

Exhibit A Property Descriptions

Yamhill County Parcel Information



First American Title

Parcel Information

Parcel #: R441800200

Account: 145239

Related:

Site Address:

McMinnville, OR 97128

Owner: Baker Creek Development LLC

Owner2:

Owner Address: 485 S State St

Lake Oswego, OR 97034

Phone:

Twn/Range/Section: T: 04S R: 04W S: 18 Q:

Parcel Size: 7.82 Acres (340,639 SF)

Plat/Subdivision:

Lot:

Block:

Map Page/Grid: 770-E3

Census Tract/Block: 030701/2003

Waterfront:

Land

Cnty Land Use: 540 - Farm - Unzoned farm land - Vacant

Land Use Std: VAGR - VACANT AGRICULTURE/RURAL

Neighborhood: D005

Watershed: Yamhill River

Cnty Bldg Use: -

Zoning: R-1 - Single Family Residential

Recreation: -

School District: 40

Improvement

Year Built: 0

Attic Fin/Unfin: 0 / 0 SF

Foundation:

Bedrooms: 0

Bathrooms: 0.00

Roof Covering:

Bldg Fin: 0 SF

Bsmt Fin/Unfin: 0 / 0 SF

Garage: 0 SF

1st Floor: 0 SF

2nd Floor: 0 SF

Ext Walls:

A/C: No

FirePlace: 0

Heat Type:

Transfer Information

Rec. Date: 1/15/2016	Sale Price: \$5,800,000.00	Doc Num: 2016/557	Doc Type: BS
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Yamhill County Parcel Information



First American Title

Parcel Information

Parcel #: R441800203

Account: 532606

Related:

Site Address:

McMinnville, OR 97128

Owner: Baker Creek Development LLC

Owner2:

Owner Address: 485 S State St

Lake Oswego, OR 97034

Phone:

Twn/Range/Section: T: 04S R: 04W S: 18 Q:

Parcel Size: 13.49 Acres (587,624 SF)

Plat/Subdivision:

Lot:

Block:

Map Page/Grid: 770-E3

Census Tract/Block: 030701/2003

Waterfront:

Land

Cnty Land Use: 540 - Farm - Unzoned farm land - Vacant

Land Use Std: VAGR - VACANT AGRICULTURE/RURAL

Neighborhood: I005

Watershed: Yamhill River

Cnty Bldg Use: -

Zoning: R-1 - Single Family Residential

Recreation: -

School District: 40

Improvement

Year Built: 0

Attic Fin/Unfin: 0 / 0 SF

Foundation:

Bedrooms: 0

Bathrooms: 0.00

Roof Covering:

Bldg Fin: 0 SF

Bsmt Fin/Unfin: 0 / 0 SF

Garage: 0 SF

1st Floor: 0 SF

2nd Floor: 0 SF

Ext Walls:

A/C: No

FirePlace: 0

Heat Type:

Transfer Information

Rec. Date:	01/15/16	Sale Price:	\$5,800,000	Doc Num:	2016/557	Doc Type:	
Orig Loan Amt:							
Loan Type:		Finance Type:		Lender:			

Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Yamhill County Parcel Information



First American Title

Parcel Information

Parcel #: R441800205

Account: 545578

Related:

Site Address:

McMinnville, OR 97128

Owner: Baker Creek Development LLC

Owner2:

Owner Address: 485 S State St
Lake Oswego, OR 97034

Phone:

Twn/Range/Section: T: 04S R: 04W S: 18 Q:

Parcel Size: 23.00 Acres (1,001,880 SF)

Plat/Subdivision:

Lot:

Block:

Map Page/Grid: 770-F3

Census Tract/Block: 030701/2003

Waterfront:

Land

Cnty Land Use: 500 - Farm - Vacant

Land Use Std: VAGR - VACANT AGRICULTURE/RURAL

Neighborhood: I005

Watershed: Yamhill River

Cnty Bldg Use: -

Zoning: EF-80 - Exclusive Farm Use Dist. 80Ac Min

Recreation: -

School District: 40

Improvement

Year Built: 0

Attic Fin/Unfin: 0 / 0 SF

Foundation:

Bedrooms: 0

Bathrooms: 0.00

Roof Covering:

Bldg Fin: 0 SF

Bsmt Fin/Unfin: 0 / 0 SF

Garage: 0 SF

1st Floor: 0 SF

2nd Floor: 0 SF

Ext Walls:

A/C: No

FirePlace: 0

Heat Type:

Transfer Information

Rec. Date: 1/15/2016	Sale Price: \$5,800,000.00	Doc Num: 2016/557	Doc Type: BS
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Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.



After recording return to:
Baker Creek Development LLC
485 S. State St
Lake Oswego, OR 97034

Until a change is requested all tax
statements shall be sent to the
following address:
Baker Creek Development LLC
485 S. State St
Lake Oswego, OR 97034

File No.: 1031-2452031 (JLW)
Date: January 05, 2016

FIRST AMERICAN TITLE 2452031

THIS SPACE RESERVED FOR RECORDER'S USE

Yamhill County Official Records **201600557**
DMR-DDMR
Stn=12 CONFIRM **01/15/2016 11:38:19 AM**
10Pgs \$50.00 \$11.00 \$5.00 \$20.00 **\$86.00**

I, Brian Van Bergen, County Clerk for Yamhill County, Oregon, certify
that the instrument identified herein was recorded in the Clerk
records.

Brian Van Bergen - County Clerk

STATUTORY BARGAIN AND SALE DEED

Bankruptcy Estate of Berjac of Oregon, acting by and through Thomas A. Huntsberger, Chapter 7 Bankruptcy Trustee, Oregon bankruptcy case number 12-63884-tmr7, Grantor, conveys to **Baker Creek Development LLC, an Oregon limited liability company, Grantee,** the following described real property:

See Legal Description attached hereto as Exhibit A and by this reference incorporated herein.

Subject to: See Exhibit B attached hereto and by this reference incorporated herein.

The true consideration for this conveyance is [REDACTED] (Here comply with requirements of ORS 93.030)

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

EXHIBIT A

LEGAL DESCRIPTION: Real property in the County of Yamhill, State of Oregon, described as follows:

PARCEL 1:

A tract of land in Section 7, Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon, described as follows:

Beginning at the Southwest corner of the James O. Henderson Donation Land Claim in said Township and Range; thence South 89°37' East 1752.73 feet along the South line of said Henderson Donation Land Claim to the Southeast corner of that tract of land conveyed from Manning to McDaniel by deed recorded in Film Volume 51, Page 573, Deed and Mortgage Records; thence North 00°24'50" East 470 feet, more or less, along the East line of said McDaniel tract to the centerline of Baker Creek; thence Southwesterly 1650 feet, more or less, along said centerline to a point that bears North 89°21' East from an iron rod set in CSP-8883; thence leaving said centerline South 89°21' West 70 feet, more or less, to said iron rod; thence South 89°21' West 386.43 feet to an iron rod; thence South 89°21' West 29.90 feet to the West line of said Henderson Donation Land Claim; thence South 00°25'30" West 206.71 feet to the point of beginning.

PARCEL 2:**Tract 1**

All that portion of the following described tract lying North of Baker Creek Road: Commencing at the Northeast corner of Section 18, Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon, which place of beginning is also the Northeast corner of the T.J. Shadden Donation Land Claim; thence South 39.30 chains; thence West 38.16 chains to the center of the County Road; thence North 39.31 chains to the Northwest corner of the lands formerly owned by William L. Toney as described in deed recorded in Volume "W", Page 20, Yamhill County Deed Records, said corner being also on the North line of Section 18; thence East 38.16 chains to the place of beginning.

EXCEPTING THEREFROM that portion conveyed to the City of McMinnville, a municipal corporation of the State of Oregon, acting by and through its Water and Light Commission by deed recorded March 31, 1977 in Film Volume 119, Page 241, and by deed recorded May 1, 2002 in Instrument No. 200208810, Deed and Mortgage Records of Yamhill County, Oregon.

ALSO EXCEPTING a parcel of land located in the T.J. Shadden Certificate Claim No. 18 in the Northeast Quarter of Section 18, in Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon that is more particularly described as follows:

Beginning at a 5/8 inch iron rod on the East section line of Section 18, said iron rod being South 00°08'00" East 716.65 feet from the Northeast corner of Section 18, Township 4

South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon; thence South 89°52'00" West 323.00 feet to a 5/8 inch iron rod; thence South 00°08'00" East 725.16 feet, more or less, to the North line of Baker Creek Road; thence South 84°16'23" East along said North line 324.69 feet, more or less, to the East line of Section 18; thence North 00°08'00" West along said East line 758.31 feet, more or less, to the place of beginning.

FURTHER EXCEPTING those parcels conveyed to VJ-2 Development, Inc., in the following: deed recorded January 28, 1997 as Instrument No. 199701382; deed recorded January 26, 1998 as Instrument No. 199801435; and deed recorded February 5, 1999 as Instrument No. 199902487, Deed and Mortgage Records.

Tract 2

Beginning at a point on the South line of and 17.32 chains West of the Southeast corner of the James O. Henderson Donation Land Claim in Yamhill County, Oregon, Notification No. 1217, Claim No. 86 in Section 7, Township 4 South, Range 4 West of the Willamette Meridian in said County and State, said beginning point being also the Southeast corner of County Survey No. 2111; thence North 00°55' West following the East line of said County Survey No. 2111, 31.877 chains to stake set on the South line of a certain 30 foot roadway, which roadway is described in deed recorded in Film Volume 108, Page 507 of Deed Records in said County; thence South 84°16' West along the South line of said roadway, 7.5777 chains to an angle in said roadway; thence South 54°11' West along the South line of said roadway, 8.90 chains; thence South 25.734 chains to the South line of said James O. Henderson Donation Land Claim; thence South 89°21' East, 15.267 chains to the place of beginning.

EXCEPT THEREFROM that tract of land conveyed to Willard L. Cushing and Malcolm F. Marsh, trustee, by deed recorded July 5, 1973 in Film Volume 95, Page 232, Deed and Mortgage Records.

PARCEL 3:

Tract 1

Beginning at a point on the West line of that tract of land described in Volume 186, Page 137, Deed Records for Yamhill County, Oregon, which bears South 00°08'00" East 691.80 feet and South 89°52'00" West 323.00 feet and South 00°08'00" East 104.35 feet from the brass cap at the Northeast corner of the T.J. Shadden Donation Land Claim, said Donation Land Claim corner is also the Northeast corner of Section 18, Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon; thence North 84°07'51" West parallel to Baker Creek Road a distance of 142.88 feet to the TRUE POINT OF BEGINNING; thence continuing North 84°07'51" West 634.42 feet; thence North 00°08'00" West parallel to the East line of said Section 18 a distance of 730.86 feet to the North line of said Section 18; thence South 89°17'50" East along said North line a distance of 631.01 feet to a point which bears North 89°17'50" West 465.15 feet from the said Northeast corner of Section 18; thence South 00°08'00" East parallel to the said East line of said Section 18 a distance of 788.00 feet to the true point of beginning.

Tract 2:

Beginning at a point on the West line of that tract of land described in Volume 186, Page 137, Deed Records, which bears South 00°08'00" East 691.80 feet and South 89°52'00" West 323.00 feet and South 00°08'00" East 104.35 feet from the brass cap at the Northeast corner of the T.J. Shadden Donation Land Claim, said Donation Land Claim corner is also the Northeast corner of Section 18, Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon; thence North 84°07'51" West parallel to Baker Creek Road a distance of 777.31 feet to the TRUE POINT OF BEGINNING; thence continuing North 84°07'51" West 197.85 feet; thence North 00°08'00" West 713.04 feet to a point on the North line of said Section 18; thence South 89°17'50" East along said North line a distance of 196.79 feet to a point which bears North 89°17'50" West 1096.16 feet from said Northeast corner of Section 18; thence South 00°08'00" East 730.86 feet to the true point of beginning.

PARCEL 4:

Beginning at a brass cap at the Northeast corner of T.J. Shadden Donation Land Claim, said Donation Land Claim corner is also the Northeast corner of Section 18, Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon; thence South 00°08'00" East 691.80 feet along the East line of said Section 18 to the Northeast corner of that tract of land described in Volume 186, Page 137, Deed Records; thence South 89°52'00" West along the North line of said tract of land 323.00 feet to the Northwest corner thereof; thence South 00°08'00" East along the West line of said tract 104.35 feet; thence North 84°07'51" West parallel to Baker Creek Road a distance of 142.88 feet; thence North 00°08'00" West parallel to said East line of said Section 18, a distance of 788.00 feet to a point on the North line of said Section 18; thence South 89°17'50" East along said North line a distance of 465.15 feet to the point of beginning.

PARCEL 5:

Beginning at a point on the West line of that tract of land described in Volume 186, Page 137, Deed Records of Yamhill County, Oregon which bears South 00°08'00" East 691.80 feet and South 89°52'00" West 323.00 feet and South 00°08'00" East 104.35 feet from the brass cap at the Northeast corner of the T.J. Shadden Donation Land Claim, said Donation Land Claim corner is also the Northeast corner of Section 18, Township 4 South, Range 4 West of the Willamette Meridian in said Yamhill County; thence South 00°08'00" East along the said West line of said Volume and Page a distance of 619.84 feet to a point on the North right-of-way of Baker Creek Road, said point being 30.00 feet Northerly of the centerline of the road when measured at right angles; thence North 84°07'51" West along said North right-of-way a distance of 777.31 feet; thence North 00°08'00" West parallel with said West line of said Volume 186, Page 137 a distance of 619.84 feet; thence South 84°07'51" East parallel with said Baker Creek Road a distance of 777.31 feet to the point of beginning.

PARCEL 6:

A tract of land in Section 18, Township 4 South, Range 4 West, Yamhill County, Oregon, being Parcel 1 of that tract land described in deed from Frances J. Collier to VJ-2 Development, Inc. and recorded in Instrument No. 199806909, Yamhill County Deed

Records, and a portion of that tract of land described in deed from Emmerson J. Collier and Frances J. Collier to VJ-2 Development, Inc. and recorded in Instrument No. 199620926, Yamhill County Deed Records, and being more particularly described as follows:

Beginning on the South line of said VJ-2 Development, Inc. tract at the Southwest corner of Lot 97B of SHADDEN CLAIM SECOND ADDITION; thence North 84°07'51" West 774.08 feet along the South line of said tract to the East margin of Hill Road (30' from centerline); thence North 00°18'08" East 752.42 feet along said East margin to the Southerly margin of Baker Creek Road; thence South 84°07'51" East 771.93 feet to the Northwest corner of SHADDEN CLAIM SECOND ADDITION; thence South 00°02'49" West 116.05 feet along the West line of SHADDEN CLAIM SECOND ADDITION; thence South 10°35'05" West 50.17 feet along said West line; thence South 00°02'49" West 342.17 feet along said West line to the Northwest corner of Lot 98B of SHADDEN CLAIM SECOND ADDITION; thence South 04°49'35" West 83.58 feet to an iron rod; thence South 84°07'51" East 7.00 feet to the Southwest corner of Lot 98A of SHADDEN CLAIM SECOND ADDITION; thence South 07°22'19" East 61.63 feet along the West line of SHADDEN CLAIM SECOND ADDITION; thence South 00°02'49" West 99.97 feet along said West line to the point of beginning.

PARCEL 7:

A tract of land situated in Section 18, Township 4 South, Range 4 West of the Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

Beginning at the northwest corner of Parcel 1, Partition Plat 2010-07, as platted and recorded in the Yamhill County Book of Partition Plats, said point also being the northeast corner of that property described in that instrument recorded in Instrument No. 1999-24729, Yamhill County Deed Records; thence North 84°07'51" West 66.93 feet along the north line of said property to the TRUE POINT OF BEGINNING of this description; and running thence: South 0°19'40" West 244.41 feet to a point of curvature; thence Southeasterly along the arc of a 250.00-foot radius curve to the left (the chord of which bears South 15°04'49" East 132.85 feet) 134.46 feet to a point of reverse curve; thence Southeasterly along the arc of a 250.00-foot radius curve to the right (the chord of which bears South 15°04'36" East 132.88 feet) 134.49 feet to the southeast corner of last mentioned property; thence North 89°17'50" West 697.85 feet along the south line of said property to a point on the east right of way line of North Hill Road at a perpendicular distance of 30.00 feet from the centerline of said road; thence North 0°18'50" East 556.89 feet along said east right of way line to the northwest corner of said property; thence South 84°07'51" East 630.33 feet along the north line of said property to the TRUE POINT OF BEGINNING.

Subject to and together with the rights and responsibilities set forth in that certain unrecorded Modification Agreement between the City of McMinnville and Grantor executed on November 7, 2014, and relating to street improvements along the easterly line of the subject parcel."

PARCEL 8:

A tract of land situated in Section 18, Township 4 South, Range 4 West of the Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

Beginning at the Southerly-most southwest corner of Parcel 3, Partition Plat 2010-07, as platted and recorded in the Yamhill County Book of Partition Plats; and running thence: North 0°08'00" West 500.05 feet along the west line of said Parcel 3 to an angle corner in said west line; thence South 89°17'50" East 122.06 feet; thence North 0°08'00" West 426.00 feet to a point on the north line of said Parcel 3, said point being the southeast corner of Lot 94B, SHADDEN CLAIM SECOND ADDITION, as platted and recorded in Volume 12, Page 10, Book of Town Plats for Yamhill County, Oregon; thence along the boundary of said Parcel 3 as follows: South 84°07'51" East 100.00 feet; thence South 0°08'00" East 2.78 feet; thence North 89°52'00" East 150.00 feet; thence South 0°08'00" East 8.00 feet; thence North 89°52'00" East 100.00 feet; thence South 0°08'00" East 13.81 feet; thence North 89°52'00" East 155.00 feet; thence South 0°08'00" East 8.00 feet; thence North 89°52'00" East 105.00 feet; thence South 0°08'00" East 18.60 feet; thence North 89°52'00" East 60.00 feet; thence South 84°47'39" East 107.47 feet; thence North 89°52'00" East 107.00 feet; thence South 0°08'00" East 33.29 feet; thence North 89°52'00" East 180.00 feet; thence South 0°08'00" East 836.55 feet; thence North 89°17'50" West 1185.55 feet to the Point of Beginning.

EXHIBIT B

AFFECTING PARCEL 1

- 1. Non-delinquent Taxes, if any.**
- 2. The assessment roll and the tax roll disclose that the within described premises were specially zoned or classified for Farm use. If the land has become or becomes disqualified for such use under the statute, an additional tax or penalty may be imposed. Any assessment of past or future property taxes associated with farm deferral or loss of farm deferral, which are the responsibility of Grantee**
- 3. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.**
- 4. Rights of the public and of governmental bodies in and to that portion of the premises herein described lying below the high water mark of Baker Creek.**
- 5. Governmental rights in connection with flood control and propagation of anadromous fish and public rights of fishing and recreational navigation in and to the water, bed and shoreline of the Baker Creek.**
- 6. Any adverse claim based upon the assertion that some portion of said land has been removed from or brought within the boundaries thereof by an avulsive movement of the Baker Creek or has been formed by the process of accretion or reliction or has been created by artificial means or has accreted to such portion so created.**
- 7. Right to enter and erect, operate, maintain, repair, rebuild and patrol one or more electric power transmission lines and appurtenant signal lines, wires, cables and appliances necessary in connection therewith; together with right to clear said parcel and keep same clear of all brush, timber, structures and fire hazards; right to top, limb, fell and remove all growing trees, dead trees and snags (collectively called 'Danger Trees') which could fall on said line.**

Recorded: September 14, 1964
Recording Information: Film Volume 40, Page 138
Grantee: The United States of America

AFFECTING PARCEL 2

- 8. Non-delinquent Taxes, if any.**
- 9. The assessment roll and the tax roll disclose that the within described premises were specially zoned or classified for Farm use. If the land has become or becomes disqualified for such use under the statute, an additional tax or penalty may be imposed. Any assessment of past or future property taxes associated with farm deferral or loss of farm deferral, which are the responsibility of Grantee**
- 10. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.**
- 11. Rights of the public and of governmental bodies in and to that portion of the premises herein described lying below the high water mark of Baker Creek.**

12. Governmental rights in connection with flood control and propagation of anadromous fish and public rights of fishing and recreational navigation in and to the water, bed and shoreline of the Baker Creek.

13. Any adverse claim based upon the assertion that some portion of said land has been removed from or brought within the boundaries thereof by an avulsive movement of the Baker Creek or has been formed by the process of accretion or reliction or has been created by artificial means or has accreted to such portion so created.

14. Right to enter and erect, operate, maintain, repair, rebuild and patrol one or more electric power transmission lines and appurtenant signal lines, wires, cables and appliances necessary in connection therewith; together with right to clear said parcel and keep same clear of all brush, timber, structures and fire hazards; right to top, limb, fell and remove all growing trees, dead trees and snags (collectively called 'Danger Trees') which could fall on said line.

Recorded: August 12, 1964

Recording Information: Film Volume 39, Page 462

Grantee: The United States of America

15. Right to enter and erect, operate, maintain, repair, rebuild and patrol one or more electric power transmission lines and appurtenant signal lines, wires, cables and appliances necessary in connection therewith; together with right to clear said parcel and keep same clear of all brush, timber, structures and fire hazards; right to top, limb, fell and remove all growing trees, dead trees and snags (collectively called 'Danger Trees') which could fall on said line.

Recorded: October 14, 1964

Recording Information: Film Volume 40, Page 851

Grantee: The United States of America

AFFECTING PARCELS 3 and 4

16. Non-delinquent Taxes, if any.

17. The assessment roll and the tax roll disclose that the within described premises were specially zoned or classified for Farm use. If the land has become or becomes disqualified for such use under the statute, an additional tax or penalty may be imposed. Any assessment of past or future property taxes associated with farm deferral or loss of farm deferral, which are the responsibility of Grantee

AFFECTING PARCELS 5 AND 6

18. Non-delinquent Taxes, if any.

19. The assessment roll and the tax roll disclose that the within described premises were specially zoned or classified for Farm use. If the land has become or becomes disqualified for such use under the statute, an additional tax or penalty may be imposed. Any assessment of past or future property taxes associated with farm deferral or loss of farm deferral, which are the responsibility of Grantee

20. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.

AFFECTING PARCEL 7

21. Non-delinquent Taxes, if any.

22. The assessment roll and the tax roll disclose that the within described premises were specially zoned or classified for Farm use. If the land has become or becomes disqualified for such use under the statute, an additional tax or penalty may be imposed. Any assessment of past or future property taxes associated with farm deferral or loss of farm deferral, which are the responsibility of Grantee

23. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.

24. Easement in deed, including terms and provisions contained therein: Recording Information: November 17, 2014 as Instrument No. 201414419

For: Roadway

And Re-Recorded: May 7, 2015 as Instrument No. 201506187

25. Subject to and together with the rights and responsibilities set forth in that certain unrecorded Modification Agreement between the City of McMinnville and Grantor executed on November 7, 2014, and relating to street improvements along the easterly line of the subject parcel.

AFFECTS PARCEL 8

26. Non-delinquent Taxes, if any.

27. The assessment roll and the tax roll disclose that the within described premises were specially zoned or classified for Farm use. If the land has become or becomes disqualified for such use under the statute, an additional tax or penalty may be imposed. Any assessment of past or future property taxes associated with farm deferral or loss of farm deferral, which are the responsibility of Grantee.

28. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.

29. Easement, including terms and provisions contained therein:

Recording Information: July 23, 1981 in Film Volume 162, Page 1837 In Favor of: City of McMinnville

For: Public utility

Tax Lot R4418-203

PARCEL 6:

A tract of land in Section 18, Township 4 South, Range 4 West, Yamhill County, Oregon, being Parcel 1 of that tract land described in deed from Frances J. Collier to VJ-2 Development, Inc. and recorded in Instrument No. 199806909, Yamhill County Deed Records, and a portion of that tract of land described in deed from Emmerson J. Collier and Frances J. Collier to VJ-2 Development, Inc. and recorded in Instrument No. 199620926, Yamhill County Deed Records, and being more particularly described as follows:

Beginning on the South line of said VJ-2 Development, Inc. tract at the Southwest corner of Lot 97B of SHADDEN CLAIM SECOND ADDITION; thence North $84^{\circ}07'51''$ West 774.08 feet along the South line of said tract to the East margin of Hill Road (30' from centerline); thence North $00^{\circ}18'08''$ East 752.42 feet along said East margin to the Southerly margin of Baker Creek Road; thence South $84^{\circ}07'51''$ East 771.93 feet to the Northwest corner of SHADDEN CLAIM SECOND ADDITION; thence South $00^{\circ}02'49''$ West 116.05 feet along the West line of SHADDEN CLAIM SECOND ADDITION; thence South $10^{\circ}35'05''$ West 50.17 feet along said West line; thence South $00^{\circ}02'49''$ West 342.17 feet along said West line to the Northwest corner of Lot 98B of SHADDEN CLAIM SECOND ADDITION; thence South $04^{\circ}49'35''$ West 83.58 feet to an iron rod; thence South $84^{\circ}07'51''$ East 7.00 feet to the Southwest corner of Lot 98A of SHADDEN CLAIM SECOND ADDITION; thence South $07^{\circ}22'19''$ East 61.63 feet along the West line of SHADDEN CLAIM SECOND ADDITION; thence South $00^{\circ}02'49''$ West 99.97 feet along said West line to the point of beginning.

Tax Lot R4418-200

PARCEL 7:

A tract of land situated in Section 18, Township 4 South, Range 4 West of the Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

Beginning at the northwest corner of Parcel 1, Partition Plat 2010-07, as platted and recorded in the Yamhill County Book of Partition Plats, said point also being the northeast corner of that property described in that instrument recorded in Instrument No. 1999-24729, Yamhill County Deed Records; thence North $84^{\circ}07'51''$ West 66.93 feet along the north line of said property to the TRUE POINT OF BEGINNING of this description; and running thence: South $0^{\circ}19'40''$ West 244.41 feet to a point of curvature; thence Southeasterly along the arc of a 250.00-foot radius curve to the left (the chord of which bears South $15^{\circ}04'49''$ East 132.85 feet) 134.46 feet to a point of reverse curve; thence Southeasterly along the arc of a 250.00-foot radius curve to the right (the chord of which bears South $15^{\circ}04'36''$ East 132.88 feet) 134.49 feet to the southeast corner of last mentioned property; thence North $89^{\circ}17'50''$ West 697.85 feet along the south line of said property to a point on the east right of way line of North Hill Road at a perpendicular distance of 30.00 feet from the centerline of said road; thence North $0^{\circ}18'50''$ East 556.89 feet along said east right of way line to the northwest corner of said property; thence South $84^{\circ}07'51''$ East 630.33 feet along the north line of said property to the TRUE POINT OF BEGINNING.

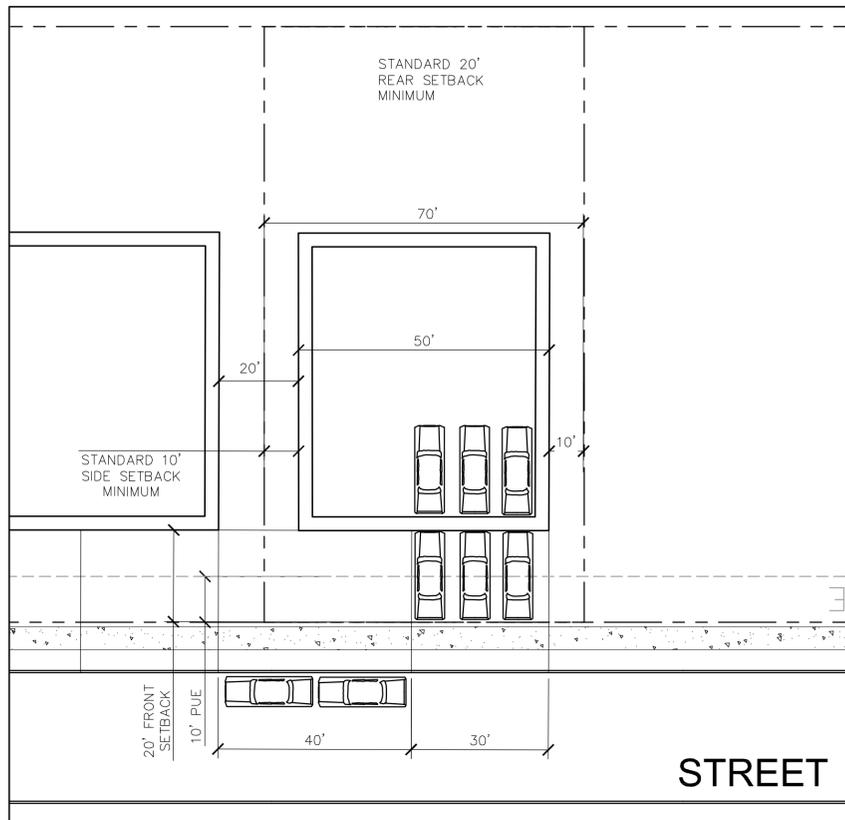
Tax Lot R4418-205

PARCEL 8:

A tract of land situated in Section 18, Township 4 South, Range 4 West of the Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

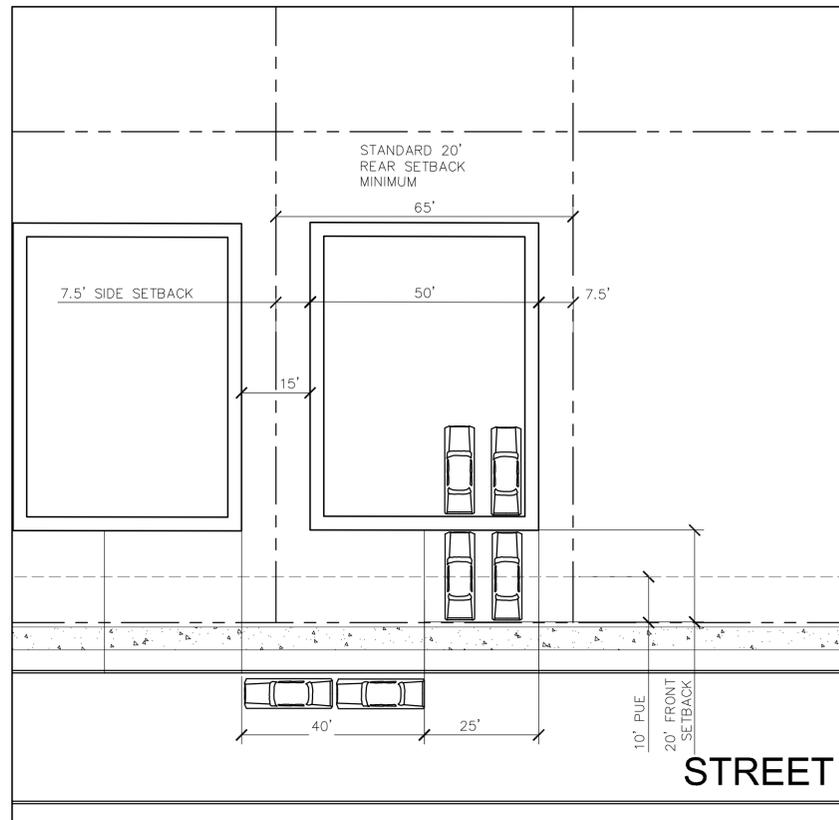
Beginning at the Southerly-most southwest corner of Parcel 3, Partition Plat 2010-07, as platted and recorded in the Yamhill County Book of Partition Plats; and running thence: North 0°08'00" West 500.05 feet along the west line of said Parcel 3 to an angle corner in said west line; thence South 89°17'50" East 122.06 feet; thence North 0°08'00" West 426.00 feet to a point on the north line of said Parcel 3, said point being the southeast corner of Lot 94B, SHADDEN CLAIM SECOND ADDITION, as platted and recorded in Volume 12, Page 10, Book of Town Plats for Yamhill County, Oregon; thence along the boundary of said Parcel 3 as follows: South 84°07'51" East 100.00 feet; thence South 0°08'00" East 2.78 feet; thence North 89°52'00" East 150.00 feet; thence South 0°08'00" East 8.00 feet; thence North 89°52'00" East 100.00 feet; thence South 0°08'00" East 13.81 feet; thence North 89°52'00" East 155.00 feet; thence South 0°08'00" East 8.00 feet; thence North 89°52'00" East 105.00 Feet; thence South 0°08'00" East 18.60 feet; thence North 89°52'00" East 60.00 feet; thence South 84°47'39" East 107.47 feet; thence North 89°52'00" East 107.00 feet; thence South 0°08'00" East 33.29 feet; thence North 89°52'00" East 180.00 feet; thence South 0°08'00" East 836.55 feet; thence North 89°17'50" West 1185.55 feet to the Point of Beginning.

BAKER CREEK EAST



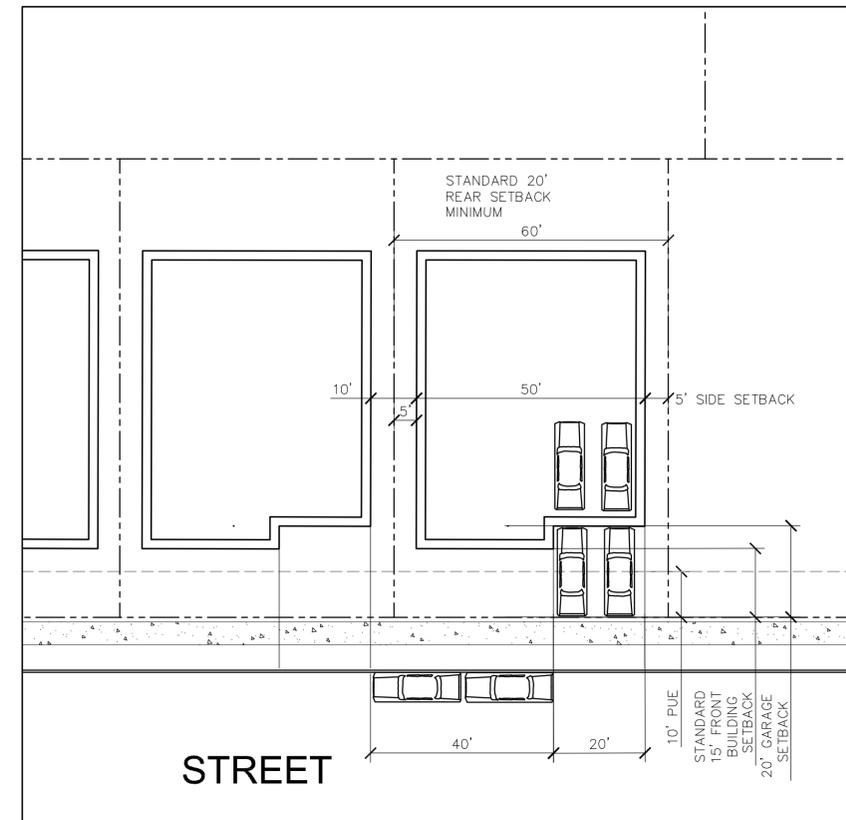
SFD-70
N.T.S.

- STANDARD R-1 LOT



SFD-65
N.T.S.

- 7.5' INTERIOR SIDE SETBACK
- LOT AREA VARIES
- ALL OTHER DIMENSIONS MEET R-1 LOT STANDARDS



SFD-60
N.T.S.

- 5' INTERIOR SIDE SETBACK
- 15' FRONT SETBACK
- LOT AREA VARIES
- ALL OTHER DIMENSIONS MEET R-1 LOT STANDARDS

BAKER CREEK WEST



SFD-40 & SFD-32
N.T.S.

SFD-40

- 5' INTERIOR SIDE SETBACK
- 15' FRONT BUILDING & STREET SIDE SETBACK
- LOT AREA 4,000 SF MINIMUM
- ALL OTHER DIMENSIONS MEET R-1 LOT STANDARDS

SFD-32

- 3' INTERIOR SIDE SETBACK
- 15' FRONT BUILDING & STREET SIDE SETBACK
- LOT AREA 3,200 SF MINIMUM
- ALL OTHER DIMENSIONS MEET R-1 LOT STANDARDS

Exhibit F-2

TABLE A – TYPICAL LOT MIX:		
BAKER CREEK EAST (BCE)	SFD-70	19
	SFD-65	29
	SFD-60	35
TOTAL BCE		83
BAKER CREEK WEST (BCW)	SFD-40	69
	SFD-32	56
	TOTAL BCW	125

VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING 0 IF NOT ONE INCH ON SCALES ACCORDINGLY		1	NO.	DATE	DESCRIPTION	BY	
DATE: MAR 2017		1					
DSN.		1					
DRN.		1					
CKD.		1					
DATE: MAR 2017		1					
REVISIONS							

REVIEW
WILLIAM J. WELLS
PROFESSIONAL ENGINEER
STATE OF OREGON
LICENSE NO. 12,000,000
REVISIONS: 6/20/2018

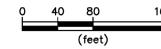
WESTTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 565-2474 Fax: (503) 565-3966
E-mail: westtech@westtech-eng.com

BAKER CREEK DEVELOPMENT, LLC
BAKER CREEK SUBDIVISION
**PLANNED DEVELOPMENT
TYPICAL LOTS**

DRAWING
F-2

JOB NUMBER
2940.0000.0

Exhibit F-3



LEGEND	
EXISTING PARK	
EXISTING PD AREA	
NEW OPEN SPACE	
NEW RESIDENTIAL LOTS	
FUTURE PARK/OPEN SPACE	
FUTURE SCHOOL	
COMMERCIAL	
PLANNED DEVELOPMENT BOUNDARY	

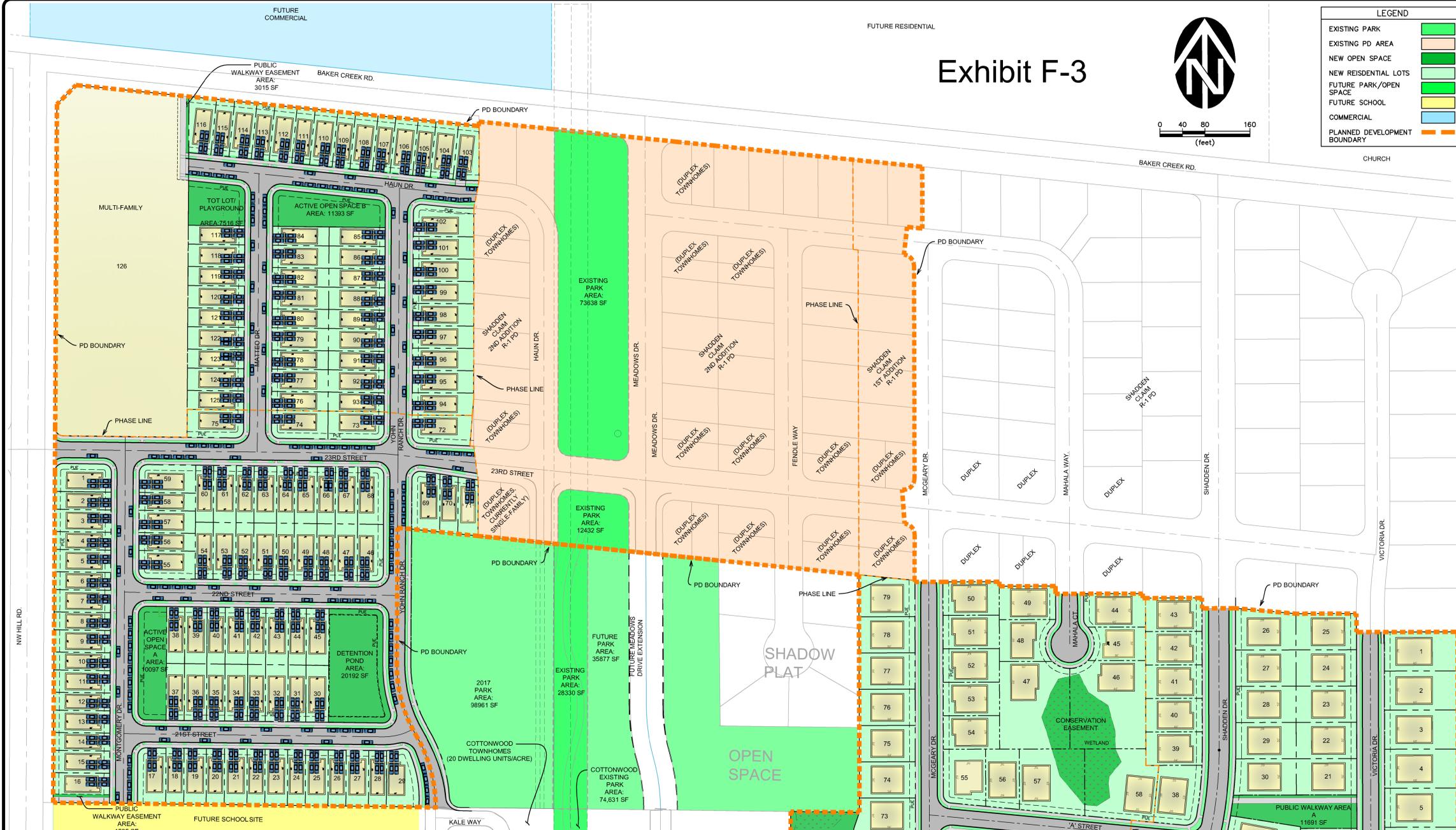


TABLE 1.0	SQUARE FEET
OPEN SPACE SUMMARY	
EXISTING PLANNED DEVELOPMENT AREA (26.65 AC)	1160074
EXISTING PLANNED DEVELOPMENT OPEN SPACE (1.88 AC)	86070
EXISTING PERCENT OPEN SPACE	7.41%
BAKER CREEK WEST (BCW)	
TAX LOT 200	340639
NEW OPEN SPACE BAKER CREEK WEST*	20192
DETENTION POND	10097
ACTIVE OPEN SPACE A	11393
ACTIVE OPEN SPACE B	7516
TOT LOT/PLAYGROUND	49198
BAKER CREEK WEST TOTAL OPEN SPACE	150151.3
SUBTOTAL AREA (EXISTING PD AREA & TAX LOT 200)	9.01%
BAKER CREEK EAST (BCE)	
TAX LOT 205	1002316
NEW OPEN SPACE BAKER CREEK EAST*	11693
PUBLIC WALKWAY AREA A	16909
DETENTION POND B	8206
ACTIVE OPEN SPACE AREA B	6150
DETENTION POND C	3382
PUBLIC WALKWAY C	49538
PASSIVE OPEN SPACE C (NORTH AND SOUTH)	95920
BAKER CREEK EAST TOTAL OPEN SPACE	9.57%
PERCENT OPEN SPACE IN AMENDED PLANNED DEVELOPMENT	1342955
PROPOSED ADDED LAND TO EXISTING PLANNED DEVELOPMENT (30.83 AC)	2503829
TOTAL AMENDED PLANNED DEVELOPMENT AREA (57.48 AC)	145118
NEW OPEN SPACE AREA IN AMENDED PLANNED DEVELOPMENT (3.32 AC)	231188
TOTAL AMENDED PLANNED DEVELOPMENT OPEN SPACE (5.29 AC)	9.23%
PERCENT OPEN SPACE IN AMENDED PLANNED DEVELOPMENT	1.82%
INCREASE OF OPEN SPACE IN AMENDED PLANNED DEVELOPMENT	115.68%
AMENDED PLANNED DEVELOPMENT DWELLING UNITS PER ACRE*	268.60%
PERCENT CHANGE OF AMENDED PLANNED DEVELOPMENT OPEN SPACE AREA	
PUBLIC WALKWAYS AND WETLAND OPEN SPACE IN EASEMENTS ON LOTS NOT INCLUDED	

TABLE 2.0	
PARKING SUMMARY	
BAKER CREEK WEST (BCW) PHASES 1 & 2	125
SINGLE FAMILY LOTS	250
REQUIRED OFF-STREET SPACES (PER SECTION 17.06.060(A)(5))*	500
OFF-STREET SPACES PROVIDED (4 PER LOT)	139
ON-STREET SPACES PROVIDED (AS SHOWN ON EXHIBIT F)	639
TOTAL PARKING SPACES ADDED IN BAKER CREEK WEST	5,112
PARKING SPACES PER SINGLE FAMILY LOT	83
BAKER CREEK EAST (BCE) PHASES 1 & 2	166
SINGLE FAMILY LOTS	332
REQUIRED OFF-STREET SPACES (PER SECTION 17.06.060(A)(5))	166
OFF-STREET SPACES PROVIDED	498
ON-STREET SPACES PROVIDED (ESTIMATED)	6
TOTAL PARKING SPACES ADDED IN BAKER CREEK EAST (MINIMUM)	5,683
PARKING SPACES PER SINGLE FAMILY LOT	21,050
*MULTI-FAMILY OFF-STREET PARKING PROVIDED AT TIME OF BUILDING PERMIT	
*NO ON-STREET SPACES SHOWN FRONTING MULTI-FAMILY OR CITY PARK LOT	

TABLE 3.0	
DENSITY SUMMARY	
APPROVED PLANNED DEVELOPMENT AREA (ACRES)	26.65
APPROVED DWELLING UNITS AS SHOWN IN EXHIBIT 'D'	47
1ST PHASE (RECORDED AS SHADEN CLAIM 1ST & 2ND ADDITIONS)	45
2ND UNBUILT PHASE (CURRENTLY TAX LOT 203)	79
3RD UNBUILT PHASE (MULTI-FAMILY)	168
TOTAL APPROVED DWELLING UNITS	6,300
APPROVED DWELLING UNITS PER ACRE*	30.83
ADDITIONAL PLANNED DEVELOPMENT AREA (ACRES)	7.82
TAX LOT 205 (ACRES)	23.01
TOTAL AMENDED PLANNED DEVELOPMENT AREA (ACRES)	57.48
AMENDED PLANNED DEVELOPMENT DWELLING UNITS PER ACRE*	5.83
SHADEN CLAIM 1ST/2ND ADDITIONS (EXISTING DWELLING UNITS)	125
BAKER CREEK WEST PROPOSED SINGLE-FAMILY DWELLING UNITS	83
BAKER CREEK EAST PROPOSED SINGLE-FAMILY DWELLING UNITS	70
MULTI-FAMILY DWELLING UNITS	335
TOTAL DWELLING UNITS IN AMENDED PLANNED DEVELOPMENT	336
MAXIMUM TOTAL DWELLING UNITS PER UNDERLYING ZONING	345
MAXIMUM TOTAL DWELLING UNITS PER COMPREHENSIVE PLAN	
*EXCEEDED COMPREHENSIVE PLAN GOAL V 2 POLICY 71.01 OF 6 DU/AC	
*AMENDED PD MEETS GOAL V 2 POLICY 71.01 OF THE COMPREHENSIVE PLAN	

TABLE 4.0	# OF LOTS	NET AREA (SF)	NET DU/AC
NET DENSITY* SUMMARY	83	712,969	8.57
BAKER CREEK WEST (BCE)	57	499,722	6.06
SHADEN CLAIM 1st and 2nd ADDITION	125	509,866	10.68
BAKER CREEK WEST (BCW)	265	1,662,557	6.94
AMENDED PLANNED DEVELOPMENT			
*PER DEFINITION SECTION 17.06.015 - NET DENSITY: WETLANDS & LAND USED FOR STREETS AND INFRASTRUCTURE EXCLUDED			

TABLE 5.0	# OF LOTS	LOT AREA (SF)	MIN (SF)	AVG (SF)	MAX (SF)
LOT SUMMARY					
BAKER CREEK EAST (BCE)					
LOT TYPE	19	208,062	9,096	10,951	19,362
SFD-70	29	215,225	6,463	7,432	12,824
SFD-65	35	290,031	5,683	8,287	21,050
BCW SUBTOTAL	83	713,618	5,683	8,598	21,050
SHADEN CLAIM 1st and 2nd ADDITION (SC 1ST & 2ND ADD.)					
LOT TYPE	33	216,269	6,308	6,554	8,998
ATTACHED SINGLE FAMILY	24	107,383	3,580	4,474	5,629
DETACHED DUPLEX/TOWNHOME	57	323,652	3,580	5,678	7,600
SC 1ST & 2ND ADD. SUBTOTAL					
LOT TYPE	69	294,202	4,000	4,264	5,769
SFD-40	56	186,658	3,200	3,333	4,689
SFD-32	125	480,860	3,200	3,847	5,769
BCW SUBTOTAL	265	1,518,130	3,200	5,729	21,050

TABLE 6.0	AREA (SF)
PASSIVE OPEN SPACE C	18434 SF
PUBLIC WALKWAY AREA C	3353 SF
DETENTION POND C AREA	8150 SF
PASSIVE OPEN SPACE C AREA	30500 SF

TABLE 7.0	AREA (SF)
DETENTION POND A	20192 SF
DETENTION POND B	16909 SF
DETENTION POND C	8150 SF

TABLE 8.0	AREA (SF)
EXISTING PARK AREA	73638 SF
EXISTING PARK AREA	12432 SF
FUTURE PARK AREA	35877 SF
EXISTING PARK AREA	28330 SF
COTTONWOOD EXISTING PARK AREA	74,631 SF

TABLE 9.0	AREA (SF)
PUBLIC WALKWAY EASEMENT AREA	3015 SF
PUBLIC WALKWAY EASEMENT AREA	1525 SF
DETENTION POND AREA	20192 SF
DETENTION POND AREA	20192 SF
DETENTION POND AREA	20192 SF

TABLE 10.0	AREA (SF)
CONSERVATION EASEMENT WETLAND	11891 SF
CONSERVATION EASEMENT WETLAND	11891 SF

TABLE 11.0	AREA (SF)
ACTIVE OPEN SPACE A	11393 SF
ACTIVE OPEN SPACE B	7516 SF
ACTIVE OPEN SPACE C	8280 SF

TABLE 12.0	AREA (SF)
EXISTING PARK AREA	73638 SF
EXISTING PARK AREA	12432 SF
FUTURE PARK AREA	35877 SF
EXISTING PARK AREA	28330 SF
COTTONWOOD EXISTING PARK AREA	74,631 SF

TABLE 13.0	AREA (SF)
PUBLIC WALKWAY EASEMENT AREA	3015 SF
PUBLIC WALKWAY EASEMENT AREA	1525 SF
DETENTION POND AREA	20192 SF
DETENTION POND AREA	20192 SF
DETENTION POND AREA	20192 SF

TABLE 14.0	AREA (SF)
CONSERVATION EASEMENT WETLAND	11891 SF
CONSERVATION EASEMENT WETLAND	11891 SF

TABLE 15.0	AREA (SF)
ACTIVE OPEN SPACE A	11393 SF
ACTIVE OPEN SPACE B	7516 SF
ACTIVE OPEN SPACE C	8280 SF

TABLE 16.0	AREA (SF)
EXISTING PARK AREA	73638 SF
EXISTING PARK AREA	12432 SF
FUTURE PARK AREA	35877 SF
EXISTING PARK AREA	28330 SF
COTTONWOOD EXISTING PARK AREA	74,631 SF



WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
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E-mail: westech@westech-eng.com

BAKER CREEK DEVELOPMENT, LLC
BAKER CREEK SUBDIVISION
OVERALL DEVELOPMENT PLAN

DWG F-3
JOB NUMBER 2940.0000.0

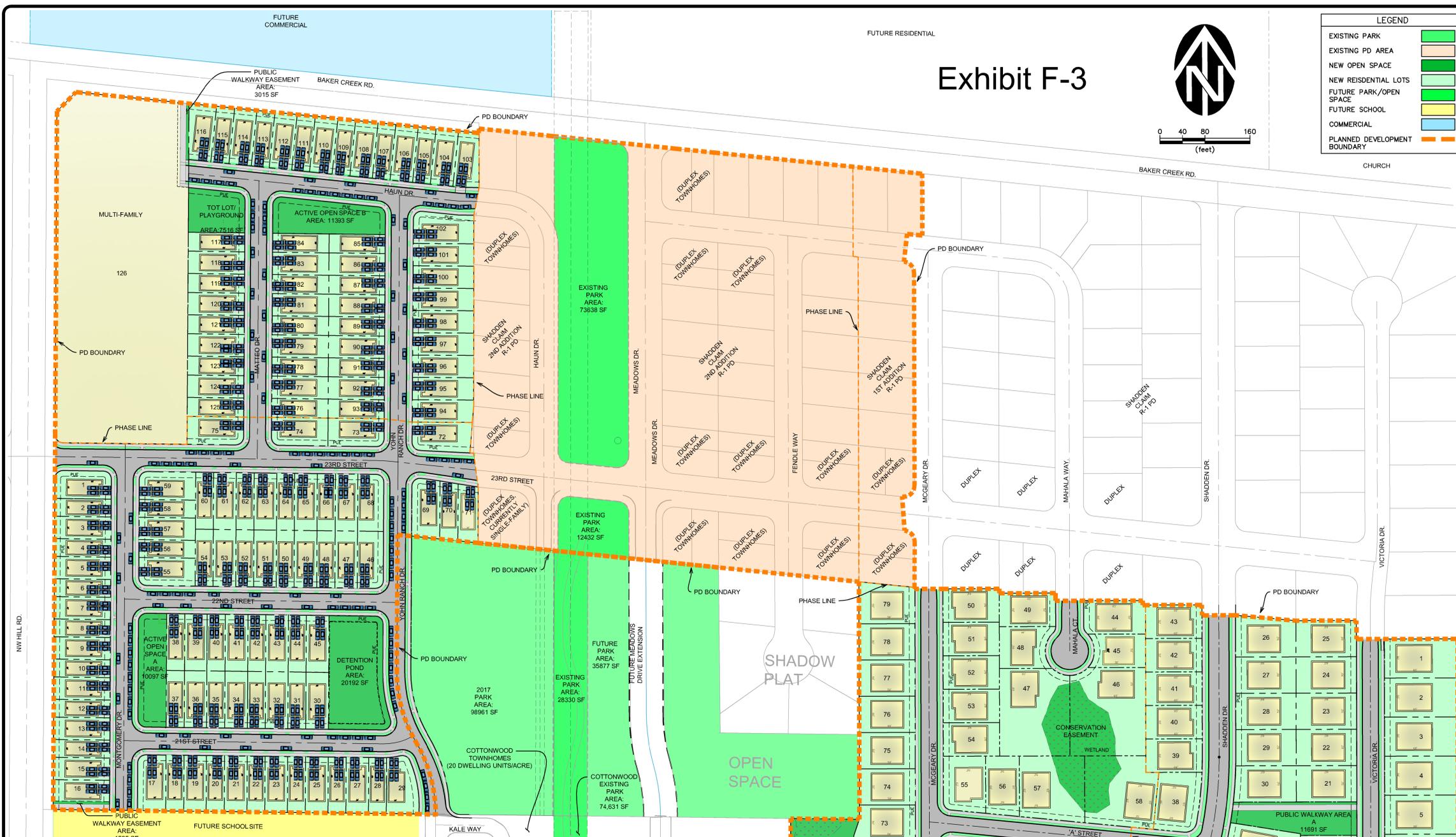
NO.	DATE	DESCRIPTION	BY
1	MAR 2017		

3/29/2017 8:53:03 AM
R:\Town\Stafford\Land\Concepts\Baker Creek\SP - WEST\CONCEPTS\PHASE F-3.dwg (P) - CONCEPT (P)

Exhibit F-3



LEGEND	
EXISTING PARK	
EXISTING PD AREA	
NEW OPEN SPACE	
NEW RESIDENTIAL LOTS	
FUTURE PARK/OPEN SPACE	
FUTURE SCHOOL	
COMMERCIAL	
PLANNED DEVELOPMENT BOUNDARY	



DESCRIPTION	SQUARE FEET
EXISTING PLANNED DEVELOPMENT AREA (26.65 AC)	1160074
EXISTING PLANNED DEVELOPMENT OPEN SPACE (1.88 AC)	86070
EXISTING PERCENT OPEN SPACE	7.41%
BAKER CREEK WEST (BCW)	
TAX LOT 200	340639
NEW OPEN SPACE BAKER CREEK WEST*	20192
DETENTION POND	10097
ACTIVE OPEN SPACE A	11393
ACTIVE OPEN SPACE B	7516
TOT LOT/PLAYGROUND	49198
BAKER CREEK WEST TOTAL OPEN SPACE	150151.3
SUBTOTAL AREA (EXISTING PD AREA & TAX LOT 200)	9.01%
BAKER CREEK EAST (BCE)	
TAX LOT 205	1002316
NEW OPEN SPACE BAKER CREEK EAST*	11691
PUBLIC WALKWAY AREA A	16909
DETENTION POND B	8206
ACTIVE OPEN SPACE AREA B	6150
DETENTION POND C	3382
PUBLIC WALKWAY C	49538
PASSIVE OPEN SPACE C (NORTH AND SOUTH)	95920
BAKER CREEK EAST TOTAL OPEN SPACE	9.57%
PERCENT OPEN SPACE (BCW ONLY)	134295
PROPOSED ADDED LAND TO EXISTING PLANNED DEVELOPMENT (30.83 AC)	2503829
TOTAL AMENDED PLANNED DEVELOPMENT AREA (57.48 AC)	145118
NEW OPEN SPACE AREA IN AMENDED PLANNED DEVELOPMENT (3.32 AC)	231188
TOTAL AMENDED PLANNED DEVELOPMENT OPEN SPACE (5.29 AC)	9.23%
PERCENT OPEN SPACE IN AMENDED PLANNED DEVELOPMENT	1.82%
INCREASE OF OPEN SPACE IN AMENDED PLANNED DEVELOPMENT	115.68%
PERCENT CHANGE OF AMENDED PLANNED DEVELOPMENT AREA	268.60%
PERCENT CHANGE IN AMENDED PLANNED DEVELOPMENT OPEN SPACE AREA	
*PUBLIC WALKWAYS AND WETLAND OPEN SPACE IN EASEMENTS ON LOTS NOT INCLUDED	

DESCRIPTION	#
BAKER CREEK WEST (BCW) PHASES 1 & 2	125
SINGLE FAMILY LOTS	250
REQUIRED OFF-STREET SPACES (PER SECTION 17.06.060(A)(5))*	500
OFF-STREET SPACES PROVIDED (4 PER LOT)	139
ON-STREET SPACES PROVIDED (AS SHOWN ON EXHIBIT F)	639
TOTAL PARKING SPACES ADDED IN BAKER CREEK WEST	5,112
PARKING SPACES PER SINGLE FAMILY LOT	83
BAKER CREEK EAST (BCE) PHASES 1 & 2	166
SINGLE FAMILY LOTS	332
REQUIRED OFF-STREET SPACES (PER SECTION 17.06.060(A)(5))	498
OFF-STREET SPACES PROVIDED	6
ON-STREET SPACES PROVIDED (ESTIMATED)	21,050
TOTAL PARKING SPACES ADDED IN BAKER CREEK EAST (MINIMUM)	21,050
PARKING SPACES PER SINGLE FAMILY LOT	6
*MULTI-FAMILY OFF-STREET PARKING PROVIDED AT TIME OF BUILDING PERMIT	
*NO ON-STREET SPACES SHOWN FRONTING MULTI-FAMILY OR CITY PARK LOT	

DESCRIPTION	ACRES	APPROVED DWELLING UNITS AS SHOWN IN EXHIBIT 'D'
BAKER CREEK WEST (BCW) PHASES 1 & 2	26.65	47
1ST PHASE (RECORDED AS SHADEN CLAIM 1ST & 2ND ADDITIONS)		45
2ND UNBUILT PHASE (CURRENTLY TAX LOT 203)		79
3RD UNBUILT PHASE (MULTI-FAMILY)		168
TOTAL APPROVED DWELLING UNITS		6,300
APPROVED DWELLING UNITS PER ACRE*		30.83
ADDITIONAL PLANNED DEVELOPMENT AREA (ACRES)	7.82	23.01
TAX LOT 205 (ACRES)	37.48	57.48
TOTAL AMENDED PLANNED DEVELOPMENT AREA (ACRES)	5.83	5.83
AMENDED PLANNED DEVELOPMENT DWELLING UNITS PER ACRE*		5.7
SHADEN CLAIM 1ST/2ND ADDITIONS (EXISTING DWELLING UNITS)		125
BAKER CREEK WEST PROPOSED SINGLE-FAMILY DWELLING UNITS		83
BAKER CREEK EAST PROPOSED SINGLE-FAMILY DWELLING UNITS		70
MULTI-FAMILY DWELLING UNITS		335
TOTAL DWELLING UNITS IN AMENDED PLANNED DEVELOPMENT		336
MAXIMUM TOTAL DWELLING UNITS PER UNDERLYING ZONING		345
MAXIMUM TOTAL DWELLING UNITS PER COMPREHENSIVE PLAN		345
*EXCEEDED COMPREHENSIVE PLAN GOAL V 2 POLICY 71.01 OF 6 DU/AC		
*AMENDED PD MEETS GOAL V 2 POLICY 71.01 OF THE COMPREHENSIVE PLAN		

DESCRIPTION	# OF LOTS	NET AREA (SF)	NET DU/AC
BAKER CREEK WEST (BCW)	83	712,969	4.87
SHADEN CLAIM 1st and 2nd ADDITION	57	499,722	6.06
BAKER CREEK WEST (BCW)	125	509,866	10.68
AMENDED PLANNED DEVELOPMENT	265	1,662,557	6.94
*PER DEFINITION SECTION 17.06.015 - NET DENSITY: WETLANDS & LAND USED FOR STREETS AND INFRASTRUCTURE EXCLUDED			

DESCRIPTION	# OF LOTS	LOT AREA (SF)	MIN (SF)	AVG (SF)	MAX (SF)
BAKER CREEK WEST (BCW)	19	208,062	9,096	10,951	19,362
SFD-70	29	215,225	6,463	7,432	12,824
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SHADEN CLAIM 1st and 2nd ADDITION (SC 1ST & 2ND ADD.)	33	216,269	6,308	6,554	8,998
DETACHED SINGLE FAMILY	24	107,383	3,580	4,474	5,629
ATTACHED DUPLEX/TOWNHOME	57	323,652	3,580	5,678	7,600
SC 1ST & 2ND ADD. SUBTOTAL	57	323,652	3,580	5,678	7,600
BAKER CREEK WEST (BCW)	69	294,202	4,000	4,264	5,769
SFD-40	56	186,658	3,200	3,333	4,689
SFD-32	125	480,860	3,200	3,847	5,769
BCW SUBTOTAL	265	1,518,130	3,200	5,729	21,050

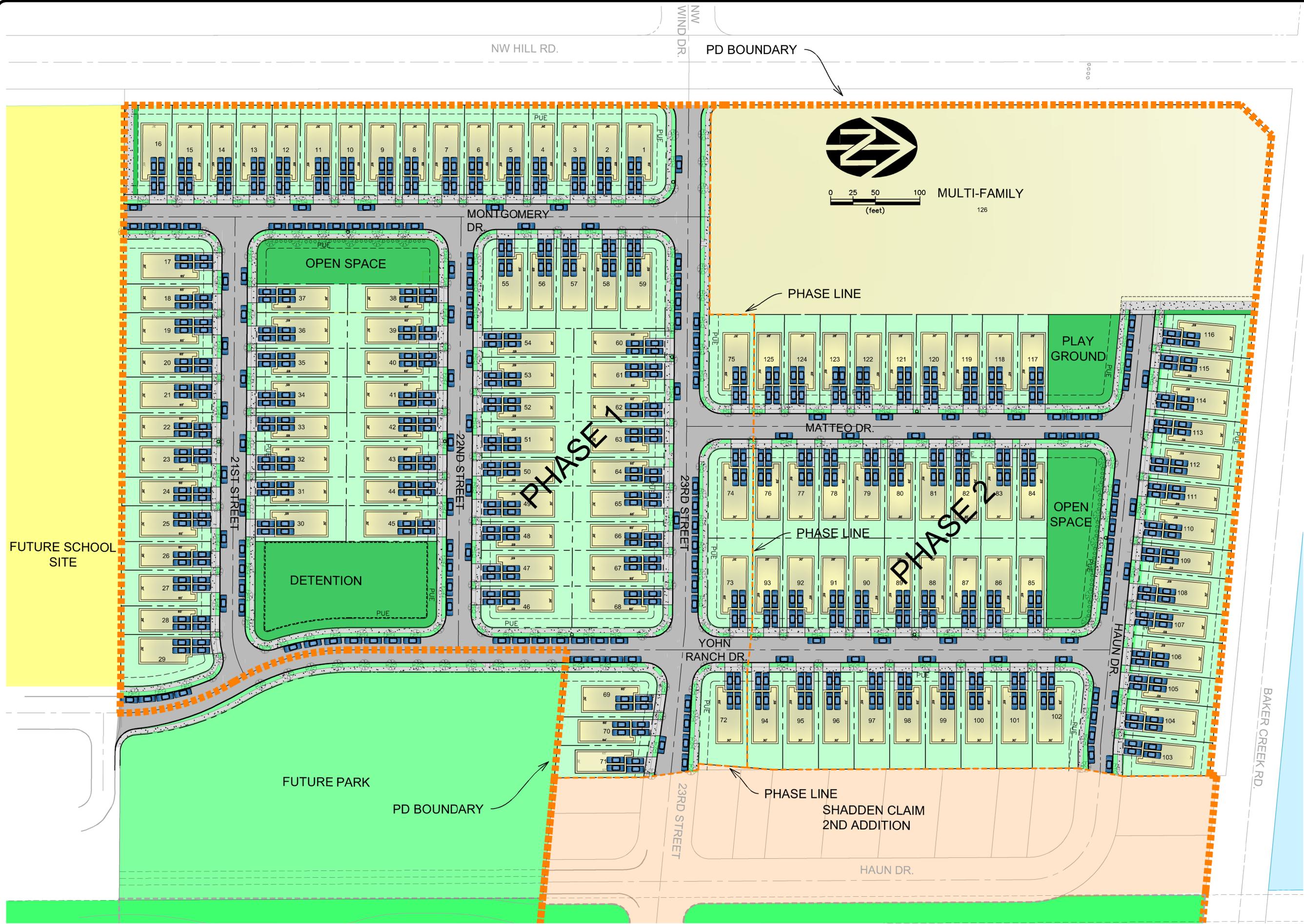
DESCRIPTION	# OF LOTS	LOT AREA (SF)	MIN (SF)	AVG (SF)	MAX (SF)
BAKER CREEK EAST (BCE)	19	208,062	9,096	10,951	19,362
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WESTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS 3841 Fairview Industrial Dr., S.E., Suite 100, Salem, OR 97302 Phone: (503) 582-2474 Fax: (503) 582-3986 E-mail: westech@westech-eng.com	
BAKER CREEK DEVELOPMENT, LLC BAKER CREEK SUBDIVISION OVERALL DEVELOPMENT PLAN	
DWG F-3 JOB NUMBER 2940.0000.0	
DSN: _____ DRN: _____ CNO: _____ DATE: MAR 2017	NO. 1 DATE _____ DESCRIPTION _____ REVISIONS _____

REFER TO FOLLOWING FULL SIZE EXHIBIT AND TABLES

3/29/2017 8:53:03 AM
 R:\Town\Stafford Lund\Company\Baker Creek\BCE - WEST\CONCEPTS\EXHIBIT F-3.dwg (PL - CONCEPT) (PL)

3/29/2017 7:58:31 AM
 R:\Dwg\Stafford Land Company\Baker Creek\BC WEST\CIVIL\PILOTS\EXHIBIT F--2.dwg (OVERFALL WEST tab)



NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
 BAR IS ONE INCH ON
 ORIGINAL DRAWING
 THIS SET. ALL OTHER
 SCALES ACCORDINGLY

1" = 120'

DSN. WJW
 DRN. RGS
 CKD. WJW

DATE: MAR 2017

REVIEW

REGISTERED PROFESSIONAL ENGINEER
 WILLIAM J. WELLS
 No. 12,000,000

WESTTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3986
 E-mail: westtech@westtech-eng.com

BAKER CREEK DEVELOPMENT, LLC
 BAKER CREEK SUBDIVISION

OVERALL SITE - BAKER CREEK WEST

DRAWING
SP-A

JOB NUMBER
 2940.0000.0

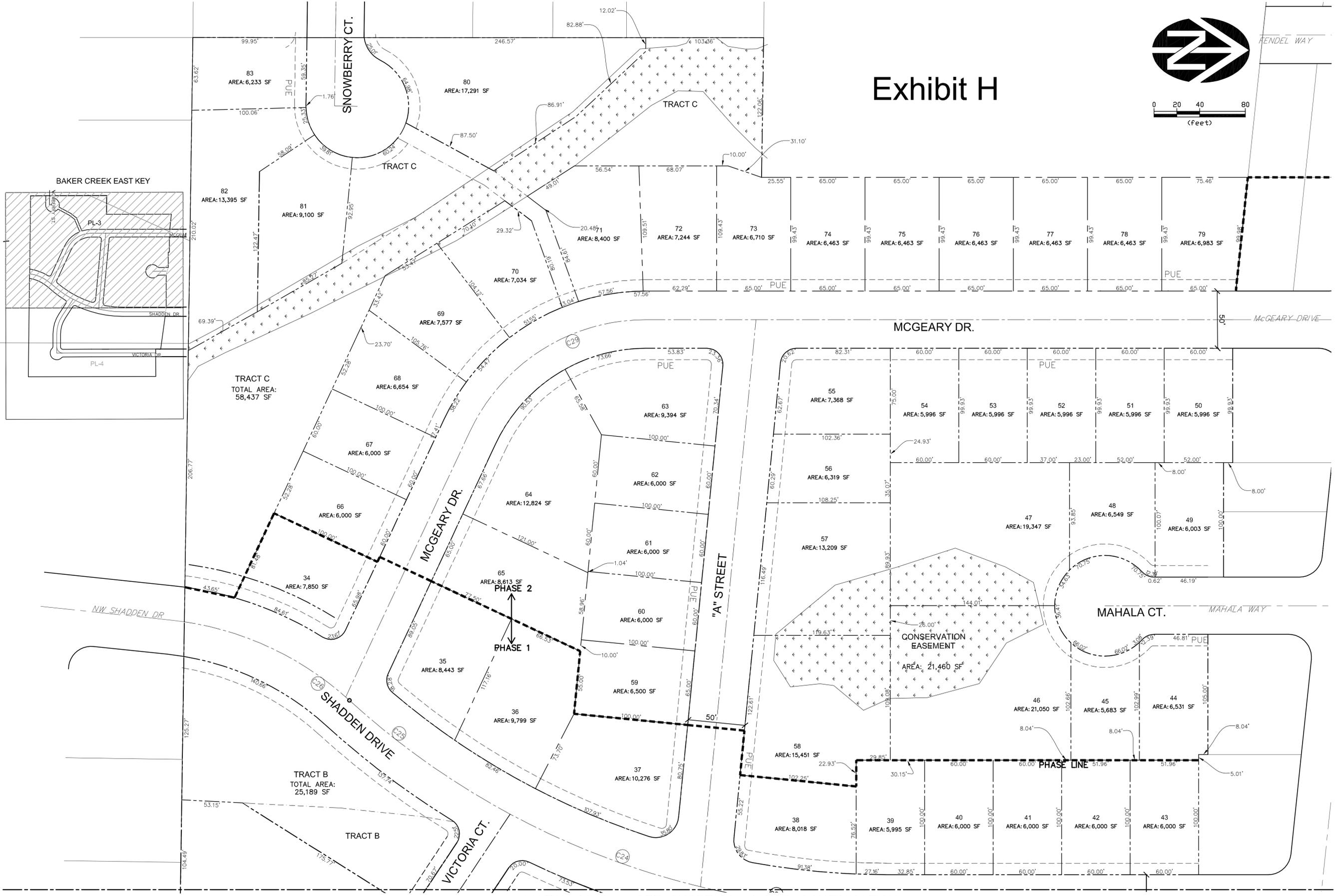
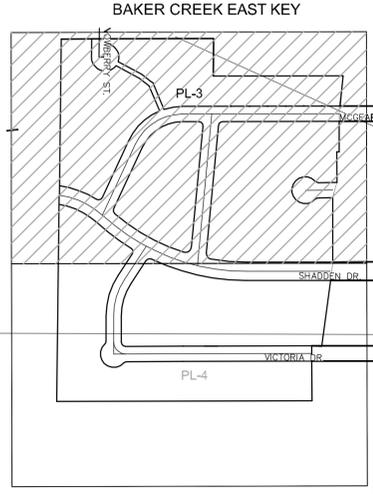
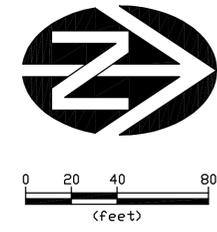


Exhibit H



MATCH LINE - SEE SHEET PL-4 FOR CONTINUATION

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R:\pwa\Stafford Land Company\Baker Creek\BC EAST\PILOTS\PL4-PL5-BC EAST PRELIM PLAT.dwg. (PL-3 tab)

NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
BASED ON ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON SCALE, SCALES ACCURACY

0 1" = 40'

DRN. _____
CKD. _____
DATE: MAR 2017

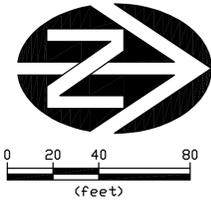
WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 565-2474 Fax: (503) 585-3966
E-mail: westech@westech-eng.com

BAKER CREEK DEVELOPMENT, LLC
BAKER CREEK SUBDIVISION

PRELIMINARY PLAT-EAST

DRAWING
PL-3
JOB NUMBER
2940.0000.0



BAKER CREEK EAST KEY

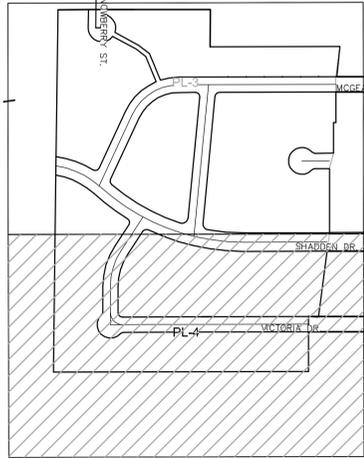


Exhibit H

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BAKER CREEK DEVELOPMENT, LLC
BAKER CREEK SUBDIVISION

PRELIMINARY PLAT-EAST

DRAWING
PL-4
JOB NUMBER
2940.0000.0



WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
Phone: (503) 565-2474 Fax: (503) 565-3966
E-mail: westech@westech-eng.com



REVIEW
WILLIAM J. KELLS
PROFESSIONAL ENGINEER
REG. NO. 12,063
EXPIRES 12/31/2018

NO.	DATE	DESCRIPTION	BY
1	MAR 2017	DATE: MAR 2017	

VERIFY SCALE
BASED ON ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON SCALES ACCORDINGLY



0 25 50 100
(feet)

SHADOW
PLAT

OPEN
SPACE

S89°17'50"E 363.16'

OPEN SPACE

SNOWBERRY
CT.

DETENTION

OPEN SPACE

DETENTION

OPEN SPACE

OPEN SPACE

GOLF COURSE

PD BOUNDARY

PD BOUNDARY

MCGEARY DR.

MAHALACT.

PHASE LINE

CONSERVATION
EASEMENT

PHASE 2

'A' STREET

PHASE LINE

MCGEARY DR.

SHADDEN DR.

WALKWAY

OPEN SPACE

PHASE 7

VICTORIA DR.

- 79
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- 1

3/29/2017 8:00:29 AM
R:\Dwg\Stafford Land Company\Baker Creek\BC WEST\CIVIL\PILOTS\EXHIBIT F--2.dwg. (OVERALL EAST tab)

NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING
0
THIS SCALE IS FOR
THIS SET ONLY. ADJUST
SCALES ACCORDINGLY

1" = 100'

WESTTECH ENGINEERING, INC.
REGISTERED PROFESSIONAL
ENGINEER
WILLIAM J. WELLS
No. 12,000
Expires: 6/30/2016

REVIEW

DATE: MAR 2017

WE

WESTTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr., S.E., Suite 100, Salem, OR 97302
Phone: (503) 585-2474 Fax: (503) 585-3986
E-mail: westtech@westtech-eng.com

BAKER CREEK DEVELOPMENT, LLC
BAKER CREEK SUBDIVISION

OVERALL SITE - BAKER CREEK
EAST

DRAWING
SP-B

JOB NUMBER
2940.0000.0

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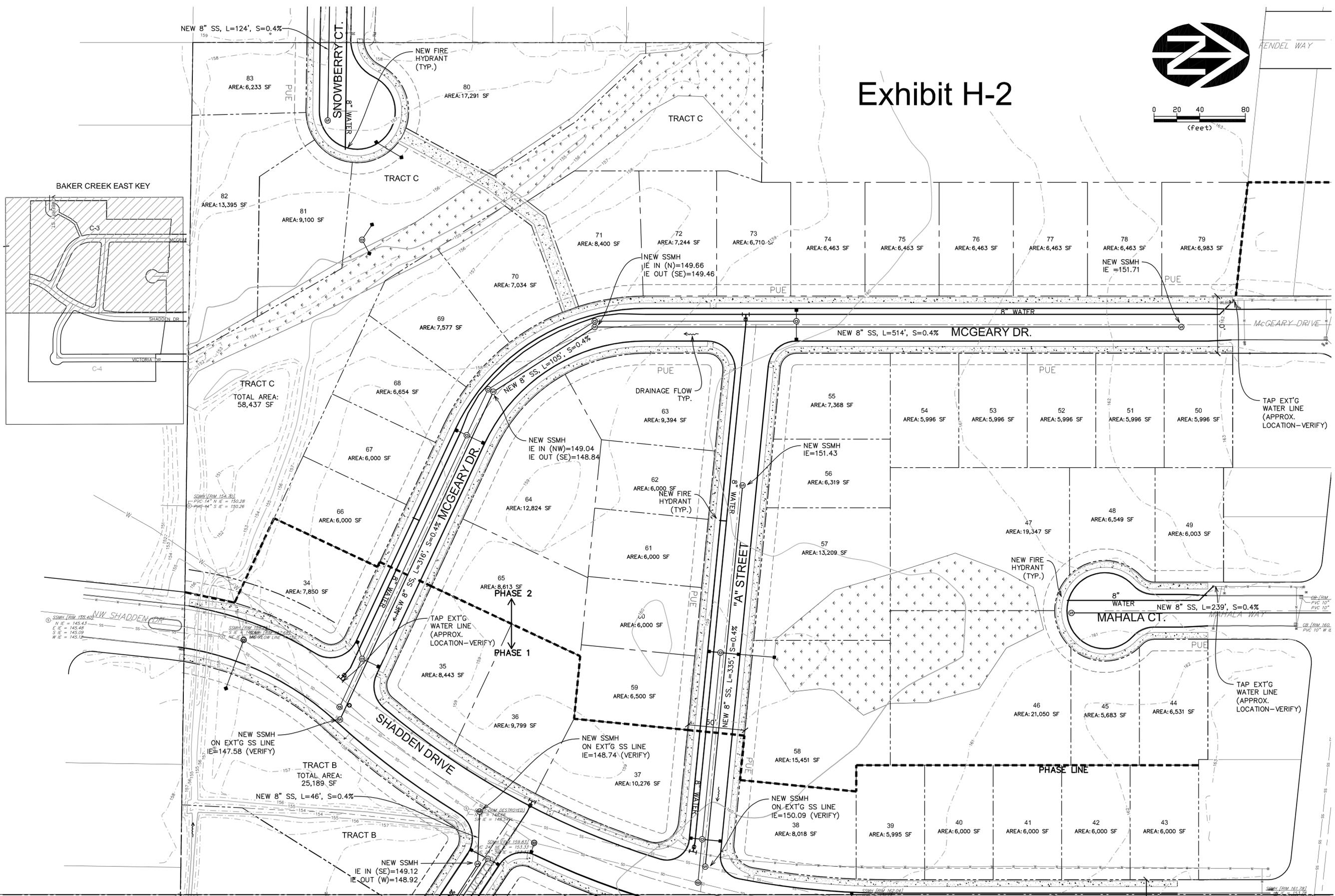
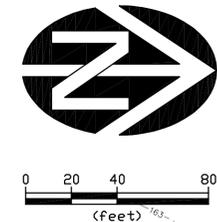


Exhibit H-2



MATCH LINE - SEE SHEET C-4 FOR CONTINUATION

NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON SCALES ACCURACY

0 1" 0

DRN. DSN. CKD. DATE: MAR 2017

REVISIONS

WE WESTTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 565-2474 Fax: (503) 585-3966
 E-mail: westtech@westtech-eng.com

BAKER CREEK DEVELOPMENT, LLC
 BAKER CREEK SUBDIVISION
 UTILITY PLAN - EAST

DRAWING
C-3
 JOB NUMBER
 2940.0000.0

3/28/2017 4:18:41 PM
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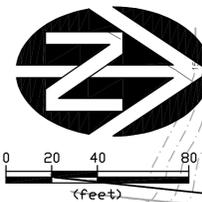
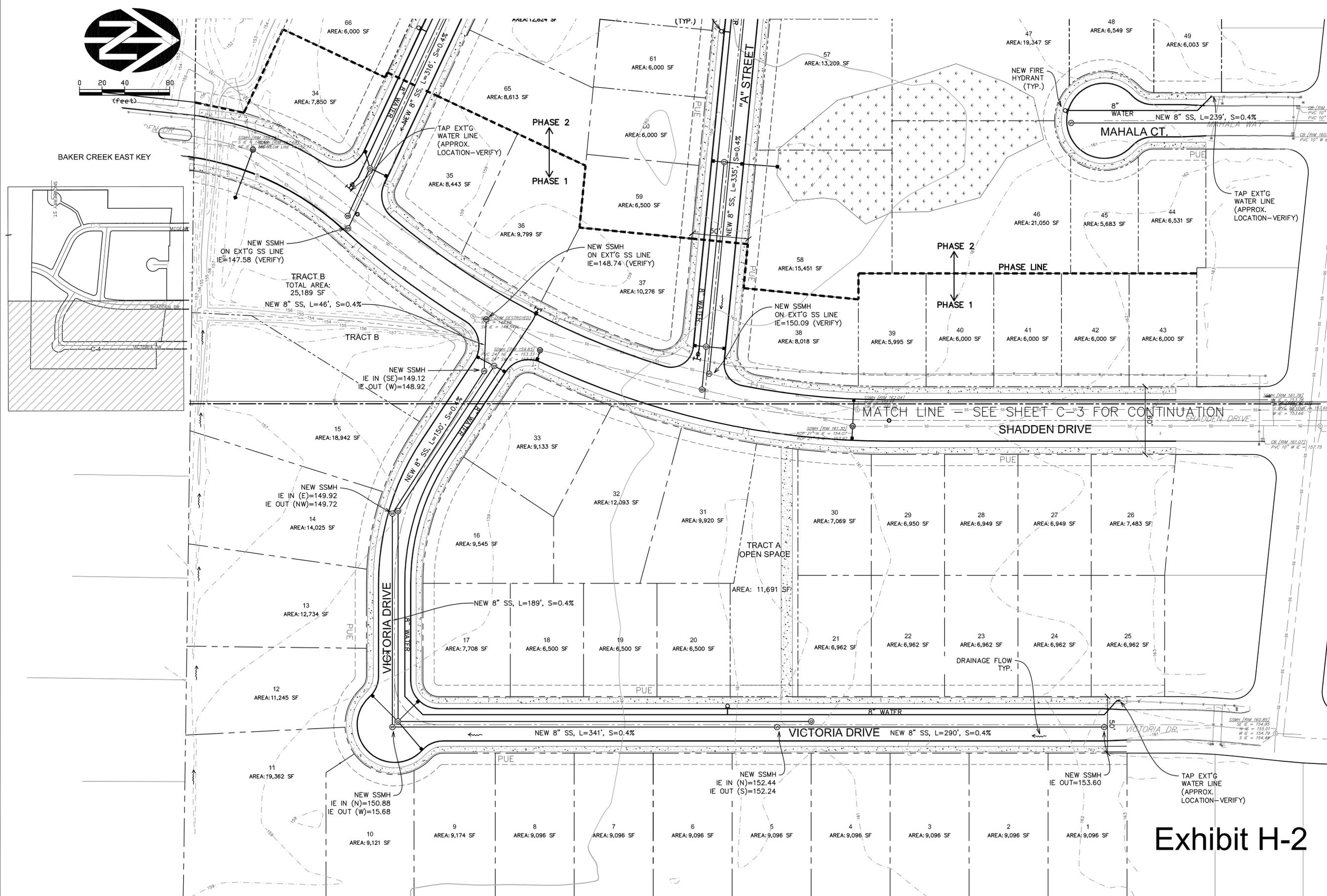


Exhibit H-2

BAKER CREEK DEVELOPMENT, LLC		BAKER CREEK SUBDIVISION		UTILITY PLAN - EAST	
WESTTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS					
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302		Phone: (503) 565-2474 Fax: (503) 585-3966		E-mail: westtech@westtech-eng.com	
NO.	DATE	DESCRIPTION	BY		
1	MAR 2017				
DATE: MAR 2017		CKD.		REVISIONS	
VERIFY SCALE		BAR IS ONE INCH ON ORIGINAL DRAWING		IF NOT ONE INCH ON SCALES ACCURACLY	
DRAWING C-4		JOB NUMBER 2940.0000.0			

EXHIBIT I -Phot Rendering of Baker Creek West Streetscape



DISCLAIMER

This is an example to scale photo rendering of Baker Creek West Streetscape. Actual elevations and landscaping may vary.

• USING ADDITION MEASURES OPTION #2 •
WITH CONSERVATION MEASURE 'A'
SEE PAGE 2 FOR ENERGY CODE

OREGON RESIDENTIAL ENERGY CODE	
BUILDING COMPONENTS	
MAXIMUM ALLOWABLE WINDOW AREA	NO LIMIT
WINDOW CLASS	U+@.30
DOOR OTHER THAN MAIN ENTRY	U+@.20
MAIN ENTRY DOOR, MAXIMUM 24 SQ. FT.	U+@.34
WALL INSULATION	R-21
UNDER-FLOOR INSULATION	R-30
FLAT CEILING	R-49
VAULTED CEILING	R-38
SKYLIGHT CLASS	U+@.60
SKYLIGHT AREA	< 2%
BASEMENT WALLS	R-21
SLAB FLOOR EDGE INSULATION	R-15
FORCED AIR DUCT INSULATION	R-8
FORCED AIR WALL HEATER	

RADON CONTROL: PER ORS C, APPENDIX F, SECTION AF03. FOLLOW ALL REQUIREMENTS AS REQUIRED, NOTING DAMPPROOFING, SEALING AT ALL PENETRATIONS AT FLOOR LINE, INCLUDING DUCTING, HORIZONTAL AND VERTICAL VENT PIPING THROUGH ALL FLOORS TO EXIT ROOF AND ELECTRICAL BOX IN ATTIC FOR POSSIBLE FUTURE EXHAUST REQUIREMENTS.

SUB-MEMBRANE DEPRESSURIZATION SYSTEM FOR CRAWL SPACE

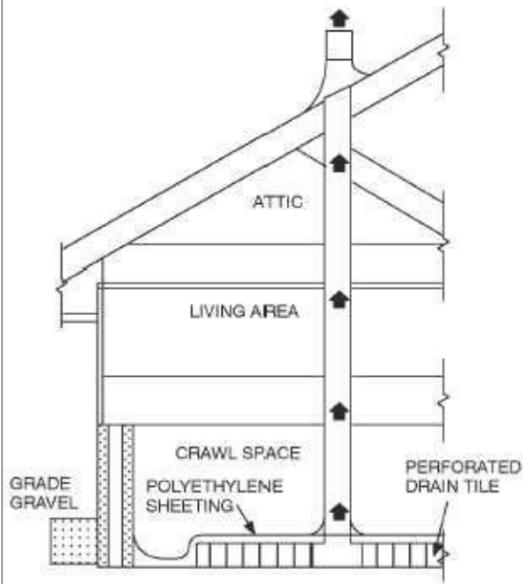
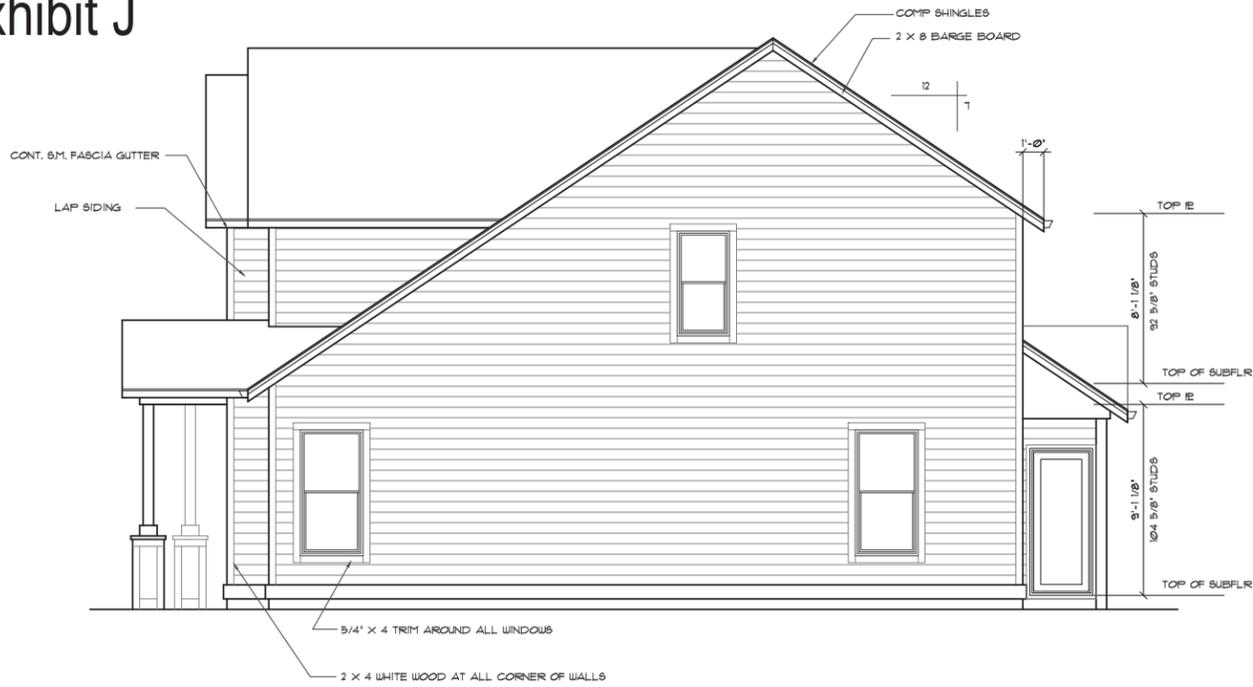


TABLE N1101.1(2)
ADDITIONAL MEASURES

Envelope Performance Measure (Subject One)	Additional Measures
1	High efficiency walls & windows: Exterior walls—U-0.047OR: D+S insulation sheathing/SPS, and one of the following options: Windows—Max. 18 percent of conditioned area, or Windows—U-0.30
2	High efficiency envelope: Exterior walls—U-0.047OR: D+S Insulation sheathing, and Vaulted ceilings—U-0.033OR: 30A ¹ , and Flat ceilings—U-0.023OR: 49, and Floored floors—U-0.023OR: 38, and Windows—U-0.30, and Doors—All doors U-0.30, or Additional 12 percent of permanently installed lighting fixtures as high-efficiency lamps or Conservation Measure D and E.
3	High efficiency ceiling, windows & door sealing: (Cannot be used with Conservation Measure E.) Vaulted ceilings—U-0.033OR: 30A ¹ , and Flat ceilings—U-0.023OR: 49, and Windows—U-0.30, and Performance tested door systems ² .
4	High efficiency thermal envelope (A): Proposed UA is 15% lower than the Code UA when calculated in Table N1104.1(1). Building tightness testing, ventilation & door sealing: A new home of exhaust, supply, or combination system providing whole building ventilation rates specified in Table N1104.1(3), or ASHRAE 62.2, and The dwelling shall be tested with a blower door and found to exhibit no more than 1.0 air changes per hour ³ , or 2.0 air changes per hour ³ when used with Conservation Measure E, and Performance tested door systems ² .
5	Permitted HVAC system within conditioned space: (Cannot be used with Conservation Measure B or C.) All ducts and air handlers are contained within building envelope ⁴ .
6	High efficiency HVAC system: A Gas fired furnace or boiler with minimum AFUE of 90% or Air source heat pump with minimum HSPF of 8.5 or C Low-voltage ground source heat pump with minimum COP of 3.0. Decoupled HVAC system within conditioned space: All ducts and air handlers are contained within building envelope ⁴ .
7	Heatless heat pump: Electric electric resistance heating in at least the primary zone of dwelling with at least one ductless mini-split heat pump having a minimum HSPF of 8.5. Unit shall not have integrated backup resistance heat, and the unit for units, if more than one is installed in the dwelling shall be used to have capacity to meet the entire dwelling design heat loss rate at outdoor design temperature conditions. Commercial electric resistance heating may be provided for any secondary zones in the dwelling. A packaged terminal heat pump (PTHP) with comparable efficiency ratings may be used where no supplemental panel heaters are installed in the building and integrated backup resistance heat is allowed in a PTHP.
8	High efficiency water heating & lighting: Natural gas/propene on-demand water heating with min EF of 0.90, and A minimum 75 percent of permanently installed lighting fixtures as CFL or linear fluorescent or a min efficiency of 40 lumens per watt as specified in Section N1107.2.
9	Energy management device & door sealing: Whole building energy management device that is capable of monitoring or controlling energy consumption, and Performance tested door systems ² , and A minimum 75 percent of permanently installed lighting fixtures as high efficiency lamps.
10	Solar photovoltaic: Minimum 1 watt/hq of conditioned floor space ⁵ .
11	Solar water heating: Minimum of 40 sq. ft. of area collector area ⁶ .

For SI: 1 square foot = 0.093 m²; 1 watt per square foot = 10.76 W/m².
a. Furnace located within the building envelope shall have sealed combustion air installed. Combustion air shall be drawn directly from the outdoors.
b. Documentation of Performance Tested Doorwork shall be submitted to the building official upon completion of work. This work shall be performed by a contractor certified by the Oregon Department of Energy (ODE) Electrical Energy Test Technology and Commission Quality Provider work requirements and ODE performance standards.
c. Section N1107.2 requires 18 percent of permanently installed lighting fixtures to contain high efficiency lamps. Each of these additional measures adds an additional percent to the Section N1107.2 requirement.
d. A new attached construction, which shall provide full required insulation value to the outside of exterior walls.
e. The maximum installed ceiling surface area shall not be greater than 10 percent of the total heated space floor area unless noted area has a U-factor no greater than U-0.030.
f. Building tightness test shall be conducted on the entire exterior envelope of the building. The test shall be conducted on the entire exterior envelope of the building. The test shall be conducted on the building envelope upon completion of work.
g. Solar electric system shall include the following: Solar Water Heating Treatment and the Solar PV permit.
h. Solar water heating panels shall be Solar Rating and Certification Corporation (SRCC) Standard QCC-300, unshaded and labeled, with documentation indicating that Total Solar Resource Factors are in the 7.0 permit.
i. A total of 5 percent of an HVAC system ductwork shall be permitted to be located outside of the conditioned space. Ducts located outside the conditioned space shall have insulation installed as required in this code.

Exhibit J



RIGHT ELEV.

SCALE: 1/4"=1'-0"



FRONT ELEV.

SCALE: 1/4"=1'-0"

FINAL GRADING - SURFACE AFTER SHALL NOT DISPENSE ONTO ADJACENT PROPERTY

STORM WATER CONVEYED BY PIPING NOT TO DISPENSE ONTO ADJACENT PROPERTY

GUTTERS, DOWNSPOUTS, RAIN DRAIN PIPING IS REQUIRED. STORM WATER TO DISPERSE TO CITY APPROVED STORM DRAINAGE SYSTEM
WET WEATHER STARTS OCTOBER 1- MAY 31 ALL APPLICABLE EROSION CONTROL MEASURES MUST BE IN USED.

DISCLAIMER

This is an example building elevation, actual elevations may vary.



REAR ELEV.

SCALE: 1/4"=1'-0"



LEFT ELEV.

SCALE: 1/4"=1'-0"

KEM

designer - consultant
new construction & remodel

P.O. Box 1571
Hillsboro, Oregon 97123
971.563.0552 fax: 888.311.5610
E-Mail: samedy@live.com

"Success is not measured by the position someone has reached in my life, but the obstacles he has overcome while trying to succeed"
-Brooker T. Washington

Written dimensions on these drawing shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. Samedy Kem, Designer must be notified and consent to any variation from dimensions set forth herein.

This document is the property of Samedy Kem, Designer. No reuse or reproduction is allowed without the written consent from Samedy Kem.

Davis Construction, Inc.
Forest Grove

663 MAIN SQ FT
503 GAR SQ FT
1572 TOTAL SQ FT

347 GAR SQ FT

4/9/2014

Date:

sk-1572-2

Project Number

Revision:

Sheet Title:

Sheet Number of 4

Written dimensions on this drawing shall have precedence over scaled dimensions. Contractor shall verify all dimensions, conditions, etc., pertaining to the work before proceeding. The Owner must be notified of any variations from the dimensions and/or conditions shown on these drawings. Any such variation shall be resolved by the Owner prior to proceeding with the work, or the Contractor shall accept full responsibility for the cost to rectify same.

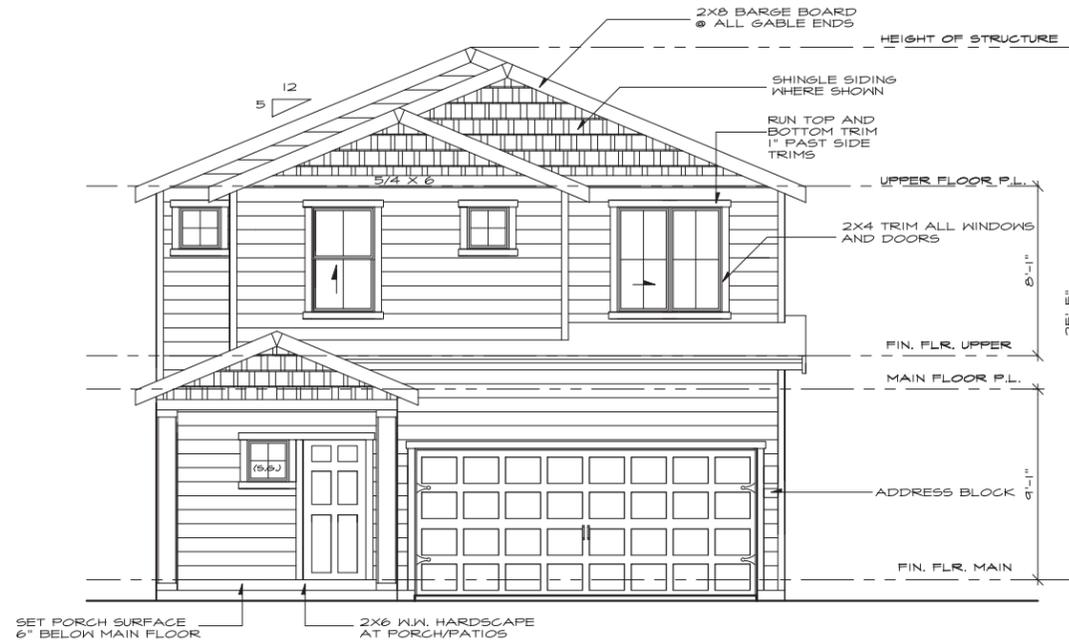
NOTES:

1. ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED, PAINTED OR CEDAR.
2. CAULK AND SEAL ALL WINDOW/DOOR AND EXTERIOR ENVELOPE PENETRATIONS.
3. GLAZING PER STATE ENERGY CODE.
4. SEPERATE PERMITS ARE REQUIRED FOR FENCES, PLUMBING, MECHANICAL, AND ELECTRICAL.
5. PROTECTION FROM DECAY IS REQUIRED FOR ALL WOOD SIDING AND WALL FRAMING LESS THAN 2" ABOVE CONCRETE STEPS, PORCH SLABS, PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER
6. REFER TO ALL ELEVATIONS FOR TYPICAL NOTES.
7. S.G. = SAFETY GLASS

FLASHING NOTE

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS
3. UNDER AND AT THE ENDS OF MASONRY, WOOD, OR METAL COPINGS AND SILLS
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION
6. AT WALL AND ROOF INTERSECTIONS
7. AT BUILT IN GUTTERS



FRONT ELEVATION "A"
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



REAR ELEVATION "A"
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"

DISCLAIMER
This is an example building elevation, actual elevations may vary.



NASH & ASSOCIATES
ARCHITECTS
8003 116TH AVE NE - KIRKLAND, WA - 98033
425-828-4117
www.nash-architects.com



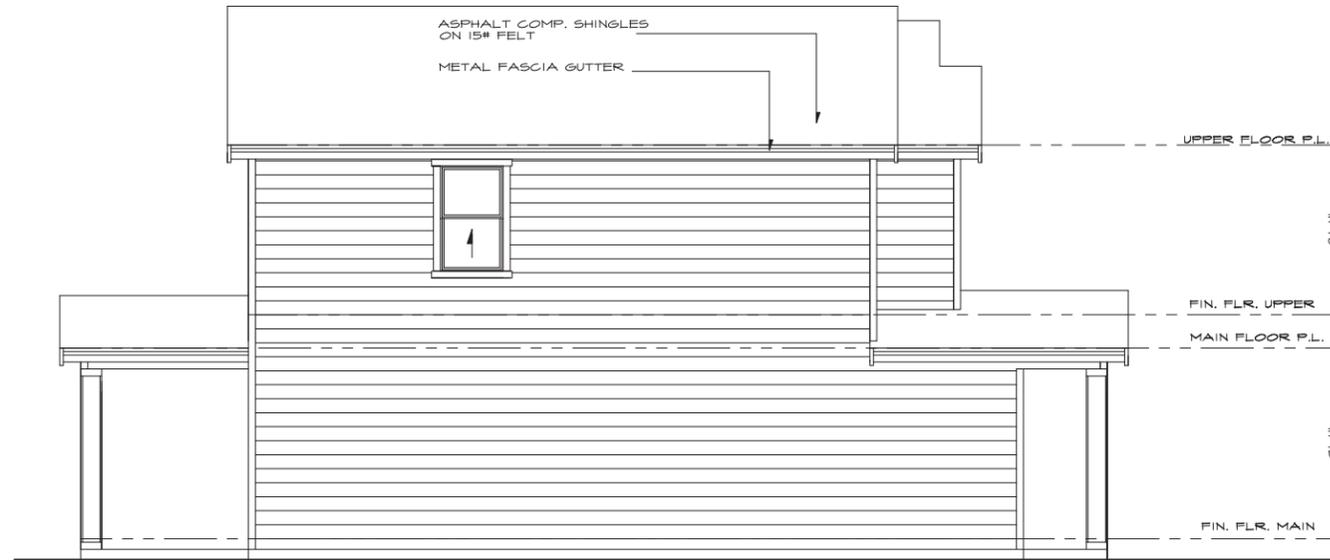
Project: **PLAN 1623**
ELEVATION A
CYPRESS

date: 03-07-16
permit:
revisions:

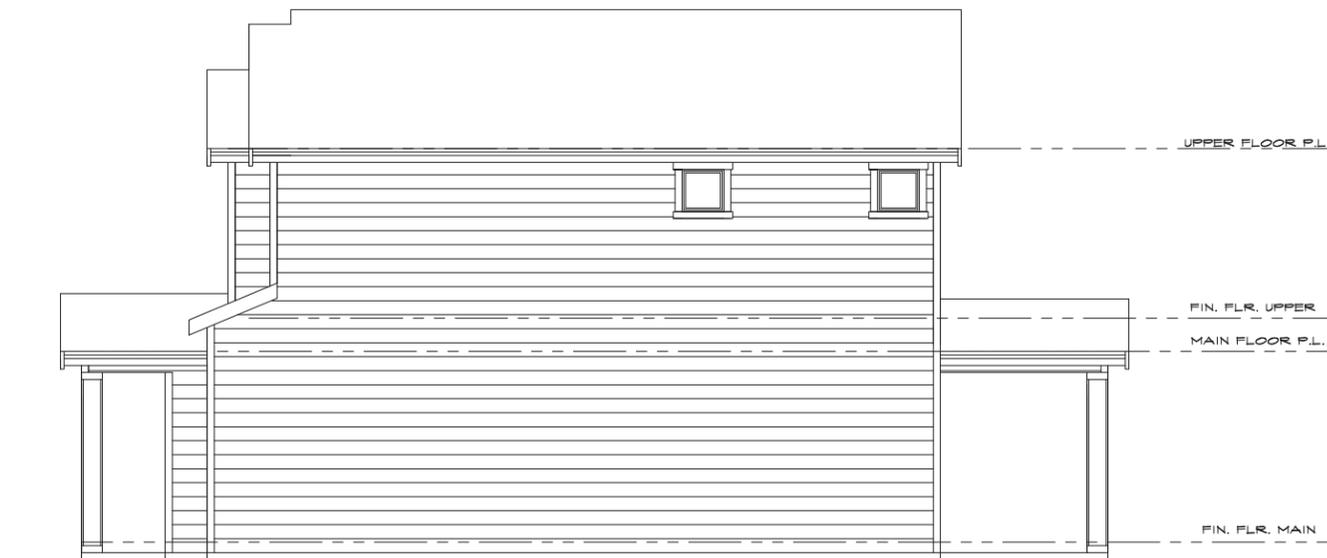
drawn by: MNJ
checked by:

SHEET
A1
OF
A8

Written dimensions on this drawing shall have precedence over scaled dimensions. Contractor shall verify all dimensions, conditions, etc., pertaining to the work before proceeding. The Owner must be notified of any variations from the dimensions and/or conditions shown on these drawings. Any such variation shall be resolved by the Owner prior to proceeding with the work, or the Contractor shall accept full responsibility for the cost to rectify same.



LEFT ELEVATION "A"
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



RIGHT ELEVATION "A"
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"

DISCLAIMER
This is an example building elevation,
actual elevations may vary.



NASH & ASSOCIATES
ARCHITECTS
8003 116TH AVE NE - KIRKLAND, WA • 98033 •
425-828-4117
www.nash-architects.com



PLAN 1623
ELEVATION A
CYPRESS

date: 03-07-16
permit:
revisions:

drawn by: MKJ
checked by:

SHEET
A2
OF
A8



T.O. RIDGE
+23'-8 1/8"

2x12 TRANSITION BOARD,
TYP.

5/4x4 WINDOW TRIM W/
5/4x6 APRON, TYP AT
STREET ELEV.

T.O. RIDGE
+13'-11 1/8"

PROVIDE FLASHING AT
ALL ROOF TO WALL
CONNECTIONS

T.O. RIDGE
+28'-3 1/8"

TYP. TRUSSED ROOF CONST.:
ARCH COMPOSITION ROOFING
OVER ONE LAYER 15" A.S.F. BASE
OVER 24/16" APA RATED FLYWOOD
SHEATHING OVER TRUSSES

T.O. RIDGE
+24'-1 1/8"

TYP. WALL CONST. (SHINGLES)
CEDAR SHINGLES W/ 8" EXPOSURE
OVER TYVEK BUILDING WRAP
OVER 1/16" OSB SHEATHING OVER
GABLE END TRUSS

T.O. DBL TOP FLT
+18'-5 1/8"

T.O. WINDOW RO.
+17'-4"

TYP. WALL CONST. (LAP SIDING)
"HARDPLANK" LAP SIDING
OVER TYVEK OR EQUAL BLDG.
WRAP OVER 1/16" OSB SHTG.
OVER 2x STUDS

2x12 BELL Y BAND, TYP.

T.O. SUBFLOOR
+10'-4"

T.O. DBL TOP FLT
+9'-1 1/8"

T.O. WINDOW RO.
+1'-10 1/2"

5/4x6 CORNER BOARD,
TYP.

TYP. WALL CONST. (STONE VENEER)
ARCH. STONE VENEER (VERIFY
TYPE/COLOR) OVER (INSTALLED
PER MANUF. SPEC'S.) OVER TYVEK
BUILDING WRAP OVER 1/16" OSB
FLYWOOD SHEATHING OVER 2x
STUDS

T.O. SUBFLOOR
0'-0"

T.O. GARAGE SLAB,
VERIFY

FRONT ELEVATION
SCALE: 1/4"-1'-0"

T.O. RIDGE
+28'-11 1/4"

TYP. TRUSSED ROOF CONST.:
ARCH COMPOSITION ROOFING
OVER ONE LAYER 15" A.S.F.
BASE OVER 24/16" APA RATED
FLYWOOD SHEATHING OVER
TRUSSES

T.O. DBL TOP FLT
+18'-5 1/8"

T.O. WINDOW RO.
+17'-4"

T.O. STAIR WINDOW
+15'-5 1/2"

TYP. WALL CONST. (LAP SIDING)
"HARDPLANK" LAP SIDING
OVER TYVEK OR EQUAL BLDG.
WRAP OVER 1/16" OSB SHTG.
OVER 2x STUDS

T.O. SUBFLOOR
+10'-4"

T.O. DBL TOP FLT
+9'-1 1/8"

T.O. WINDOW RO.
+1'-10 1/2"

5/4x6 CORNER BOARD,
TYP.

TYP. WALL CONST. (STONE VENEER)
ARCH. STONE VENEER (VERIFY
TYPE/COLOR) OVER (INSTALLED
PER MANUF. SPEC'S.) OVER TYVEK
BUILDING WRAP OVER 1/16" OSB
FLYWOOD SHEATHING OVER 2x
STUDS

T.O. SUBFLOOR
0'-0"

RIGHT ELEVATION
SCALE: 1/4"-1'-0"

DISCLAIMER
This is an example building
elevation, actual building elevations
may differ.

REVERSE
THIS DRAWING HAS BEEN
FULLY REVERSED
PLEASE VERIFY
ORIENTATION

STAFFORD HOMES & LAND LOT 16, THE VINEYARDS
GRANDVILLE G
PLAN NUMBER 32112G 2408 TOTAL SQUARE FEET

Suntec
DESIGN INC.
16865 Boones Ferry Road, Suite 201, Lake Oswego, Oregon 97035
Tel: (503) 624 0555 • Fax: (503) 624 0155
www.suntecinc.com

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MEET SPECIFIC SITE CONDITIONS AND LOCAL
BUILDING REGULATIONS. IT IS THE
CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY
ALL DIMENSIONS AND DETAILS PRIOR TO
CONSTRUCTION FOR ERRORS AND OMISSIONS.
PLEASE SEE YOUR LICENSE AGREEMENT FOR
FURTHER INFORMATION.

JOB NAME: GRANDVILLE G
REV: _____
DATE: 4/16

1

EXHIBIT K



DECORATIVE CORBELS & KNEE BRACES

T.O. WINDOW R.O. 11'-4"

PROVIDE FLASHING AT ALL ROOF TO WALL CONNECTIONS

TYP. WALL CONST. (LAP SIDING) HARDIPLANK, LAP SIDING OVER TYVEK OR EQUAL BLDG. WRAP OVER 1/8" OSB SHEATHING

5/4x6 CORNER BOARD, TYP.

TYP. WALL CONST. (STONE VENEER) ARCH. STONE VENEER (VERIFY TYPE/COLOR) OVER (INSTALLED PER MANUF. SPECS.) OVER TYVEK BUILDING WRAP OVER 1/8" OSB PLYWOOD SHEATHING

T.O. GARAGE SLAB VERIFY

T.O. RIDGE 21'-11 3/4"

T.O. RIDGE 24'-1 1/8"

TYP. TRUSS ROOF CONST. ARCH. COMPOSITION ROOFING OVER ONE LAYER 5/8" A.S.F. BASE OVER 24/16 APA RATED SHEATHING OVER TRUSSES

T.O. TOP PLATE 18'-5 1/8"

TYP. WALL CONST. (SHINGLES) CEDAR SHINGLES W/ 3" EXPOSURE OVER TYVEK BUILDING WRAP OVER 1/8" OSB SHEATHING

2x12 TRANSITION BOARD

T.O. SUBFLOOR 10'-4"

T.O. TOP PLATE 9'-1 1/8"

T.O. WINDOW R.O. 11'-10 1/2"

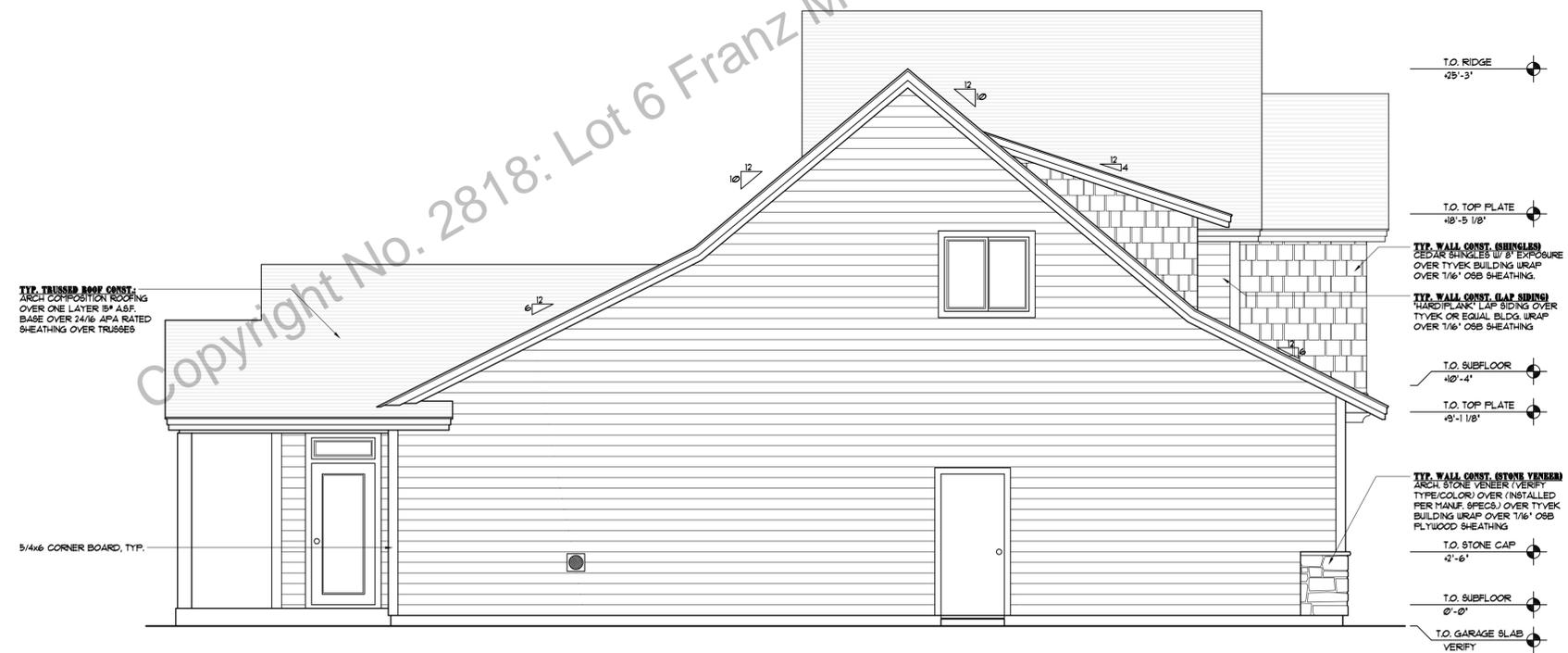
DECORATIVE CORBELS

5/4x4 WINDOW TRIM W/ 5/4x6 APRON, TYP. AT STREET ELEV.

T.O. STONE CAP 2'-6"

T.O. SUBFLOOR 0'-0"

FRONT ELEVATION
SCALE: 1/4"=1'-0"



TYP. TRUSS ROOF CONST. ARCH. COMPOSITION ROOFING OVER ONE LAYER 5/8" A.S.F. BASE OVER 24/16 APA RATED SHEATHING OVER TRUSSES

5/4x6 CORNER BOARD, TYP.

T.O. RIDGE 25'-3"

T.O. TOP PLATE 18'-5 1/8"

TYP. WALL CONST. (SHINGLES) CEDAR SHINGLES W/ 3" EXPOSURE OVER TYVEK BUILDING WRAP OVER 1/8" OSB SHEATHING

TYP. WALL CONST. (LAP SIDING) HARDIPLANK, LAP SIDING OVER TYVEK OR EQUAL BLDG. WRAP OVER 1/8" OSB SHEATHING

T.O. SUBFLOOR 10'-4"

T.O. TOP PLATE 9'-1 1/8"

TYP. WALL CONST. (STONE VENEER) ARCH. STONE VENEER (VERIFY TYPE/COLOR) OVER (INSTALLED PER MANUF. SPECS.) OVER TYVEK BUILDING WRAP OVER 1/8" OSB PLYWOOD SHEATHING

T.O. STONE CAP 2'-6"

T.O. SUBFLOOR 0'-0"

T.O. GARAGE SLAB VERIFY

LEFT ELEVATION
SCALE: 1/4"=1'-0"

DISCLAIMER
This is an example building elevation, actual building elevations may differ.

STAFFORD HOMES AND LAND

LOT 6 FRANZ MEADOW

MERWEATHER E

PLAN NUMBER 040115

2682 TOTAL SQUARE FEET

Suntec
DESIGN INC.

16865 Boones Ferry Road, Suite 201, Lake Oswego, Oregon 97035
Tel: (503) 624-0555 Fax: (503) 624-0155
www.suntecdesign.com

THESE PLANS HAVE BEEN LICENSED FOR THE CONSTRUCTION OF ONE BUILDING ONLY. UNAUTHORIZED USE OR COPYING OF THE PLANS OR THE DESIGN THE DESIGNER'S RIGHTS UNDER THE COPYRIGHT ACT THAT INCLUDE PENALTIES OF UP TO \$100,000 PER WORK WILLFULLY INFRINGED. THESE PLANS HAVE BEEN PREPARED TO MEET IRC BUILDING CODES AND MAY REQUIRE ADAPTATION TO MEET SPECIFIC SITE CONDITIONS AND LOCAL BUILDING REGULATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION FOR ERRORS AND OMISSIONS. PLEASE SEE YOUR LICENSE AGREEMENT FOR FURTHER INFORMATION.

JOB NAME: STAFFORD HOMES & LAND
DATE: 06/28/16



REVERSE

THIS DRAWING HAS BEEN FULLY REVERSED PLEASE VERIFY ORIENTATION

LOT 2 FRANZ MEADOWS
1134 NE 16TH AVE

STAFFORD HOMES & LAND

CARRINGTON V-3C

PLAN NUMBER 3295V

2,377 TOTAL SQUARE FEET



FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

DISCLAIMER
This is an example building elevation, actual building elevations may differ.

Suntec
DESIGN INC.
16865 Boones Ferry Road, Suite 201, Lake Oswego, Oregon 97035
Tel: (503) 624-0555 Fax: (503) 624-0155
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PLAN NAME: CARRINGTON V-3
REV: STAFFORD - 3 CAR
DATE: 01/21/16



THESE PLANS HAVE BEEN LICENSED FOR THE CONSTRUCTION OF ONE BUILDING ONLY. UNAUTHORIZED USE OR COPYING OF THE PLANS, OR THE DESIGN THEY DEPICT, INFRINGES RIGHTS UNDER THE COPYRIGHT ACT THAT INCLUDE PENALTIES OF UP TO \$100,000 PER WORK WILLFULLY INFRINGED. THESE PLANS HAVE BEEN PREPARED TO MEET CABO BUILDING CODES AND MAY REQUIRE ADAPTATION TO MEET SPECIFIC SITE CONDITIONS AND LOCAL BUILDING REGULATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION FOR ERRORS AND OMISSIONS. PLEASE SEE YOUR LICENSE AGREEMENT FOR FURTHER INFORMATION.

JOB NAME: LAUREL
DATE: 10/2015 KKA

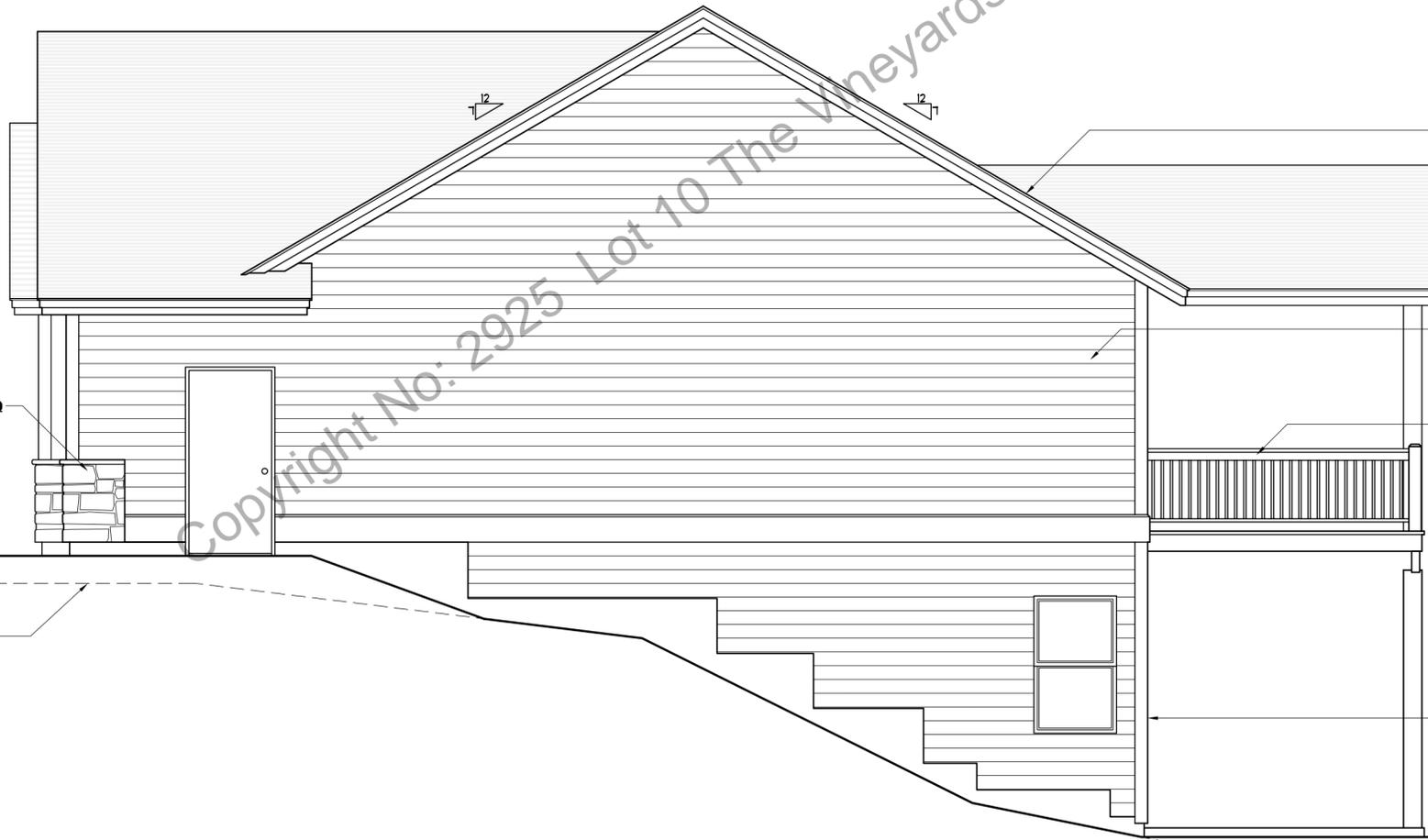
- TYP. TRUSSED ROOF CONST:**
ARCH COMPOSITION ROOFING
OVER ONE LAYER 1/2" A.S.F.
BASE OVER 24/16 APA RATED
SHEATHING OVER TRUSSES
- T.O. RIDGE
+18'-1 1/8"
- DECORATIVE CORBELS &
KNEE BRACES
- T.O. RIDGE
+14'-9 1/8"
- PROVIDE FLASHING AT ALL
ROOF TO WALL CONNECTIONS
- T.O. TOP PLATE
+9'-1 1/8"
- T.O. WINDOW R.O.
+1'-10 1/2"
- 5/4x4 WINDOW TRIM W/ 5/4x6
APRON, TYP AT STREET ELEV
- T.O. STONE CAP
+2'-6"
- T.O. SUBFLOOR
0'-0"



- T.O. RIDGE
+18'-1 1/8"
- T.O. DORMER RIDGE
+11'-1 1/8"
- T.O. WINDOW R.O.
+15'-1 1/8"
- TYP. WALL CONST. (SHINGLES)**
CEDAR SHINGLES W/ 8" EXPOSURE
• 1/2" OVER TYVEK BUILDING WRAP
OVER 1/16" OSB SHEATHING
- 2x12 TRANSITION BOARD
- TYP. WALL CONST. (S & D)**
1x3 ROUGH SAWN CEDAR BATTS @ 16" O.C.
OVER 1/2" ROUGH SAWN BRECKENRIDGE'
PLYWOOD SHEATHING OVER 1/16" OSB
PLYWOOD SHEATHING
- 5/4x6 CORNER BOARD, TYP.
- TYP. WALL CONST. (STONE VENEER)**
ARCH. STONE VENEER (VERIFY TYPE/COLOR)
OVER (INSTALLED PER MANUF. SPECS.) OVER
TYVEK BUILDING WRAP OVER 1/16" OSB
PLYWOOD SHEATHING
- T.O. GARAGE SLAB
VERIFY

FRONT ELEVATION
SCALE: 1/4"-1'-0"

- TYP. WALL CONST. (STONE VENEER)**
ARCH. STONE VENEER (VERIFY
TYPE/COLOR) OVER (INSTALLED
PER MANUF. SPECS.) OVER TYVEK
BUILDING WRAP OVER 1/16" OSB
PLYWOOD SHEATHING
- T.O. GARAGE SLAB
VERIFY
- (E) GRADE



- T.O. RIDGE
+18'-0 1/4"
- TYP. TRUSSED ROOF CONST:**
ARCH COMPOSITION ROOFING
OVER ONE LAYER 1/2" A.S.F. BASE
OVER 24/16 APA RATED
SHEATHING OVER TRUSSES
- T.O. TOP PLATE
+9'-1 1/8"
- TYP. WALL CONST. (SLAP SIDING)**
HARDIPLANK' LAP SIDING OVER
TYVEK OR EQUAL BLDG. WRAP
OVER 1/16" OSB SHEATHING
- 36" HIGH RAILING
- T.O. SUBFLOOR
0'-0"
- T.O. TOP PLATE
-1'-2 1/8"
- 5/4x6 CORNER BOARD, TYP.
- T.O. SUBFLOOR
-10'-4"

RIGHT ELEVATION
SCALE: 1/4"-1'-0"

DISCLAIMER
This is an example building elevation,
actual building elevations may differ.

REVERSE
THIS DRAWING HAS BEEN FULLY REVERSED
PLEASE VERIFY ORIENTATION

Exhibit L Sample Photo Elevations for 50' Wide Dwellings

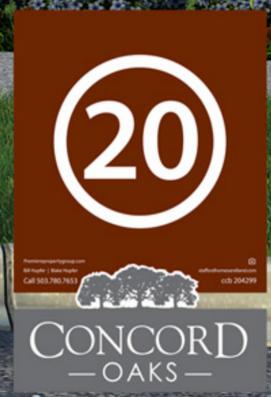


DISCLAIMER

These are example photos and renderings intended to show building elevations. Landscape and side yards are not representative of the proposed development.



DISCLAIMER
These are example photos and renderings intended to show building elevations. Landscape and side yards are not representative of the proposed development.





DISCLAIMER

These are example photos and renderings intended to show building elevations. Landscape and side yards are not representative of the proposed development.



Exhibit M - Sample Photo Elevations for 26-ft and 30-ft Wide Dwellings



DISCLAIMER

This is a photo rendering of an example building elevation, landscaping and side yards are not representative of the proposed development.



DISCLAIMER

This is a photo rendering of an example building elevation, landscaping and side yards are not representative of the proposed development.



DISCLAIMER

This is a photo rendering of an example building elevation, landscaping and side yards are not representative of the proposed development.



DISCLAIMER

This is a photo rendering of an example building elevation, landscaping and side yards are not representative of the proposed development.

Exhibit O

FUTURE RESIDENTIAL



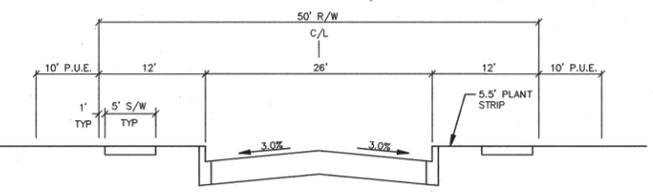
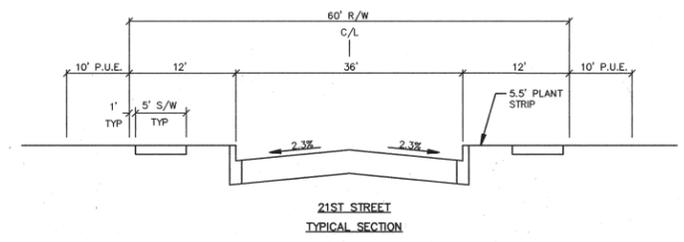
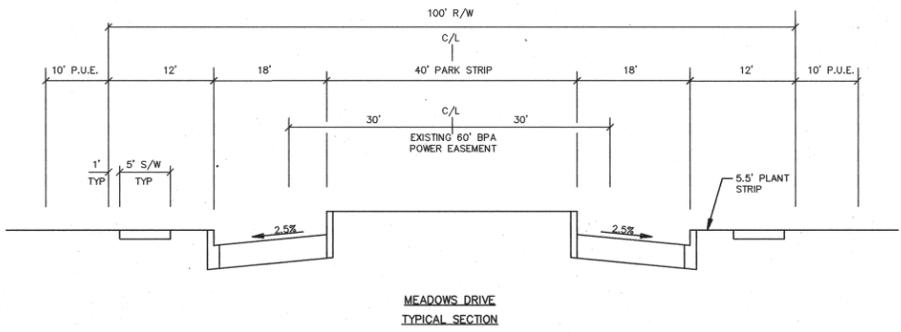
PROPOSED FUTURE COMMERCIAL 11.17 AC. C-3 PD

PROPOSED MULTI-FAMILY USE 3.8 AC. PARCEL ZONED C-3 PD

VARIANCE REQUEST

- 7.5 FT. INTERIOR SIDYARD SETBACK FOR ALL LOTS IN PHASES II AND III.
- 15 FT. EXTERIOR SIDYARD SETBACK FOR LOTS 68,69,96,108,109,120,134,136,140
- MINIMUM DUPLEX LOT SIZES OF 8,000 S.F. FOR LOTS 134, 136 AND 140.

OWNER/DEVELOPER VJ2 DEVELOPMENT CO. 695 COMMERCIAL ST. S.E. SUITE 4 SALEM, OREGON 97301 PH: (503) 362-8232	ENGINEER WESTECH ENGINEERING, INC. 3421 25TH STREET S.E. SALEM, OREGON 97301 PH: (503) 585-2474	SURVEYOR BARKER SURVEYING 2035 25TH STREET S.E. SALEM, OREGON 97301 PH: (503) 588-8800
WATER & POWER McMINNVILLE WATER & LIGHT	STREETS/SEWER/STORM DRAIN McMINNVILLE PUBLIC WORKS	GAS NW NATURAL GAS CO.
ZONE PH II - R-1 PD PH III - R-1 PD PH III - C-3 PD	TAX LOT TAX LOT 200 MAP 4 4 18	AREA PH II = 13.4 AC. PH III = 13.4 AC.
TELEPHONE G.T.E.	MIN.LOT SIZE PH II = 6500 S.F. PH III = 6500 S.F.	MAX.LOT SIZE PH II = 9,380 S.F. PH III = 15,390 S.F.
	AVG.LOT SIZE PH II = 7,413 S.F. PH III = 7,676 S.F.	LOTS PH II = 42 PH III = 39



TYPICAL SECTION
GRENFELL LOOP
HAUN LOOP
LaBONTE DRIVE
FENDLE DRIVE
STICCUS DRIVE

NO.	DATE	DESCRIPTION	BY

SCALE
HORIZ: 1" = 100'
VERT: 1" = 100'
DSN. D.K.
DRN. B.F.
CKD.
DATE: APR.1996

WESTECH ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3421 25th ST. S.E., SALEM, OR.
(503)585-2474

VJ2 DEVELOPMENT CO.
SHADDEN CLAIM SUBDIVISION
McMINNVILLE, OREGON

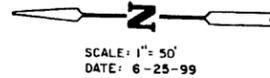
PHASE II & III
TENTATIVE PLAN

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Clarence E. Barker

OREGON
JULY 10, 1984
CLARENCE E. BARKER
636

EXPIRATION DATE: 12-31-99

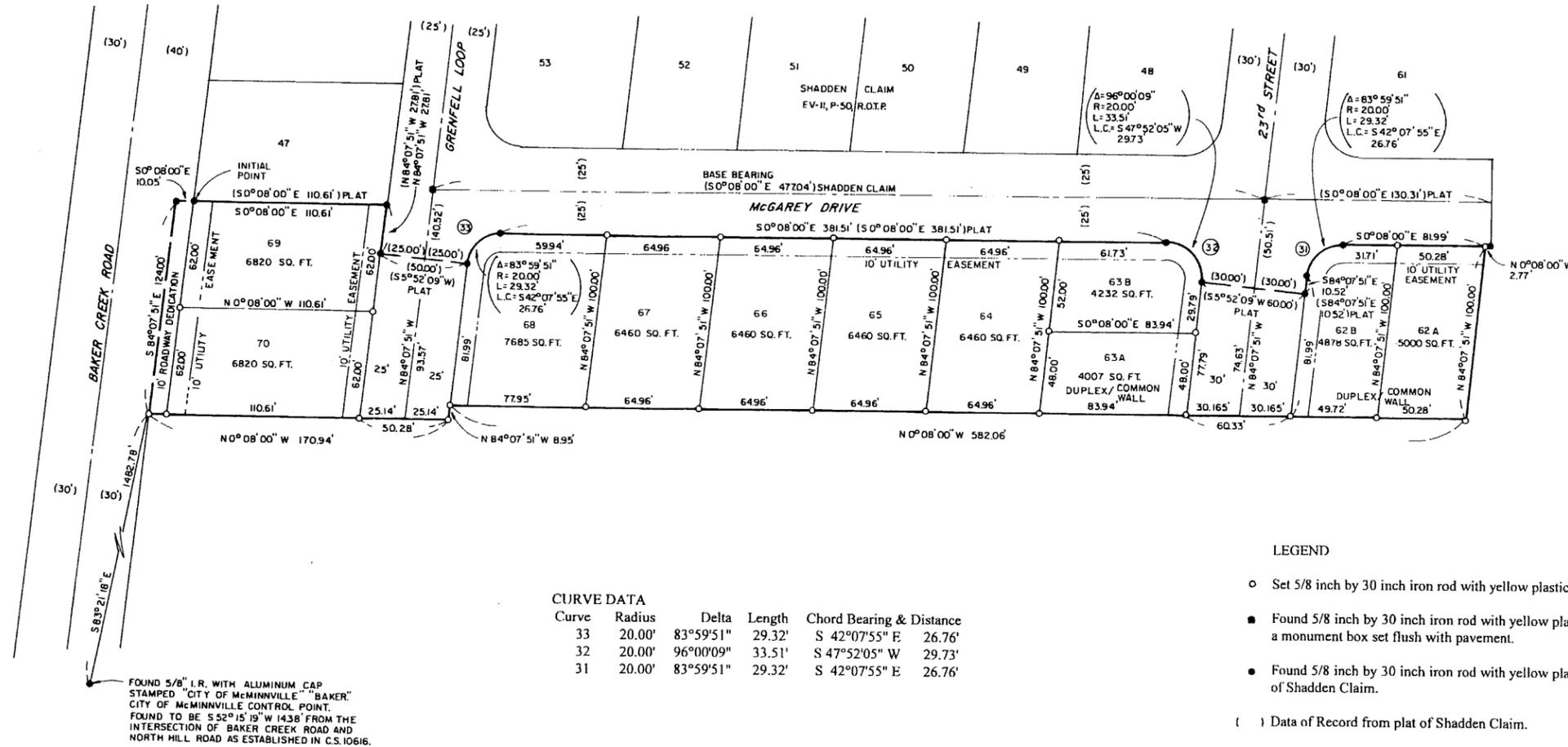


SCALE: 1" = 50'
DATE: 6-25-99

BARKER SURVEYING CO.
2035 25TH STREET S.E.
SALEM, OREGON 97302
PHONE (503) 588-8800

SHADDEN CLAIM FIRST ADDITION

AN R-1 P.D. SUBDIVISION, CITY OF McMinnville Ordinance No. 4593
IN THE N.E. 1/4 OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 4 WEST, W.M.
IN THE CITY OF McMinnville, Yamhill County, Oregon



CURVE DATA

Curve	Radius	Delta	Length	Chord Bearing & Distance
33	20.00'	83°59'51"	29.32'	S 42°07'55" E 26.76'
32	20.00'	96°00'09"	33.51'	S 47°52'05" W 29.73'
31	20.00'	83°59'51"	29.32'	S 42°07'55" E 26.76'

LEGEND

- Set 5/8 inch by 30 inch iron rod with yellow plastic cap stamped "Barker PLS 636".
- Found 5/8 inch by 30 inch iron rod with yellow plastic cap stamped "Barker PLS 636", in side of a monument box set flush with pavement.
- Found 5/8 inch by 30 inch iron rod with yellow plastic cap stamped "Barker PLS 636" set in plat of Shadden Claim.
- () Data of Record from plat of Shadden Claim.

I.R. = Iron rod
Sq.Ft. = Square Feet
F.V. = Film Volume
P. = Page
R.O.T.P. = Record of Town Plats

NARRATIVE:

Basis of bearing is on the centerline of McGarey Drive as per the plat of SHADDEN CLAIM and is South 00°08'00" East.
The purpose of this survey is to subdivide into lots a portion of a tract of land in Section 18 to be known as SHADDEN CLAIM FIRST ADDITION, as approved by the City of McMinnville Planning Commission.
The northerly line of this subdivision was held as determined in C.S. 10616.
Equipment used: Wild T-1600/D.I. 1600 Total Station.

Note:
Lots abutting Baker Creek Road are prohibited access on to Baker Creek Road

I hereby certify that this is an exact copy of the original plat.

Clarence E. Barker
Clarence E. Barker, PLS 636

Recorded 7-26-1999
County Surveyor

Vol. 11 Pg. 110

SHADDEN CLAIM FIRST ADDITION

AN R-1 P.D. SUBDIVISION, CITY OF McMinnville Ordinance No. 4593
IN THE N.E. 1/4 OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 4 WEST, W.M.
IN THE CITY OF McMinnville, Yamhill County, Oregon

SURVEYOR'S CERTIFICATE:

I, Clarence E. Barker, a Registered Professional Land Surveyor in the State of Oregon, hereby depose and say that during the month of May, 1999 I did accurately survey, subdivide and plat into lots, and right of ways, in accordance with O.R.S. 92.050, 209.250 and the City of McMinnville Land Division Ordinance, the lands represented on the attached map, the boundary of which is described as follows:

Beginning at the Initial Point of this subdivision which is a 5/8 inch by 30 inch iron rod with a yellow plastic cap stamped "Barker PLS 636" at the Northwest corner of Lot 47 of SHADDEN CLAIM as said subdivision is platted and recorded in Film 11, Page 50, Record of Town Plats for Yamhill County, Oregon, in Section 18, Township 4 South, Range 4 West of the Willamette Meridian in said Yamhill County; Thence along the West boundary of said SHADDEN CLAIM the following courses; South 00°08'00" East 110.61 feet; and North 84°07'51" West 27.81 feet; and South 05°52'09" West 50.00 feet; and along the arc of a 20.00 foot radius curve to the right (the long chord of which bears South 42°07'55" East 26.76 feet) a distance of 29.32 feet; and South 00°08'00" East 381.51 feet; and along the arc of a 20.00 foot radius curve to the right (the long chord of which bears South 47°52'05" West 29.73 feet) a distance of 33.51 feet; and South 05°52'09" West 60.00 feet; and South 84°07'51" East 10.52 feet; and along the arc of a 20.00 foot radius curve to the right (the long chord of which bears South 42°07'55" East 26.76 feet) a distance of 29.32 feet; and South 00°08'00" East 81.99 feet; Thence leaving said boundary North 84°07'51" West 100.00 feet; Thence North 00°08'00" West 582.06 feet; Thence North 84°07'51" West 8.95 feet; Thence North 00°08'00" West 170.94 feet to a point on the southerly right-of-way line of Baker Creek Road, said point being 30.00 feet southerly of the centerline of the road when measured at right angles; Thence South 84°07'51" East along said right-of-way line, a distance of 124.00 feet; Thence South 00°08'00" East 10.05 feet to the point of beginning and containing 1.7374 acres of land, more or less.

I, Clarence E. Barker, further depose and say that the attached map is a true and correct representation of the lots and right of ways as staked on the ground with appropriate monuments, as identified in the legend or with found monuments, as shown on the attached map, at all lot corners, the intersections, points of curvature and points of tangents of the centerlines of all streets and roads and all points on the exterior boundary line with changes of direction.

Clarence E. Barker 6-25-99
Clarence E. Barker, PLS No. 636
Barker Surveying Co.
2035 25th Street S.E.
Salem, Oregon 97302

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Clarence E. Barker
OREGON
JULY 10, 1964
CLARENCE E. BARKER
636

EXPIRATION DATE: 12-31-99

BARKER SURVEYING CO.
2035 25TH STREET S.E.
SALEM, OREGON 97302
PHONE (503) 588-8800

I hereby certify that this is an exact copy of the original plat.

Clarence E. Barker
Clarence E. Barker, PLS 636

APPROVED:

Robert Whitstone
County Commissioner

7-20-99
Date

Thomas E. E. Bunn
County Commissioner

7-20-99
Date

Robert Whitstone
County Commissioner

7-20-1999
Date

Linda A. Selleson
County Assessor

7-20-99
Date

Clarence E. Barker 7/2/99
County Surveyor

7/2/99
Date

ATTEST:

County Clerk

Date

THE WITHIN PLAT IS HEREBY APPROVED:

Donald E. Faust
City of McMinnville
Planning Commission Chairman

6-30-99
Date

Donald E. Faust
City of McMinnville Surveyor

7-1-99
Date

STATE OF OREGON)
) S.S.
COUNTY OF YAMHILL)

Recorded in Official Yamhill County Records
CHARLES STERN, COUNTY CLERK



55.00

ed by me in Yamhill County, in Film
day of _____,

199915021 3:08:01 PM 07/21/1999
PR PARPR 1 2 ANITA
0.00 45.00 18.00

Pursuant to O.R.S. 92.095. Taxes have been paid or bond posted to date of

June 30, 2000

Linda A. Selleson
Yamhill County Tax Collector

7-20-99
Date

DECLARATION:

KNOW ALL MEN BY THESE PRESENTS that we VJ-2 Development, Inc. an Oregon Corporation are the owners of the lands, in fee, and we are developers of the lands represented on the attached map and more particularly described in the Surveyor's Certificate and have caused said lands to be surveyed and platted into lots, street right of ways and easements as shown and noted on the attached map, in accordance with the provisions of the respective O.R.S., and the standards of the City of McMinnville, to be dedicated as "SHADDEN CLAIM FIRST ADDITION". We the undersigned do hereby dedicate for the public use forever all street right of ways, and easements for the purposes shown and noted on the attached map.

VJ-2 Development, Inc.

Willie Darnell Jones
Willie Darnell Jones, President

ACKNOWLEDGMENT

STATE OF OREGON)
) S.S.
COUNTY OF MARION)

On this 28th day of June, 1999, before me a Notary Public, for the State of Oregon, did personally appear the above named person in the capacity shown in the above Declaration and who is personally known to me to be the identical person described in and who executed the above Declaration freely and voluntarily. Subscribed and sworn to, before me, A Notary Public in and for said State of Oregon.

Kay Mumper
OFFICIAL SEAL
KAY MUMPER
NOTARY PUBLIC - OREGON
COMMISSION NO. 318542
MY COMMISSION EXPIRES JAN. 22, 2003

A subdivision plat consent affidavit by Berjac of Oregon, beneficiary under deed of trust described in Instrument No. 199620927 Deed and Mortgage Records has been executed and recorded in Instrument No. 199915021 of the Deed and Mortgage Records.

PLAT RESTRICTIONS:

Covenants, Conditions and Restrictions affecting this plat are recorded in Instrument No. 199909984, Yamhill County Deed and Mortgage Records.

7-26-99
County Surveyor

SHADDEN CLAIM SECOND ADDITION

AN R-1 P.D. SUBDIVISION, CITY OF McMinnville Ordinance No. 4593 IN THE N.E. 1/4 OF SEC. 18, TOWNSHIP 4 SOUTH, RANGE 4 WEST, W.M. IN THE CITY OF McMinnville, Yamhill County, Oregon

REGISTERED PROFESSIONAL LAND SURVEYOR

Clarence E. Barker
OREGON
JULY 10, 1964
CLARENCE E. BARKER
636

EXPIRATION DATE: 12-31-99



I hereby certify that this is an exact copy of the original plat.

Clarence E. Barker
Clarence E. Barker, PLS 636

LEGEND

- Set 5/8 inch by 30 inch iron rod with yellow plastic cap stamped "Barker PLS 636".
- ⊕ 5/8 inch by 30 inch rod with yellow plastic cap stamped "Barker PLS 636" to be post monumented. Monuments set JAN 4, 2000.
- Set 5/8 inch by 30 inch iron rod with yellow plastic cap stamped "Barker PLS 636", in side of a monument box set flush with pavement.
- Found 5/8 inch by 30 inch iron rod with yellow plastic cap stamped "Barker PLS 636" set in plat of Shadden Claim First Addition.

() Data of Record from plat of Shadden Claim First Addition.

I.R. = Iron rod
Sq.Ft. = Square Feet
F.V. = Film Volume
P. = Page
R.O.T.P. = Record of Town Plats

NARRATIVE:

Basis of bearing is on the westerly line of SHADDEN CLAIM FIRST ADDITION. The purpose of this survey is to subdivide into lots a portion of a tract of land in Section 18 to be known as SHADDEN CLAIM SECOND ADDITION, as approved by the City of McMinnville Planning Commission.

The northerly line of this subdivision was held as determined in C.S. 10616.

Equipment used: Wild T-1600/D.I. 1600 Total Station.

Note:

Lots abutting Baker Creek Road are prohibited access on to Baker Creek Road

FOUND 5/8" I.R. WITH ALUMINUM CAP STAMPED "CITY OF McMinnville" "BARKER" CITY OF McMinnville CONTROL POINT. FOUND TO BE S 52° 15' 19" W 143.8' FROM THE INTERSECTION OF BAKER CREEK ROAD AND NORTH HILL ROAD AS ESTABLISHED IN C.S. 10616.



Received 1-24-2000

County Surveyor
4/10/2000

SHADDEN CLAIM SECOND ADDITION

AN R-1 P.D. SUBDIVISION, CITY OF McMinnville Ordinance No. 4593
IN THE N.E. 1/4 OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 4 WEST, W.M.
IN THE CITY OF McMinnville, Yamhill County, Oregon

SURVEYOR'S CERTIFICATE:

I, Clarence E. Barker, a Registered Professional Land Surveyor in the State of Oregon, hereby depose and say that during the month of August, 1999 I did accurately survey, subdivide and plat into lots, and right of ways, in accordance with O.R.S. 92.050, 209.250 and the City of McMinnville Land Division Ordinance, the lands represented on the attached map, the boundary of which is described as follows:

Beginning at the Initial Point of this subdivision which is a 5/8 inch by 30 inch iron rod with a yellow plastic cap stamped "Barker PLS 636" at the Northwest corner of Lot 70 of SHADDEN CLAIM FIRST ADDITION as said subdivision is platted and recorded in Volume 11, Page 110, Record of Town Plats for Yamhill County, Oregon, in Section 18, Township 4 South, Range 4 West of the Willamette Meridian in said Yamhill County;

thence South 00°08'00" East along the West boundary line of said SHADDEN CLAIM FIRST ADDITION, a distance of 160.89 feet; thence South 84°07'51" East 8.95 feet to the Northwest corner of Lot 68 of said subdivision; thence South 00°08'00" East along the West line of said Lot 68 and the southerly extension thereof, a distance of 582.06 feet to the Southwest corner of Lot 62A of said subdivision; thence North 84°07'51" West 679.79 feet; thence North 00°02'49" East 99.97 feet; thence North 07°22'19" West 61.64 feet; thence North 00°02'49" East 426.17 feet; thence North 10°35'05" East 50.17 feet; thence North 00°02'49" East 116.05 feet to a point on the southerly right-of-way line of Baker Creek Road, said point being 30.00 feet southerly of the centerline of the road when measured at right angles; thence South 84°07'51" East along said right-of-way line, a distance of 667.24 feet; thence South 00°08'00" East 10.05 feet to the point of beginning and containing 11.7154 acres of land, more or less.

I, Clarence E. Barker, further depose and say that the attached map is a true and correct representation of the lots and right of ways as staked on the ground with appropriate monuments, as identified in the legend or with found monuments, as shown on the attached map, at all lot corners, the intersections, points of curvature and points of tangents of the centerlines of all streets and roads and all points on the exterior boundary line with changes of direction.

Clarence E. Barker
Clarence E. Barker, PLS No. 636
Barker Surveying Co.
2035 25th Street S.E.
Salem, Oregon 97302



BARKER SURVEYING CO.
2035 25TH STREET S.E.
SALEM, OREGON 97302
PHONE (503) 588-8800

CURVE DATA

Curve	Radius	Delta	Length	Chord Bearing & Distance
1	20.00'	96°00'09"	33.51'	N 47°52'05" E 29.73'
2	20.00'	83°59'51"	29.32'	N 42°07'55" W 26.76'
3	20.00'	83°59'51"	29.32'	N 42°07'55" W 26.76'
4	20.00'	96°00'09"	33.51'	N 47°52'05" E 29.73'
5	20.00'	83°59'51"	29.32'	N 42°07'55" W 26.76'
6	20.00'	96°00'09"	33.51'	N 47°52'05" E 29.73'
7	20.00'	83°59'51"	29.32'	N 42°07'55" W 26.76'
8	20.00'	96°00'09"	33.51'	N 47°52'05" E 29.73'
9	20.00'	83°59'51"	29.32'	N 42°07'55" W 26.76'
10	20.00'	96°00'09"	33.51'	N 47°52'05" E 29.73'
11	20.00'	96°00'09"	33.51'	N 47°52'05" E 29.73'
12	20.00'	83°59'51"	29.32'	N 42°07'55" W 26.76'
13	25.00'	96°00'09"	41.89'	N 47°52'05" E 37.16'
14	25.00'	83°59'51"	36.65'	N 42°07'55" W 33.46'
15	20.00'	95°49'21"	33.45'	N 47°57'29" E 29.68'
16	20.00'	84°10'39"	29.38'	N 42°02'31" W 26.81'
17	30.00'	84°10'39"	44.07'	N 42°02'31" W 40.22'
18	20.00'	95°49'21"	33.45'	N 47°57'29" E 29.68'
19	100.00'	21°33'55"	37.64'	N 10°44'09" W 37.42'
20	100.00'	53°09'34"	92.78'	N 48°05'53" W 89.49'
21	100.00'	9°27'10"	16.50'	N 79°24'16" W 16.48'
22	75.00'	84°10'39"	110.19'	N 42°02'31" W 100.54'
23	50.00'	84°10'39"	73.46'	N 42°02'31" W 67.03'

APPROVED:

Ted Logozzyski June 12, 2000
County Commissioner Date

Thomas E. E. Bunn January 12, 2000
County Commissioner Date

Robert Johnson 1-12-2000
County Commissioner Date

Hinda A. Stephenson 1-12-2000
County Assessor Date

Paul L. L. L. 12/21/99
County Surveyor Date

ATTEST:

County Clerk Date

THE WITHIN PLAT IS HEREBY APPROVED:

Steve Edwards 12-9-99
City of McMinnville Date
Planning Commission Chairman

Donald E. Clt 12-10-99
City of McMinnville Date
Surveyor

DECLARATION:

KNOW ALL MEN BY THESE PRESENTS that we VJ-2 Development, Inc. an Oregon Corporation are the owners of the lands, in fee, and we are developers of the lands represented on the attached map and more particularly described in the Surveyor's Certificate and have caused said lands to be surveyed and platted into lots, street right of ways, park land and easements as shown and noted on the attached map, in accordance with the provisions of the respective O.R.S., and the standards of the City of McMinnville, to be dedicated as "SHADDEN CLAIM SECOND ADDITION". We the undersigned do hereby dedicate for the public use forever all street right of ways, park land and easements for the purposes shown and noted on the attached map.

VJ-2 Development, Inc.

Willie Darnell Jones
Willie Darnell Jones, President

ACKNOWLEDGMENT

STATE OF OREGON)
COUNTY OF MARION) S.S.

On this 7th day of December, 1999, before me a Notary Public, for the State of Oregon, did personally appear the above named person in the capacity shown in the above Declaration and who is personally known to me to be the identical person described in and who executed the above Declaration freely and voluntarily. Subscribed and sworn to, before me, A Notary Public in and for said State of Oregon.

Kay Meyer



A subdivision plat consent affidavit by Berjac of Oregon, beneficiary under deed of trust described in Instrument No. 199620927 Deed and Mortgage Records has been executed and recorded in Instrument No. 20000593 of the Deed and Mortgage Records.

PLAT RESTRICTIONS:

Covenants, Conditions and Restrictions affecting this plat are recorded in Instrument No. 199909984, Yamhill County Deed and Mortgage Records.

I hereby certify that this is an exact copy of the original plat.

Clarence E. Barker
Clarence E. Barker, PLS 636

STATE OF OREGON)
COUNTY OF YAMHILL) S.S.

Recorded in Official Yamhill County Records
CHARLES STERN, COUNTY CLERK



Pursuant to O.R.S. 92.095. Taxes have been paid or bond posted to date of June 30, 2000.

Hinda A. Stephenson 1-12-2000
Yamhill County Tax Collector Date

Received 1-24-2000
County Surveyor

Baker Creek

Adventure Series 30386-3

3/20/2017

PlayPros, Inc.

541/914-1357

CCB 140881 RAINBPP941LN

Exhibit P-1



Reverse View

Play Elements:

- Triple Rail Slide
- Curve Slide
- Bubble Wall Climber
- Clover Climber
- PW Steering Wheel
- Dino Activity Panel
- Turning Bar
- ADA Transfer

DISCLAIMER

This is example play ground equipment. Exact equipment, color and configuration may vary depending on availability.