

Supplemental Information for September 23, 2021 HLC meeting *(Please note that italic text is copied from the application questions)*

1. *Attach a written narrative that describes:*

The proposed project in detail, including descriptions of the architectural features and building materials being used;

The project is a new 2700 square foot mixed use office building with two (2) upper story dwellings above the office space. Unless noted below, no changes have been made to the original application that was submitted on May 20, 2021 and approved with five (5) conditions at the June 24, 2021 HLC meeting. All plans have been completed and building permits issued (still pending final Landscape Committee review and approval on September 15, 2021). Therefore, we believe we have met DDR 1-21, Conditions of Approval letter from Chuck Darnell dated June 29, 2021, item #1.

How the project meets the applicable downtown design standards and guidelines;

17.59.050 Building and Site Design.

A. Building Setback:

Please note that the revisions include stamped concrete to delineate the plaza space per DDR 1-21, Conditions of Approval letter from Chuck Darnell dated June 29, 2021, item #2.

B. Building Design:

Please note that the revisions reflect that the exterior windows have been recessed on all sides of the building per DDR 1-21, Conditions of Approval letter from Chuck Darnell dated June 29, 2021, item #3.

Additional information from our original application that is pertinent for the overall decision, and our proposed building materials:

1. The location for the proposed building is in a transition neighborhood, where older single and multifamily dwellings are being replaced with commercial buildings which are larger in massing and configuration than the nearby older houses. The area is zoned C-3, so while the city planned for this transition to occur, newer commercial buildings designed to meet the downtown design standards will appear visually different from adjacent houses and older commercial structures.

A building designed to be similar to adjacent houses will not meet the downtown design standards. A building designed to match adjacent house front setbacks will not allow space on this small site for critical off-street parking. A building designed to be smaller in mass will not be financially feasible.

The site plan shows a rectangular footprint which is seen in the buildings in all four directions around the property. The average square feet of the five (5) buildings to the North and West on the same block is 3,109 square feet. The Post Office building is a rectangular building with larger overall massing, but the effect is reduced with the setback and being a single story structure. The three (3) properties to the South, across First Street, average 3,286 square feet and are rectangular building footprints.

2. Not applicable, proposed building is 22'-6" wide, less than 60'.

3. The storefront portion of the building (office ground floor) includes:

- a) A nearly 2' bulkhead is provided at the street level under the window sills along the street facade. Proposed finish is painted wood or fiber-cement panel materials.
- b) The proposed glazing and entry door recess in the lower 8' of the front façade exceeds the 70% minimum area requirement. There is more than 40% area devoted to glazing and the entry door recess between the belt course (also known as a horizontal trim band separating ground level from second level) and the ground level.
- c) A recessed entry with full glazed door and transom is provided that is both accessible and meets the design standard requirements.
- d) There is a decorative trim at the top of the parapet wall and at the top of the front wall wrapping around the roof deck on the third level.

4. Proposed building is oriented with the narrow face to the street, similar to nearby houses. The proposed flat roofline is similar to other C-3 buildings, including the adjacent Post Office building. As noted in 17.59.050(B)(4) "Gable roof shapes, or other residential roof forms, are discouraged..." There are many examples within the historic downtown design standard that demonstrate a flat roof with a parapet at street-visible facades. We want to avoid creating any more visual height, and a gable roof line would add to overall building height.

5. The primary entrance is recessed 3' from the street face of the building.

6. As noted above, we have recessed all windows. We have oriented the upper story windows as vertical using single-hung windows, per 17.59.050(B)(5-6).

7. This is an entirely new building, so this item is not applicable.

8. A nearly 2' bulkhead is provided at the street level under the window sills along the street facade. Proposed finish is painted wood or fiber-cement panel materials and will be a dark grey to tie into the other trim color and the stone veneer.

C. Building Materials:

The proposed building exterior materials will be changed from traditional stucco to painted cementitious panels with reveal joints; the reveal joints will appear similar to reveal joints in traditional stucco. Recent projects approved by the HLC with a similar design material are in close proximity at 618 NE 3rd Street (approval letter dated June 3, 2020), 620 NE 3rd Street (approval letter dated May 22, 2018) and at 1025 NE First Street (approval letter dated July 30, 2019). These approvals demonstrate a recent precedent for approval of this building material in a variety of locations and applications within the downtown core even though this material is neither listed as an approved or unapproved building material in 17.59.050 (C)(1): "Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone."

In the May 15, 2018 McMinnville Planning Department staff report the use of Hardie Panel or cement board was recommended to be approved by the Historic Landmark Committee (HLC):

"The applicant is proposing to use hardie panel siding panels on the east, west, and south facades. The hardie panels are a cement-based material that can be painted, which the

applicant is proposing to paint the same main building color as the stucco front facades. Cement board siding is not specifically listed as a prohibited exterior building material in Section 17.59.050(C)(2) of the McMinnville City Code, and will look similar to the smooth stucco that is allowed in the downtown area.”

The HLC voted to approve this use at the May 15, 2018 meeting.

The final approval letter for the new building at 1025 NE First Street, dated July 30, 2019, stated:

“...the use of smooth Hardi panels that were finished with an exterior paint that included a sand additive to create a textured finish to the building material. The HLC approved this treatment for the main body of the building, but specified that the building trim, the center band between the first and second story, and the decorative cornice be smooth in appearance and not finished with exterior paint with the sand additive. The revised built example provided for review was found to be consistent with the applicable Downtown Design Standards in Section 17.59.050(C)(1) because the materials and treatment used were found to be similar in appearance to “smooth stucco” and similar in appearance to “building materials found on registered historic buildings in the downtown area”.”

The June 3, 2020 approval letter for the building materials change at the 618 NE 3rd Street building states:

“The cementitious panel material was requested as an amendment to the originally proposed exterior building material. The cementitious panel material is approved because it is not listed as either allowed or prohibited. However, the material is only approved for use on the side elevation and rear elevation of the building because it is new construction and not a historic building...”

All three of these recent examples identify precedent for the following: approved use of cement panels such as Hardie Panel, especially for new construction. In some instances, the approval is for non-street facing locations, however, at 1025 NE First Street, the use of Hardie Panel was approved on all sides of the building. Additionally, it should be noted that there are other examples of cement panels in the downtown core. One noteworthy example is in fact on 3rd Street on the storefront side on the upper story dwellings of the Village Quarter Building above the ground floor offices (see photo below on page 9).

Given the location of the subject property, the First Street example is closely related as a nearby property located in a transition neighborhood, where older single and multifamily dwellings are being replaced with commercial buildings. This subject location on First Street is unlike the 3rd Street applications where the HLC did not allow the use of Hardie Panel on storefront views.

We proposed to use James Hardie Reveal Panel with a smooth stucco appearance on the panels themselves and an overall panel look with reveal joints arranged in vertical design and painted, see attached drawings. Because we are installing recessed windows on the entire building, we have designed a building with ample shadow lines. The reveal joints for the Hardie Panel will add an additional design feature similar to traditional stucco. Examples are present in the downtown core where traditional stucco has a reveal joint; one specific example is at the Atticus Hotel. All vertical lines have been thoughtfully placed to align with building features and create an attractive pattern, especially in the storefront area facing First Street. It should be noted that our proposed use of Hardie Panel does not include an attempt to hide the reveal joints between

panels such as the builder did at the 1025 NE First Street property. Instead of covering these joints--which could lead to cracking or long-term maintenance issues--we propose to incorporate these features into the building and create a design that can be carried throughout the entire building, on all visible sides, and not just on the non-First Street facing sides.

Given our intended mixed use of the commercial office space on the ground floor with upper story dwellings, we think this property will not establish a precedent for use of Hardie Panel in all downtown core applications, and certainly not in the historical building renovations along 3rd Street. The subject property is new, mixed use construction that aims to create housing options above commercial office space downtown; this is a category that stands alone in most instances.

We propose to place dark grey stone veneer at the base of the storefront. It is a natural stone product made by Pangaea, color called Black Rundle, and is blueish grey. The proposed horizontal trim bands will be painted wood or fiber-cement panel materials painted a similar dark grey color to match stone veneer. Windows will be Milgard with bronze exterior frames. No awnings are proposed.

We propose the following exterior building colors, see below for examples: low reflective light grey building color called "Rock Candy" will be the "body" color for the wall panels with blueish grey trim bands called "Gibraltar" and bronze trim along the parapet called "Caviar." Windows will be Milgard with bronze exterior frames and window trim will match. Stone colors are shown below and will tie into the "Gibraltar" paint color. If approved, this will satisfy DDR 1-21, Conditions of Approval letter from Chuck Darnell dated June 29, 2021, item #4.

There are no prohibited materials proposed on this commercial structure. Please also note that the plan revisions remove all visible metal railings and the circular stairs. While this was originally our goal, we cannot afford to build this into our project plans. Design plans reflect that the railing on third story balcony is now replaced by the parapet wall extension per DDR 1-21, Conditions of Approval letter from Chuck Darnell dated June 29, 2021, item #5.

Lastly, please note that the proposed revision in siding material is driven by the owners' attempts to reduce cost in order to be able to build on the proposed site, even in the face of a serious and continued pandemic where labor and construction material shortages are driving prices upward. The original proposed finish of smooth stucco is completely unaffordable now that we have reviewed bid submission. The cost of stucco is, unfortunately, 3-4 times our budget for siding; the project is in danger of not moving forward unless we are able to use the proposed Hardie Panel material.

Additional Information RE: Building Materials and Paint:

See examples of paint below, called "Rock Candy" (light grey for panels), "Gibraltar" (blue grey and will tie into stone veneer) and "Caviar" (bronze to match exterior windows) and the image was taken on white letter paper for reference and physical samples were hand delivered to the Planning Department on September 10, 2021:

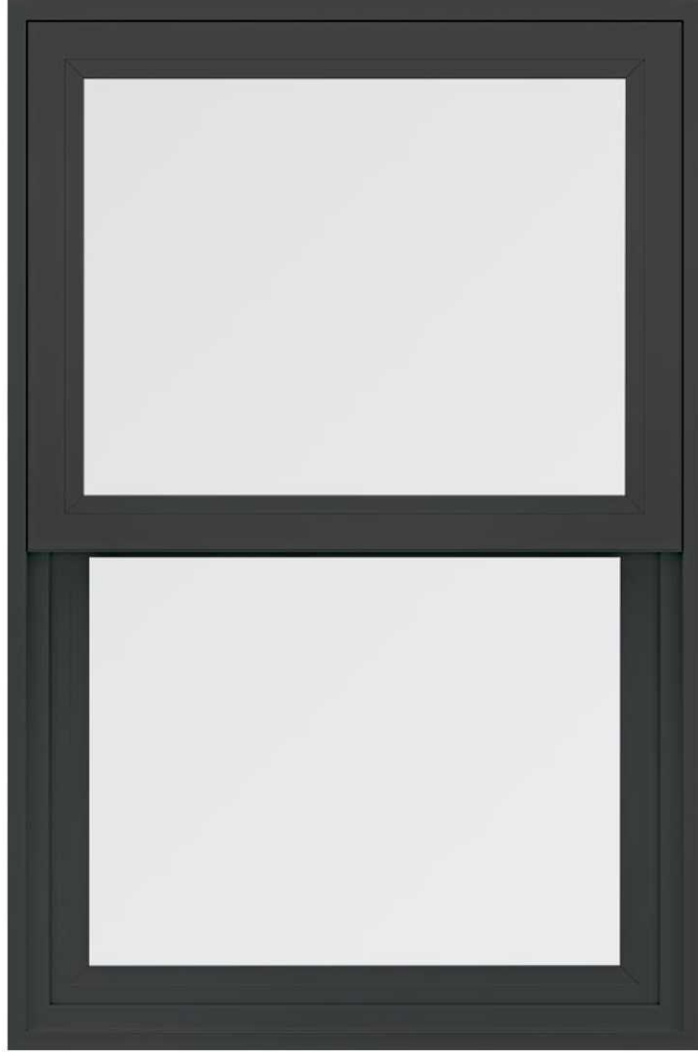


See examples of stone veneer below:

[Gallery 3 — \(pangaeanaturalstone.com\)](http://pangaeanaturalstone.com)



See example of Milgard window frame color in Bronze:



See example of similar style building design with James Hardie Reveal Panel below (color and design layout not the same as proposed):



See example of Village Quarter, 333 NE Irvine Street, with cement panel application on the storefront side of the building above ground floor office space:



2. *As part of this application is a waiver to the standards and guidelines of Chapter 17.59 being requested? If so explain in detail how the criteria for waiving a standard or guidelines as listed in Section 17.59.040(A) have been met.*

The review criteria under Section 17.59.040(A)(3) state: "If applicable (waiver request), that all of the following circumstances are found to exist: a. There is a demonstrable difficulty in meeting the specific requirements of this Chapter due to a unique or unusual aspect of the site, an existing structure, or proposed use of the site; b. There is demonstrable evidence that the alternative design accomplishes the purpose of this Chapter in a manner that is equal or superior to a project designed consistent with the standards contained herein; and c. The waiver requested is the minimum necessary to alleviate the difficulty of meeting the requirements of this Chapter.

As mentioned above, we are seeking approval for the use of smooth cement panel siding materials called Hardie Panel with reveal joints placed intentionally throughout the building design. While this is not listed as an approved building material, it is also not listed on the unapproved materials list.

17.59.050 (C)(1): "Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone."

17.59.050 (C)(2): “The following materials are prohibited for use on visible surfaces (not applicable to residential structure): a. Wood, vinyl, or aluminum siding; b. Wood, asphalt, or fiberglass shingles; c. Structural ribbed metal panels; d. Corrugated metal panels; e. Plywood sheathing, to include wood paneling such as T-111; f. Plastic sheathing; and g. Reflective or moderate to high grade tinted glass.”

Therefore, we are seeking a waiver if it is determined that a waiver is, in fact, required. In any event, we request that the HLC approve the proposed use based on the precedent that has been set by recent HLC approval decisions, as noted above, and because our proposed design considers the use of reveal joints as part of the overall design features to tie the building together. If a waiver is, in fact, needed then our proposal meets the criteria in Section 17.59.040(A)(3)(a-c) because of the unique difficulty of the site, including but not limited to the narrow lot, city parking requirements, as well as visibility considerations for a safe exit onto First Street. All of these site-specific factors have created challenges to build on a small footprint and added development costs and building costs in both design and materials. Additionally, the alternative design accomplishes the purpose of the Chapter in a manner equal or superior to the standards in that it allows for a plaza space (as approved in the DDR 1-21, Conditions of Approval letter from Chuck Darnell dated June 29, 2021) and the use of smooth cement panel siding with reveal joints will enrich the building design features along First Street which is now a mixture of residential, multifamily (including 1025 NE First Street with Hardie Panel as noted above), and commercial buildings. Our request is the minimum needed to meet the requirements of the Chapter and allow for the site to be feasible for our purposes as stated in this narrative application; we are not seeking to use another building material that is not listed as approved in 17.59.050 (C)(1) but rather we have proposed an unlisted material that has been recently approved so as to meet the standards of 17.59.040 (A)(3)(c).

Again, given our intended mixed use of the commercial office space on the ground floor with upper story dwellings, we think this property will not establish a precedent for use of smooth cement panel siding in all downtown core applications, and certainly not in the historical building renovations along 3rd Street. The subject property is new, mixed use construction that aims to create housing options above commercial office space downtown; this is a category that stands alone in most instances.