

Planning Department
231 NE Fifth Street ◦ McMinnville, OR 97128
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www.mcminnvilleoregon.gov

Office Use Only:	
File No.	<u>HL 6-13</u>
Date Received	<u>4-9-13</u>
Fee	<u>\$ 0</u>
Receipt No.	<u>N/A</u>
Received by	<u>CD</u>

Certificate of Approval (Alteration)

Applicant Information

Applicant is: Property Owner Contract Buyer Option Holder Agent Other _____

Applicant Name Bluegate LLC Phone 310 869 2269

Contact Name Max de Lavenne Phone 310 869 2269
(If different than above)

Address 1335 SW Fleishauer Lane

City, State, Zip McMinnville, OR, 97128

Contact Email mlavenne@gmail.com

Property Owner Information

Property Owner Name same as above Phone _____
(If different than above)

Contact Name _____ Phone _____

Address _____

City, State, Zip _____

Contact Email _____

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 620 NE 3rd St, McMinnville, OR 97128

Assessor Map No. R4 421BC. 10401. Total Site Area 3000 sqft (100 x 30)

Subdivision ROWLAND'S ADDITION Block 6 Lot East half of Lot 3

Comprehensive Plan Designation Commercial Zoning Designation C3

1. What is the classification of the historic building? Contributory

2. Architect Name NW Tactical Designs Phone _____
(Engineer or Other Designer)
 Contact Name Caleb Roach Phone 971.888.1168
 Address 21880 S Foothills Ave
 City, State, Zip Oregon City, OR, 97045
 Contact Email calebroach@gmail.com

3. Contractor Name Larry Collver Phone 503.435.7769
 Contact Name Larry Collver Phone _____
 Address 26099 SW Valley View
 City, State, Zip Sheridan, OR, 97378
 Contact Email collver.cattle@gmail.com

4. The existing use of the property. Vacant

5. The intended use of the property. Office space

6. Attach a written narrative that describes:
 - A. The proposed project in detail (specific portions of the structure being altered, new features being constructed, etc.);
 - B. How the proposed project meets the applicable Comprehensive Plan policies;
 - C. How the proposed project meets the applicable design standards and guidelines, which are as follows:
 - a. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
 - b. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
 - c. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
 - d. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
 - e. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
 - f. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.


- g. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- h. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- i. The proposed project must be consistent with the Guidelines for Historic Preservation as published by the United States Secretary of the Interior;

- D. The reasonableness of the proposed project and a description of the economic use of the historic resource, and how those factors relate to the proposed project;
- E. The current value and significance of the historic resource, and how those factors relate to the proposed project; and
- F. The physical condition of the historic resource, and how the condition relates to the proposed project.

In addition to this completed application, the applicant must provide the following:

- A site plan (drawn to scale, with a north arrow, legible, and of a reproducible size), showing the information listed in the information sheet.
- Architectural drawings, including elevations of the proposed alteration. The elevations shall include descriptions of the proposed finish material.
- Photographs and/or drawings of the existing structure.


I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.



 Applicant's Signature

4/6/2018

 Date



 Property Owner's Signature

4/6/2018

 Date

RE: Certificate of Approval Application: HL 6-18

Please find additional narrative for:

- Project Overview (Exhibit A)
- Downtown Design Standards and Guidelines narrative (Exhibit B)
- Guidelines for Historic Preservation narrative (Exhibit C)
- SOI Standards for Rehabilitation for New Exterior Addition (Exhibit D)

Exhibit A – Project Overview

The overall project is a structural rehabilitation of the building and an addition of a second level with a patio to bring total square footage from 3,000 to 5,000 and be used as office space.

Additions:

- Second level
- Exit staircase to the back-alley side
- Back-alley fence so employees can park bicycles securely, and to keep staircase clear of obstructions.

Alterations:

- Seismic upgrade (inside lower level)
- Updating façade colors (both stucco and wood trim)
- ADA compliant bathrooms
- Staircases inside the building and outside the building

Existing conditions:

Currently, the building is in poor condition. It has been vacant for almost 6 years and has not been maintained for an even longer, indeterminate, period.

Outside: A detailed inspection revealed that the roof needs to be replaced, that the back-alley wall is filled with wood rot (plants are growing off the wood underneath the gutters), that the front window system is filled with wood rot and needs to be addressed, that the top-level cornice has rotted away and the front door needs to be replaced.

Inside: There is no ceiling, the roof is apparent. There is no electrical system, it has been ripped out. The plumbing is in very poor condition and needs to be redone. Bathrooms need to be rebuilt.

Use:

The building will be used for office space; however, the proposed renovation will not alter the historical character of the building, nor will it alter its potential to be used as a retail store in years to come. The proposed construction will add another 2000 sqft of office space on a second level, along with a 1000 sqft of patio space.

Exhibit B – Downtown Design Standards and Guidelines Narrative

The following are our responses to how the building design complies to the Downtown Design Standards and Guidelines chapter of the McMinnville Zoning Ordinance:

Section 17.59.50 (A) – Building Setback

Section 17.59.50 (A)(1) Except as allowed by this ordinance, buildings shall maintain a zero setback from the sidewalk or property line.

Finding: The building currently meets this requirement and there are no plans to change the setback.

Section 17.59.50 (A)(2) Exceptions to the setback requirements may be granted to allow plazas, courtyards, dining space, or rear access for public pedestrian walkways.

Finding: N/A – no exceptions requested.

Section 17.59.50 (B) – Building Design

Section 17.59.50 (B)(1) Buildings should have massing and configuration similar to adjacent or nearby historic buildings on the same block. Buildings situated at street corners or intersections should be, or appear to be, two-story in height.

Finding: The massing and configuration of the first level remains unchanged and is compatible with the adjacent buildings, meeting the configuration criteria.

The upper level exhibits a front patio of 20 ft, which will make the addition retreated from the street. The visual design of the second level is compatible in massing and configuration to the first level and the adjacent buildings.

The building is not located at a street corner or intersection and therefore the two-story height appearance criteria does not apply.

Section 17.59.50 (B)(2) Where buildings will exceed the historical sixty feet in width, the façade should be visually subdivided into proportional bays, similar in scale to other adjacent historic buildings, and as appropriate to reflect the underlying historic property lines. This can be done by varying roof heights, or applying vertical divisions, materials and detailing to the front façade.

Finding: not applicable, the building is only 30 ft wide.

Section 17.59.50 (B)(3)(a) Storefronts should include a belt course separating the upper stories from the first floor

Finding: This requirement is met because the building's storefront remains a one-story building. Because of the proposed 20 ft patio starting behind the existing cornice, there is no upper story to separate from the first floor.

Section 17.59.50 (B)(3)(b) Storefronts should include a bulkhead at the street level.

Finding: This requirement is met, as there is no change to the facade, refer to Street Elevation.

Section 17.59.50 (B)(3)(c) Storefronts should include a minimum of seventy (70) percent glazing below the transom line of at least eight feet above the sidewalk, and forty (40) percent glazing below the horizontal trim band between the first and second stories. For the purposes of this section, glazing shall include both glass and openings for doorways, staircases and gates;

Finding: This requirement is met, as there is no change to the facade, refer to the Street Elevation.

Section 17.59.50 (B)(3)(d) Storefronts should include a recessed entry and transom with transparent door;

Finding: This requirement is not met by the existing building, and no changes to the historic facade are proposed. Building a recessed entrance would require the window system to be modified, new masonry work, a new door system, and new lighting to be installed. This would cost between \$25,000 and \$30,000 and are too much of a financial burden to be included in this project. It will be considered in a possible future façade renovation phase.

Section 17.59.50 (B)(3)(e) Storefronts should include a decorative cornice or cap at the roofline.

Finding: this requirement is met, as there is no change to the facade. Refer architectural drawings.

Section 17.59.50 (B)(4): Orientation of rooflines of new construction shall be similar to those of adjacent buildings. Gable roof shapes, or other residential roof forms, are discouraged unless visually screened from the right-of-way by a false front or parapet.

Finding: This requirement is met. Adjacent buildings do not have second stories. The proposed second story roof has a minimal slope of .25/12. The building at 645 NE 3rd St is a downtown comparison.

Section 17.59.50 (B)(5): The primary entrance to a building shall open on to the public right-of-way and should be recessed.

Finding: This requirement is not met by the existing building, and no changes to the historic facade are proposed. See response to **17.59.50 (B)(3)(d)**

Section 17.59.50 (B)(6): Windows shall be recessed and not flush or project from the surface of the outer wall. In addition, upper floor window orientation primarily shall be vertical.

Finding: This requirement is met, both on the first level and the second level. Refer to architectural drawings.

Section 17.59.50 (B)(7): The scale and proportion of altered or added building elements, such as new windows or doors, shall be visually compatible with the original architectural character of the building.

Finding:

1. Windows. No changes to the first level storefront are proposed. On the second level, the window system will be visually compatible with the original architectural character of the building with transom windows and same trim. Refer to architectural drawings.
2. Doors. No changes proposed.
3. Transom windows. No changes proposed.



i-Old design



ii-New design

(note green color will be replaced by Sail Cloth matching that of the upper level)

Section 17.59.50 (B)(8): Buildings shall provide a foundation or base, typically from ground floor to the lower windowsills.

Finding: This requirement is met. The building's foundation or base will not be changed.

Section 17.59.50 (C) – Building Materials

Section 17.59.50 (C)(1): Exterior building materials shall consist of building materials found on registered historic buildings in the downtown area including block, brick, painted wood, smooth stucco, or natural stone.

Finding: This requirement is met. The existing façade will not be modified. The façade of the second level will also use stucco. The top-level sides and back (east, west and south facing) will be painted Hardi panels which are more durable for the rainy Western Oregon region.

Section 17.59.50 (C)(2): The following materials are prohibited for use on visible surfaces (not applicable to residential structure):

- a. Wood, vinyl, or aluminum siding;
- b. Wood, asphalt, or fiberglass shingles;

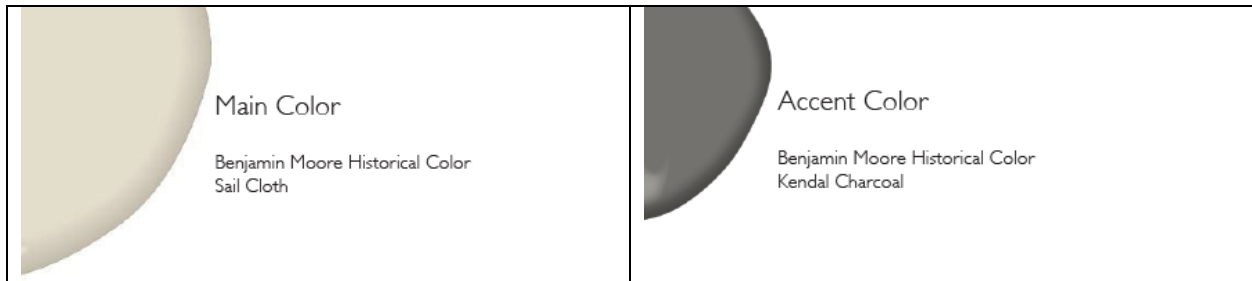
- c. Structural ribbed metal panels;
- d. Corrugated metal panels;
- e. Plywood sheathing, to include wood paneling such as T-111;
- f. Plastic sheathing; and
- g. Reflective or moderate to high grade tinted glass.

Finding: this requirement is met because the building will use none of such materials.

Section 17.59.50 (C)(3): Exterior building colors shall be of low reflective, subtle, neutral or earth tone color. The use of high intensity colors such as black, neon, metallic or florescent colors for the façade of the building are prohibited except as may be approved for building trim. (Ord. 4797 §1, 2003).

Finding: The requirement is met because the exterior building colors will use:

1. "Sail Cloth" (from Benjamin Moore historical color) as a main color.
2. "Kendal Charcoal" (from Benjamin Moore historical color) as an accent color.



Both are historical colors neutral colors.

Section 17.59.060 - Surface Parking Lots

This entire requirement section is met. There are no parking lots for this building and no new parking lots are proposed.

Section 17.59.070 - Awnings

This entire requirement section is met. No awnings exist on the building and no new awnings are proposed.

Section 17.59.080 - Signs.

This entire requirement section is met. No signs exist on the building and no new signs are proposed.

Exhibit C – Guidelines for Historic Preservation Narrative

Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

Finding: proposed use as office space is compatible with minimal change to distinctive materials, features, spaces and spatial relationships.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Finding: this requirement is met by retaining the main facade as is.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Finding: this requirement is met by not altering any existing architectural element of the facade.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Finding: There are no change to the façade and so all its character defining features, which are (1) the front stepped parapet roof detail, (2) the stuccoed façade and (3) historic 3 part (transom, display windows and bulkhead) storefront, are left intact.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Finding: This requirement is met, as no changes to the façade are proposed.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Finding: This requirement is met by repairing the existing materials using approved methods.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Finding: repairs to the stucco, window frame and cornice will be made in the gentlest means possible as outlined in the SOI Standards for rehabilitation

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Finding: No work planned below existing concrete slab

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Finding: No changes to the façade, beyond patches and repairs. The second story addition meets these requirements by using a historic window layout with a transom level, proportionally compatible height windows and by using compatible siding treatments. The second story addition is stepped back 20ft as to not distract from the historic single story street front.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Finding: this requirement is met by keeping alterations to the essential form of the building at a minimum the main second story addition does not intersect the historic street facade.

Exhibit D - SOI Standards for Rehabilitation for New Exterior Addition

1. Placing functions and services required for a new use (including elevators and stairways) in secondary or non-character-defining interior spaces of the historic building rather than constructing a new addition.

Finding: this requirement is met. We are adding stairs inside the building for the second level access, and a staircase in the back alley which is non character defining

2. Constructing a new addition on a secondary or non-character-defining elevation and limiting its size and scale in relationship to the historic building.

Finding: this requirement is met by setting the top addition back by 20 ft from the facade

3. Constructing a new addition that results in the least possible loss of historic materials so that character-defining features are not obscured, damaged, or destroyed.

Finding: this requirement is met because we are not changing anything to the main façade which is the only character defining element of the building.

4. Designing a new addition that is compatible with the historic building.

Finding: this requirement is met because the new addition façade is using the same stucco material as the lower level façade, the same wall and trim color, and the windows use a compatible layout in proportion with transom level.

5. Ensuring that the addition is subordinate and secondary to the historic building and is compatible in massing, scale, materials, relationship of solids to voids, and color.

Finding: this requirement is met by setting the top addition back by 20 ft from the facade

6. Using the same forms, materials, and color range of the historic building in a manner that does not duplicate it, but distinguishes the addition from the original building.

Finding: this requirement is met because the new addition façade is using the same stucco material as the lower level façade, the same wall and trim color, and the windows use a compatible layout in proportion with transom level, it is also set back by 20 ft from the façade and contrasts from the lower historic level by using simplified detailing.

7. Basing the alignment, rhythm, and size of the window and door openings of the new addition on those of the historic building.

Finding: This requirement is met, as the layout of the windows use a transom level and is compatible in overall layout to that of the lower level.

8. Incorporating a simple, recessed, small-scale hyphen, or connection, to physically and visually separate the addition from the historic building.

Finding: this requirement is met by setting the top addition back by 20 ft from the façade.

9. Distinguishing the addition from the original building by setting it back from the wall plane of the historic building.

Finding: this requirement is met by setting the top addition back by 20 ft from the façade.

10. Ensuring that the addition is stylistically appropriate for the historic building type (e.g., whether it is residential or institutional).

Finding: this requirement is met because the building use remains commercial (office space), and the top level is designed with commercial materials and commercial esthetic (large windows and the stucco siding).

11. Considering the design for a new addition in terms of its relationship to the historic building as well as the historic district, neighborhood, and setting.

Finding: this requirement is met by setting the top addition back by 20 ft from the façade, because we don't want it to distract from the historic street front. The historic district is really defined by the historic facades on 3rd street and the addition setback does not interfere with it. Also, the sides of the second level addition will use the same color of the building, which will help it better blend in its surroundings.

12. Designing a compatible rooftop addition for a multi-story building, when required for a new use, that is set back at least one full bay from the primary and other highly-visible elevations and that is inconspicuous when viewed from surrounding streets.

Finding: this requirement is met by setting the top addition back by 20 ft from the façade. Refer to architectural drawing. The high historic façade helps in preventing the second level from being too visible from the street level.

13. Limiting a rooftop addition to one story in height to minimize its visibility and its impact on the historic character of the building.

Finding: this requirement is met as we are doing a one level only addition.

14. Adding a new building to a historic site or property only if the requirements for a new or continuing use cannot be accommodated within the existing structure or structures.

Finding: we need more square footage and we cannot do so without building a second level addition by going up. There is no other option, as the building covers the entire lot.

15. Locating new construction far enough away from the historic building, when possible, where it will be minimally visible and will not negatively affect the building's character, the site, or setting.

Finding: not applicable as the building covers the entire lot. The 20 ft setback accommodates this requirement.

16. Designing new construction on a historic site or in a historic setting that it is compatible but differentiated from the historic building or buildings.

Finding: this requirement is met because the new addition is compatible in material, color and style to the lower level, but its simplified modern design will differentiate it from the historic lower level building.

17. Considering the design for related new construction in terms of its relationship to the historic building as well as the historic district and setting.

Finding: this requirement is met because the new addition façade is using the same stucco material as the lower level façade, the same wall and trim color, and the windows use a compatible layout in proportion with transom level, it is also set back by 20 ft from the façade and contrasts from the lower historic level by using simplified detailing. These design choices help the addition blend in with the historic building and will not distract from the historic character defining features of the lower level itself.

18. Ensuring that new construction is secondary to the historic building and does not detract from its significance.

Finding: this is met. The addition is setback by 20 ft and features a simplified design, both ensuring the addition does not distract from the historic significance of the building.

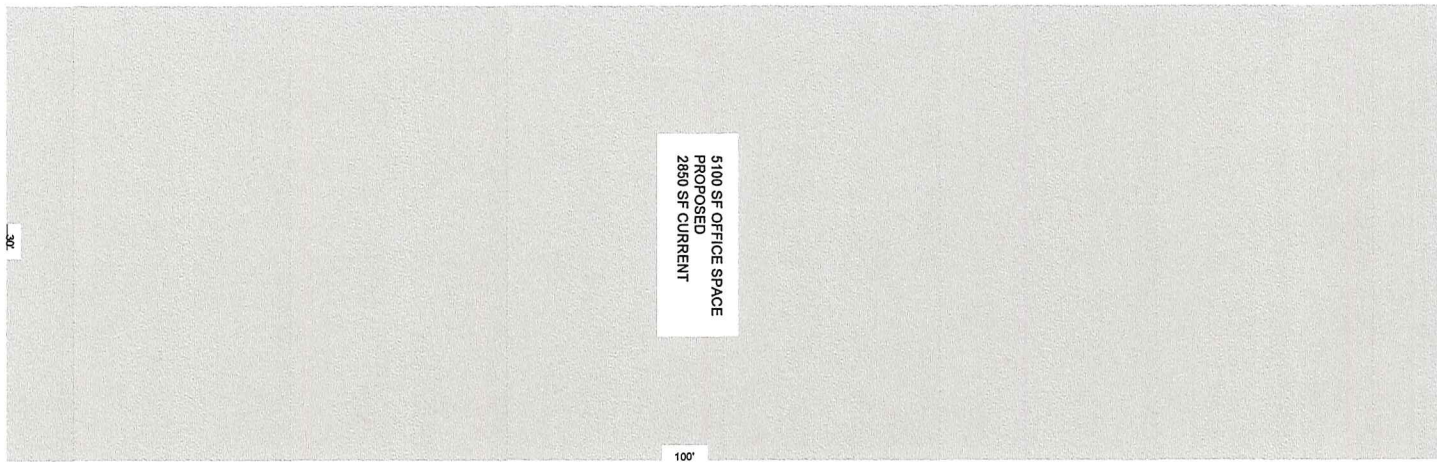
19. Using site features or land formations, such as trees or sloping terrain, to help minimize the new construction and its impact on the historic building and property.

Finding: not applicable, as the building occupies the entire lot. The only option to add square footage is by building up.

20. Designing an addition to a historic building in a densely-built location (such as a downtown commercial district) to appear as a separate building or infill, rather than as an addition. In such a setting, the addition or the infill structure must be compatible with the size and scale of the historic building and surrounding buildings—usually the front elevation of the new building should be in the same plane (i.e., not set back from the historic building). This approach may also provide the opportunity for a larger addition or infill when the façade can be broken up into smaller elements that are consistent with the scale of the historic building and surrounding buildings.

Finding: not applicable, as the building occupies the entire lot. The only option to add square footage is by building up.

NE 3RD ST

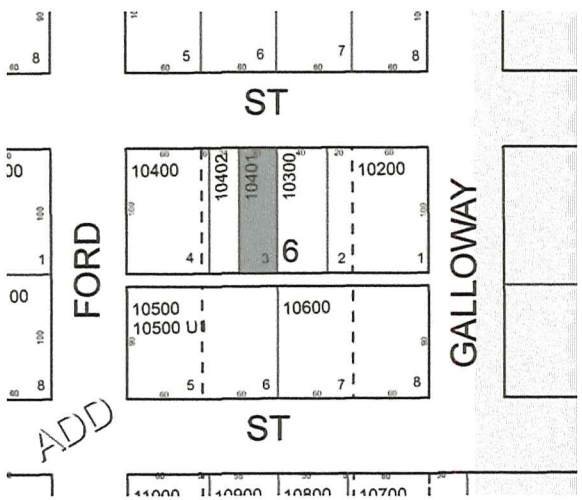


ADJOINING BUILDING

PROPOSED FIRE ESCAPE ADDITION

PROPERTY LINE


Site Plan
 Scale 1/8" = 1' - 0"



NW TACTICAL
DESIGNS, LLC

Northwest Tactical
Designs
21880 S Foothills Ave
Oregon City, OR 97045
971.888.1168

**DOYLE ENGINEERING
INC.**
24001 NE Ellis Ln
Newberg OR 97132
(503)-538-2380

Owner
Bluegate LLC,
Max de Lavenne
503 468 4881

Site Address
620 NE 3RD Street,
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RECEIVED

APR 19 2018

COMMUNITY DEVELOPMENT
CENTER



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
Site Address
620 NE 3RD Street,
McMinnville, OR 97128



Stucco texture to match street level facade

Alluminum window system recessed 3in

NO PROPOSED CHANGES TO STREET LEVEL ELEVATION


Street Elevation
 Scale 1/4" = 1' - 0"

NW TACTICAL
DESIGNS_{LLC}

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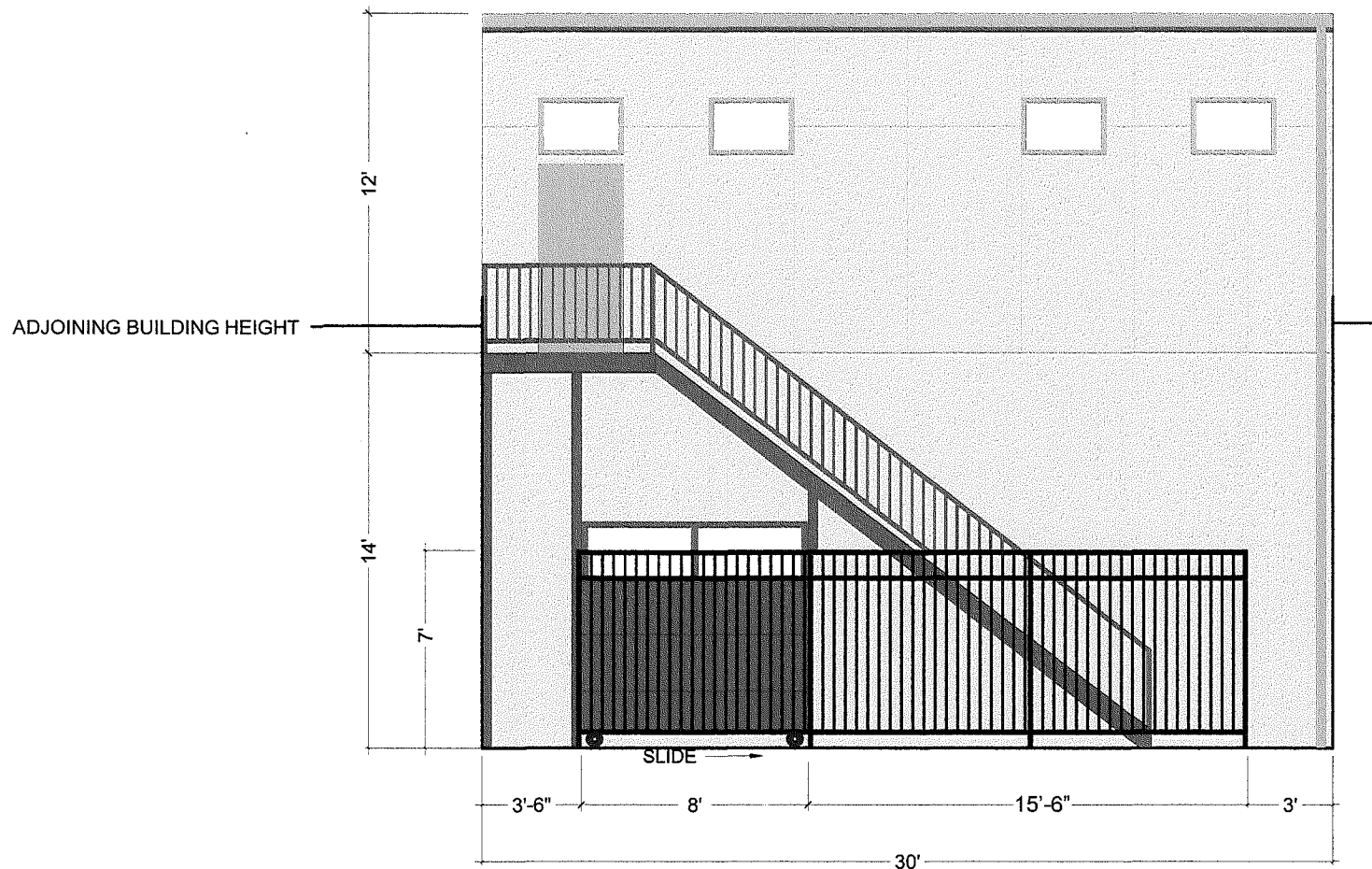
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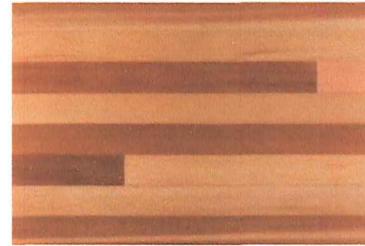


Street Elevation
Scale 1/4" = 1'-0"



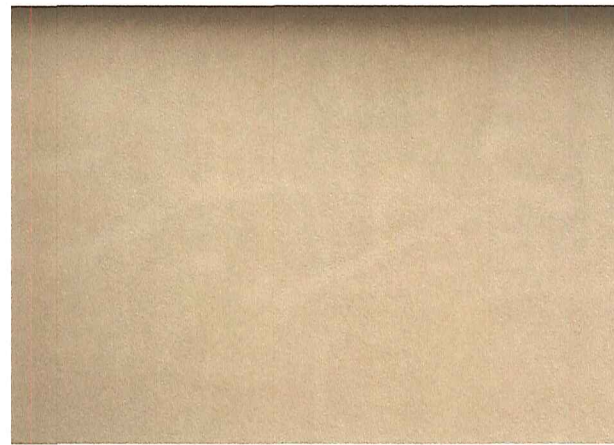
Accent Color

Benjamin Moore Historical Color
Kendal Charcoal



2nd Story Soffit

Clear Vertical Grain T&G Cedar
Clear Finish



Siding Material
Street Facade

Stucco painted main color



Main Color

Benjamin Moore Historical Color
Sail Cloth



Siding Material Sides
and Back

Smooth Hardi Panel
painted main color
1/4" reveal at joints

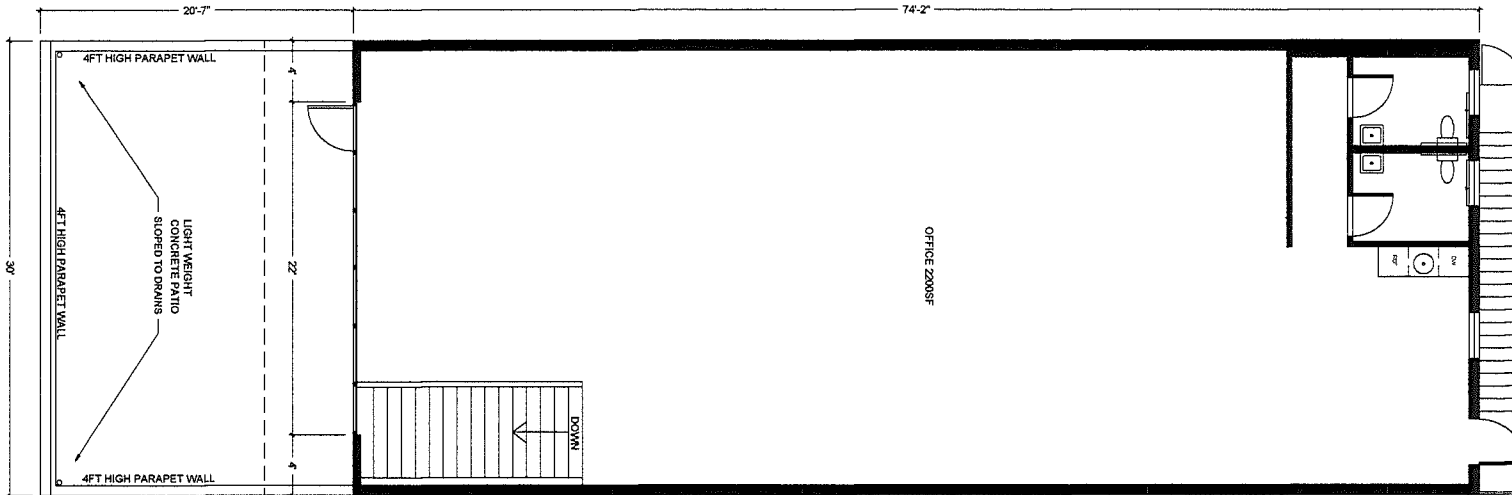



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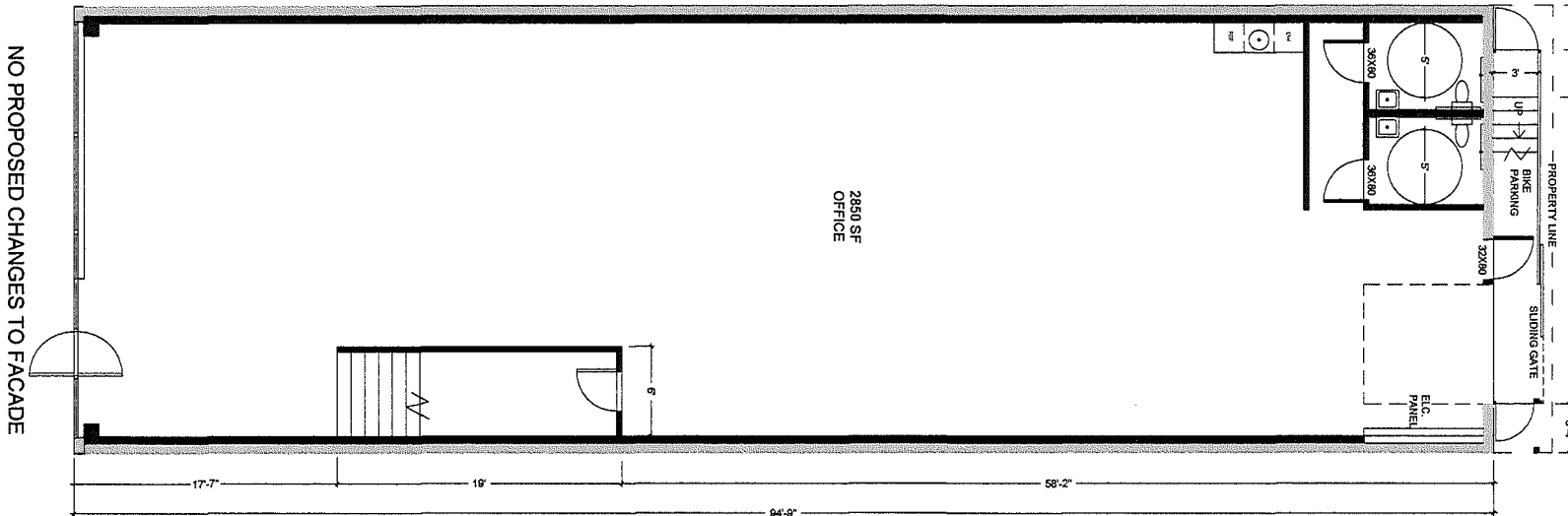
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Ground floor Plan
 Scale 1/8" = 1' - 0"



NO PROPOSED CHANGES TO FACADE


2nd Story floor Plan
 Scale 1/8" = 1' - 0"

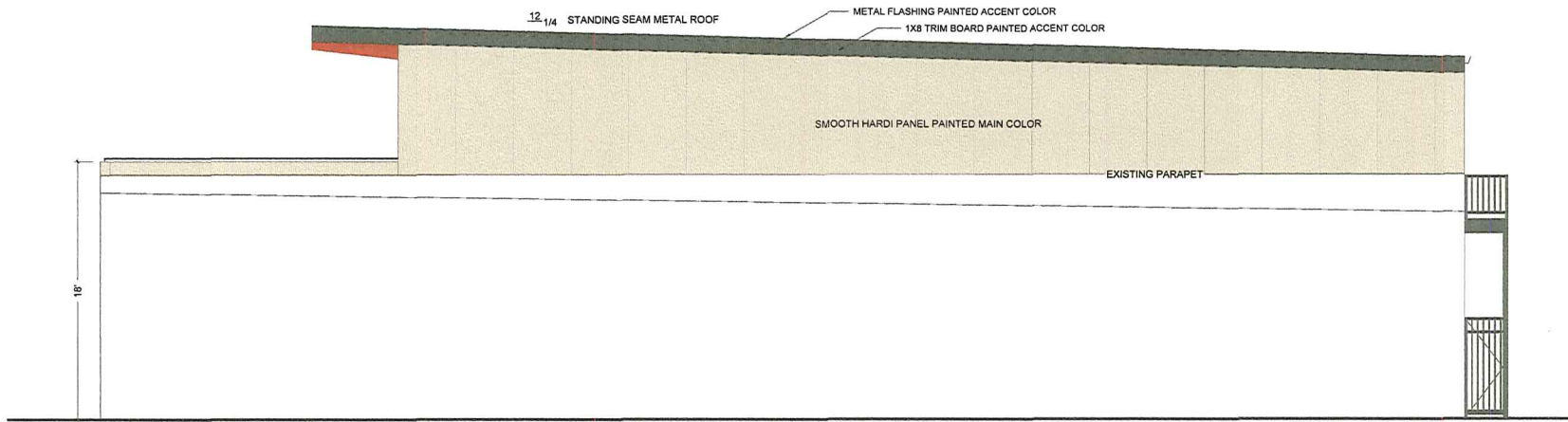
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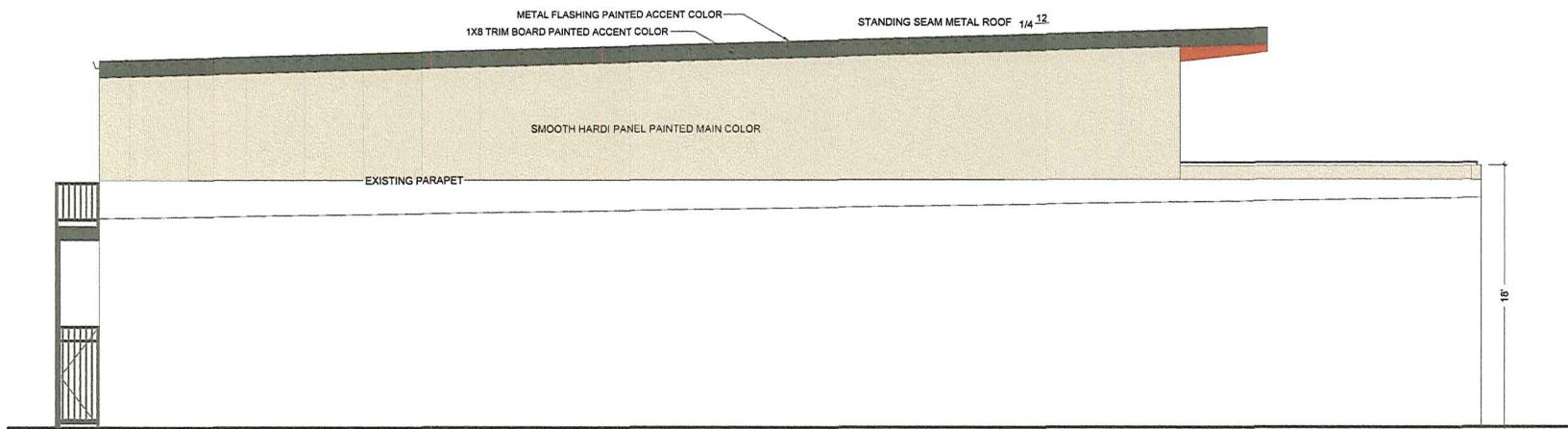
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West Elevation
 Scale 1/8" = 1' - 0"




East Elevation
 Scale 1/8" = 1' - 0"

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