



MCMINNVILLE SCHOOL DISTRICT

1500 NE Baker Street McMinnville OR 97205
tel 503 565 4000 fax 503 565 4030
www.msd.k12.or.us



Dull Olson Weekes - IBI Group Architects, Inc.

907 SW Stark Street Portland OR 97205 USA
tel 503 228 6950 fax 503 273 9182
www.dowa-ibigroup.com www.ibigroup.com

NOT FOR CONSTRUCTION

McMinnville High School Addition and Remodel

McMinnville School District
615 NE 15th Street, McMinnville, OR 97128
t: (503) 565.4000
f: (503) 565.4030

key plan	
phase	LAND USE
date	10/07/16
revisions	
project #	16029

EXISTING HIGH SCHOOL CONTEXT SITE PLAN
LU1.1.1



EXISTING HIGH SCHOOL CONTEXT

SCALE: 1" = 40'-0"

--- SITE BOUNDARY LINE



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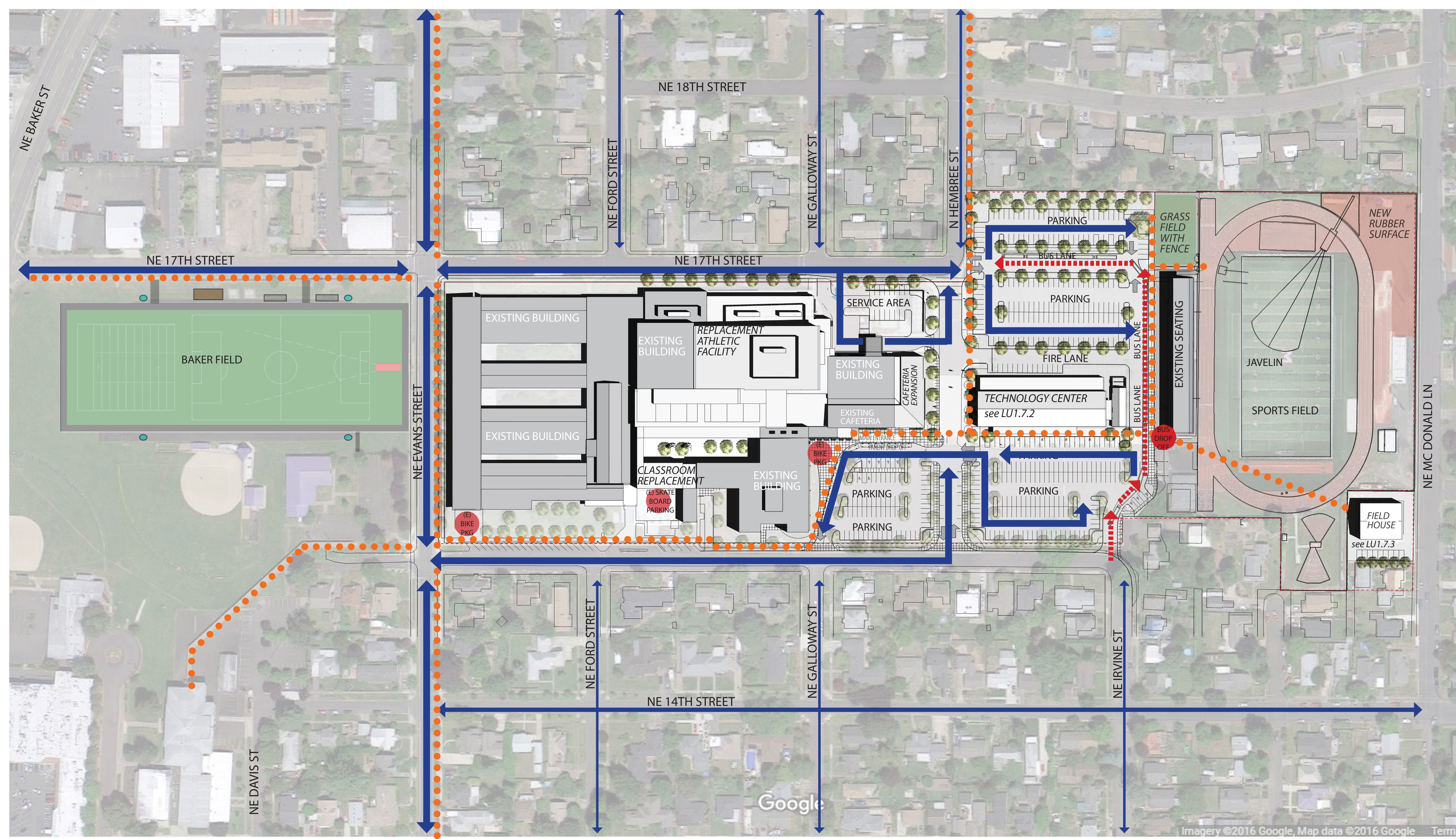


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- PEDESTRIAN CIRCULATION
- BUS CIRCULATION
- VEHICLE CIRCULATION
- EXISTING BUILDING
- PROPOSED BUILDING
- SITE BOUNDARY LINE

CIRCULATION SITE PLAN

SCALE: 1" = 40'-0"

key plan	
phase	LAND USE
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TRANSPORTATION CIRCULATION PLAN	

LU1.2.1



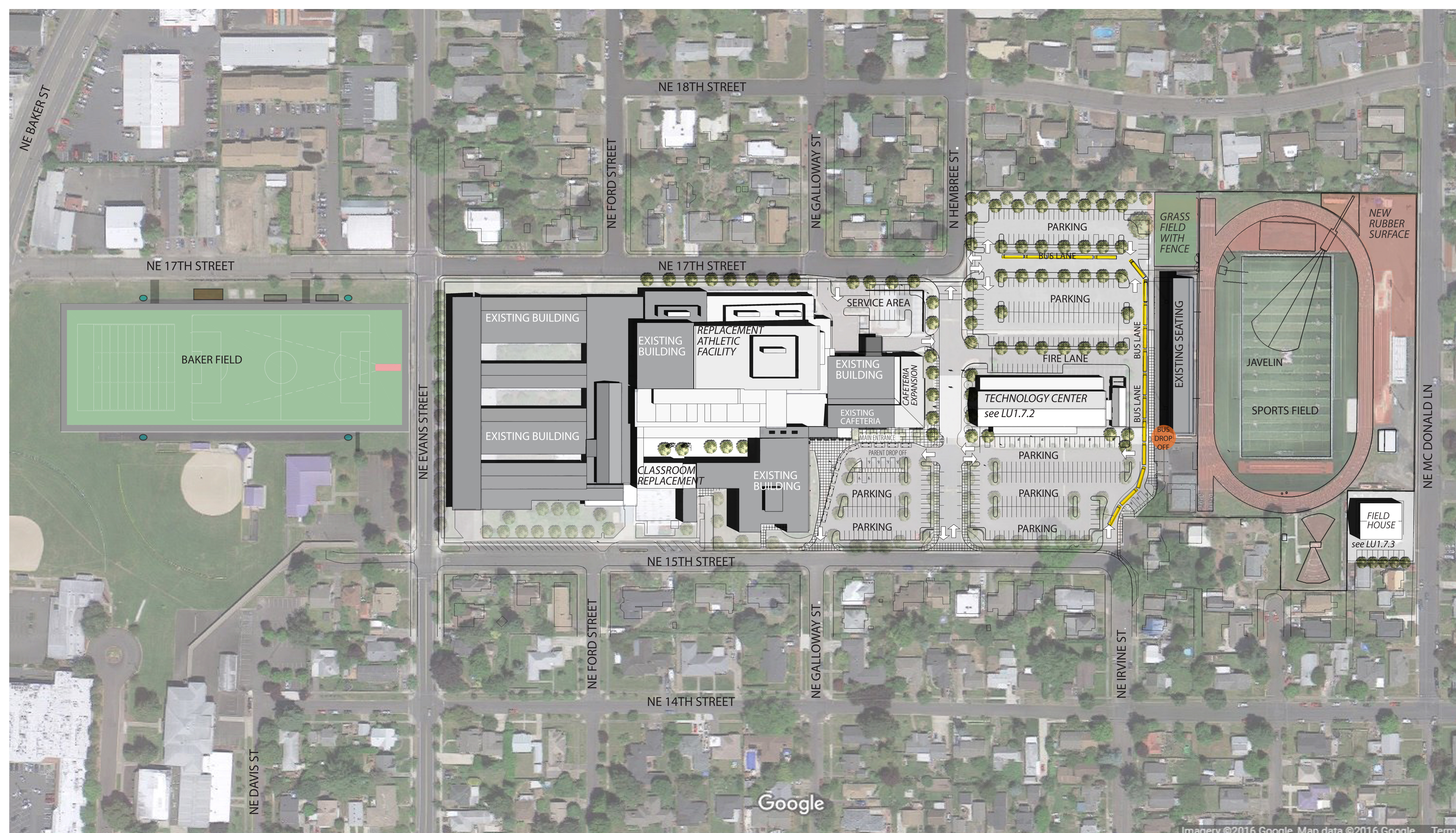
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PROPOSED BUILDING EXPANSION PLAN

LU1.5.1



PROPOSED BUILDING EXPANSION

SCALE: 1" = 40'-0"

	EXISTING BUILDING
	PROPOSED BUILDING
	SITE BOUNDARY LINE



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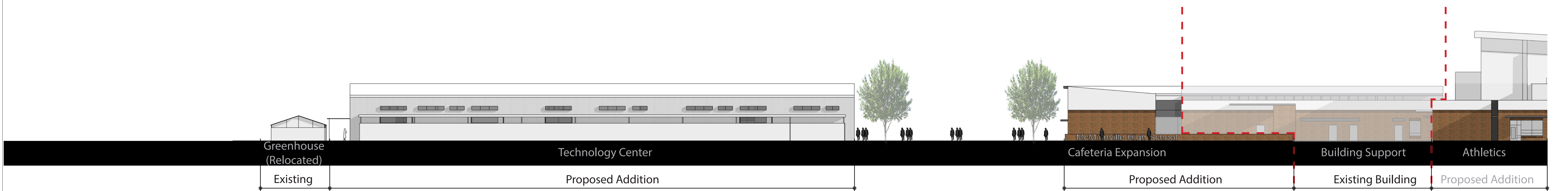


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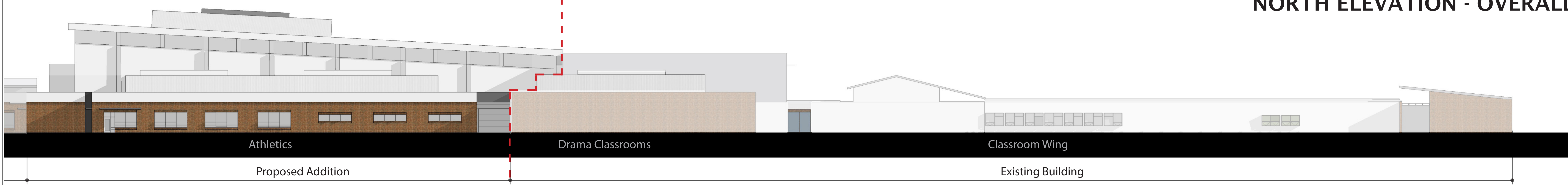
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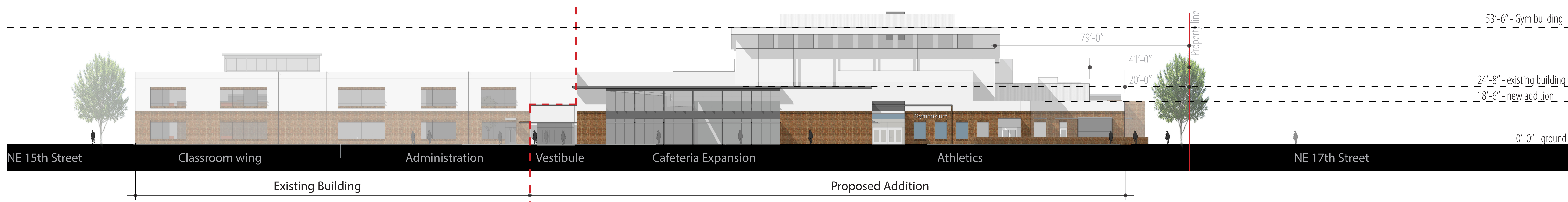
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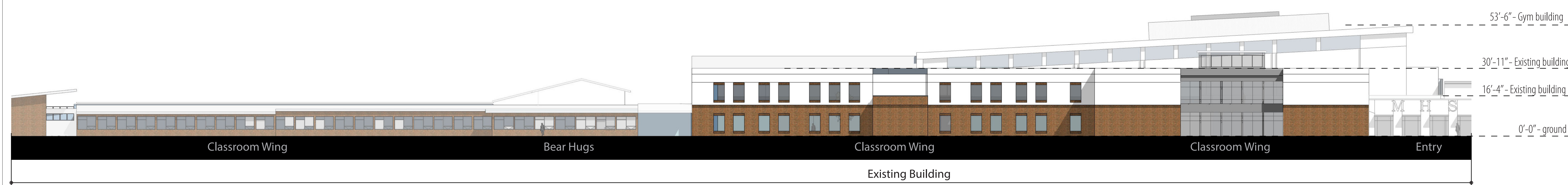
NORTH ELEVATION - OVERALL



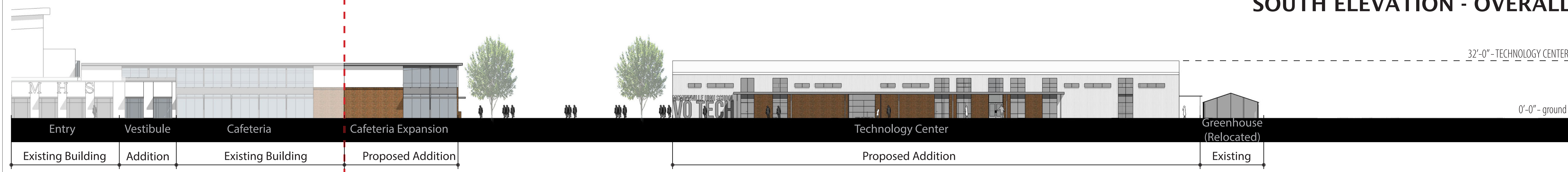
CONT. NORTH ELEVATION - OVERALL



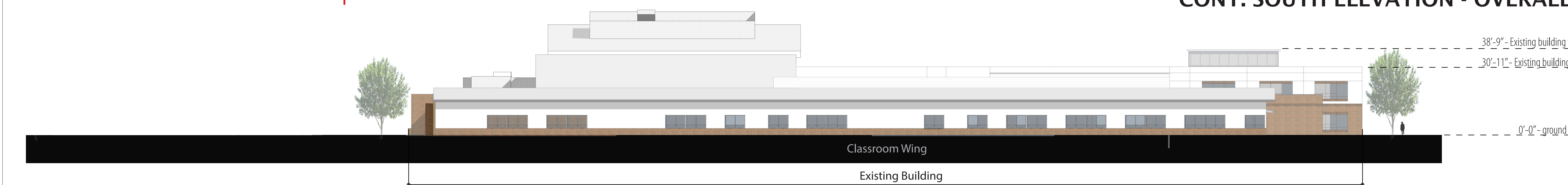
EAST ELEVATION - OVERALL



SOUTH ELEVATION - OVERALL



CONT. SOUTH ELEVATION - OVERALL



WEST ELEVATION - OVERALL

key plan

phase	LAND USE
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project #	16029

PROPOSED BUILDING ELEVATIONS

LU1.7.1

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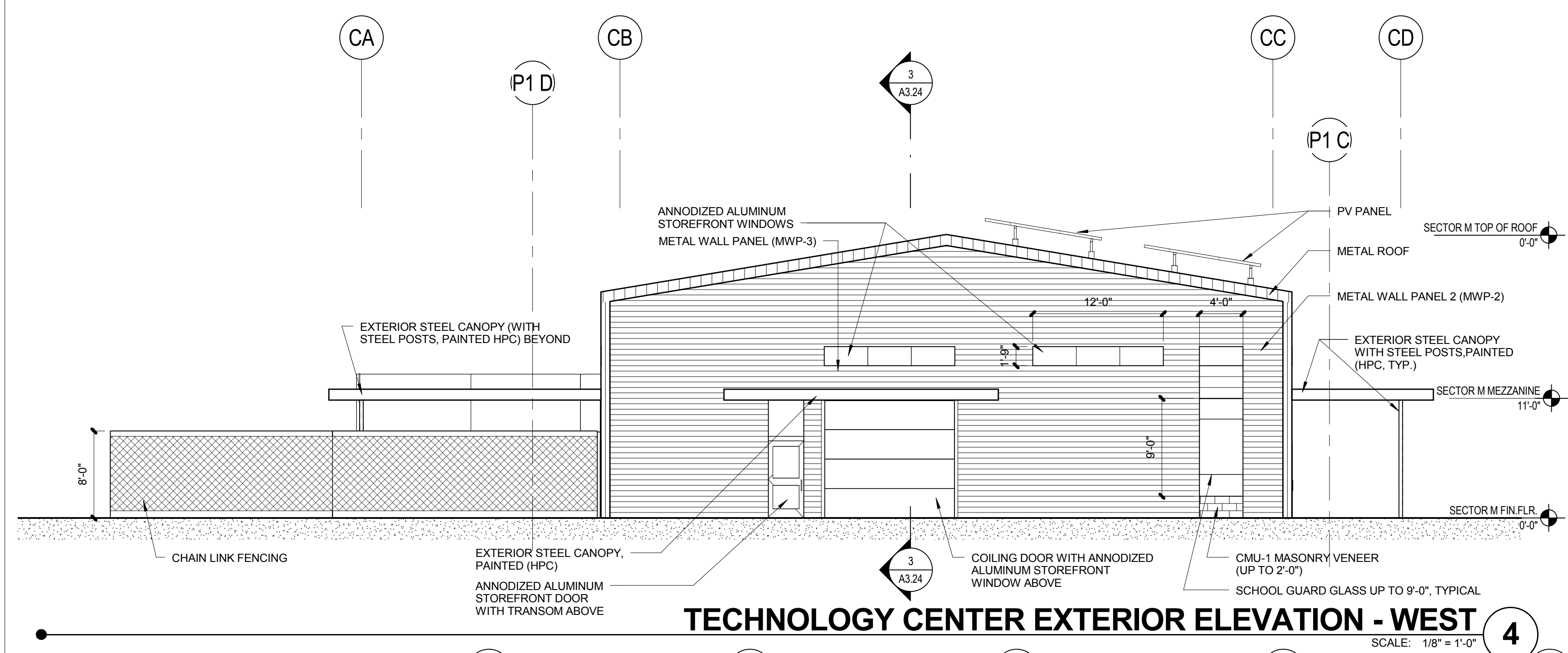
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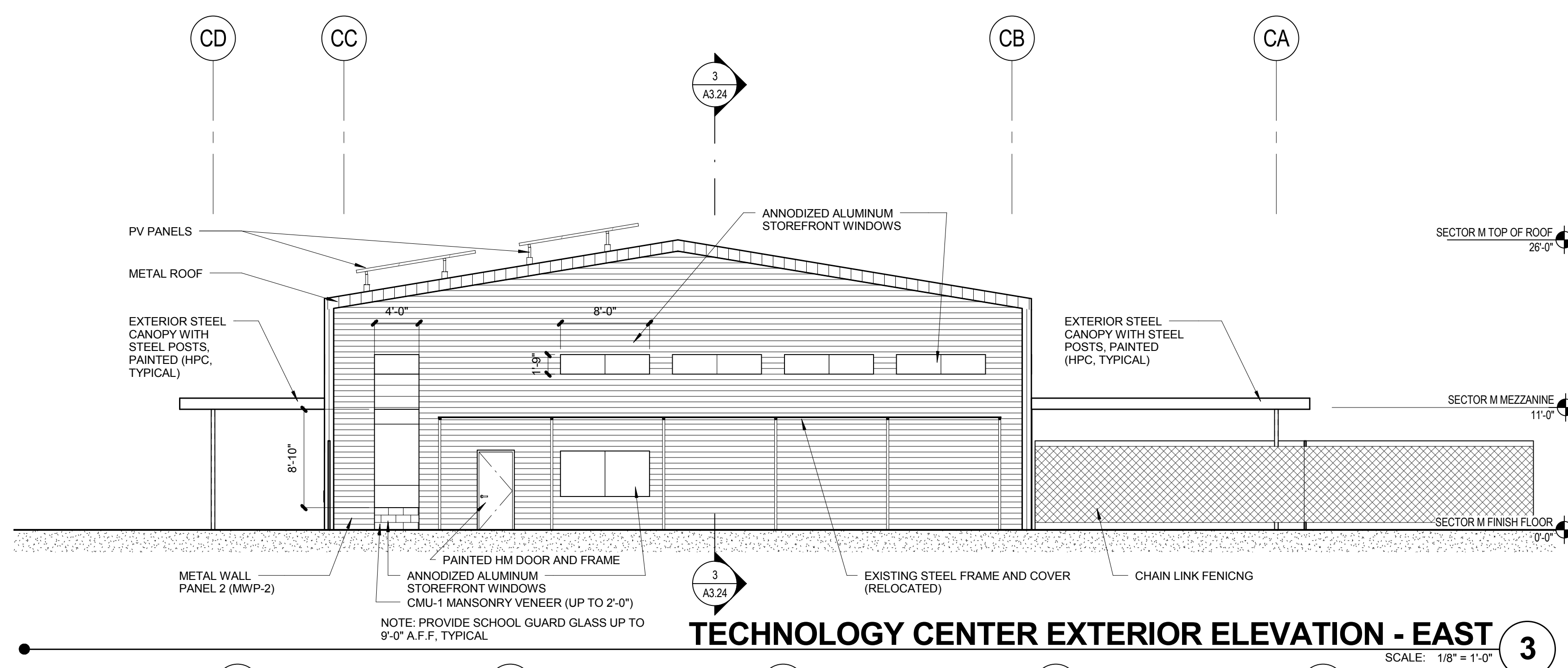
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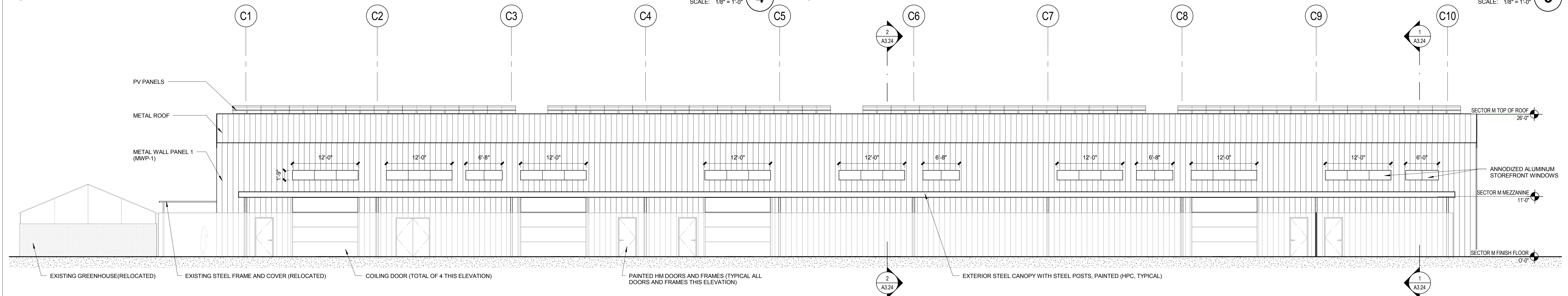
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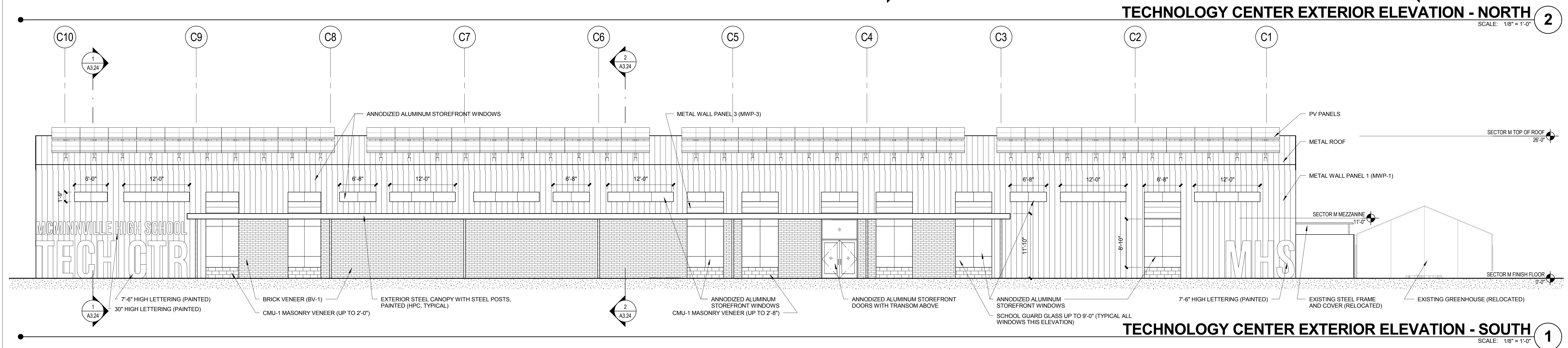
TECHNOLOGY CENTER EXTERIOR ELEVATION - WEST 4
SCALE: 1/8" = 1'-0"



TECHNOLOGY CENTER EXTERIOR ELEVATION - EAST 3
SCALE: 1/8" = 1'-0"



TECHNOLOGY CENTER EXTERIOR ELEVATION - NORTH 2
SCALE: 1/8" = 1'-0"



TECHNOLOGY CENTER EXTERIOR ELEVATION - SOUTH 1
SCALE: 1/8" = 1'-0"

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PROPOSED BUILDING ELEVATIONS

LU1.7.2

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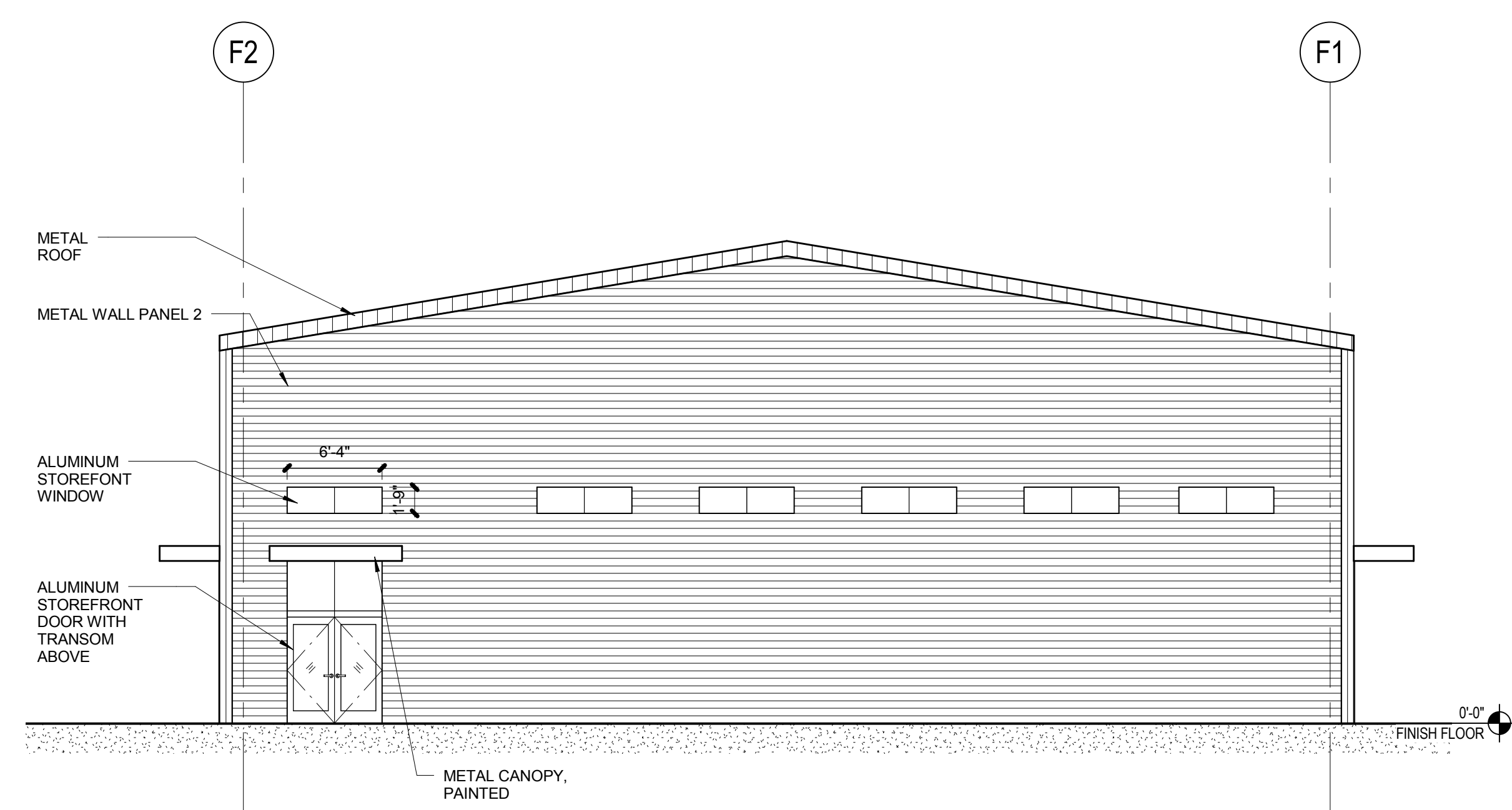
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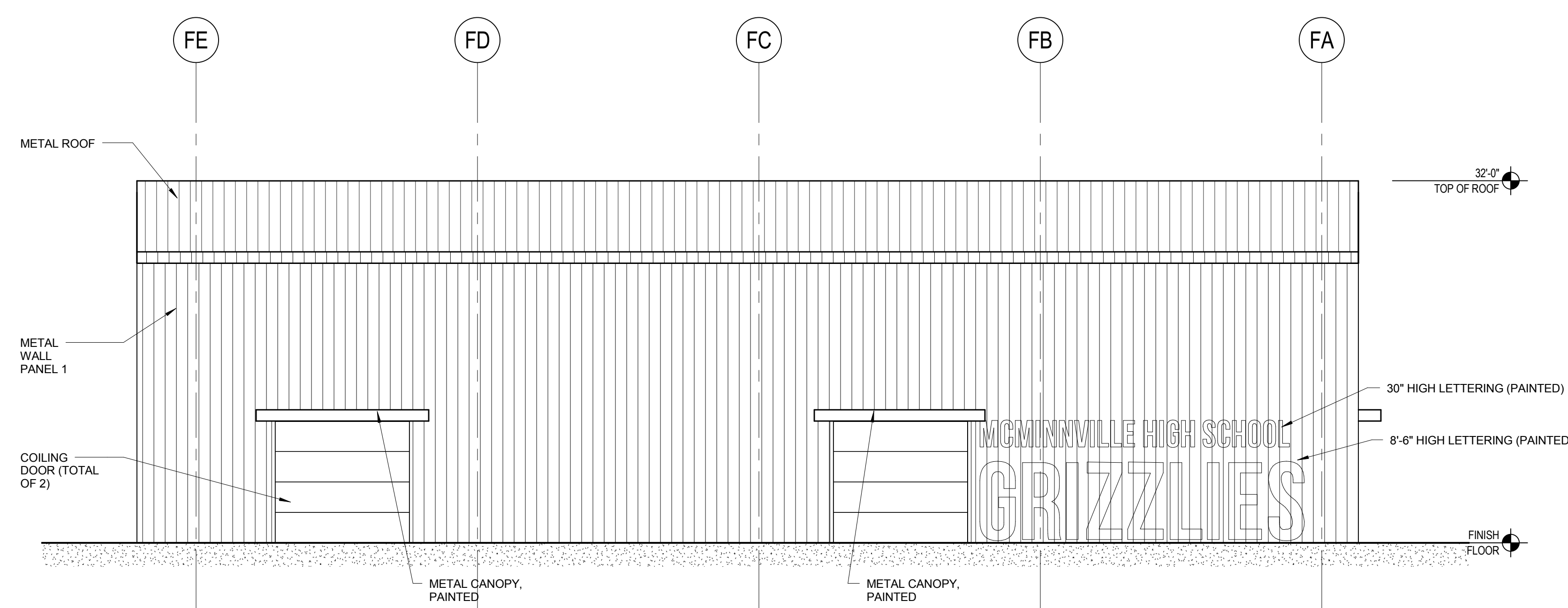
key plan	
phase	LAND USE
date	10/07/16
revisions	

project # 16029
PROPOSED BUILDING ELEVATIONS

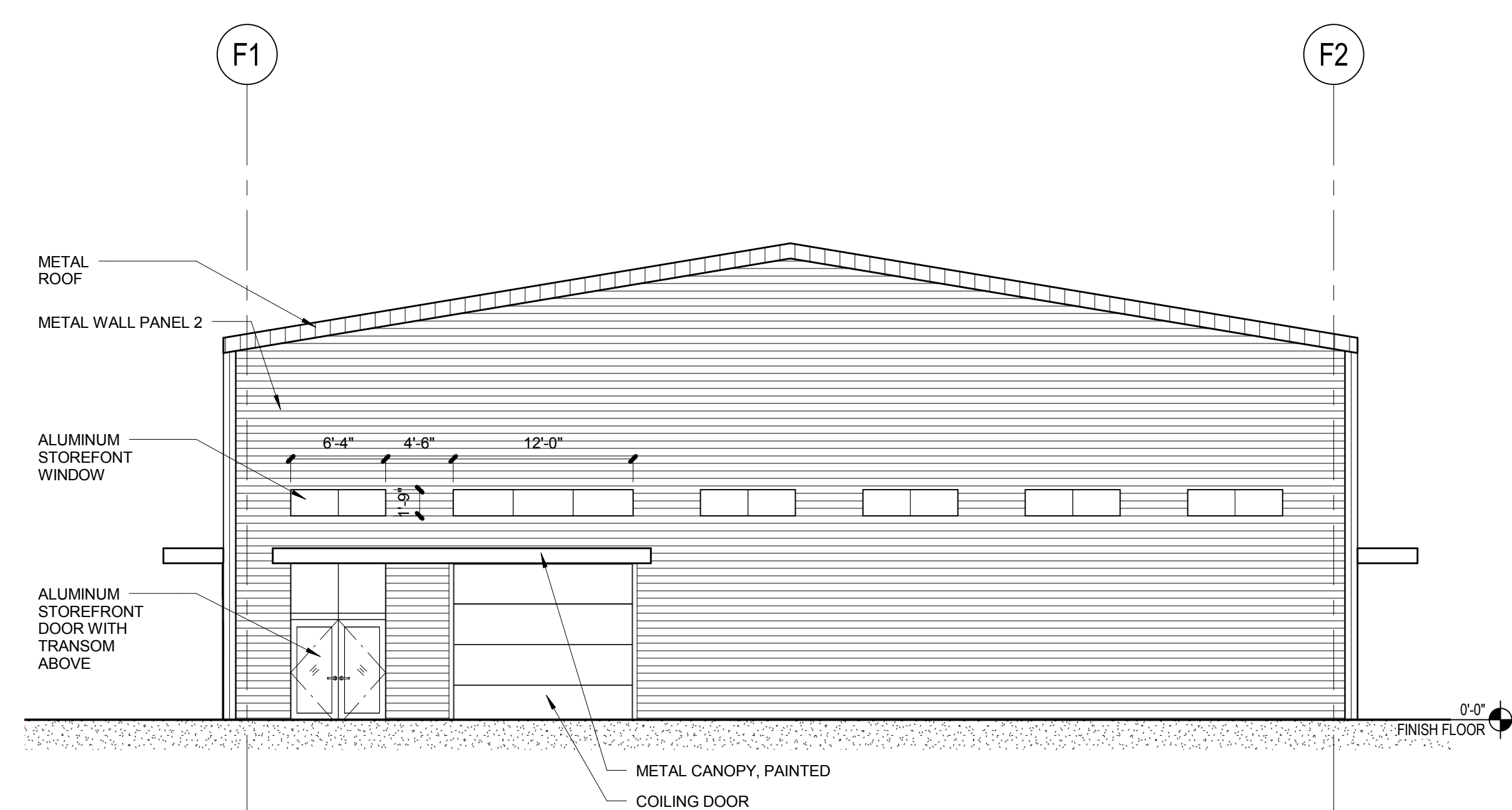
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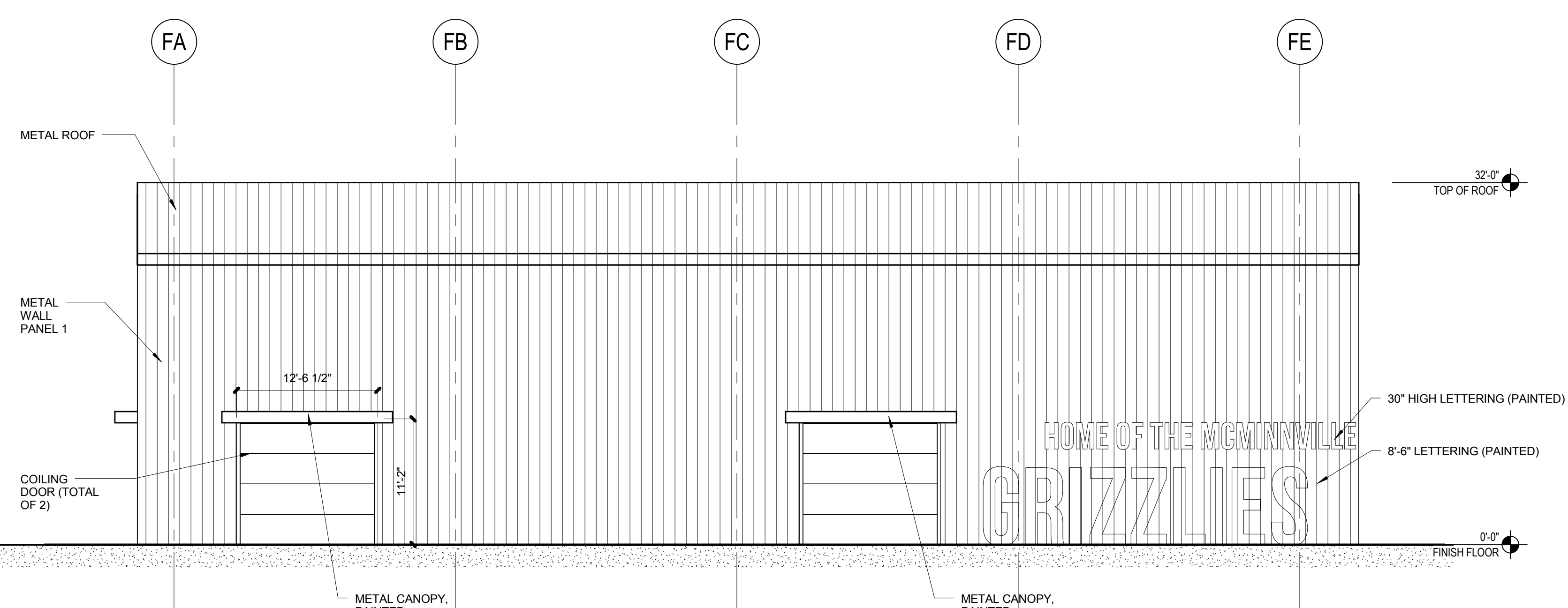
FIELD HOUSE EXTERIOR ELEVATION - NORTH SCALE: 1/8" = 1'-0" 4



FIELD HOUSE EXTERIOR ELEVATION - EAST SCALE: 1/8" = 1'-0" 3



FIELD HOUSE EXTERIOR ELEVATION - SOUTH SCALE: 1/8" = 1'-0" 2



FIELD HOUSE EXTERIOR ELEVATION - WEST SCALE: 1/8" = 1'-0" 1

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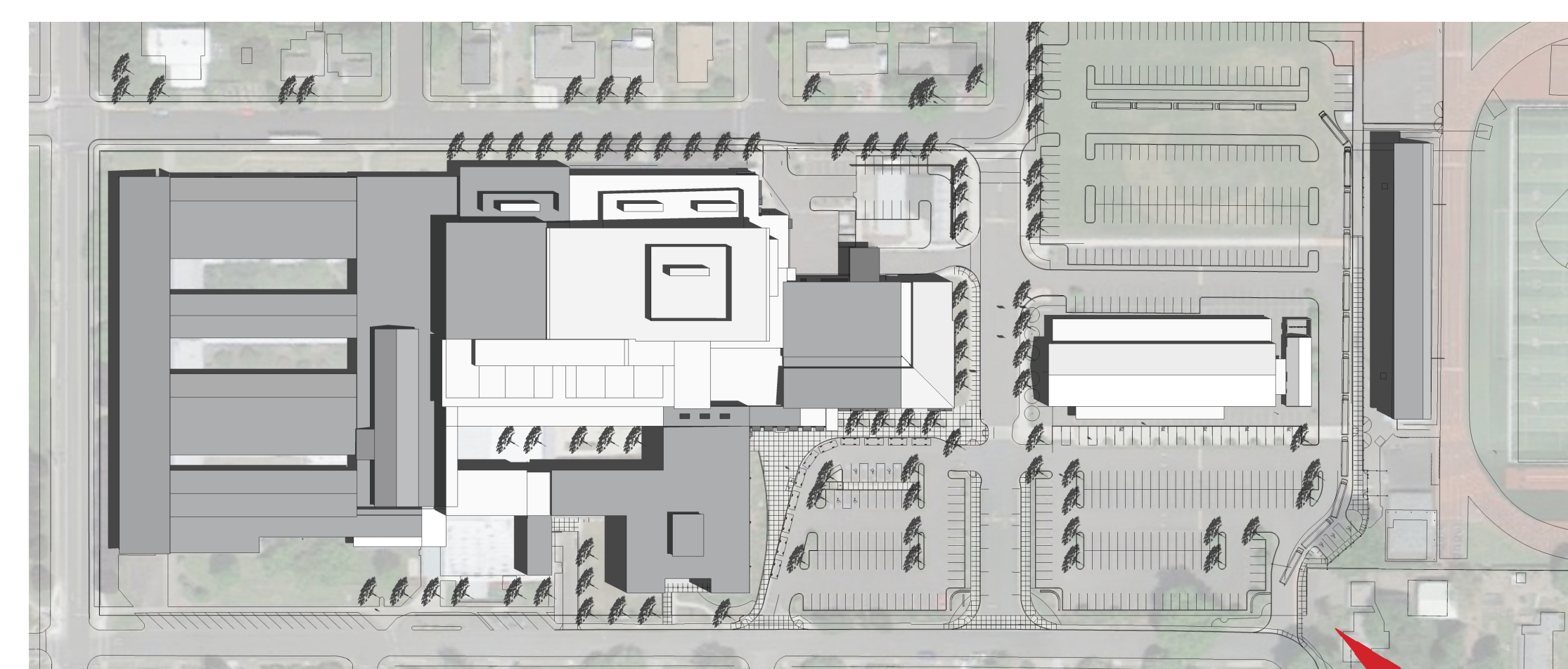


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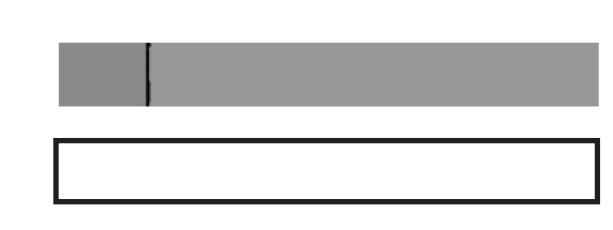
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SE AXONOMETRIC VIEW

 EXISTING BUILDING
PROPOSED BUILDING

key plan	
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PROPOSED BUILDING MASSING	

LU1.7.4



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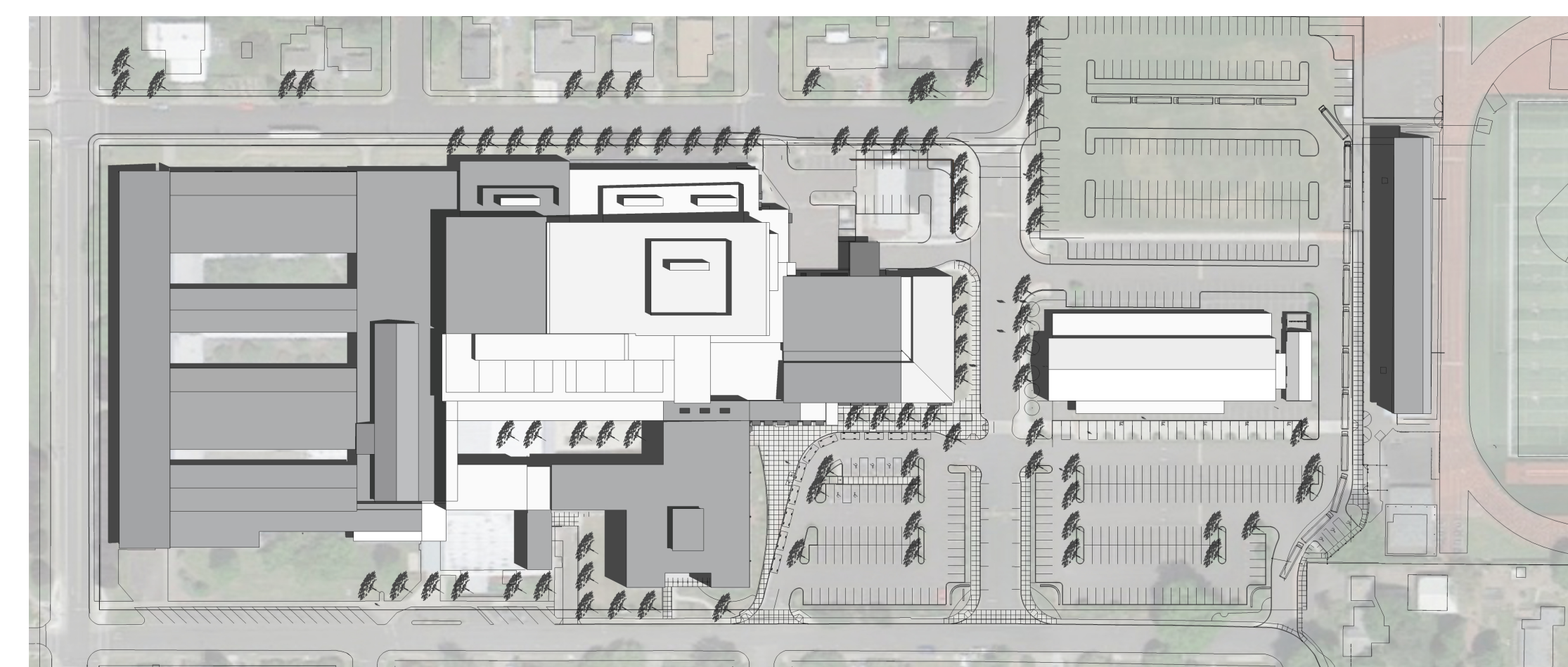


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SW AXONOMETRIC VIEW

EXISTING BUILDING
PROPOSED BUILDING

key plan

phase	LAND USE
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revisions	
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PROPOSED BUILDING
MASSING

LU1.7.5



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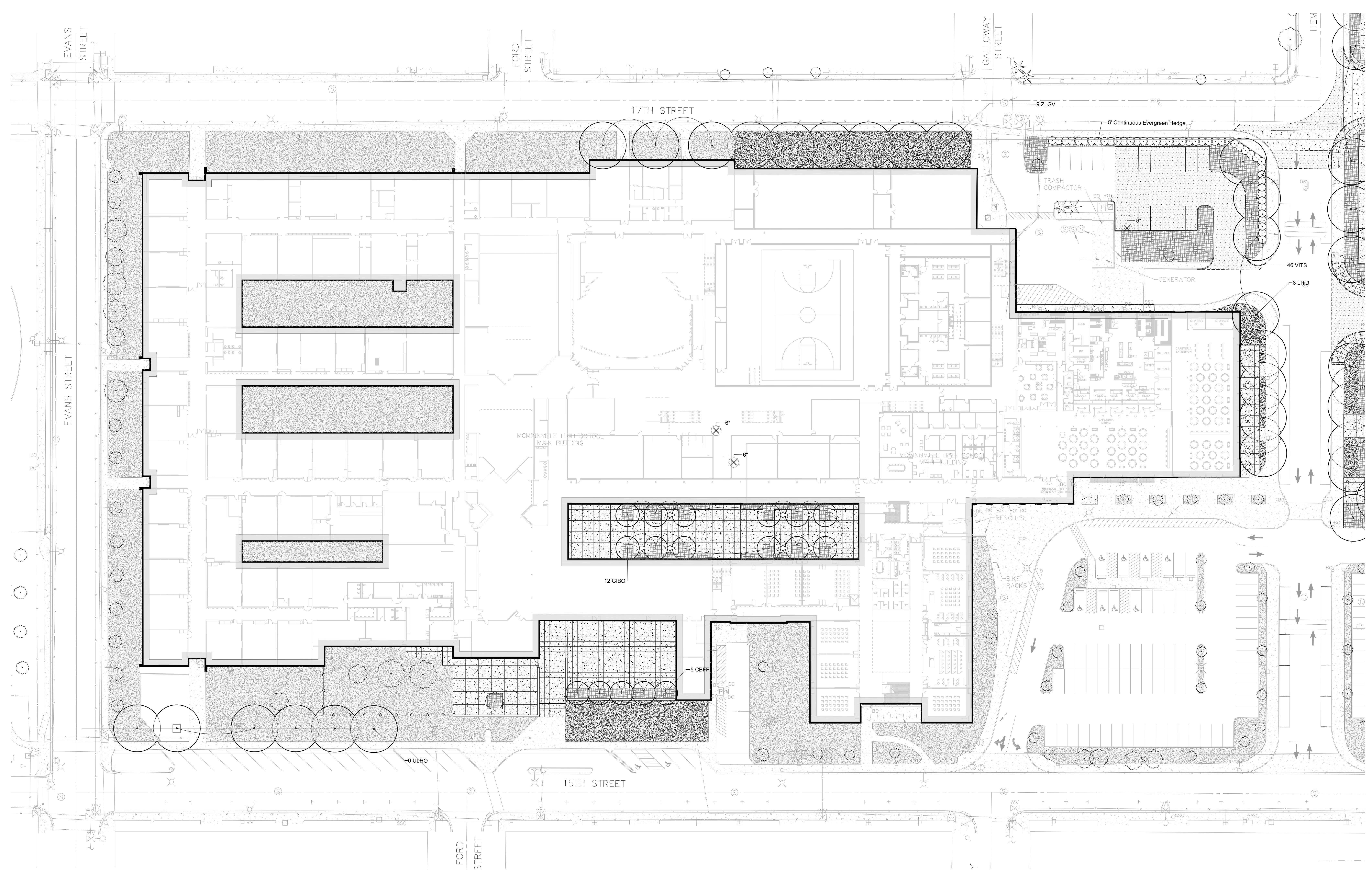
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Landscape Legend

- Proposed Concrete Paving
- Proposed Asphalt Paving
- Proposed Rubber Track Surfacing
- Proposed Landscape Area (Shrub)
- Proposed Landscape Area (Lawn)
- Existing Concrete Paving
- Existing Landscaping to Remain

- Existing Tree to Remain
- Existing Tree to be Removed (Size as indicated)

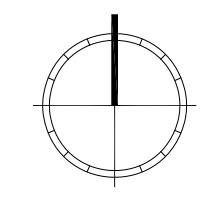
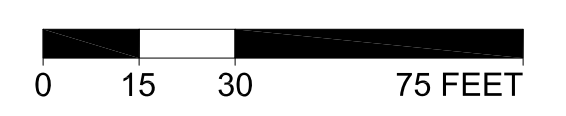
10 trees to be removed 6" DBH and larger. Trees removed smaller than 6" not shown. See plan for location:

Quantity	Size
6	6"
3	8"
1	10"

Land Use Zone: R-2
 Percentage Landscape Area Required: None
 Parking Landscape Area Required: 7%
 New Parking Area: 107,000 s.f.
 Required Parking Landscape Area: 7490 s.f.
 New Parking Interior Landscaping Proposed: 10,500 s.f.

PLANT LIST

KEY TREES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COUNT
CEJA	Cercidiphyllum japonicum	Katsura Tree	2"	30'	4
ACRS	Acer rubrum 'Red Sunset'	Sunset Maple	2"	30'	5
CBFF	Carpinus betulus 'Frans Fontaine'	Frans Fountaine Hornbeam	2"	15'	5
ZLGV	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2"	30'	9
GIBO	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo Tree	2"	15'	13
LITU	Liriodendron tulipifera	Tulip Tree	2"	30'	20
NYSY	Nyssa sylvatica	Tupelo	2"	30'	34
PICO	Pinus contorta	Shore Pine	6"	10'	37
ULHO	Ulmus 'Homestead'	Homestead Elm	2"	30'	6
SCREEN SHRUBS					
VITS	Viburnum tinus 'Spring Bouquet'	Spring Bouquet Laurustinus	5 gal.	5'	147



key plan

phase	LAND USE
date	10/07/16
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SHEET TITLE
L1.00

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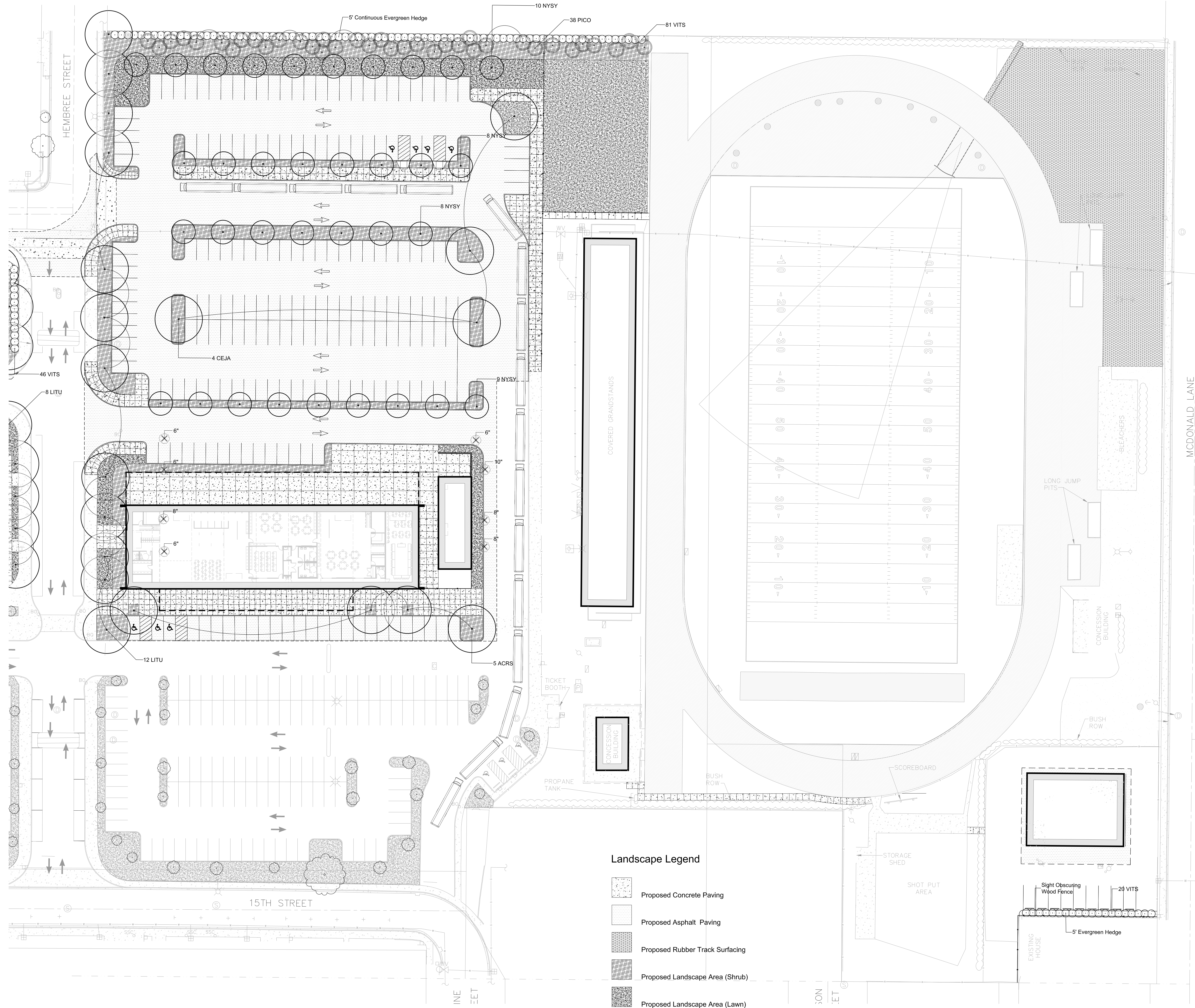
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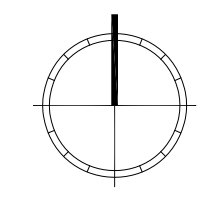
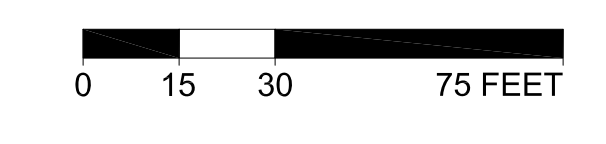
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- Existing Concrete Paving
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(See Detailed Legend on Sheet L1.0)



key plan	
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project # 16029
 SHEET TITLE

L2.00

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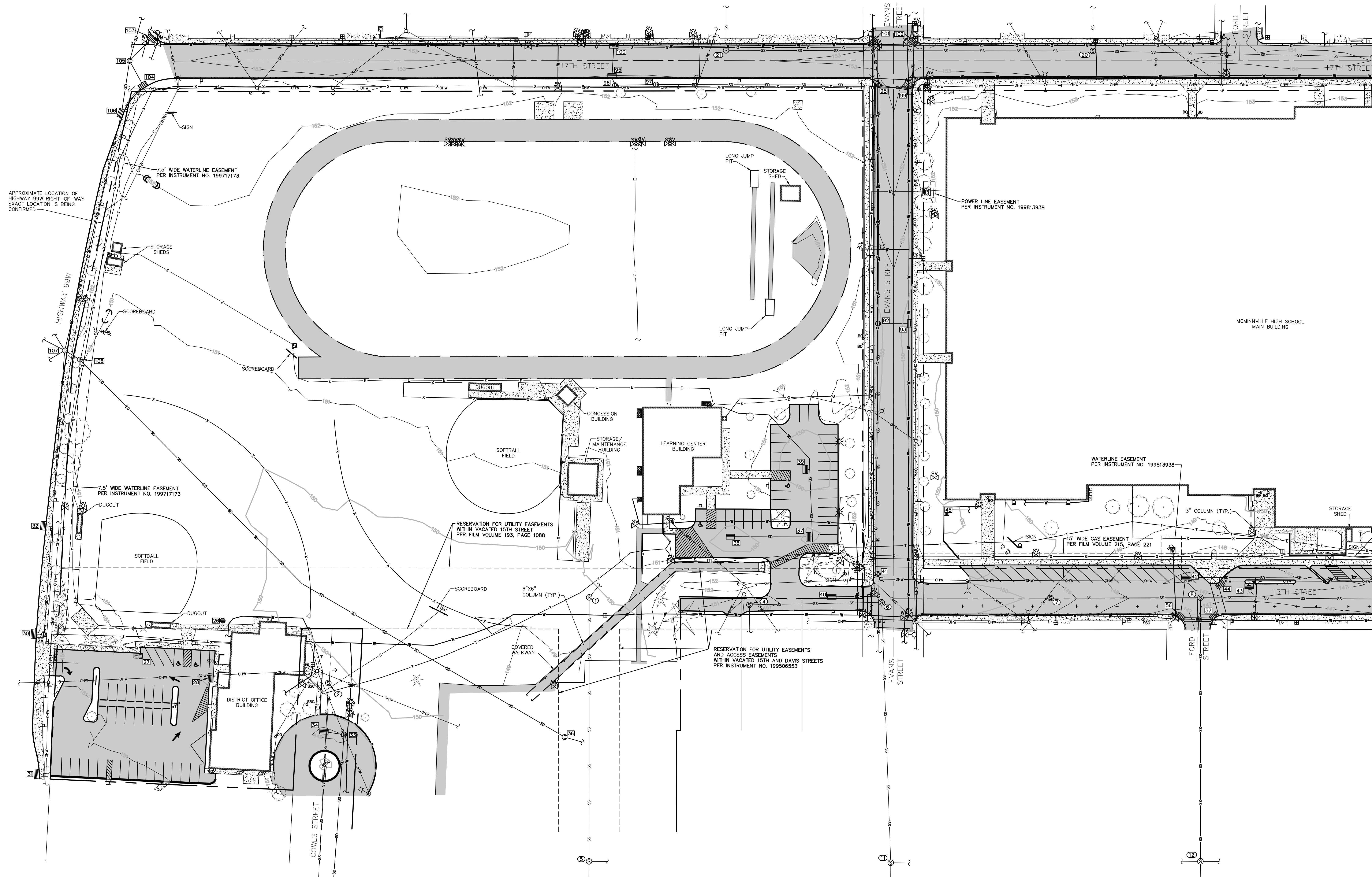


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LEGEND:

	- EXISTING ASPHALT		- SANITARY SEWER CLEANOUT		- SPRINKLER VALVE
	- EXISTING CONCRETE		- STORM DRAINAGE CLEANOUT		- GAS VALVE
	- EXISTING RUBBER TRACK SURFACE		- FLAG POLE		- GAS METER
	- EXISTING GRAVEL		- UNKNOWN CLEANOUT		- HVAC UNIT
	- STORM DRAINAGE LINE		- SANITARY SEWER MANHOLE		- IRRIGATION STANDPIPE
	- SANITARY SEWER LINE		- STORM DRAINAGE MANHOLE		- WATER SPIGOT
	- UNDERGROUND TELECOMMUNICATION LINE		- CATCH BASIN		- FIRE HYDRANT
	- UNDERGROUND ELECTRIC LINE		- AREA DRAIN		- FIRE DEPARTMENT CONNECTION
	- UNDERGROUND WATER LINE		- ELECTRICAL VAULT		- UTILITY POLE
	- UNDERGROUND GAS LINE		- COMMUNICATIONS VAULT		- GUY ANCHOR
	- OVERHEAD WIRE		- WATER VAULT		- STREET LIGHT/UTILITY POLE
	- FENCE		- UNKNOWN VAULT		- LIGHT POLE
	- DECIDUOUS TREE		- ELECTRICAL METER		- GROUND LIGHT
	- CONIFEROUS TREE		- ELECTRICAL RISER		- SIGN
			- COMMUNICATIONS RISER		- MAILBOX
			- ELECTRIC JUNCTION BOX		- BOLLARD
			- WATER METER		- HANDICAPPED PARKING SPACE
			- WATER VALVE		



VERTICAL DATUM:
 BENCHMARK: 1
 DATUM: NAVD 88
 DESCRIPTION: 1-1/4" COPPER DISK INSCRIBED "BLUEDOT" SET IN THE NORTHEAST CORNER OF THE EASTERLY CONCRETE PAD, LOCATED APPROXIMATELY 23 FEET SOUTH OF THE SOUTHERLY CURB OF 17TH STREET.
 ELEVATION: 151.756'

UTILITY STATEMENT:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM LOCATE PAINT MARKINGS TIED IN THE FIELD SURVEY AND AS-BUILT DRAWINGS PROVIDED BY UTILITY COMPANIES. THIS SURVEY DOES NOT SHOW ANY PAINT MARKINGS PROVIDED AFTER THE FIELD SURVEY WAS COMPLETED. AS-BUILT DRAWING INFORMATION THAT WAS NOT PROVIDED IS NOT REFLECTED ON THIS SURVEY. AS-BUILT INFORMATION, IF PROVIDED, WAS USED TO IDENTIFY UNDERGROUND PIPE SIZE AND TYPE. IF NO LOCATE PAINT MARKINGS WERE PROVIDED, AS-BUILT INFORMATION WAS USED TO HORIZONTALLY LOCATE THE UNDERGROUND UTILITIES.

THIS SURVEY MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE OF ALL SUCH UTILITIES IN THE AREA. THE UNDERGROUND UTILITIES SHOWN MAY NOT BE IN THE EXACT LOCATION AS NOTED ON THIS SURVEY, BUT ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. MANHOLES OTHER THAN SANITARY AND STORM SEWER WERE IDENTIFIED BY MANHOLE LIDS AND MAY NOT BE LABELED CORRECTLY.
 UTILITY LOCATIONS SHOULD BE VERIFIED BY OREGON UTILITIES NOTIFICATION CENTER IMMEDIATELY PRIOR TO ANY EXCAVATION.

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key plan	
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EXISTING CONDITIONS	
LU1.01	



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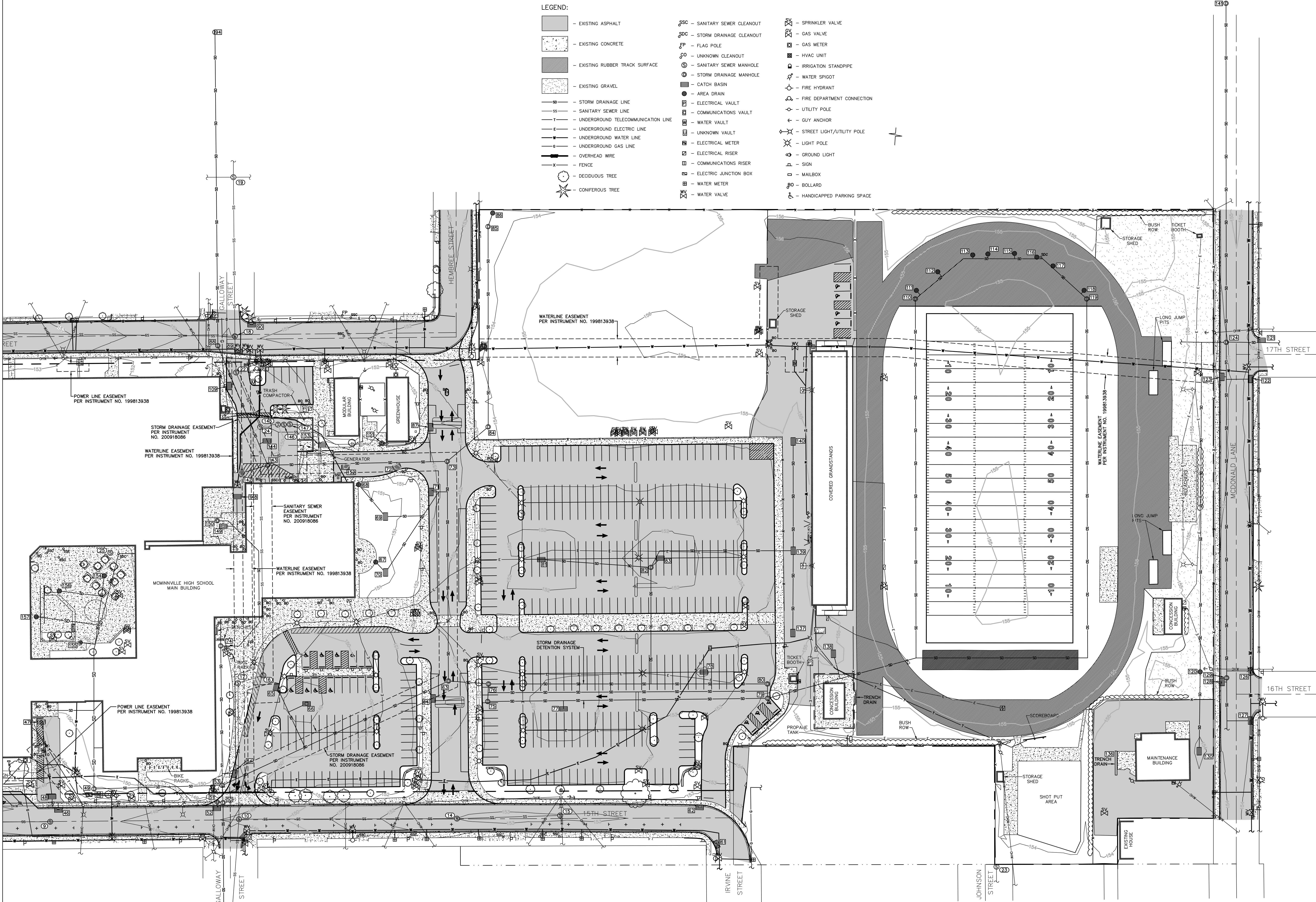
revisions

project # 16029

EXISTING CONDITIONS

LU1.02

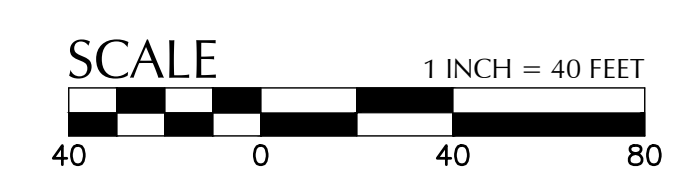
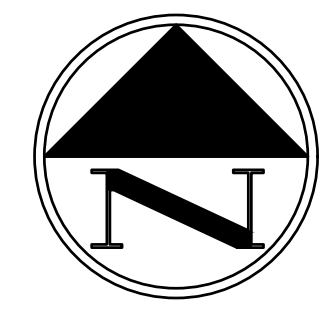
- LEGEND:**
- EXISTING ASPHALT
 - EXISTING CONCRETE
 - EXISTING RUBBER TRACK SURFACE
 - EXISTING GRAVEL
 - STORM DRAINAGE LINE
 - SANITARY SEWER LINE
 - UNDERGROUND TELECOMMUNICATION LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND WATER LINE
 - UNDERGROUND GAS LINE
 - OVERHEAD WIRE
 - FENCE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SSC - SANITARY SEWER CLEANOUT
 - SDC - STORM DRAINAGE CLEANOUT
 - FP - FLAG POLE
 - UC - UNKNOWN CLEANOUT
 - SSM - SANITARY SEWER MANHOLE
 - SMD - STORM DRAINAGE MANHOLE
 - CB - CATCH BASIN
 - AD - AREA DRAIN
 - EV - ELECTRICAL VAULT
 - CV - COMMUNICATIONS VAULT
 - WV - WATER VAULT
 - UV - UNKNOWN VAULT
 - EM - ELECTRICAL METER
 - ER - ELECTRICAL RISER
 - CR - COMMUNICATIONS RISER
 - EJ - ELECTRIC JUNCTION BOX
 - WM - WATER METER
 - WV - WATER VALVE
 - SV - SPRINKLER VALVE
 - GV - GAS VALVE
 - GM - GAS METER
 - HU - HVAC UNIT
 - IS - IRRIGATION STANDPIPE
 - WS - WATER SPIGOT
 - FH - FIRE HYDRANT
 - FDC - FIRE DEPARTMENT CONNECTION
 - UP - UTILITY POLE
 - GA - GUY ANCHOR
 - SL/UP - STREET LIGHT/UTILITY POLE
 - LP - LIGHT POLE
 - GL - GROUND LIGHT
 - S - SIGN
 - MB - MAILBOX
 - B - BOLLARD
 - HPS - HANDICAPPED PARKING SPACE



UTILITY STATEMENT:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM LOCATE PAINT MARKINGS TIED IN THE FIELD SURVEY AND AS-BUILT DRAWINGS PROVIDED BY UTILITY COMPANIES. THIS SURVEY DOES NOT SHOW ANY PAINT MARKINGS PROVIDED AFTER THE FIELD SURVEY WAS COMPLETED. AS-BUILT DRAWING INFORMATION THAT WAS NOT PROVIDED IS NOT REFLECTED ON THIS SURVEY. AS-BUILT INFORMATION, IF PROVIDED, WAS USED TO IDENTIFY UNDERGROUND PIPE SIZE AND TYPE. IF NO LOCATE PAINT MARKINGS WERE PROVIDED, AS-BUILT INFORMATION WAS USED TO HORIZONTALLY LOCATE THE UNDERGROUND UTILITIES.

THIS SURVEY MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE OF ALL SUCH UTILITIES IN THE AREA. THE UNDERGROUND UTILITIES SHOWN MAY NOT BE IN THE EXACT LOCATION AS NOTED ON THIS SURVEY, BUT ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. MANHOLES OTHER THAN SANITARY AND STORM SEWER WERE IDENTIFIED BY MANHOLE LIDS AND MAY NOT BE LABELED CORRECTLY.

UTILITY LOCATIONS SHOULD BE VERIFIED BY OREGON UTILITIES NOTIFICATION CENTER IMMEDIATELY PRIOR TO ANY EXCAVATION.



VERTICAL DATUM:
 BENCHMARK: 1
 DATUM: NAVD 88
 DESCRIPTION: 1-1/4" COPPER DISK INSCRIBED "BLUEDOT" SET IN THE NORTHEAST CORNER OF THE EASTERLY CONCRETE PAD, LOCATED APPROXIMATELY 23 FEET SOUTH OF THE SOUTHERLY CURB OF 17TH STREET.
 ELEVATION: 151.756'

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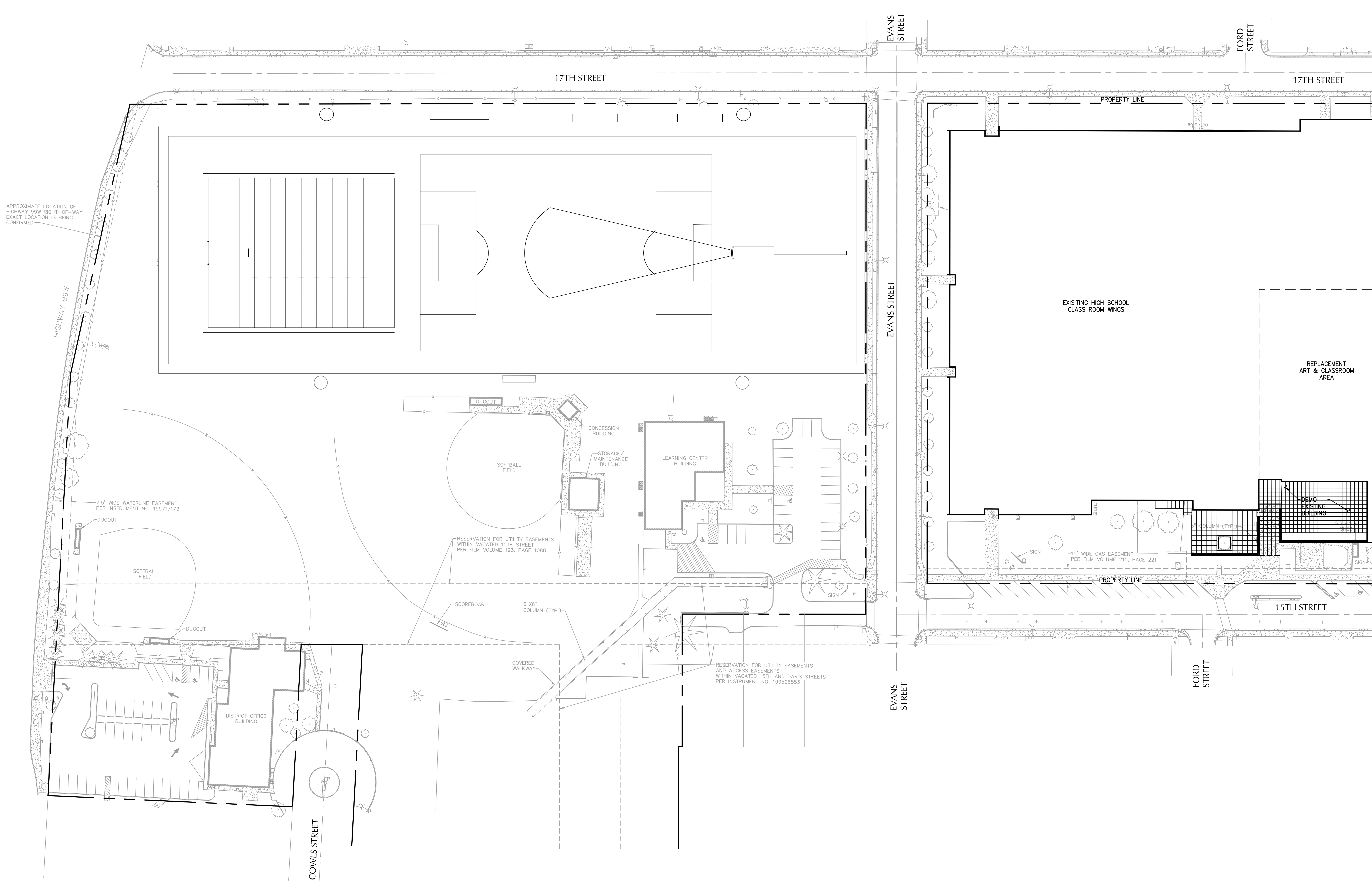


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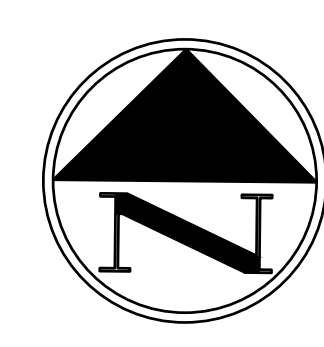
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McMinnville School District
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 f: (503) 565.4030



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SCALE 1 INCH = 40 FEET
 40 0 40 80

key plan	
phase	LAND USE
date	10/07/16
revisions	
project #	16029

SITE PLAN - WEST

LU2.01



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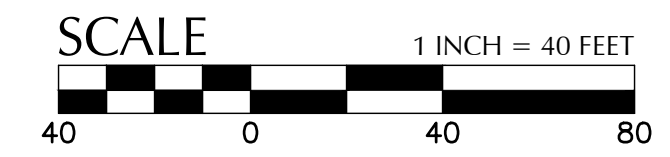
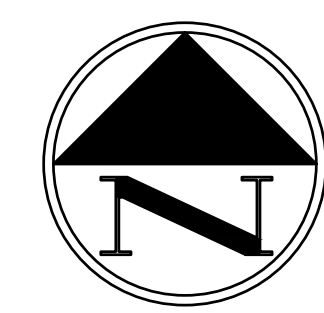
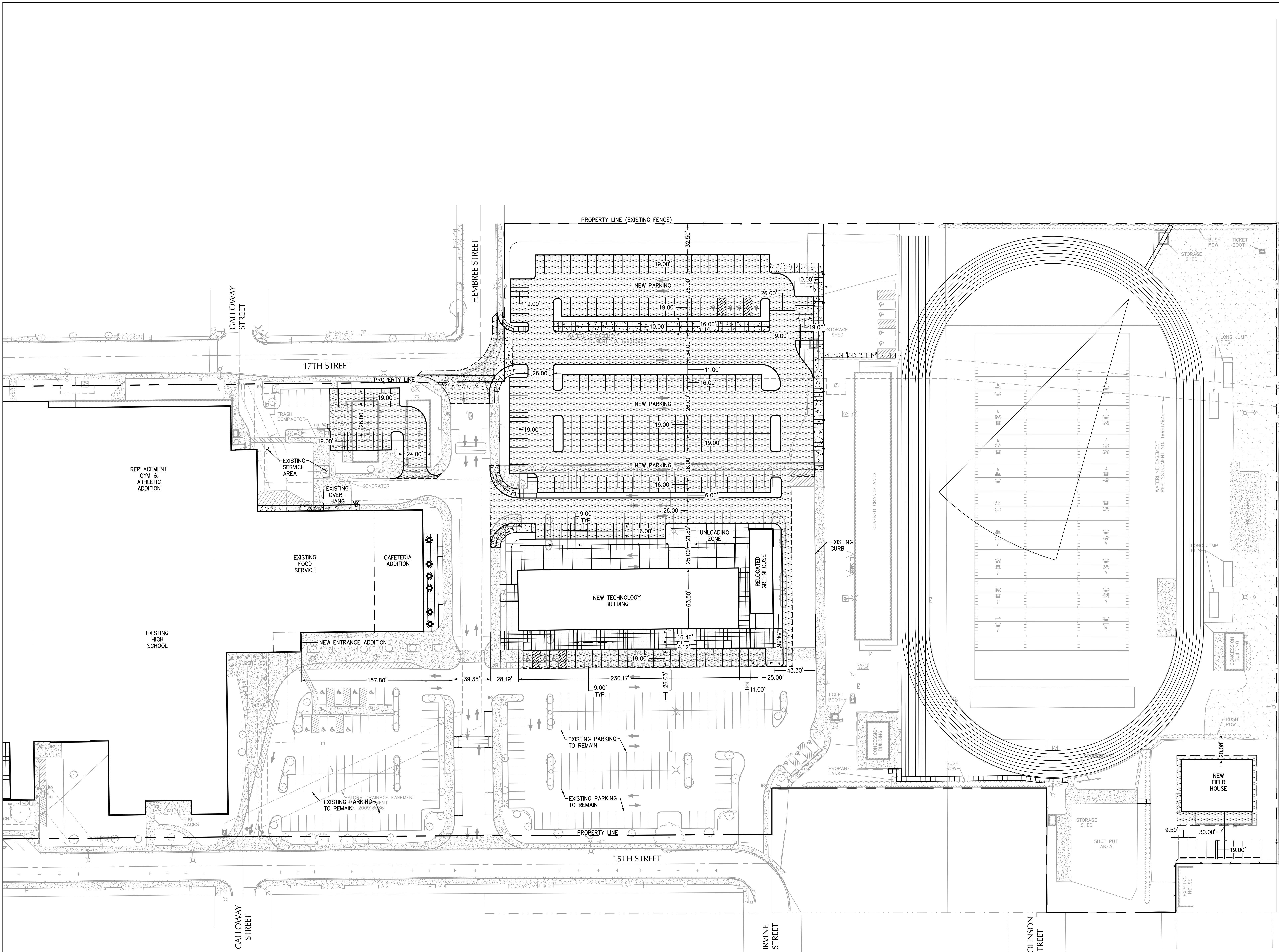
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key plan

phase	LAND USE
date	10/07/16
revisions	
project #	16029

SITE PLAN - EAST

LU2.02





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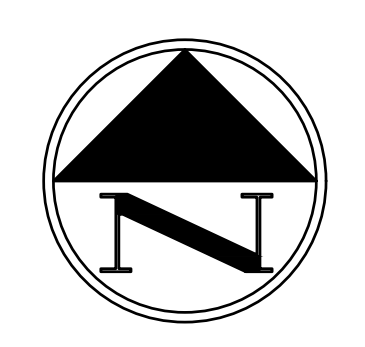
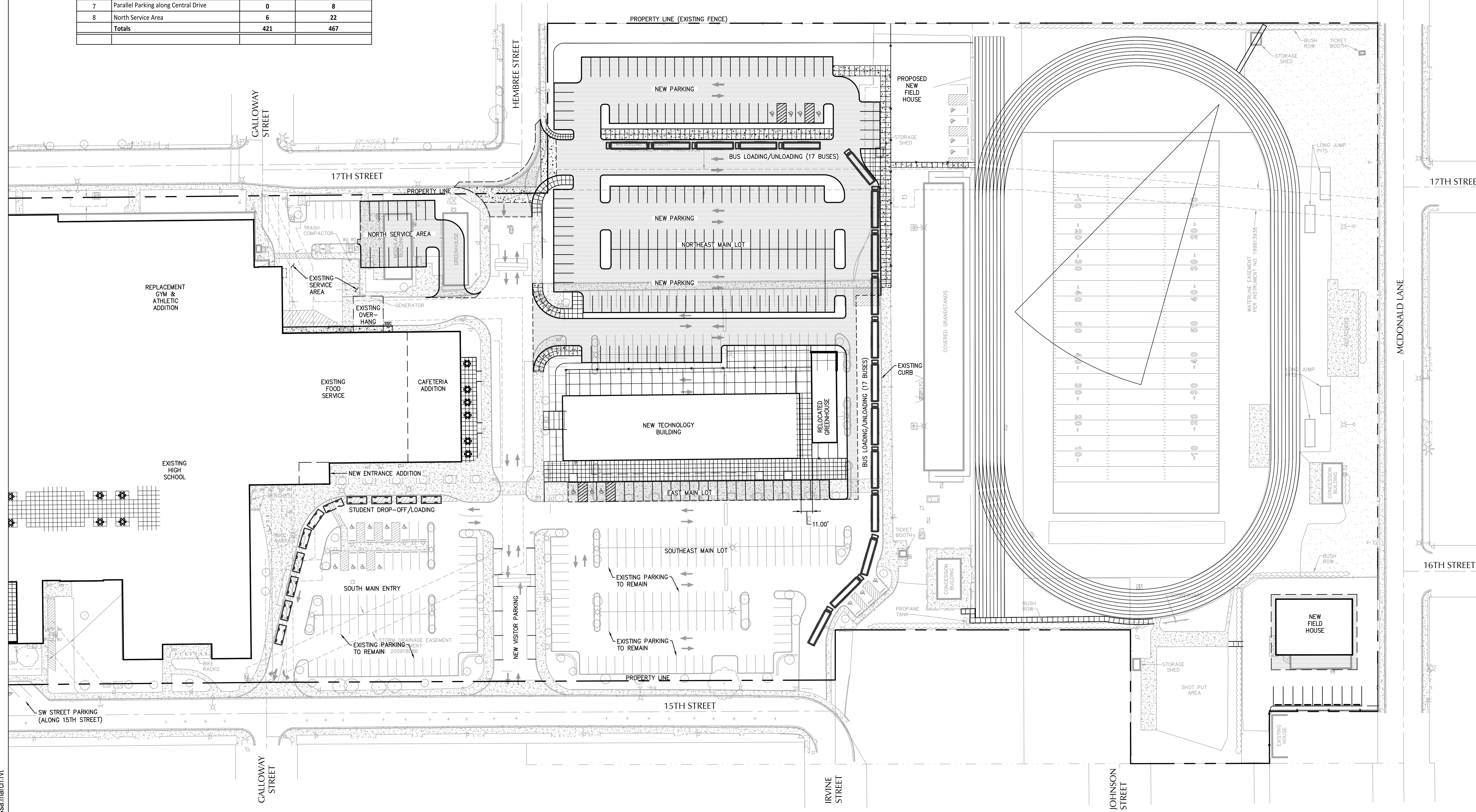
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key plan	
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PARKING & CIRCULATION PLAN	
LU3.01	

McMinnville High School Required Parking (per City of McMinnville Zoning Ordinance Chapter 17.60; Para 17.60.060-B10)			
Description	Count	Required Parking Stalls	
1 One Space Each Classroom	70	70	
2 One Space Per Administrative Staff	25	25	
3 One Space for Each Six Student Body	2100	350	
Totals		445	

McMinnville High School Parking Count			
Site Area	Description	Existing Stalls	Proposed Stalls
1	SW Street Parking (15th Street)	22	22
2	South Main Entry Parking	70	70
3	Southeast Main Lot (east side of site)	128	128
4	East Main Lot (east side of site)	186	41
5	Northeast Main Lot (east side of site)	5	168
6	Maintenance Building (offsite)	4	8
7	Parallel Parking along Central Drive	0	8
8	North Service Area	6	22
Totals		421	467



SCALE 1 INCH = 40 FEET
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Addition and Remodel
McMinnville School District
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key plan

phase LAND USE

date 10/07/16

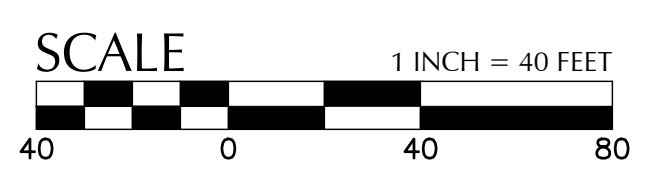
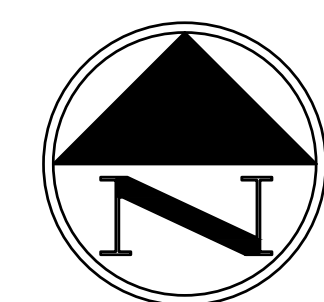
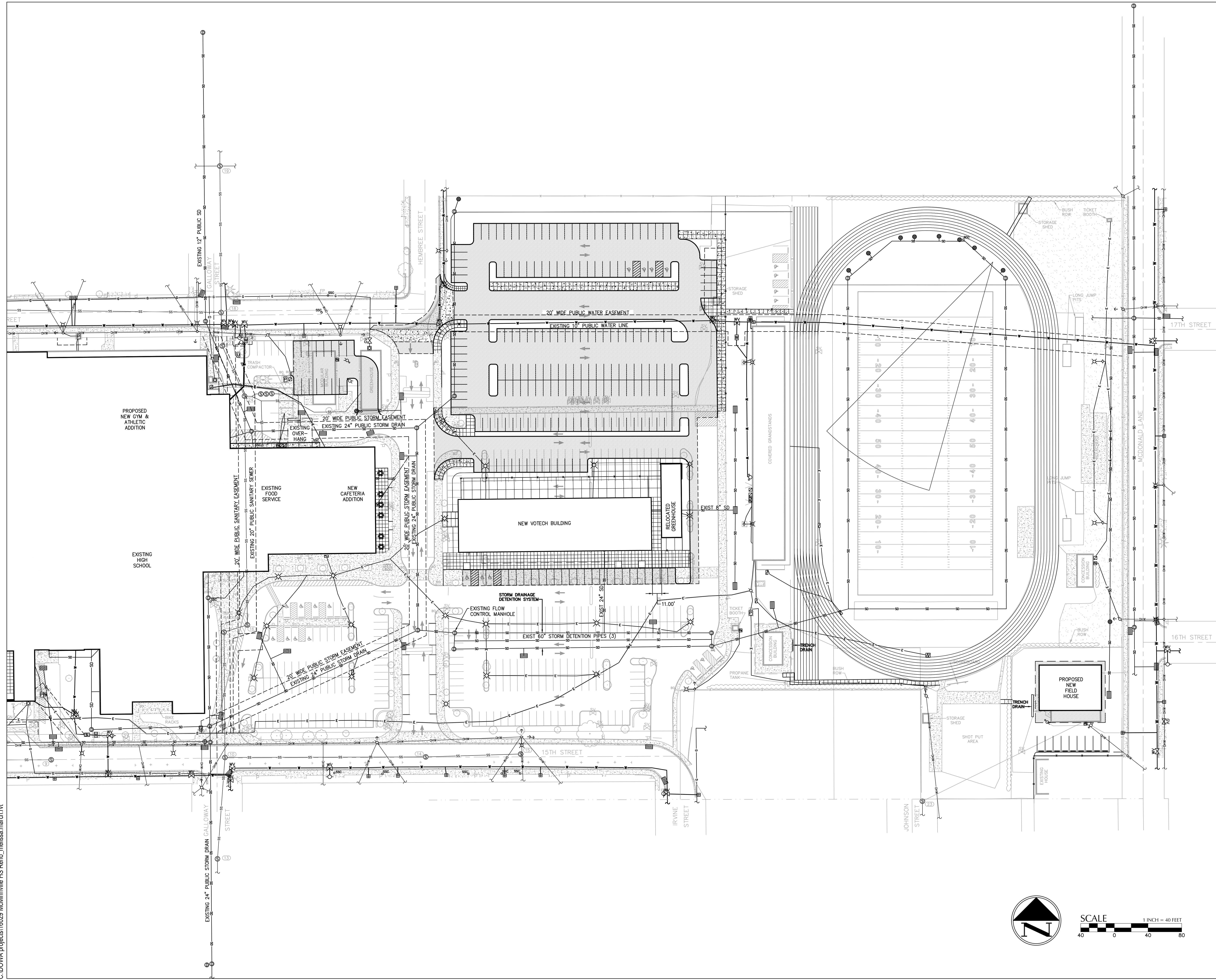
revisions

project # 16029

EXISTING UTILITY & EASEMENTS

LU4.01

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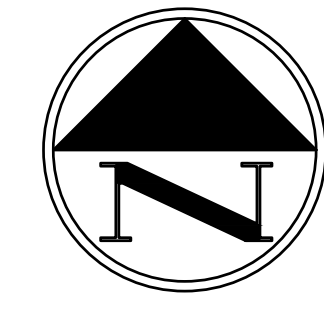
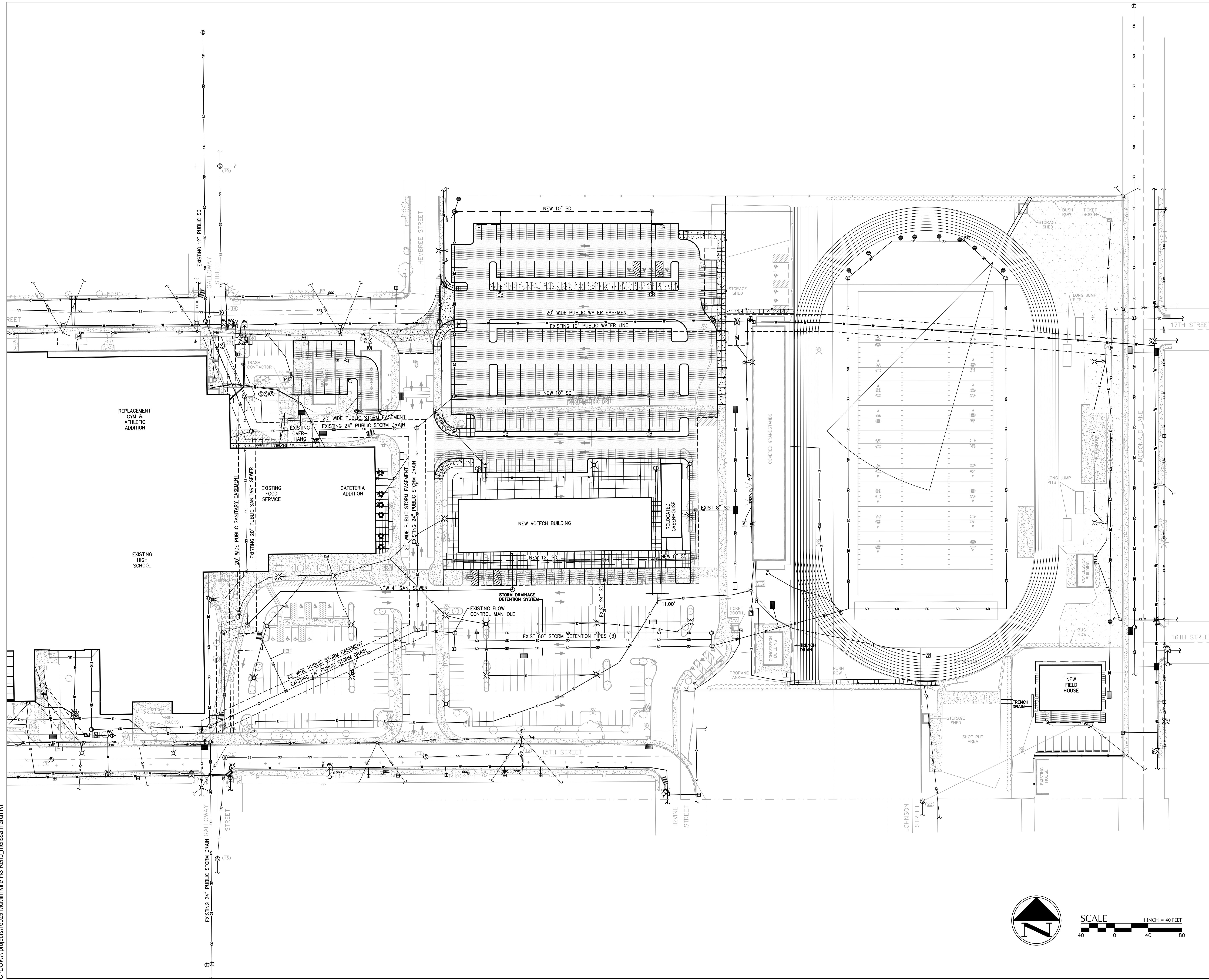


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McMinnville School District
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key plan	
phase	LAND USE
date	10/07/16
revisions	
project #	16029
PROPOSED UTILITY & EASEMENTS	
LU5.01	



SCALE
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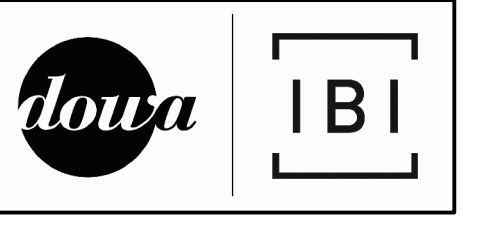
Label	CalcType	Units	Avg	Max	Min	Avg/Min
East Drive Aisle	ILLUMINANCE	Fc	2.30	4.4	1.0	2.30
Existing South Parking Lot	ILLUMINANCE	Fc	3.82	21.9	0.1	38.20
Field House	ILLUMINANCE	Fc	2.44	25.3	0.0	N.A.
North Neighbors	ILLUMINANCE	Fc	0.00	0.0	0.0	N.A.
North Parking Lot	ILLUMINANCE	Fc	1.39	3.6	0.0	N.A.
North VoTech Parking	ILLUMINANCE	Fc	2.50	5.0	1.0	2.50
North-South Drive Aisle	ILLUMINANCE	Fc	1.46	3.0	0.8	1.83
Northwest Drive Aisle	ILLUMINANCE	Fc	0.74	2.3	0.0	N.A.
Northwest Parking Lot	ILLUMINANCE	Fc	1.51	2.5	0.7	2.16
Northwest Streets	ILLUMINANCE	Fc	0.20	0.6	0.0	N.A.
West Road	ILLUMINANCE	Fc	0.05	0.8	0.0	N.A.

LUMINAIRES:

- A. TYPE 'SA': TYPE V, 4,000K, 16,962 LUMENS LED, 137 WATTS. SOURCE HEIGHT: 25 FEET.
- B. TYPE 'SA1': RELOCATED EXISTING POLE AND HEAD, RETROFIT WITH NEW LED BOARD MATCHING TYPE 'SA'.
- C. TYPE 'SB': TYPE III, 4,000K, 15,964 LUMENS LED, 137 WATTS. SOURCE HEIGHT: 25 FEET.
- D. TYPE 'SB1': RELOCATED EXISTING POLE AND HEAD, RETROFIT WITH NEW LED BOARD MATCHING TYPE 'SB'.
- E. TYPE 'SC': TYPE III, 4,000K, 7,981 LUMENS LED, 69 WATTS. SOURCE HEIGHT: 15 FEET.
- F. TYPE 'SC1': TYPE IV, 4,000K, 7,924 LUMENS LED, 69 WATTS. SOURCE HEIGHT: 15 FEET.
- G. TYPE 'SD': 4,000K, 2,000 LUMENS LED, 23 WATTS. SOURCE HEIGHT: 10.5 FEET.



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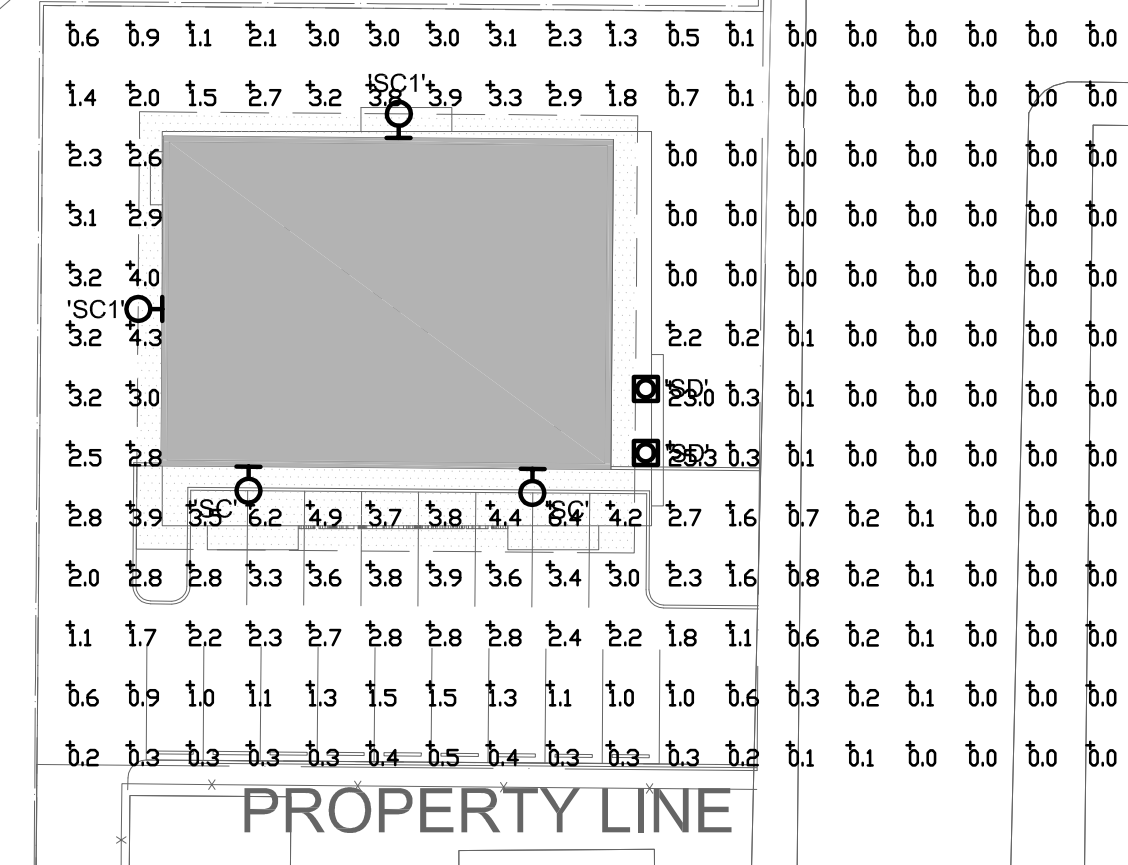
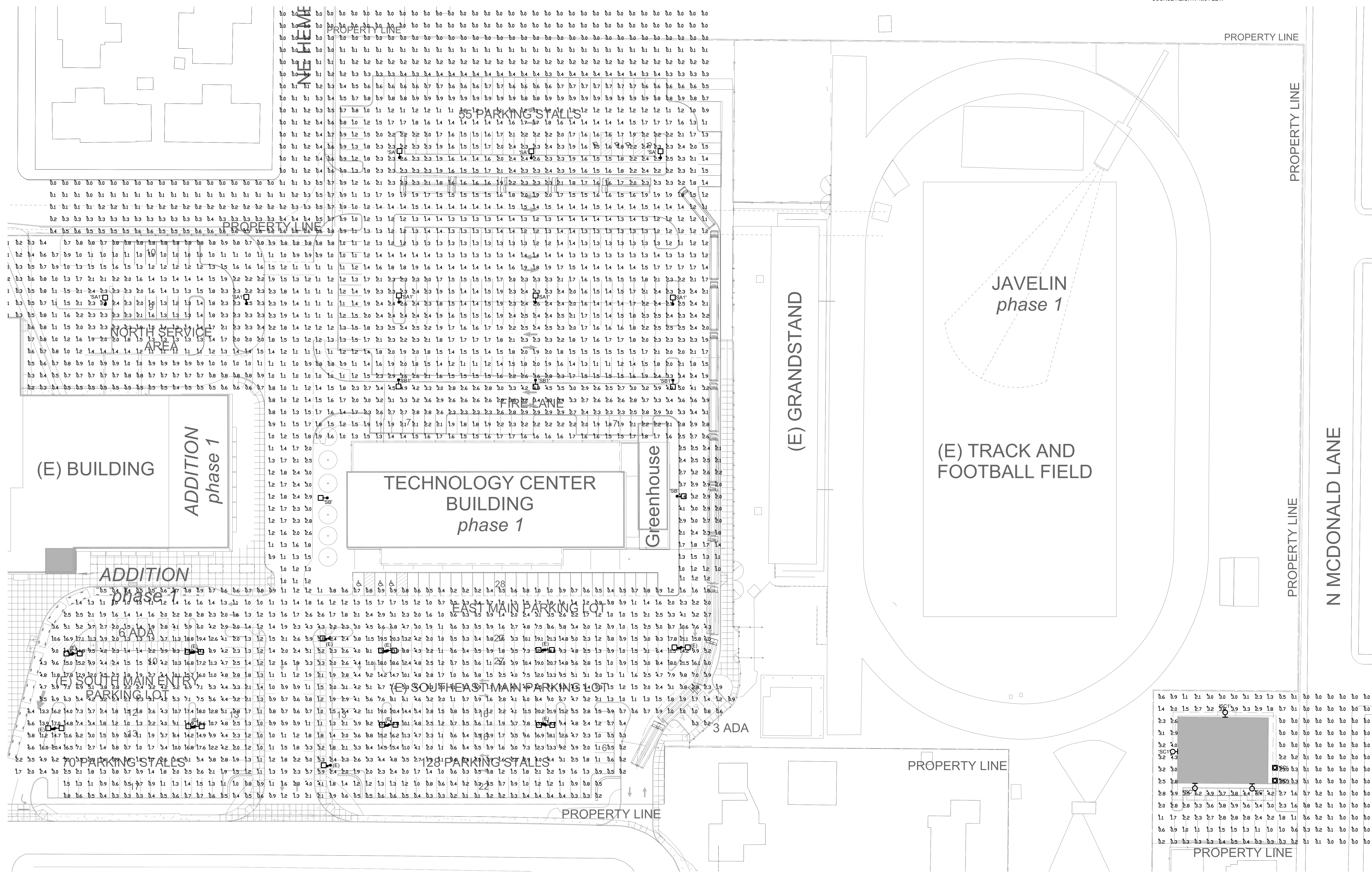


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1 PARTIAL SITE PLAN - PHOTOMETRIC CALCULATIONS
 SCALE: 1/32"=1'-0"

PROJECT 2016-0347
 CONTACT Kristine Leavens
INTERFACE ENGINEERING
 100 SW Main Street
 Suite 1600
 Portland, OR 97204
 TEL: 503.382.2266
 FAX: 503.382.2262
 www.interfaceeng.com

project # 16029
PARTIAL SITE PLAN - PHOTOMETRIC CALCULATIONS
E100



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key plan

phase	LAND USE
date	09/30/16
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project # 16029

PARTIAL SITE PLAN - ELECTRICAL

E101

PROJECT 2016-0347
CONTACT Kristine Leavens
INTERFACE ENGINEERING
100 SW Main Street
Suite 1600
Portland, OR 97204
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SHEET KEYNOTES

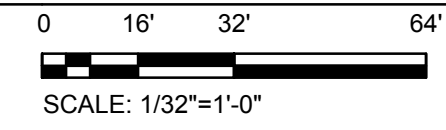
- 1 SPORTS LIGHTING FOR PRACTICE FIELDS, LED. DESIGN, QUANTITY AND LOCATIONS TO BE DETERMINED.

NE EVANS STREET

PROPERTY LINE

PROPERTY LINE

1 PARTIAL SITE PLAN - ELECTRICAL



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