



**CITY OF MCMINNVILLE
PLANNING DEPARTMENT
231 NE FIFTH STREET
MCMINNVILLE, OR 97128**

503-434-7311
www.mcminnvilleoregon.gov

DECISION, FINDINGS OF FACT, AND CONCLUSIONARY FINDINGS OF THE MCMINNVILLE HISTORIC LANDMARKS COMMITTEE FOR APPROVAL OF THE ALTERATION OF A HISTORIC LANDMARK AT 608 NE 3RD STREET AND LOCATED IN THE DOWNTOWN HISTORIC DISTRICT

- DOCKET:** HL 3-18
- REQUEST:** The applicant has submitted a Certificate of Approval application to request the alteration of the historic landmark building in the Downtown Historic District, which is listed on the National Register of Historic Places. The resource is also designated as a “Distinctive” historic resource (Resource A866) on the Historic Resources Inventory. The landmark is subject to the Certificate of Approval alteration review process required by Section 17.65.040(A) of the McMinnville City Code.
- LOCATION:** The subject site is located at 608 NE 3rd Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.
- ZONING:** The subject site is designated as Commercial on the McMinnville Comprehensive Plan Map, and is zoned C-3 (General Commercial).
- APPLICANT:** Ernie Munch, on behalf of EMA Architecture, LLC
- STAFF:** Chuck Darnell, Associate Planner
- DATE DEEMED COMPLETE:** April 25, 2018
- DECISION-MAKING BODY:** McMinnville Historic Landmarks Committee
- DATE & TIME:** May 15, 2018. Meeting was held at the Community Development Center, 231 NE 5th Street, McMinnville, OR 97128.
- COMMENTS:** Public notice was provided to owners of properties within 300 feet of the subject site, as required by Section 17.65.070(C) of the McMinnville City Code. The Planning Department did not receive any public testimony prior to the public meeting.

DECISION

Based on the findings and conclusions, the Historic Landmarks Committee **APPROVES** the alteration of the historic resource at 608 NE 3rd Street (Resource A866), **subject to the conditions of approval provided in this document.**

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DECISION: APPROVAL WITH CONDITIONS
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Historic Landmarks Committee: 
 Joan Drabkin, Chair of McMinnville Historic Landmarks Committee

Date: 5/22/2018

Planning Department: 
 Heather Richards, Planning Director

Date: 5.22.18

Attachments:
 Attachment 1 – Certificate of Approval Application
 Attachment 2 – Historic Resources Inventory Sheet for Resource A866

APPLICATION SUMMARY:

The applicants, Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Certificate of Approval application to request the alteration of an existing historic landmark in the Downtown Historic District. The subject property is located at 608 NE 3rd Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.

The historic designation for this particular historic resource relates to the structure itself. The structure is designated as a “Distinctive” historic resource (Resource A866). The building is also located within the Downtown Historic District that is listed on the National Register of Historic Places. The building was classified as a secondary significant contributing property in the historic district. The statement of historical significance and description of the property, as described in the nomination of the Downtown Historic District, is as follows:

This rectangular red and buff brick two-story building is probably the most intact building in the district. It has five chimney-like projections along the parapet on the Third Street façade and five more along the west façade. There are a corbelled buff colored brick cornice, two corbelled brick beltcourses, and simulated quoins all of contrasting buff colored brick. Brick piers at each end of the Third Street façade extend from cornice through to the ground level and end on a raised cement sill plate. Second floor windows are one over one double-hung wood sash on both facades. The east façade is visible above the neighboring building and is plain red brick which exhibits a painted sign “Jameson Hardware Co. Sporting Goods.” The ground floor of the Third Street façade is divided into four bays by four buff brick piers. Wooden transom windows have obscure glass and are multi-paned. There are three storefronts with wood frame plate glass windows and two recessed entrances, one on the east end which leads to the second floor, and one in the center which leads into the hardware store. Original bronze window fasteners connect the plate glass where the windows angle inward towards the doorway. Bulkheads are obscure glass with wood frames and are covered with plywood in two panels flanking the central bay. The Third Street storefront extends around one bay to the west façade. The west façade has six evenly spaced wood frame obscure glass multi-paned windows at the mezzanine level. Each window has projecting buff brick surrounds. There is an original wooden double door and garage door at the south end of the west façade.

The former Jameson Hardware Building was constructed by J.F. Flecher after 1912 and first occupied by R. M. Wade and Company. Later, Evans and Jameson operated their first hardware business in the building. Jameson bought out Evans in 1915, and in 1921, Harold Taylor bought into the business. The four upstairs apartments were occupied by Dr. Wood, the Jamesons, and the librarian, Mrs. Barton. Howard Taylor bought the property in 1932.

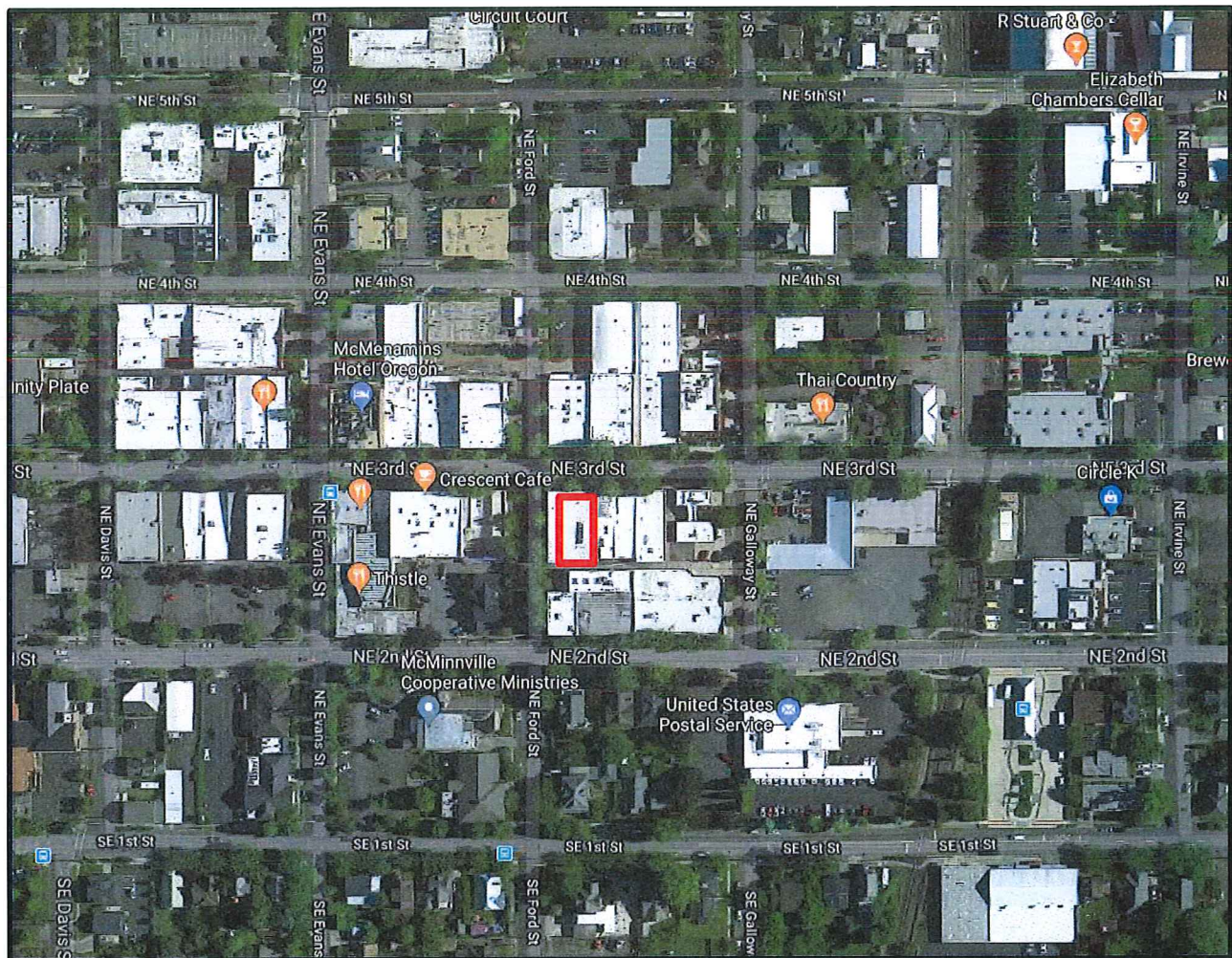
Section 17.65.040(A) of the McMinnville City Code requires that the Historic Landmarks Committee review and approve a Certificate of Approval for a request to alter any resource that is considered a historic landmark and/or listed on the National Register of Historic Places as a contributing resource. Since the subject property is both a historic landmark as defined by the McMinnville City Code and classified as secondary significant contributing property by the National Park Service in the National Register of Historic Places McMinnville Downtown Historic District, the Certificate of Approval review is required. The property is also located in the Downtown Design Standards and Guidelines area. Any exterior alterations of the building are subject to the Downtown Design Standards and Guidelines contained in Chapter 17.59 of the McMinnville City Code.

The current location of the historic resource is identified below:

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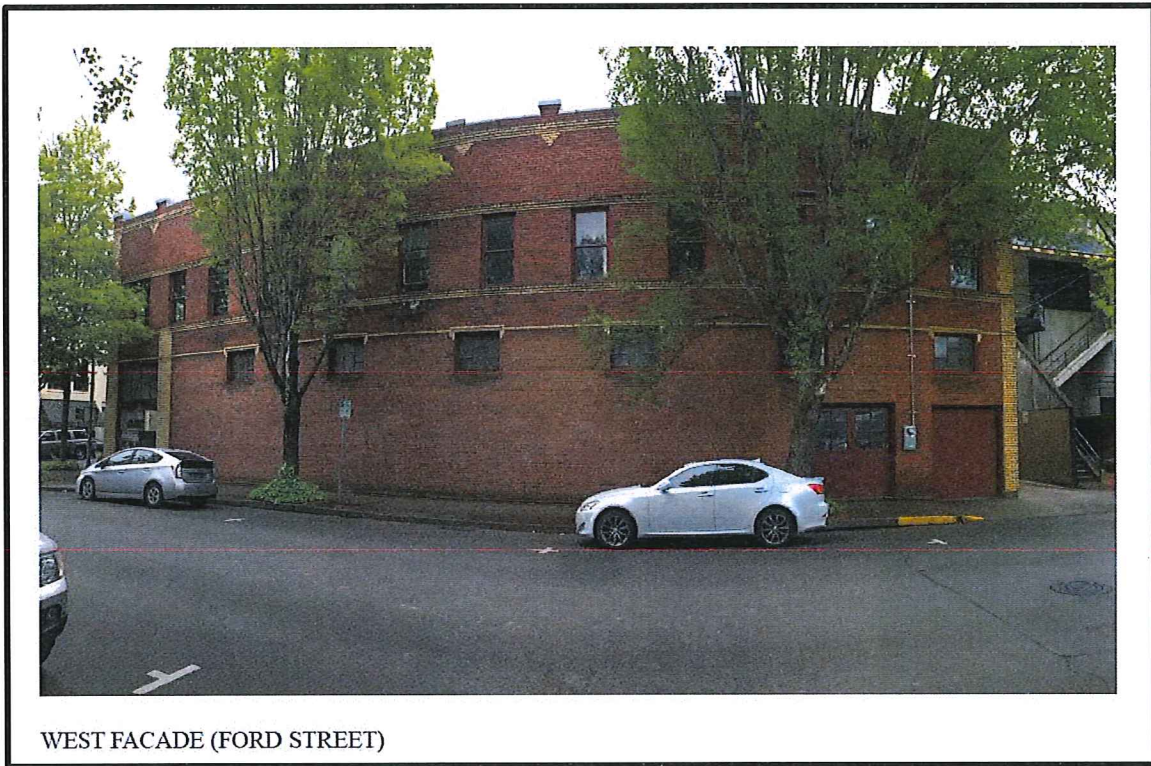
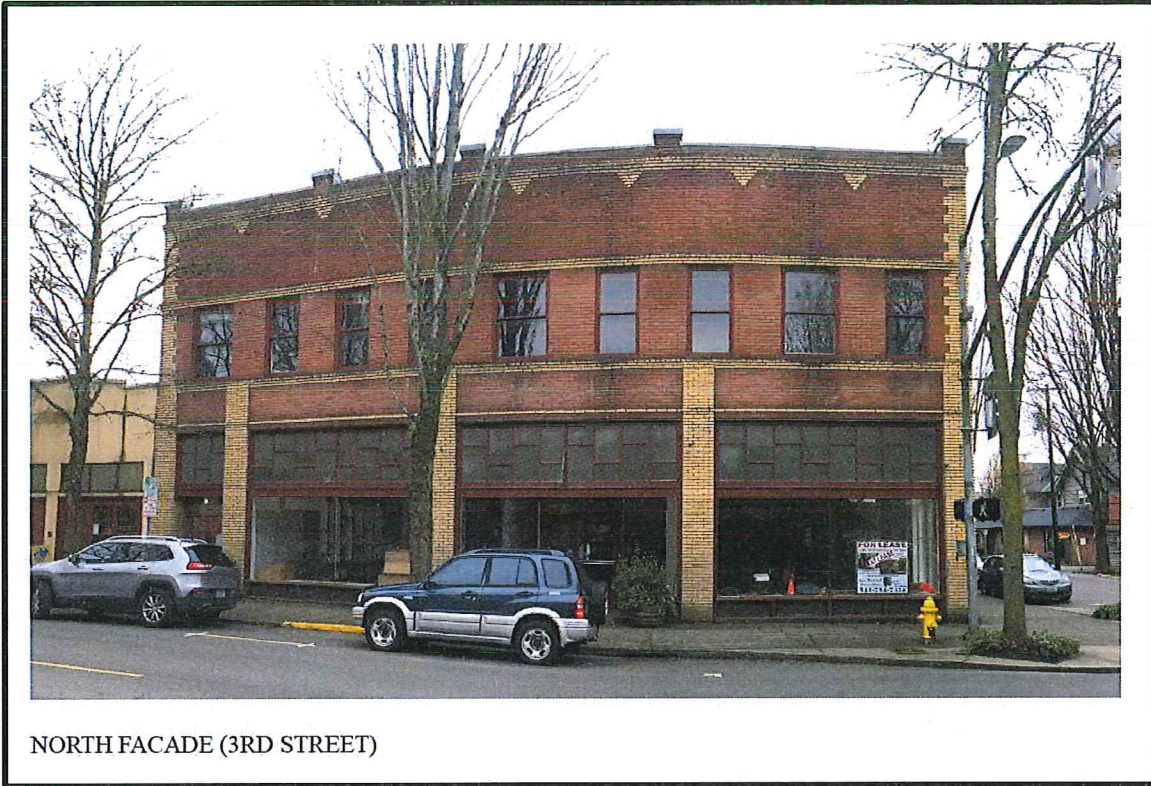
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The existing primary and street facing facades can be seen below:



CONDITIONS OF APPROVAL

1. That the distinctive features of the storefront system on the north and west facades described in the National Register of Historic Places nomination, including the original bronze fasteners that connect the plate glass and the wood framing system, be retained and repaired.
2. That the replacement door providing access to the second story be wood to be consistent with the original building materials on the ground floor of the building. The final details of the replacement door shall be reviewed and approved by the Planning Director prior to installation.
3. That all other replacement doors, including the double doors and garage door on the west façade, be wood and be replicated to have the same design as the existing original doors.

ATTACHMENTS

1. Certificate of Approval Application (on file with the Planning Department)
2. Historic Resources Inventory Sheet for Resource A866 (on file with the Planning Department)

COMMENTS

This matter was not referred to other public agencies for comment.

FINDINGS OF FACT

1. Ernie Munch, on behalf of EMA Architecture, LLC, submitted a Certificate of Approval application to request the alteration of a historic landmark in the Downtown Historic District. The subject property is located at 608 NE 3rd Street, and is more specifically described as Tax Lot 10400, Section 21BC, T. 4 S., R. 4 W., W.M.
2. The site is currently zoned C-3 (General Commercial), and is designated as Commercial on the McMinnville Comprehensive Plan Map, 1980.
3. Notice of the alteration request was provided to property owners within 300 feet of the subject site. The Planning Department did not receive any public testimony prior to the public meeting.
4. A public meeting was held by the Historic Landmarks Committee on May 15, 2018 to review the proposal.

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CONCLUSIONARY FINDINGS

McMinnville’s Comprehensive Plan:

The following Goals and policies from Volume II of the McMinnville Comprehensive Plan of 1981 are applicable to this request:

GOAL III 2: TO PRESERVE AND PROTECT SITES, STRUCTURES, AREAS, AND OBJECTS OF HISTORICAL, CULTURAL, ARCHITECTURAL, OR ARCHAEOLOGICAL SIGNIFICANCE TO THE CITY OF McMINNVILLE.

Finding: The focus of the comprehensive plan goal is to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to rehabilitate the existing historic building and preserve existing features and materials where possible. The upgrades being proposed to the building will bring the building into compliance with building code and seismic requirements, which will improve the property’s value, safety, and structural stability. Therefore, the Comprehensive Plan goal is satisfied by the proposal.

GOAL X 1: TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

Finding: Goal X 1 and Policy 188.00 are satisfied in that McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Historic Landmarks Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and meeting process.

McMinnville’s City Code:

The following Sections of the McMinnville Zoning Ordinance (Ord. No. 3380) are applicable to the request:

- 17.65.040 Certificate of Approval Process. A property owner shall obtain a Certificate of Approval from the Historic Landmarks Committee, subject to the procedures listed in Section 17.65.050 and Section 17.65.060 of this chapter, prior to any of the following activities:
 - A. The alteration, demolition, or moving of any historic landmark, or any resource that is listed on the National Register for Historic Places;
 - 1. Accessory structures and non-contributing resources within a National Register for Historic Places nomination are excluded from the Certificate of Approval process.
 - B. New construction on historical sites on which no structure exists;
 - C. The demolition or moving of any historic resource.

Finding: The applicant submitted an application for a Certificate of Approval to request the alteration of the historic landmark, per Section 17.65.040(A), because the resource is classified as a secondary significant contributing property within the Downtown Historic District that is listed on the National Register of Historic Places.

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17.65.060 Exterior Alteration or Remodeling. The property owner shall submit an application for a Certificate of Approval for any exterior alteration to a historic landmark, or any resource that is listed on the National Register for Historic Places. Applications shall be submitted to the Planning Department for initial review for completeness as stated in Section 17.72.040 of the McMinnville Zoning Ordinance. The Planning Director shall determine whether the proposed activities constitute an alteration as defined in Section 17.65.020 (A) of this chapter. The Historic Landmarks Committee shall meet within thirty (30) days of the date the application was deemed complete by the Planning Department to review the request. A failure to review within thirty (30) days shall be considered as an approval of the application. Within five (5) working days after a decision has been rendered, the Planning Department shall provide written notice of the decision to all parties who participated.

- A. The Historic Landmarks Committee may approve, approve with conditions, or deny the application.

Finding: The Historic Landmarks Committee, after reviewing the request during a public meeting and offering an opportunity for public testimony, decided to approve the alteration request and Certificate of Approval.

- B. The Historic Landmarks Committee shall base its decision on the following criteria:
1. The City's historic policies set forth in the comprehensive plan and the purpose of this ordinance;

Finding: The City's historic policies in the comprehensive plan focus on the establishment of the Historic Landmarks Committee, however, the goal related to historic preservation is as follows:

Goal III 2: To preserve and protect sites, structures, areas, and objects of historical, cultural, architectural, or archaeological significance to the City of McMinnville.

The purpose of the Historic Preservation ordinance includes the following:

- (a) Stabilize and improve property values through restoration efforts;
- (b) Promote the education of local citizens on the benefits associated with an active historic preservation program;
- (c) Foster civic pride in the beauty and noble accomplishments of the past;
- (d) Protect and enhance the City's attractions for tourists and visitors; and
- (e) Strengthen the economy of the City.

The focus of the comprehensive plan goal and the purpose of the Historic Preservation chapter are to restore and preserve structures that have special historical or architectural significance. Overall, the intent of the proposal is to rehabilitate the existing historic building and preserve existing features and materials where possible. The upgrades being proposed to the building will bring the building into compliance with building code and seismic requirements, which will improve the property's value, safety, and structural stability. The proposal will result in a building that can be utilized for commercial or residential uses, which will strengthen the vibrancy and economy of the city and specifically the Downtown Historic District by adding jobs in an existing underutilized building in the downtown core. Therefore, the Comprehensive Plan goal and the purpose of the Historic Preservation chapter are satisfied by the proposal.

2. The following standards and guidelines:
 - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

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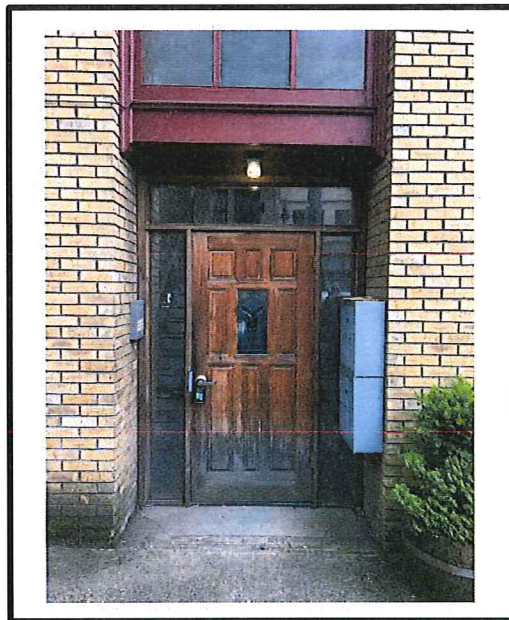
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Finding: The property has historically been used commercially, first as a hardware store and later as a dance studio. The building originally had four apartments on the upper floor, and over time two additional apartments were added. The applicant is proposing to continue to use the ground floor for commercial use, and to renovate the upper floor into short term rental uses. A restaurant is planned for the main floor. The proposed uses can be achieved within the existing building without the loss of distinctive exterior materials, exterior building features, or relationships between the spaces within the building.

The proposed uses of the building do result in the need to provide adequate access to and egress from the spaces. To achieve this and meet building code requirements, the applicant is proposing to further recess the entryway to the second story residential units by an additional 1'3" to allow for the door to not open into the public right-of-way and pedestrian pathway. The existing door is weathered and not wide enough to accommodate ADA access into the residential units. Therefore, the applicant is proposing to replace the existing door with a wider door that provides ADA accessibility through the opening. The interior renovations include the addition of an elevator to provide access to the second story and basement, so the applicant wants to ensure that full ADA accessibility can be achieved. The addition of a wider door will result in the removal of one side light. The entry will retain one of the two existing sidelights and the transom above the door. The additional recess of the entryway will also allow for seismic upgrades to occur with a steel column wrap around the entryway. This steel column wrap feature is proposed to be visible on the interior of the recessed entry, and will cover some of what is currently buff colored brick. The applicant is proposing to carefully mine out the buff colored brick that would be covered, and use that to replace other exterior brick on the north and west facades that is so spalled or cracked that they require replacement. A condition of approval has also been included to require that the replacement door providing access to the second story be wood to be consistent with the original building materials on the ground floor of the building.

Photos of the existing second story entry and a rendering of the proposed second story entry are provided below:



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On the west façade, the applicant is proposing to further recess the existing double doors to allow for those doors to open without projecting into the public right-of-way and pedestrian pathway. These doors also need to be changed from in-swinging to out-swinging in order to provide for egress from the ground floor per the building code, and the additional recessed entry will allow for that to occur within the property line.

A photo of the existing west façade entry and a rendering of the proposed west façade are provided below:



On the alley side of the building, the applicant is proposing to remove the existing exterior staircase that currently provides egress from the second story residential units. The existing staircase is currently located in an undefined easement, and the applicant has identified the following code issues with the current staircase:

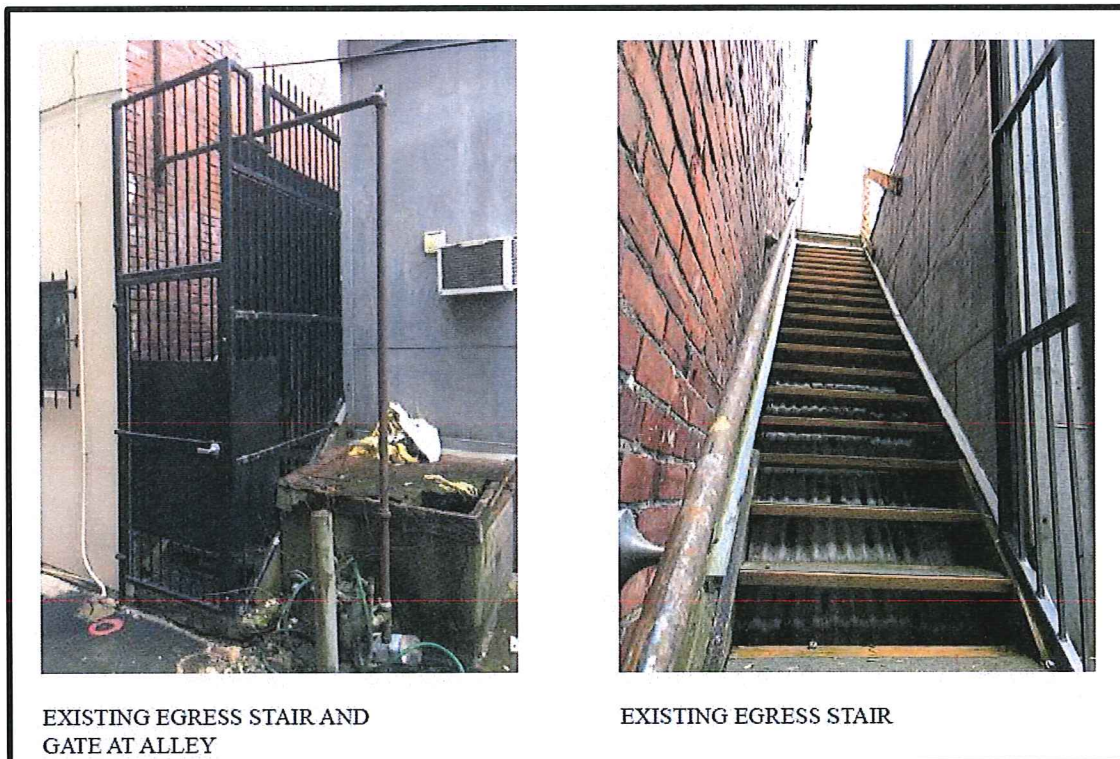
1. Egress from one building may not be made through a building of lesser safety. The two-story building at 608 NE 3rd Street will be seismically upgraded and have an automatic sprinkler system installed. The one story building at 618 NE 3rd Street will have neither a sprinkler system, nor a seismic upgrade.

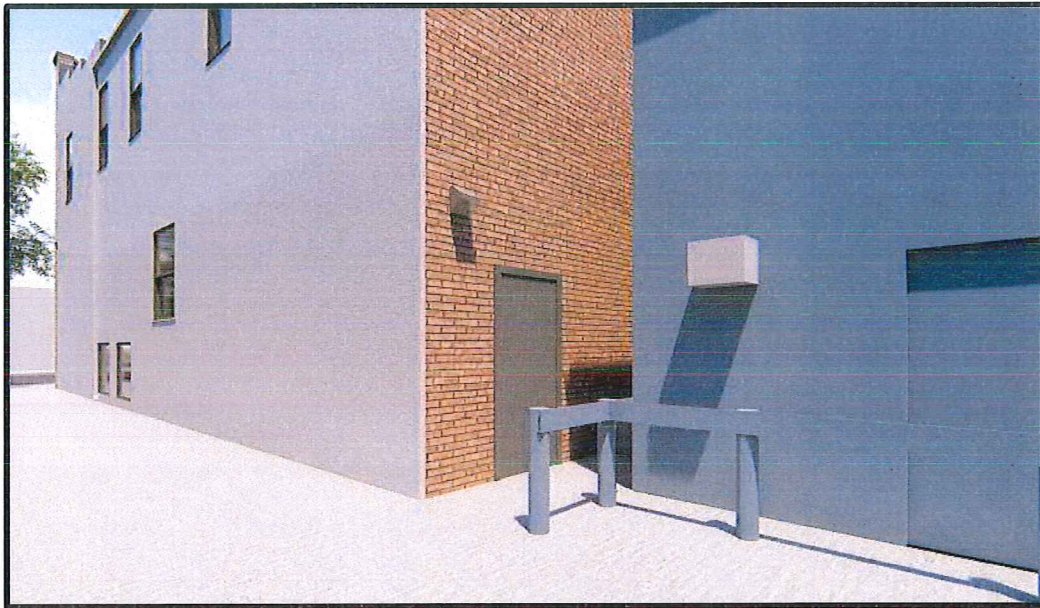
2. The existing egress route from 608 NE 3rd Street is not protected from the adjacent, non-sprinklered building by a fire rated separation.
3. The wall of 618 NE 3rd Street which flanks the stair should have a 3 hour fire rating.
4. The stair does not comply with the code's maximum riser-height and minimum tread-width requirements.
5. The stair riser-heights vary beyond code tolerances.
6. The stair is too narrow.
7. The handrails do not comply.
8. There is no landing at the bottom of the stair.
9. The security gate in the alley swings out over the public right-of-way.
10. There is insufficient lighting of the egress path.

The proposal to remedy those issues is to remove the exterior staircase, close the three openings on the east façade of the building, construct a new interior staircase that will provide egress from the second story and the basement, and open a new doorway on the southeast corner (alley side) of the building. Brick from the new opening will be used to fill in the three existing openings on the east side, or to replace existing brick in other locations on the north and west facades that is too spalled to repair.

The closing of the three existing openings on the east facade, which include one doorway that opens to the exterior staircase that is proposed to be removed and two windows, is also being completed to provide for a 3-hour fire rated separation between the subject building and the adjacent building.

Photos of the existing east façade, the exterior staircase, and a rendering of the proposed east façade are provided below:





The proposed alterations to the exterior of the building will allow for the building to be occupied by modern uses that meet applicable building code requirements. Overall, the proposed alterations will not result in the loss of key architectural features or historically significant details on the exterior of the building. The main portions of the façade, including the historic masonry work and details, will be preserved, as discussed in more detail below.

- b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

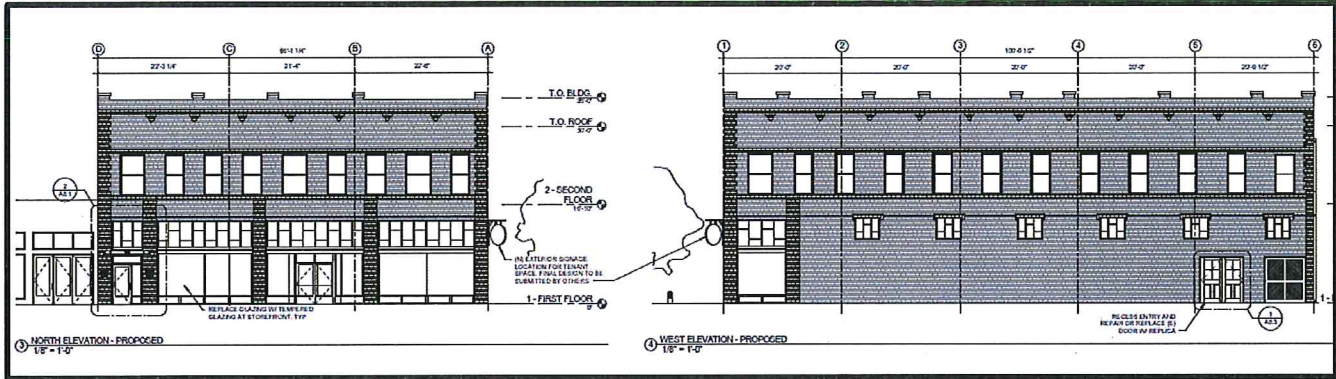
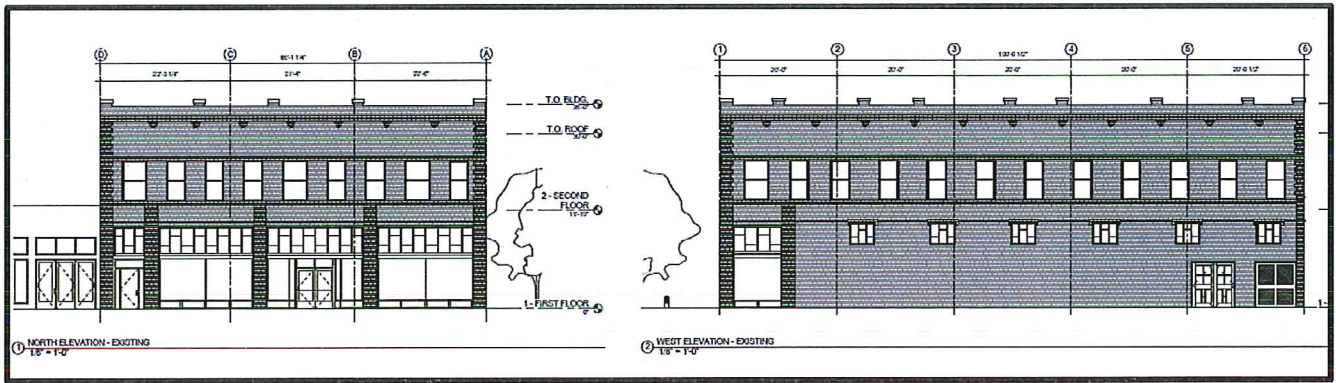
Finding: This criteria describes the need to avoid the replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships. The burden is on the applicant to provide that the historic materials cannot be repaired if they are interested in replacing them. The applicant is proposing to retain the original exterior masonry walls, stating that the existing brick will be cleaned, repaired, and repointed. However, the applicant is also proposing to replace the original storefront window glass and the upper story windows. The existing storefront and mullion system will be retained and cleaned, and new glass panes will be placed within the existing mullion system. A condition of approval has been included to require that the distinctive features of the storefront system described in the National Register of Historic Places nomination, including the original bronze fasteners that connect the plate glass and the wood framing system, be retained and repaired.

A comparison of the existing elevations and the proposed elevations, along with rendering of the proposed elevations, are provided below to show how the prominent masonry work and details will be retained:

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In addition, the applicant has stated the need to replace the second story windows on the premise that they cannot be repaired. The double-hung wood frame windows on the second story were identified in the historic district nomination as part of the architectural integrity of the building. Since the time of application, the applicant has removed one window in its entirety to further evaluate the window and determine whether repairs are possible, or whether they are so deteriorated that they need to be replaced with exact replicas using the same historic materials. The applicant demonstrated during the public meeting and in a window assessment report that the windows are not reparable without further jeopardizing the masonry of the building. The applicant is proposing to replace the windows on the second floor with exact replicated wooden windows, which will be crafted by a window specialist using an existing window as a template.

Where the original materials or elements are missing or replaced, or where the building code requirements require alterations, the elements used in the replacement will be in keeping with the original materials and character of the building.

- c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.

Finding: The applicant is proposing to restore existing historic materials and features where possible, including the exterior brick masonry and storefront window and mullion system. The second story windows and ground floor doors are proposed to be replaced due to weathering and an inability to repair the existing windows and doors. Where replacement is necessary, the applicant is proposing to

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replicate the existing windows and doors so that they are physically and visually compatible with the original features.

- d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Finding: Much of the existing building features and materials are original, and there have not been many changes to the property that have acquired their own historic significance. A painted sign exists on the east façade, stating “Jameson Hardware Co. Sporting Goods”, and the applicant is proposing to preserve the remains of that painted sign during the brick restoration.

- e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.

Finding: The distinctive features of the existing building will be retained. Much of the character defining features of the building are in the original storefront window system and the exterior brick work. The existing exterior masonry work includes a corbelled cornice, corbelled brick beltcourses, brick piers running from the cornice through to the ground level, and brick chimney-like projections along the roofline of the north and west facades. All of these features and masonry details will be maintained. The existing red and buff colored brick will also be retained where possible. The masonry will be repointed and relayed if necessary with custom mixed mortar which is visually and physically compatible with the original. The tops of protruding ledges will be repaired and sealed to direct water away from the masonry walls. Where new openings are being proposed on the back side of the building, that brick will be used to replace existing brick that is too spalled to repair. The applicant is also proposing to mine out and use some of the buff colored brick from the recessed entryway to the second story residential units in areas where other buff colored brick is too spalled or cracked to repair. The existing storefront and mullion system, which is also a distinctive feature of the building will be preserved, but with new glass being installed to replace the existing.

- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Finding: The applicant is proposing to clean the exterior masonry with a mild cleanser and a light power wash before being repaired and repointed. This is consistent with the Secretary of the Interior’s Guidelines for the Preservation of Historic buildings, which specifically states the following as a recommended guideline: “Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.”

- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Finding: The applicant has stated that they are not aware of any known archeological resources.

- i. The Guidelines for Historic Preservation as published by the United States Secretary of the Interior.

Finding: The proposed alterations can most closely be considered a “Rehabilitation” of the existing historic resource, which is a type of treatment of historic properties described in the Secretary of the

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Interior's Standards for the Treatment of Historic Properties. This document describes the rehabilitation of a historic building as follows:

In Rehabilitation, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation. However, greater latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings to replace extensively deteriorated, damaged, or missing features using either the same material or compatible substitute materials. Of the four treatments, only Rehabilitation allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building.

The applicant is proposing to maintain the most character defining features of the building in the exterior masonry and the existing storefront window mullion system. Where existing materials are deteriorated, replacement is being proposed using the same building materials as exist today on the historic building. Heavily cracked or spalled brick will be replaced, either with brick relocated from other facades of the building where other alterations are proposed in less visible areas, or with like-colored brick to match the existing façade. The second story windows and ground level doors will be replicated with new wood windows and doors, with the windows being crafted by a window specialist using an existing second story window as a template.

Some of the applicable rehabilitation guidelines for treating masonry on historic buildings are provided below:

Recommended Guideline: Identifying, retaining and preserving masonry features that are important in defining the overall historic character of the building (such as walls, brackets, railings, cornices, window and door surrounds, steps, and columns) and decorative ornament and other details, such as tooling and bonding patterns, coatings, and color.

Finding: As mentioned above, the applicant is proposing to clean, repair, and preserve the existing masonry and brick details on the existing historic building, which provide much of the significant character defining features and details of the building.

Recommended Guideline: Cleaning soiled masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.

Finding: The applicant has stated that the masonry will be cleaned with a mild cleanser and a light power wash before being repaired and repointed.

Recommended Guideline: Repairing masonry by patching, splicing, consolidating, or otherwise reinforcing the masonry using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing parts of masonry features when there are surviving prototypes, such as terra-cotta brackets or stone balusters.

Recommended Guideline: Repairing masonry walls and other masonry features by repointing the mortar joints where there is evidence of deterioration, such as disintegrating mortar, cracks in mortar joints, loose bricks, or damaged plaster on the interior.

Recommended Guideline: Duplicating historic mortar joints in strength, composition, color, and texture when repointing is necessary. In some cases, a lime-based mortar may also be considered when repointing Portland cement mortar because it is more flexible.

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Finding: As mentioned above, the existing masonry will be preserved where possible, and the existing brick will be repointed. A custom mixed mortar which is visually and physically compatible with the original will be used if necessary.

Some of the applicable rehabilitation guidelines for treating windows on historic buildings are provided below:

Recommended Guideline: Evaluating the overall condition of the windows to determine whether more than protection and maintenance, such as repairs to windows and window features, will be necessary.

Recommended Guideline: Replacing in kind an entire window that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered.

Finding: The applicant has removed one window in its entirety to further evaluate the window and determine whether repairs are possible, or whether they are so deteriorated that they need to be replaced with exact replicas using the same historic materials. The applicant demonstrated during the public meeting and in a window assessment report that the windows are not reparable without further jeopardizing the masonry of the building. The applicant is proposing to replace the windows on the second floor with exact replicated wooden windows, which will be crafted by a window specialist using an existing window as a template.

Some of the applicable rehabilitation guidelines for treating entrances on historic buildings are provided below:

Recommended Guideline: Designing and constructing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the building (i.e., ensuring that the new entrance or porch is clearly subordinate to historic primary entrances or porches).

Recommended Guideline: Identifying, retaining, and preserving entrances and porches and their functional and decorative features that are important in defining the overall historic character of the building. The materials themselves (including masonry, wood, and metal) are significant, as are their features, such as doors, transoms, pilasters, columns, balustrades, stairs, roofs, and projecting canopies.

Not Recommended Guideline: Altering utilitarian or service entrances so they compete visually with the historic primary entrance; increasing their size so that they appear significantly more important; or adding decorative details that cannot be documented to the building or are incompatible with the building's historic character.

Not Recommended Guideline: Cutting new entrances on a primary façade.

Finding: The proposed alterations would maintain the location of and general design of the existing entrances to the building on the north and west façades. The applicant is proposing to further recess two of the entryways, but is doing so to meet building code and egress requirements. The applicant is utilizing existing openings in the west façade to provide egress from the main floor and access to the basement, which will function as utilitarian entrances but will not compete with the historical character of the building as the openings in the façade exist today. The one additional new entrance being

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proposed will be on the alley side of the building in an area that is not prominent and will not detract from the historical character of the primary facades on the north and west of the building.

Some of the applicable rehabilitation guidelines for treating storefronts on historic buildings are provided below:

Recommended Guideline: Identifying, retaining, and preserving storefronts and their functional and decorative features that are important in defining the overall historic character of the building. The storefront materials (including wood, masonry, metals, ceramic tile, clear glass, and pigmented structural glass) and the configuration of the storefront are significant, as are features, such as display windows, base panels, bulkheads, signs, doors, transoms, kick plates, corner posts, piers, and entablatures. The removal of inappropriate, non-historic cladding, false mansard roofs, and other later, non-significant alterations can help reveal the historic character of the storefront.

Finding: As mentioned above, the applicant is proposing to preserve the existing storefront window mullion system. The applicant will be replacing the existing glass, but will do so with clear glass and in the case of the bulkheads and transoms, new glass that is consistent in visual appearance with the existing glass.

Some of the applicable rehabilitation guidelines for code-required work on historic buildings are provided below:

Recommended Guideline: Identifying the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting which may be affected by accessibility code-required work.

Recommended Guideline: Finding solutions to meet accessibility requirements that minimize the impact of any necessary alteration on the historic building, its site, and setting, such as compatible ramps, paths, and lifts.

Recommended Guideline: Complying with life-safety codes (including requirements for impact-resistant glazing, security, and seismic retrofit) in such a manner that the historic building's character-defining exterior features, interior spaces, features, and finishes, and features of the site and setting are preserved or impacted as little as possible.

Recommended Guideline: Using existing openings on secondary or less-visible elevations or, if necessary, creating new openings on secondary or less-visible elevations to accommodate second egress requirements.

Finding: As described in more detail above, the majority of the alterations to the exterior of the building being proposed are driven by bringing the building up to current building code requirements. The largest upgrade to the building is the seismic retrofit, which is being completed primarily on the interior of the building to minimize impacts to the historic character of the exterior of the building. Changes that will occur to the exterior of the building have been thoughtfully designed and in some cases occur on less-visible facades, which minimize impacts to the historic character of the building.

3. The economic use of the historic resource and the reasonableness of the proposed alteration and their relationship to the public interest in the historic resource's preservation or renovation;

Finding: The proposed alteration is reasonable, as the applicant intends to upgrade, but preserve, the existing historic building while making alterations where necessary to meet building code

Attachments:

Attachment 1 – Certificate of Approval Application

Attachment 2 – Historic Resources Inventory Sheet for Resource A866

requirements and replace materials only where the existing materials have deteriorated beyond repair. The applicant has stated that, for the building to be of economic value to the owner, egress must be improved from all three levels, and the street entrance to the second floor must be improved. The seismic, egress and mechanical systems upgrades and the installation of an automatic sprinkler system are well timed, with the building being empty on all three levels. The investment and added activity should be of value to the historic district as a whole.

4. The value and significance of the historic resource;

Finding: The historic resource is located within the Downtown Historic District that is listed on the National Register of Historic Places, and is classified as a secondary significant contributing property in the historic district. The applicant has argued that he existing classification may be incorrect, and that the building should be classified instead as a primary significant contributing resource in the historic district. However, overall the intent of the proposed alterations and work are on the preservation of character defining historical features, including the exterior masonry and historic storefront window system, and the replacement of deteriorated materials with like materials.

5. The physical condition of the historic resource;

Finding: The existing building is in need of maintenance and some repair to the exterior finishes and details. As described in more detail above, the applicant is proposing to improve the physical condition of the resource, preserving historic features and details where possible, and replacing materials only where the existing materials have deteriorated beyond repair.

17.65.070 Public Notice.

- A. After the adoption of the initial inventory, all new additions, deletions, or changes to the inventory shall comply with subsection (c) of this section.
- B. Any Historic Landmark Committee review of a Certificate of Approval application for a historic resource or landmark shall comply with subsection (c) of this section.
- C. Prior to the meeting, owners of property located within 300 feet of the historic resource under consideration shall be notified of the time and place of the Historic Landmarks Committee meeting and the purpose of the meeting. If reasonable effort has been made to notify an owner, failure of the owner to receive notice shall not impair the validity of the proceedings.

Finding: Notice was provided to property owners located within 300 feet of the historic resource. A copy of the written notice provided to property owners is on file with the Planning Department.

CD:sjs

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