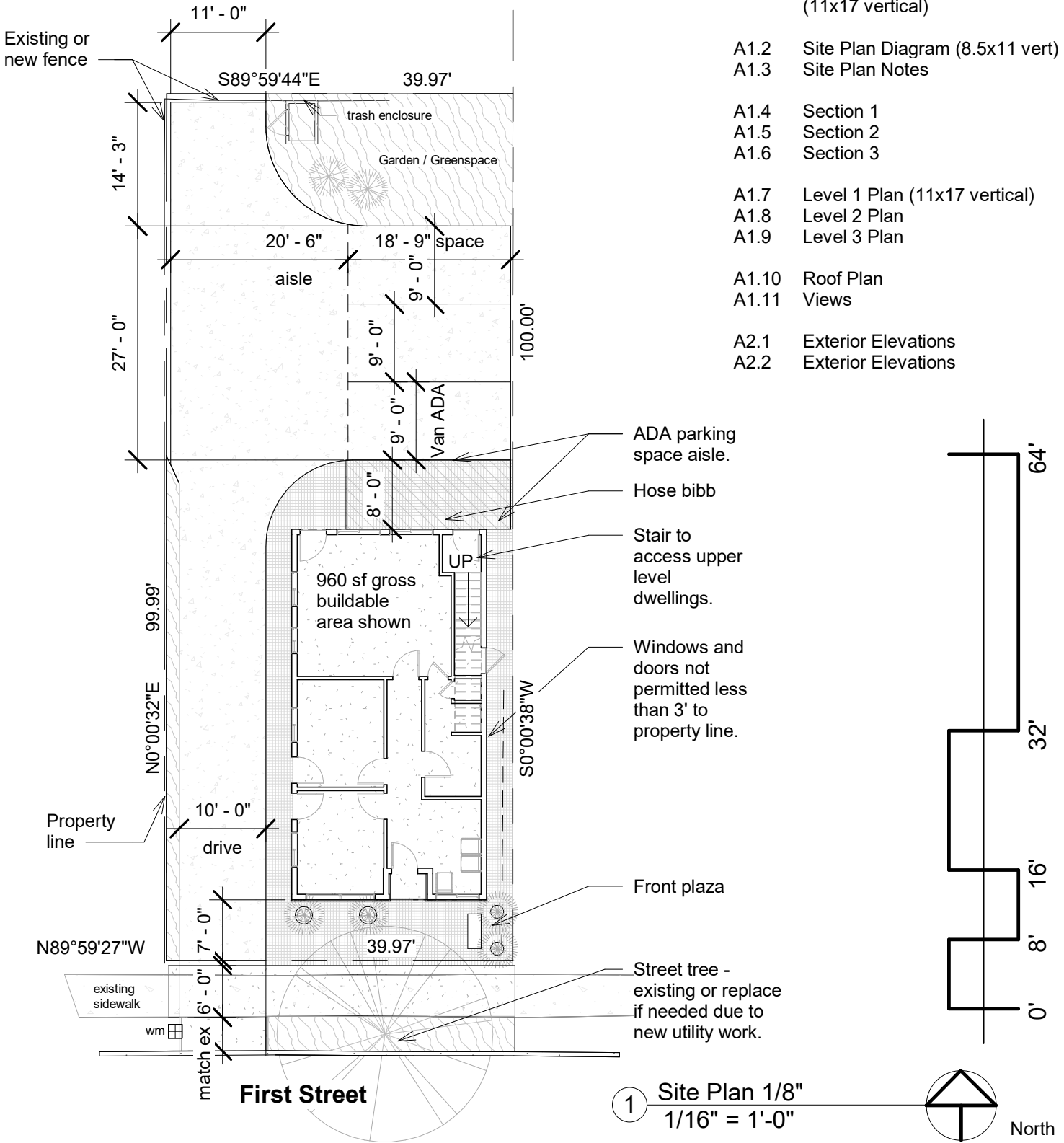


K = BUILDING SITE and STREET TREE



Drawing Index

- A1.1.a and .b Color View (11x17 vertical)
- A1.2 Site Plan Diagram (8.5x11 vert)
- A1.3 Site Plan Notes
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- A1.5 Section 2
- A1.6 Section 3
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- A1.8 Level 2 Plan
- A1.9 Level 3 Plan
- A1.10 Roof Plan
- A1.11 Views
- A2.1 Exterior Elevations
- A2.2 Exterior Elevations



**Preliminary
Not for Construction**

Design 5b

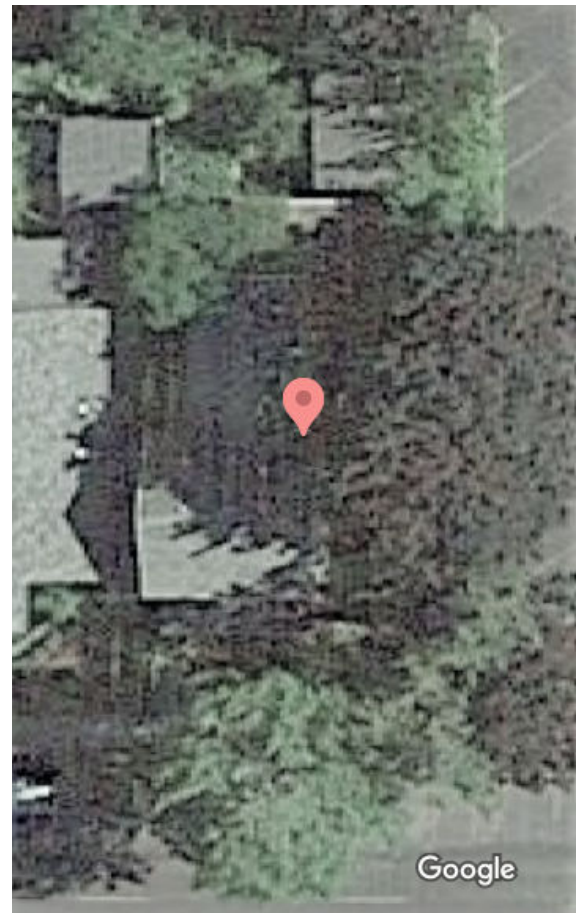
<p>MARCIA A. MIKESH ARCHITECT, INC.</p> <p>524 SE Hembree St. McMinnville, OR 97128-6051 P: 503.474.1900 www.goodhut.com marcia@goodhut.com</p>	<p>Halloran-Steiner Building</p> <p>First St Mixed Use</p>		<p>Site Plan 8.5x11</p>	
	Project number	2021.01	<p>A1.2</p> <p>Scale 1/16" = 1'-0"</p>	
	Date	5/19/2021		
	Revision			

Site Plan Diagram Notes:

1. Tax lot R4421 BC 11300.
2. Parcel size 0.09 acres (3,999 sf).
3. Zoned C3 General Commercial, adjacent properties also zoned C3, properties south side of First St zoned O-R (office-residential). C3 regulations have no required building setbacks when adjacent properties have same zoning.
4. The site is designated Commercial on the McMinnville Comprehensive Plan.
5. Site is outside parking exclusion zone, requires 100% off-street parking. Per McMinnville Zoning Code:
 - A. Dwelling unit no larger than 2 bedrooms requires 1.5 parking spaces. Two dwelling units provided.
 - B. Office space requires 1 parking space / 300 sf gross office building area, 890 sf gross office use.
 - C. Per MMC Section 17.60.120, the Planning Director will allow for the joint use of the three off-street parking spaces on site, with copy of lease agreement specifying the shared parking use.
6. Site is inside the downtown design area, and is required to follow the Downtown Design Review process.
7. Landscape area - 50% of commercial zone (7%/ 2 = 3.5% or minimum 140 sf required).
8. Existing lot had a single-family home and garage, demolished about 2019.
9. Site elevation above 500-year flood plain.

Site Design Areas

Site area 3999 sf rounded up to 4000 sf.
 Building Footprint 960 sf
 Pavement:
 Driveway and Parking lot 1896
 Walkways 567
 Landscape 495 sf, about 12% > 3.5% minimum.



Site Aerial Photo, before house was demolished. Also during full summer leaf cover. Google maps 2/9/2021.

Not to scale.

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Design 5b

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	First St Mixed Use		Project number 2021.01	A1.3
			Date 5/19/2021	
			Revision	
			Scale	



① Front East View



② Back West View

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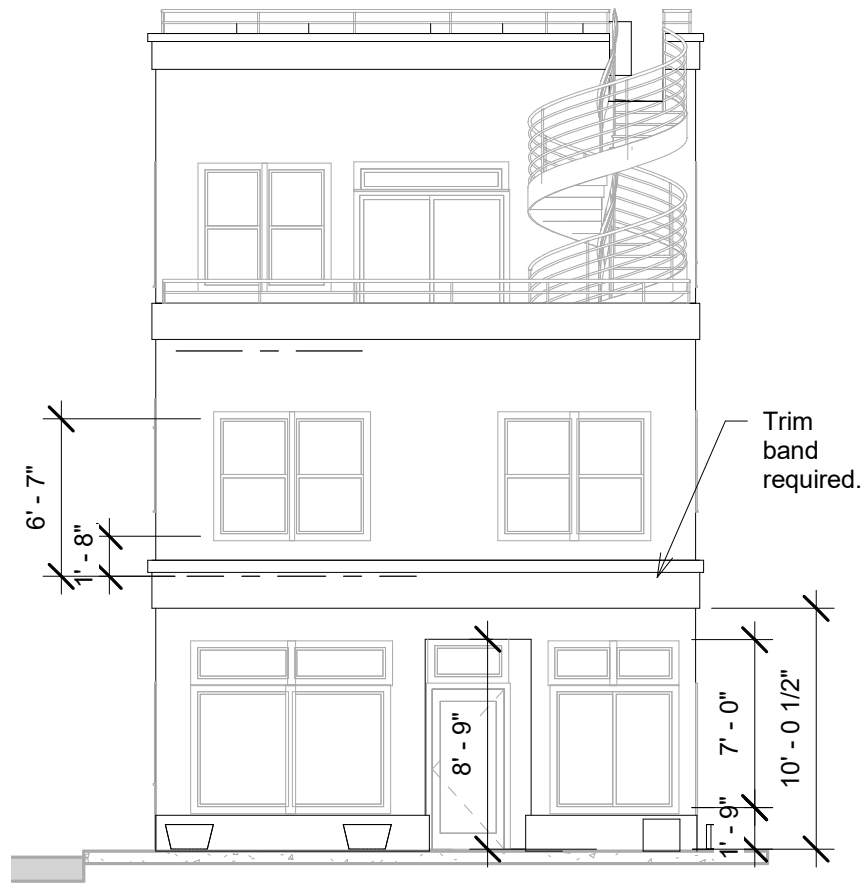
Halloran-Steiner Building

First St Mixed Use

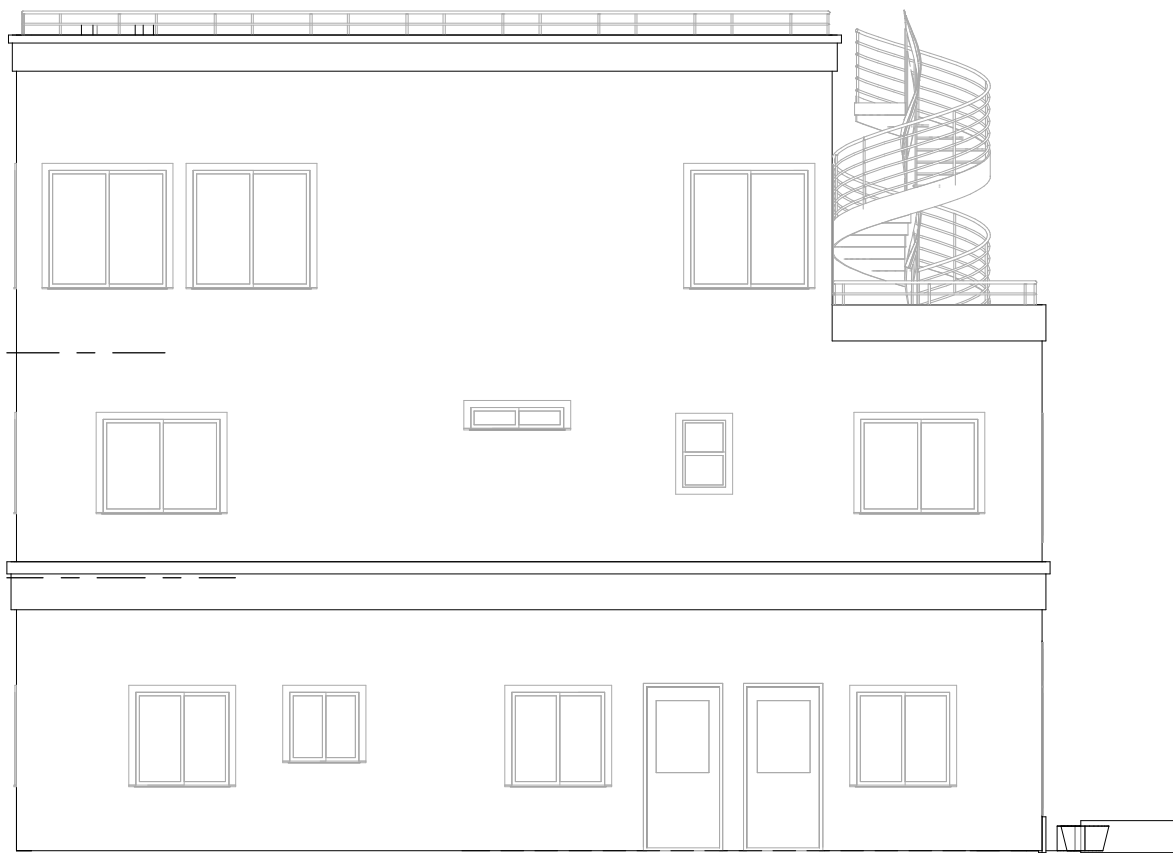
Design 5 c

Views
Project 2021.01
number
Date 5/19/2021

A1.11



① Front Elevation
1/8" = 1'-0"



② West Side Elevation
1/8" = 1'-0"

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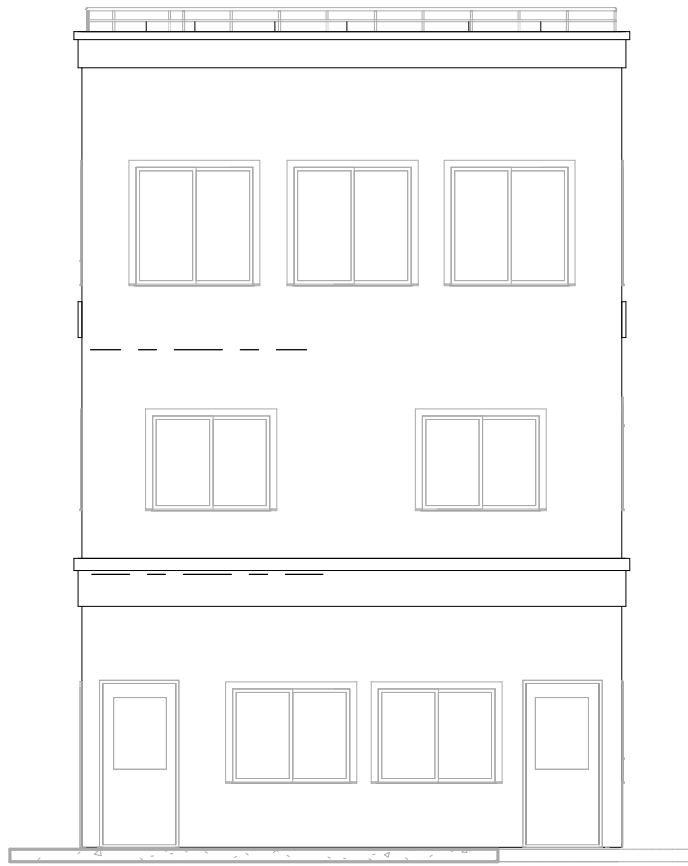
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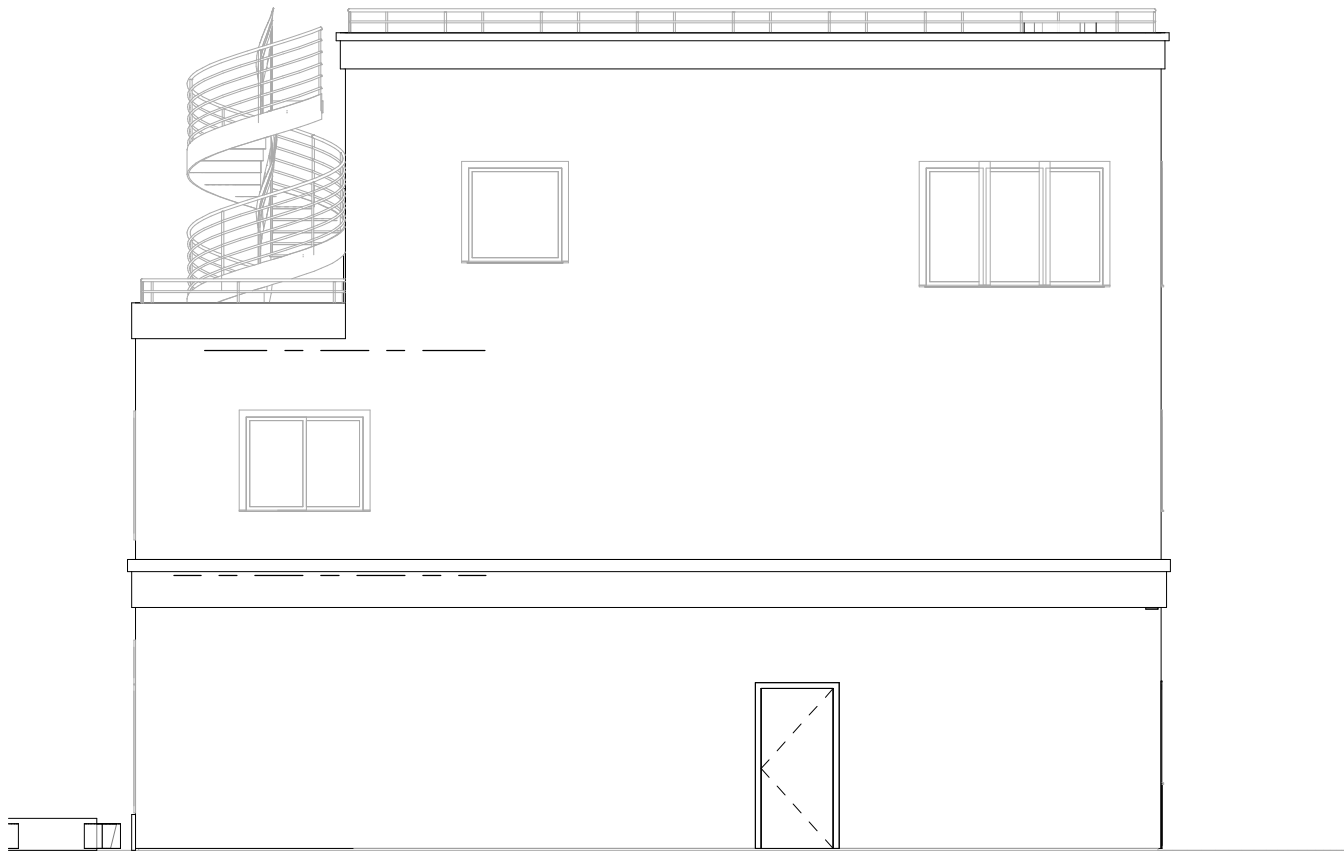
First St Mixed Use

Exterior Elevations
Project 2021.01
number
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A2.1



① Back Elevation
1/8" = 1'-0"



② East Side Elevation
1/8" = 1'-0"

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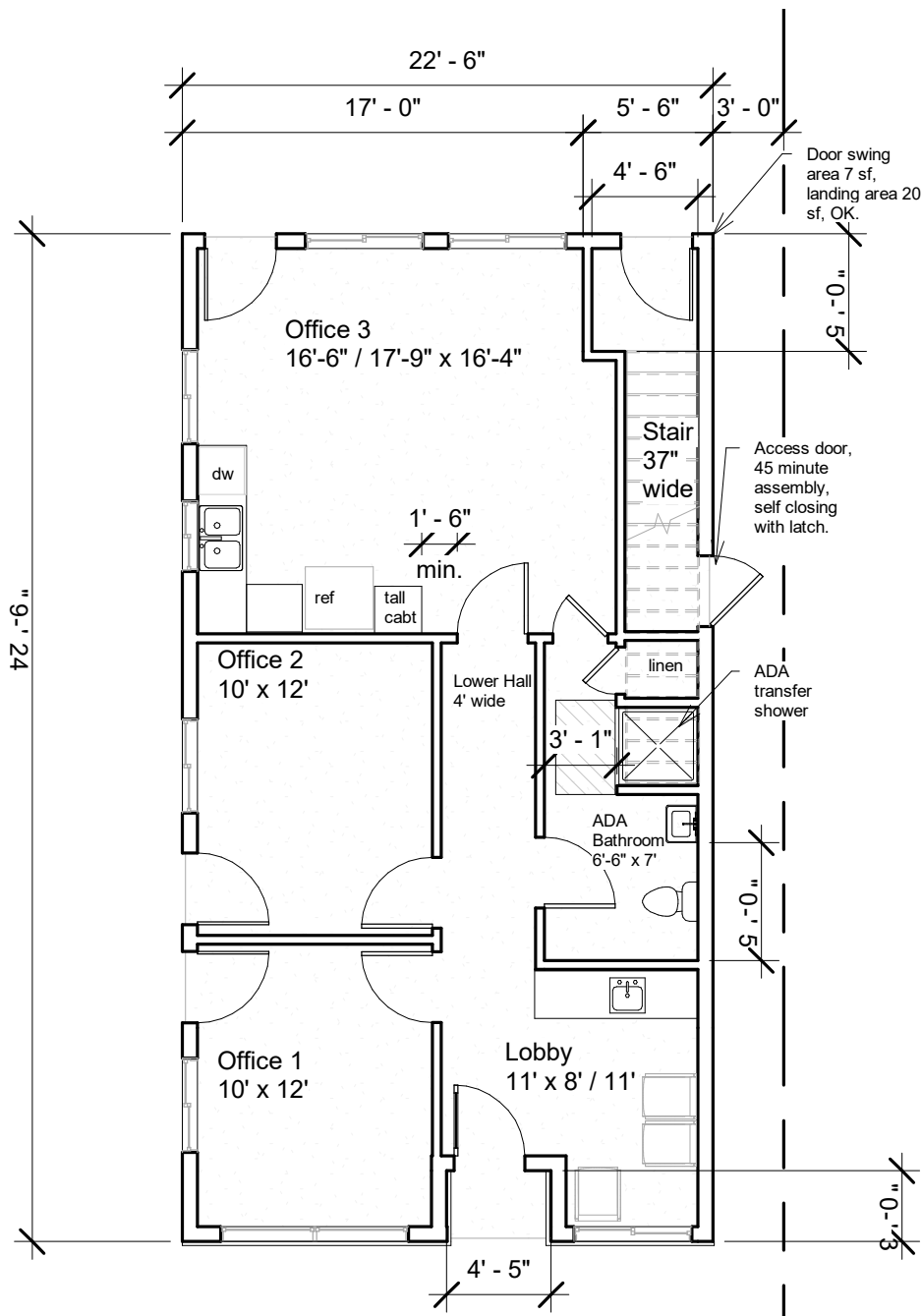
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Halloran-Steiner Building

First St Mixed Use

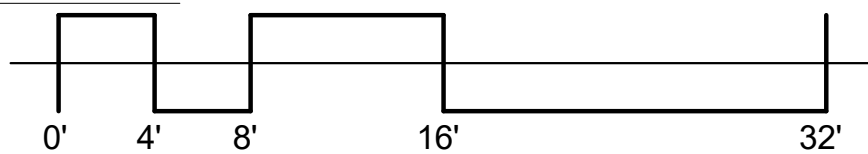
Exterior Elevations
Project 2021.01
number
Date 5/19/2021

A2.2



Office Level
960 sf gross building footprint
892 sf gross office (excludes stair to upper apts.)

① **Level 1 Floor Plan**
1/8" = 1'-0"



Code Notes

1. Parking limits site to 2 residential units.
2. NFPA 13R fire sprinklers throughout building, OK per McMinnville Fire Dept.
3. Levels 2 and 3 are R2, require NFPA 13R sprinklers, fire partition walls between units and Horizontal assembly between units.
 - A. Per McMinnville Fire Dept, B occupancy on level 1 is considered low hazard occupancy, so can also use NFPA 13R fire sprinkler system.
4. Ground floor is B occupancy. Per Table 508.4, 1 hour separation required between B and R occupancies in building with fire sprinkler system.
5. Per Table 707.3.10, 2 hour fire barrier required separating fire areas for occupancies B and R.
6. Exterior wall less than 10' from property line must be 1 hour fire rating.
7. No elevator required: Per OSSC 1104.4 exc. 1, an accessible route is not required to stories with an aggregate area of not more than 3000 sf and are located above accessible levels.
8. Level 3 has no sleeping rooms.

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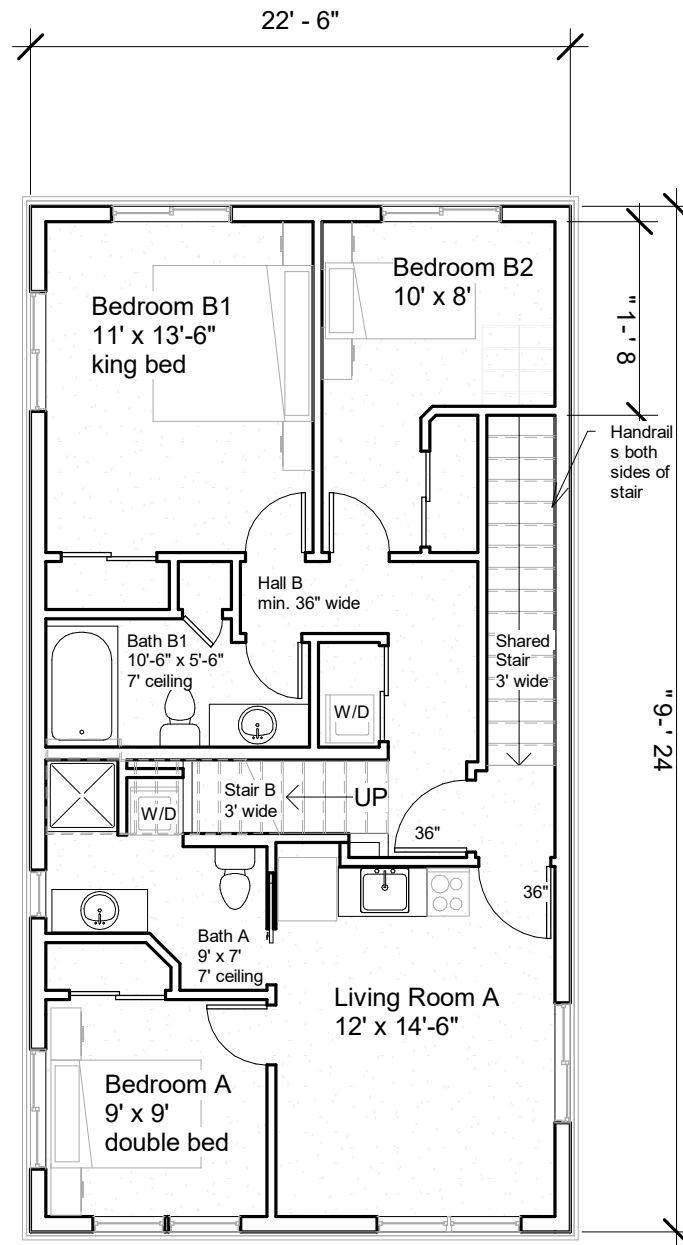
Halloran-Steiner Building

First St Mixed Use

Design 5 c

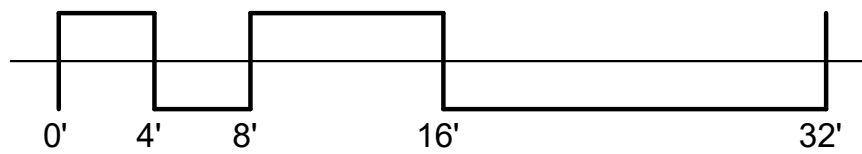
Level 1 Plan
Project 2021.01
number
Date 5/19/2021

A1.7



Level 2 - 960 sf gross footprint
 Apt. A - 375 sf
 Apt. B - 518 sf lower
 787 sf upper
 1305 sf total
 175 sf deck level 3

① Level 2 Floor Plan
 1/8" = 1'-0"



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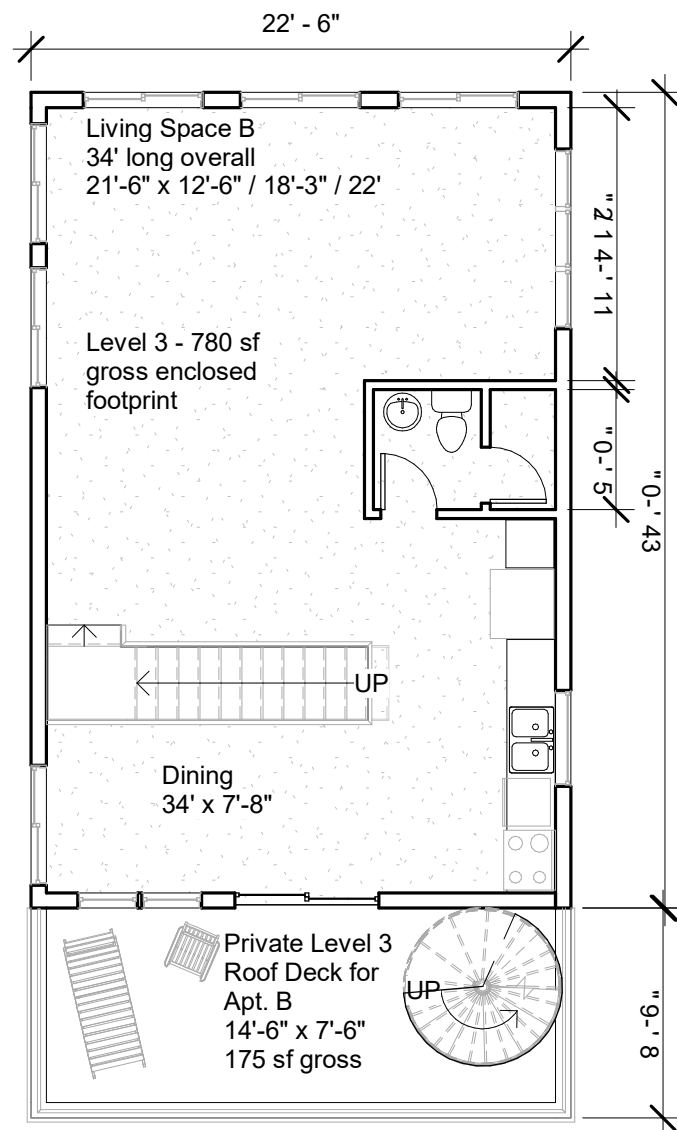
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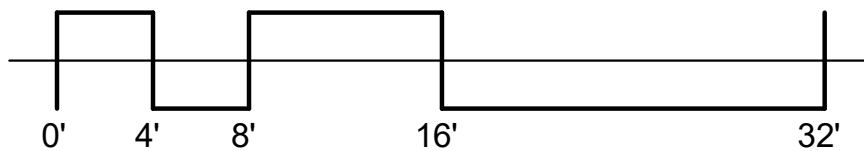
Design 5c

Level 2 Plan
 Project 2021.01
 number
 Date 5/19/2021

A1.8



① Level 3 Floor Plan
1/8" = 1'-0"



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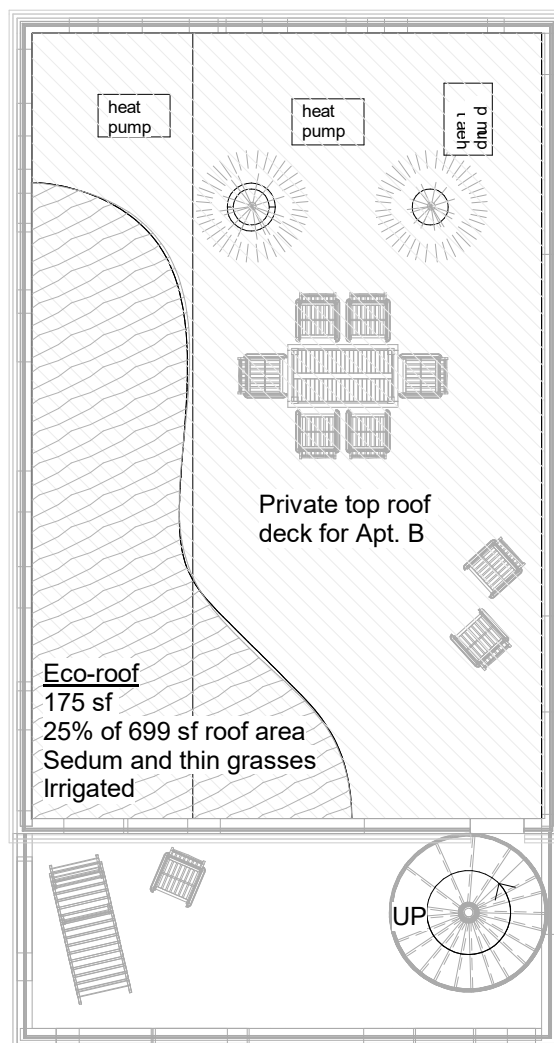
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First St Mixed Use

Design 5c

Level 3 Plan
Project 2021.01
number
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A1.9



① Parapet Roof Plan
1/8" = 1'-0"

Preliminary
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Design 5b

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Halloran-Steiner Building

First St Mixed Use

Roof Plan
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A1.10



Front West View

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Color View
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A1.1.a



Front East View

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A1.1.b