

**McMinnville Urban Renewal Advisory Committee
Wednesday, March 6, 2022 - 4:00 – 5:00 PM**

**HYBRID Meeting
IN PERSON – 231 NE Fifth Street or ZOOM Online Meeting**

Please note that this is a hybrid meeting that you can join in person at 231 NE Fifth Street or online via Zoom

Join Zoom Meeting

<https://mcminnvilleoregon.zoom.us/j/81666494517?pwd=ZGVYOWpxSkxRNGNnVTRjQzZSYlVsdz09>

Zoom Meeting ID 816 6649 4517, Zoom Meeting Passcode: 322618

Or join ZOOM Meeting by phone via the following number: 1-253-215-8782

Committee Members	Agenda Items
Walt Gowell, Chair	1. Call to Order / Introductions
Kelly McDonald, Vice Chair	2. Discussion Items (<i>Exhibit 1</i>)
Jamie Corff	<ul style="list-style-type: none">North NE Gateway District Property Owners Meeting (Mike Morris)Alpine Avenue Amenities (Diane McMillen)Security and Safety Grant Consideration (Jamie Corff)
Alan Fox	3. Action Items
Ed Gormley	<ul style="list-style-type: none">Property Assistance Façade Improvement Grant Application, 210 Ford Street, (<i>Exhibit 2</i>)
Peter Kircher	4. Citizen Comments / Rumor Mill
Jeff Knapp	5. Committee Member Comments
Mike Morris	6. Staff Comments
Lisa Pool	7. Adjournment
Ukiah Halloran Steiner	
John Dietz, MW&L, Ex-Officio	
Scott Hill, Mayor Ex-Officio	
Dave Rucklos, MDA Ex-Officio	

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

*Please note that these documents are also on the City's website, www.mcminnvilleoregon.gov. You may also request a copy from the Planning Department.

EXHIBIT 1 - STAFF REPORT

DATE: April 6, 2022
TO: McMinnville Urban Renewal Advisory Committee Members
FROM: Heather Richards, Planning Director
SUBJECT: Discussion Items

STRATEGIC PRIORITY & GOAL:



ECONOMIC PROSPERITY

Provide economic opportunity for all residents through sustainable growth across a balanced array of traditional and innovative industry sectors.

Report in Brief:

There are several discussion items on the April 6 MURAC Agenda. This is a short synopsis of each discussion item.

North NE Gateway District Property Owners Meeting:

Planning Director Heather Richards and MURAC member Mike Morris hosted an informal gathering with property owners in the northern area of the NE Gateway District to talk about needed public improvements to help stimulate reinvestment opportunities in the area. The property owners were engaged and wanted to have a conversation with MURAC at a future meeting to discuss what the future plans are for the extension of NE Alpine Avenue (design intent and timing) and if there was any financial help for the local street improvements that are needed in the area to stimulate reinvestment. Most local streets are unimproved gravel streets.

Alpine Avenue Amenities:

Diane McMillen, a volunteer with Wine Country Pride has asked for five minutes on the Agenda to talk about public water and electric amenities on Alpine Avenue to support events. Please see attached maps. Currently there is no budget allocation for Alpine Avenue improvements but there is about \$50,000 in contingency funds in the FY 21-22 budget.

Safety and Security Grant:

MURAC member Jamie Corff used to work for the City of Salem Urban Renewal Agency, and they put together a grant program for safety and security issues in the downtown to help businesses install gates that looked nice and helped to solve some of the issues related to negative downtown behaviors. The Façade Improvement Grant that MURAC will consider as part of the April 6 Agenda is a request for help with funding a gate for a downtown property. MURAC has been approached by this issue before. This is an opportunity to explore that discussion further. (Please see attached flyer about the Salem program.)

March 22, 2022

RE: Property Owners Meeting, North End of Alpine Avenue

Dear Property Owner,

I would like to invite you to a property owners meeting to discuss development opportunities and needs – both near term and long term – at the north end of Alpine Avenue.

As you know the side streets and Alpine Avenue are not improved in this area, and it has proven problematic for some people who are trying to put together development projects in the area.

Your property is in the McMinnville Urban Renewal Area and there might be an opportunity to leverage urban renewal funds to help with the needed improvements and/or the City could submit a larger street improvement project to the state for infrastructure funding.

But we want to hear from you – what are your thoughts and plans for your property.

Members of the McMinnville Urban Renewal Advisory Committee will be joining us so that they can hear about your future plans and contemplate how urban renewal funds can partner with you to make those plans a reality.

The meeting is scheduled for Wednesday, **March 30, 11:00 AM – 12:00 PM.** We will conduct the meeting via zoom so that anyone can participate. Zoom meeting link is below.

Join Zoom Meeting:

<https://mcminnvilleoregon.zoom.us/j/82267724786?pwd=cmJmZmFZRG92YVkvTy8ySHQrdFVHZz09>

Meeting ID: 822 6772 4786

Passcode: 053455

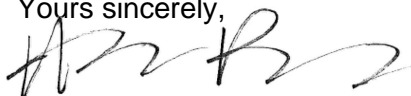
One tap mobile

+13462487799,,82267724786#,,, *053455# US (Houston)

+17207072699,,82267724786#,,, *053455# US (Denver)

Dial by your location: 253 215 8782 US (Tacoma)

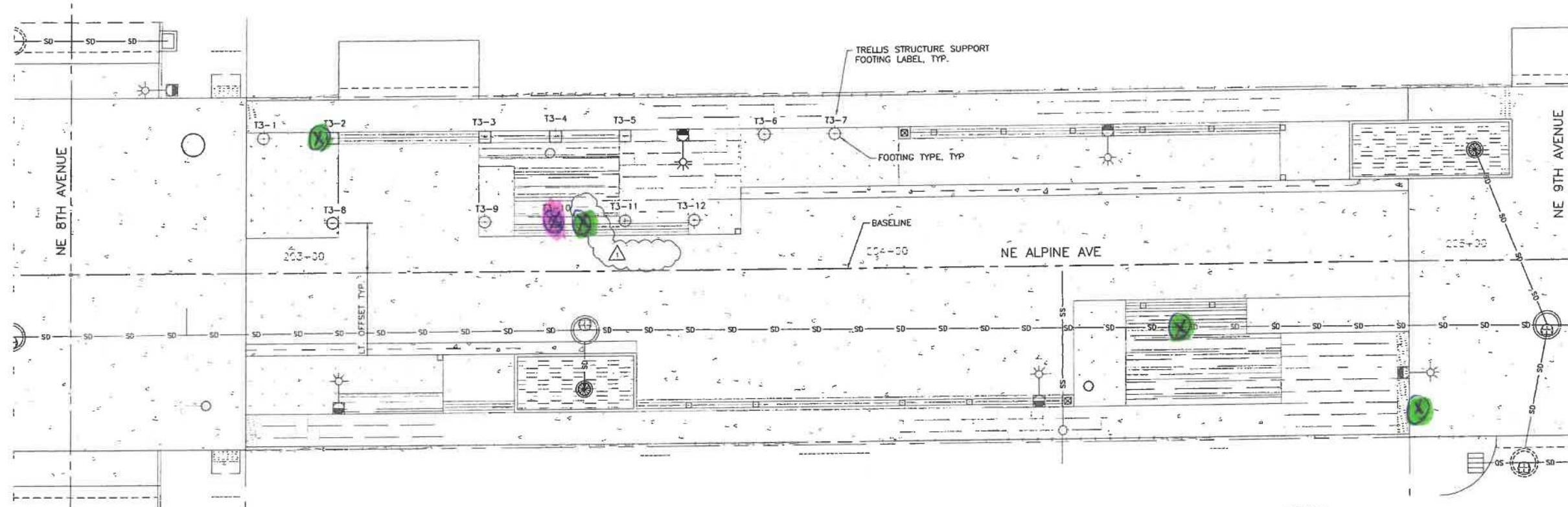
Yours sincerely,



Heather Richards, PCED
Planning Director



1 2 3 4 5 6 7 8



NOTES:

1. SEE SHEET TS100 FOR GENERAL NOTES.
2. TRELLIS STRUCTURE FRAMING NOT SHOWN.
3. FOUNDATION PLAN LOCATIONS ARE WORK POINTS BASED UPON CENTER OF FOUNDATION AND GROUNDLINE.
4. SEE TF301 FOR TRELLIS STRUCTURE SUPPORT FOUNDATION ELEVATION WORKPOINTS.

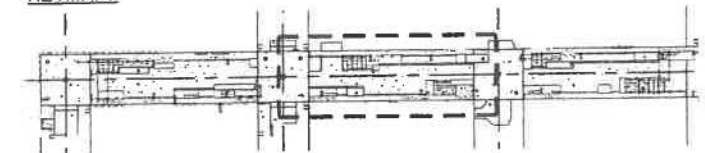
REFERENCES:

1. FOR PROJECT SHEET INDEX, SEE SHEET GN100.
2. FOR GENERAL LEGEND AND ABBREVIATIONS, SEE SHEET GN101.
3. FOR GENERAL CONSTRUCTION NOTES, SEE SHEET GN102.
4. FOR TYPICAL NE ALPINE AVE CROSS SECTION AND PAVEMENT DETAILS, SEE "DT" SHEETS.
5. FOR TRAFFIC CONTROL PLAN, SEE "TC" SHEETS.
6. FOR EXISTING CONDITIONS, SURVEY, AND DEMOLITION PLANS, SEE "S" AND "D" SHEETS.
7. FOR CIVIL WORKS, SEE "C" SHEETS.
8. FOR PAVEMENT JOINTING DETAILS, SEE "J" SHEETS.
9. SEE "GR" SHEETS FOR GRADING PLANS AND STATION, OFFSET, AND ELEVATION INFORMATION FOR ALL CURBS, GRADING, AND CRITICAL POINTS NOT SHOWN ON THIS PLAN.
10. FOR STORM DRAINAGE AND UTILITY PLANS, SEE "SD" AND "U" SHEETS.
11. FOR EROSION CONTROL PLANS, SEE "EC" SHEETS.
12. FOR SURFACING AND STREETSCAPE PLANS, SEE "SU" AND "ST" SHEETS.
13. FOR PLANTING AND IRRIGATION PLANS, SEE "PL" AND "IR" SHEETS.
14. FOR ILLUMINATION DETAILS, SEE "IL" SHEETS.
15. FOR SIGNING AND STRIPING DETAILS, SEE "SS" SHEETS.
16. FOR ARCHITECTURAL DETAILS, SEE "T" SHEETS.

LEGEND:

- WORKING POINT
- TYPE 1 - TRELLIS STRUCTURE FOUNDATION SUPPORT
 - TYPE 2 - TRELLIS STRUCTURE FOUNDATION FOOTING
 - CONDUIT LOCATIONS: SEE "IL" AND "T" SHEETS.

KEYMAP:



FOUNDATION TABLE - SEE NOTE 3

FOOTING	TYPE	STATION	OFFSET	ELEVATION
T3-1	1	202+93.00	23.00' LT	153.43
T3-2	2	203+05.00	23.00' LT	153.33
T3-3	2	203+31.00	23.00' LT	153.16
T3-4	2	203+43.00	23.00' LT	153.07
T3-5	2	203+55.00	23.00' LT	152.95
T3-6	1	203+79.00	23.00' LT	152.69
T3-7	1	203+91.00	23.00' LT	152.53
T3-8	1	203+05.00	8.50' LT	153.26
T3-9	1	203+31.00	8.50' LT	153.09
T3-10(C)	1	203+43.00	8.50' LT	152.99
T3-11	1	203+55.00	8.50' LT	152.87
T3-12	1	203+67.00	8.50' LT	152.68

- GFCI RECEPTACLE IN GROUND

- GFCI RECEPTACLE ON POLE



PROJECT MANAGER			STEPHANIE SERPICO, P.E.	
ISSUE	DATE	DESCRIPTION	PROJECT NUMBER	2016-6
1	1-26-17	REVISED LEGEND, DELETED NOTE		

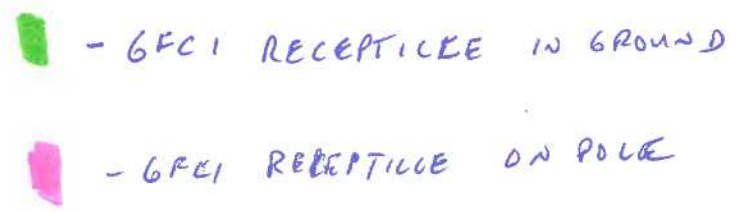


CITY OF MCMINNVILLE
NE ALPINE AVENUE IMPROVEMENTS
TRELLIS STRUCTURE FOUNDATION PLAN
NE ALPINE AVENUE STA: 202+44 TO 205+12



HORIZONTAL SCALE 0 10 20 FEET
1" = 10'

DATE 12/2016 SHEET TF102



FOOTING	TYPE	STATION	OFFSET	ELEVATION
TS-1	1	205+49.00	23.00' LT	150.89
TS-2	2	205+61.00	23.00' LT	150.86
TS-3	2	205+73.00	23.00' LT	150.74
TS-4	1	205+61.00	8.50' LT	150.69
TS-5(C)	1	205+73.00	8.50' LT	150.55
T6-1	2	207+17.00	23.00' LT	150.01
T6-2	2	207+29.00	23.00' LT	149.92
T6-3	1	207+41.00	23.00' LT	149.90
T6-4	1	206+81.00	8.50' RT	150.22
T6-5	1	206+93.00	8.50' RT	150.13
T6-6	1	207+05.00	8.50' RT	150.09
T6-7	1	207+17.00	8.81' RT	150.08
T6-8	1	207+29.00	8.81' RT	150.11
T6-9	2	206+81.00	23.00' RT	150.52
T6-10	2	206+93.00	23.00' RT	150.47
T6-11	2	207+05.00	23.00' RT	150.41
T6-12	2	207+17.00	23.00' RT	150.35
T6-13(C)	2	207+29.00	23.00' RT	150.29
T6-14	2	207+41.00	23.00' RT	150.23

1. SEE SHEET TS100 FOR GENERAL NOTES.
2. TRELLIS STRUCTURE FRAMING NOT SHOWN.
3. FOUNDATION PLAN LOCATIONS ARE WORK POINTS BASED UPON CENTER OF FOUNDATION AND GROUNDLINE.
4. SEE TF301 FOR TRELLIS STRUCTURE SUPPORT FOUNDATION ELEVATION WORKPOINTS.

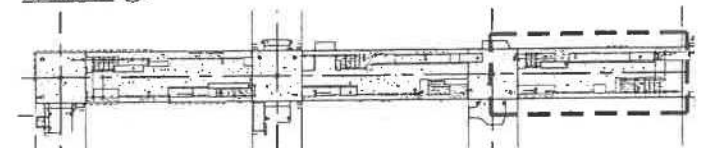
1. FOR PROJECT SHEET INDEX, SEE SHEET GN100.
2. FOR GENERAL LEGEND AND ABBREVIATIONS, SEE SHEET GN101.
3. FOR GENERAL CONSTRUCTION NOTES, SEE SHEET GN102.
4. FOR TYPICAL NE ALPINE AVE CROSS SECTION AND PAVEMENT DETAILS, SEE "DT" SHEETS.
5. FOR TRAFFIC CONTROL PLAN, SEE "TC" SHEETS.
6. FOR EXISTING CONDITIONS, SURVEY, AND DEMOLITION PLANS, SEE "S" AND "D" SHEETS.
7. FOR CIVIL WORKS, SEE "C" SHEETS.
8. FOR PAVEMENT JOINTING DETAILS, SEE "J" SHEETS.
9. SEE "GR" SHEETS FOR GRADING PLANS AND STATION, OFFSET, AND ELEVATION INFORMATION FOR ALL CURBS, GRADING, AND CRITICAL POINTS NOT SHOWN ON THIS PLAN.
10. FOR STORM DRAINAGE AND UTILITY PLANS, SEE "SD" AND "U" SHEETS.
11. FOR EROSION CONTROL PLANS, SEE "EC" SHEETS.
12. FOR SURFACING AND STREETSCAPE PLANS, SEE "SU" AND "ST" SHEETS.
13. FOR PLANTING AND IRRIGATION PLANS, SEE "PL" AND "IR" SHEETS.
14. FOR ILLUMINATION DETAILS, SEE "IL" SHEETS.
15. FOR SIGNING AND STRIPING DETAILS, SEE "SS" SHEETS.
16. FOR ARCHITECTURAL DETAILS, SEE "T" SHEETS.

WORKING POINT

TYPE 1 - TRELLIS STRUCTURE FOUNDATION SUPPORT

TYPE 2 - TRELLIS STRUCTURE FOUNDATION FOOTING

KEYMAP: (C) CONDUIT LOCATIONS: SEE "IL" AND "T" SHEETS.




			PROJECT MANAGER	STEPHANIE SERPICO, P.E.
1	1-26-17	REVISED LEGEND, DELETED NOTES		
ISSUE	DATE	DESCRIPTION	PROJECT NUMBER	2016-8

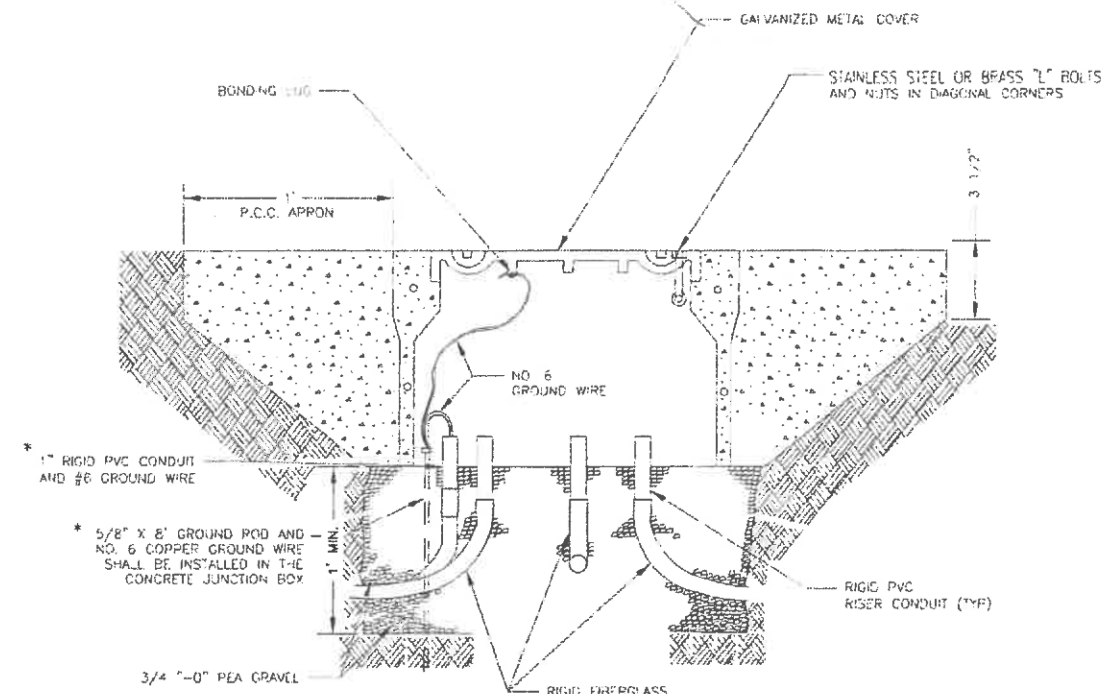


**CITY OF MCMINNVILLE
NE ALPINE AVENUE IMPROVEMENTS
TRELLIS STRUCTURE FOUNDATION PLAN
NE ALPINE AVENUE STA: 205+12 TO 207+50**



HORIZONTAL SCALE  FEET
1" = 10'

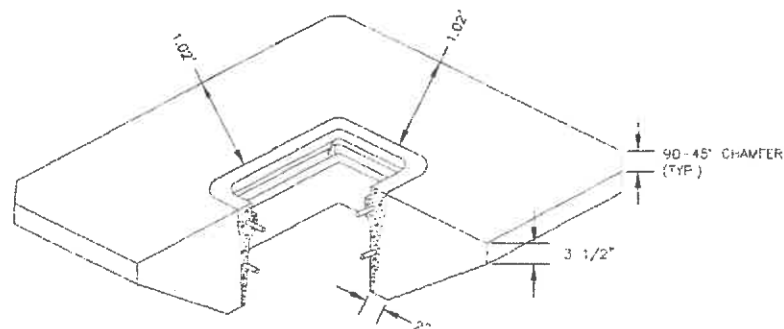
DATE 12/2016 SHEET TF103



CONCRETE JUNCTION BOX INSTALLATION WITH APRON (NEAR ILLUM. POLE)

NOTE

1. ILLUMINATION CIRCUIT WIRES ARE NOT SHOWN. SEE ILLUMINATION PLANS.
2. ILLUMINATION CIRCUITS SHALL BE SPLICED ACCORDING TO SECTION 02920.25.
3. POLYMER CONCRETE JUNCTION BOX COVER, IF USED, IS NOT REQUIRED TO BE BONDED.
4. METALLIC CONDUIT, IF USED, SHALL BE BONDED AND CONNECTED TO CIRCUIT GROUND WIRES.



CONCRETE APRON AROUND JUNCTION BOX
(APPROX. 7 FT³ CONCRETE IN NEAT SECTION)

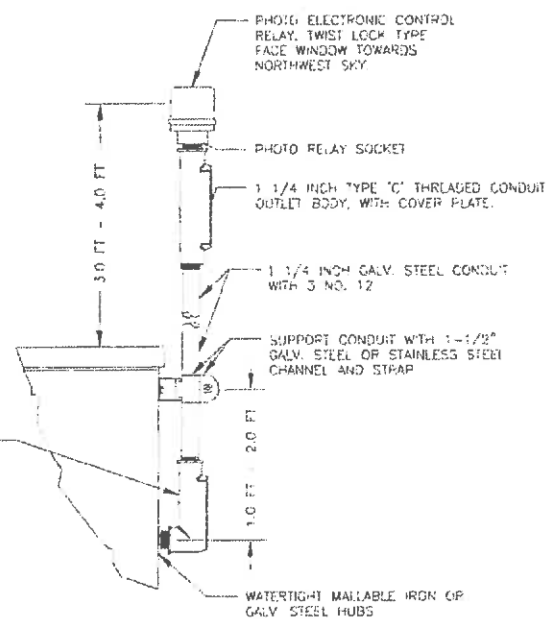
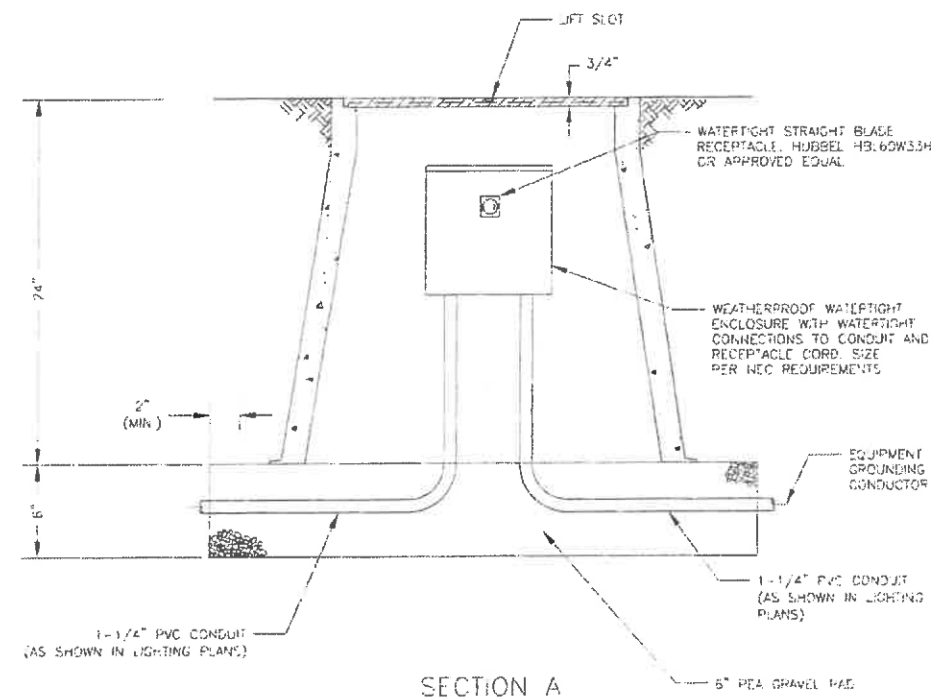
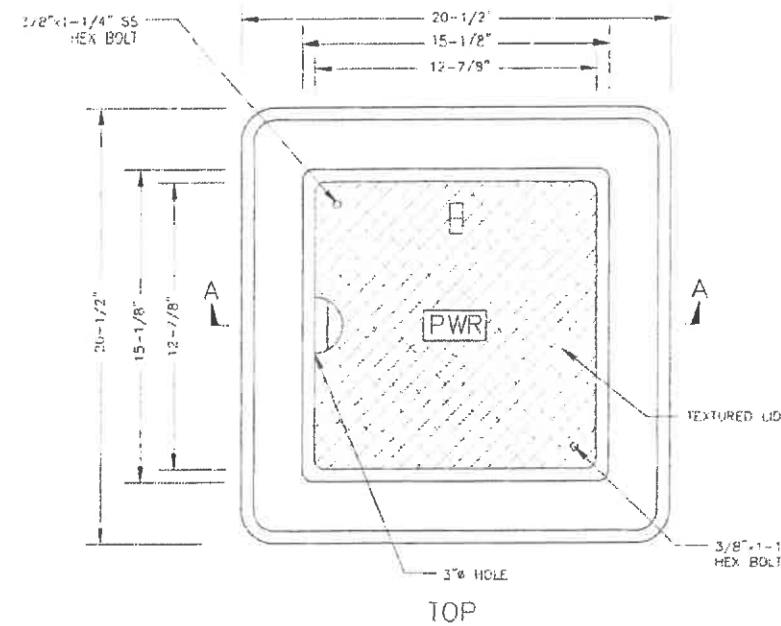


PHOTO CONTROL INSTALLATION
SIDE OF PAD MOUNT CABINET



JUNCTION BOX AND GFI RECEPTACLE DETAIL
(NTS)



			PROJECT MANAGER	STEPHANIE SERPICO, P.E.
ISSUE	DATE	DESCRIPTION	PROJECT NUMBER	2016-8



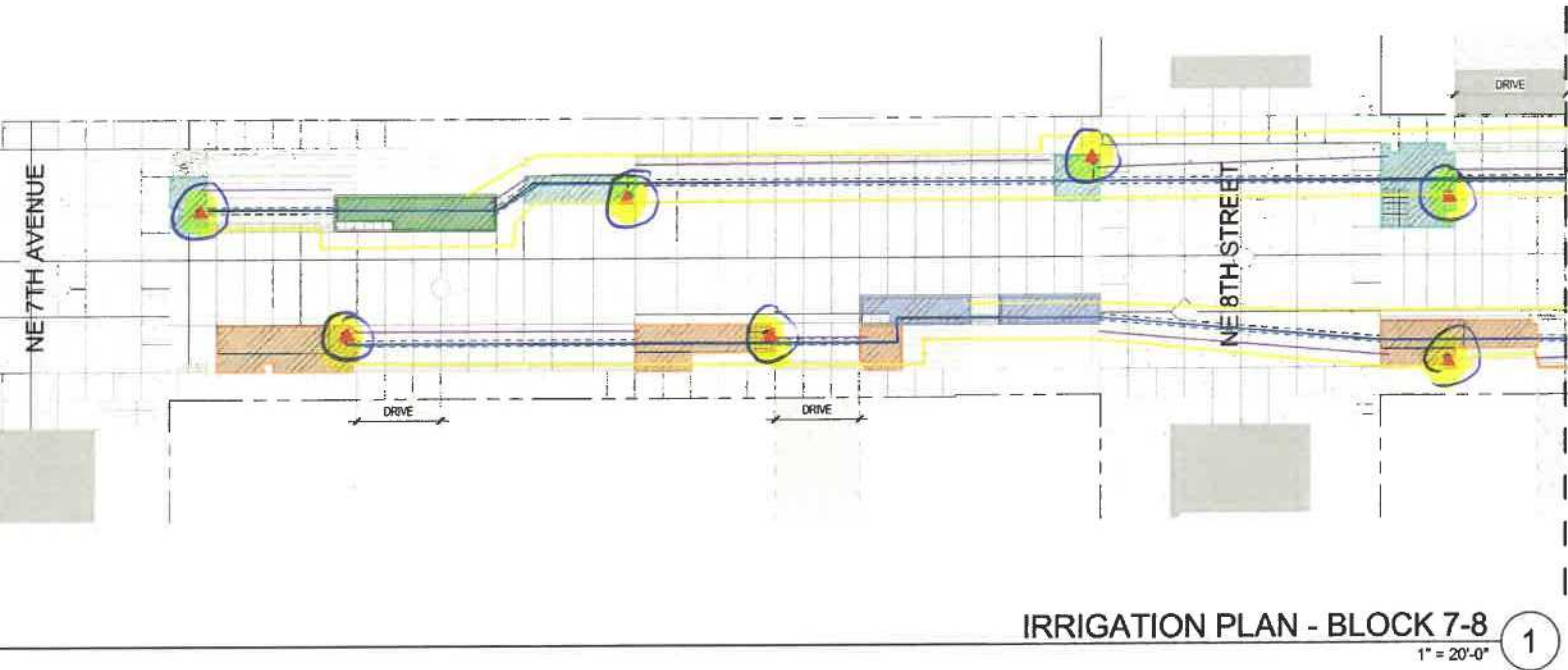
Expires June 30, 2018

CITY OF MCMINNVILLE
NE ALPINE AVENUE IMPROVEMENTS
ILLUMINATION DETAILS

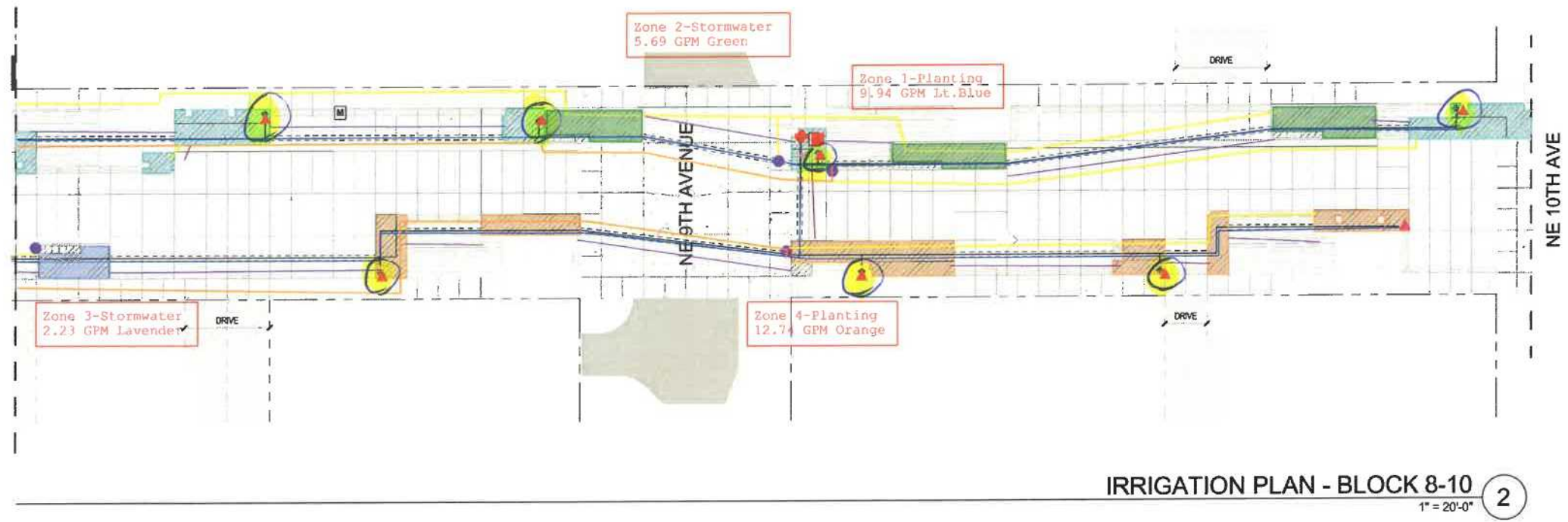
HORIZONTAL SCALE
NO SCALE

DATE 12/2016 SHEET IL301

QuickEye Legend	
	0.75" Class 200 PVC Lateral
	1" Class 200 PVC Lateral
	1" Sch 40 PVC Main Line
	2" Sch 40 PVC Sleeving
	4" Sch 40 PVC Sleeving
	DRIP1 Netafim TLCV9-18 Rows...
	DRIP2 Netafim TLCV9-18 Rows...
	DRIP3 Netafim TLCV9-18 Rows...
	DRIP4 Netafim TLCV9-18 Rows...
	Manual Drain Valve
	P.O.C. 1" Gate Valve & Febc...
	Rain Bird ESP8LXME Pedestal...
	Rain Bird XCZ100BCOM
	TurfGro 3RC Quick Coupler

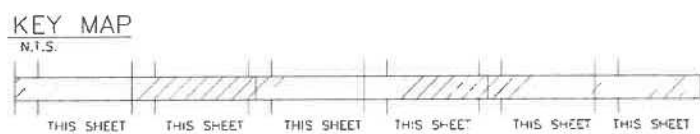


- IRRIGATION NOTES**
- REFER TO LIGHTING PLANS FOR METER LOCATION.
 - CALL UTILITIES TO LOCATE EXISTING SERVICES PRIOR TO EXCAVATION.
 - REFERENCE PLANTING PLAN(S) PRIOR TO INSTALLATION OF VALVES. LOCATE VALVES IN PLANTING BEDS WHEREVER POSSIBLE. ADJUST VALVE LOCATIONS TO ELIMINATE CONFLICT WITH PROPOSED PLANTINGS AND PLANTING PATTERNS.
 - VALVE LOCATIONS SHALL BE STAKED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF NEW IRRIGATION SYSTEM. REF. PLANTING PLANS.
 - VERIFY THE DIMENSIONS AND LAYOUT OF ALL NEW PLANTING ON SITE BEFORE STARTING WORK AND IMMEDIATELY NOTIFY OWNER OF ANY DEVIATIONS FROM PLAN.
 - INSTALL THE IRRIGATION CONTROLLER(S) AT THE LOCATION(S) SHOWN ON THE DRAWINGS ON THE SPECIFIED PEDESTAL PER THE MANUFACTURER'S RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION. EXTEND CONTROL WIRE CONDUIT FROM CONTROLLER AND DAYLIGHT SIX INCHES INTO PLANTING BED FOR INSTALLATION OF AUTOMATIC VALVE WIRES.
 - ALL BACKFLOW PREVENTION DEVICES SHALL BE LOCATED A MINIMUM OF 5'-0" AWAY FROM CURBS OR PAVING WHEREVER POSSIBLE.
 - COORDINATE AND PROVIDE AN APPROPRIATE POWER SUPPLY TO THE IRRIGATION CONTROLLER LOCATION.



IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
	IN-LINE DRIP	NETAFIM	TLCV9-18
	IN-LINE DRIP @ TREE		
	QUICK COUPLER		
	POINT OF CONNECTION		
	WATER METER, SEE LIGHTING PLANS FOR POWER SERVICE METER INSTALLATION		
	IRRIGATION CONTROLLER		
	IRRIGATION MAIN LINE		
	IRRIGATION SLEEVE		
	ISOLATION - BALL VALVE		
	BACKFLOW PREVENTION DEVICE		



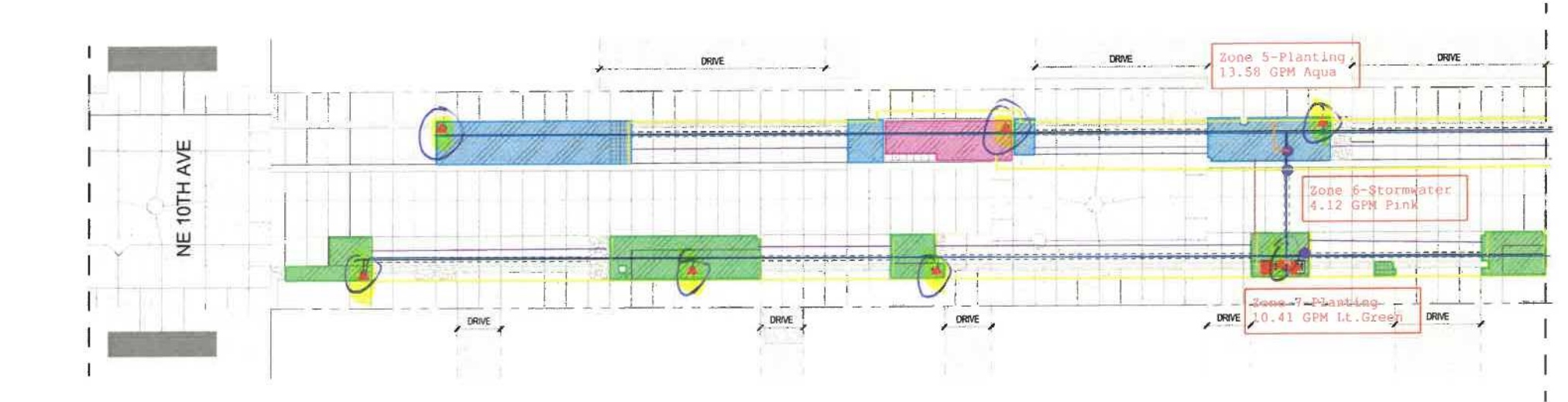
ISSUE	DATE	DESCRIPTION

PROJECT MANAGER	PROJECT NUMBER

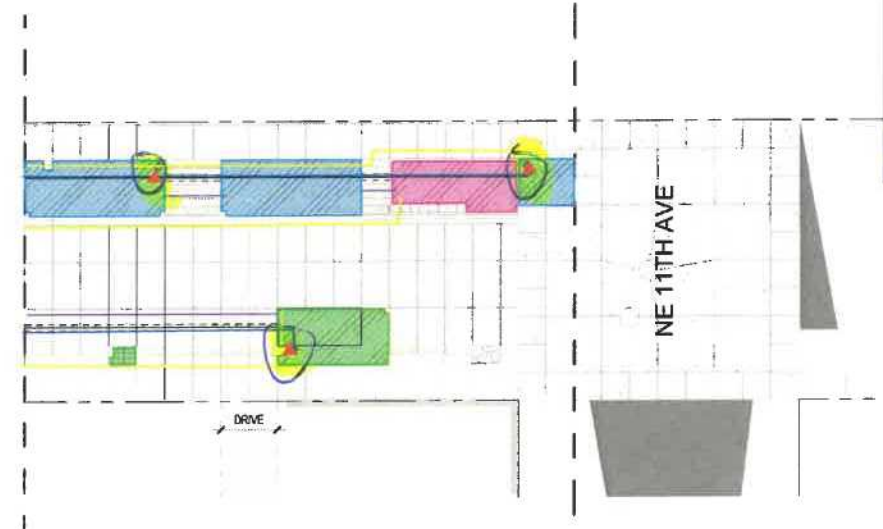
CITY OF MCMINNVILLE
NE ALPINE AVENUE IMPROVEMENTS
IRRIGATION PLAN
NE ALPINE AVENUE STA: 199+50 TO 207+50.09

SCALE	AS INDICATED
DATE	09/2016

SHEET **IR101**



IRRIGATION PLAN - BLOCK 10-11 1" = 20'-0" 1



IRRIGATION PLAN - BLOCK 11 1" = 20'-0" 2

- QuickEye Legend
- 0.75" Class 200 PVC Lateral
 - 1" Class 200 PVC Lateral
 - 1" Sch 40 PVC Main Line
 - 2" Sch 40 PVC Sleeving
 - 4" Sch 40 PVC Sleeving
 - DRIP5 Netafim TLCV9-18 Rows...
 - DRIP6 Netafim TLCV9-18 Rows...
 - DRIP7 Netafim TLCV9-18 Rows...
 - Manual Drain Valve
 - P.O.C. 1" Gate Valve & Febco...
 - Rain Bird ESP8LXME Pedestal...
 - Rain Bird XCZ100BCOM
 - TurfGro 3RC Quick Coupler

Critical Zone Hydraulic Calculations - Zone 5

Static Pressure at Meter 75 P.S.I.
1" Meter at 14 GPM 1.1 P.S.I. loss
1" Febco 850 DCA 7.0 P.S.I. loss
1" Shut Off Valve 1.0 P.S.I. loss
1" S/40 PVC ML 1.8 P.S.I. loss
40 ft. at 4.5 P.S.I. per 100 ft.
Pressure at Valve Inlet = 64 P.S.I.
53 P.S.I. minimum required at valve
Outlet pressure at Valve = 40 P.S.I.
Cumulative lateral line loss to furthest drip bed is 5 P.S.I.

Zone Run times for daily .25 Inch distribution

Valve	Size	GPM	Precip Rate	Run Time
1	1"	9.94	.64 in/hour	23 minutes
2	1"	5.69	.64 in/hour	23 minutes
3	1"	2.23	.64 in/hour	23 minutes
4	1"	12.74	.64 in/hour	23 minutes
5	1"	13.58	.64 in/hour	23 minutes
6	1"	4.12	.64 in/hour	23 minutes
7	1"	10.40	.64 in/hour	23 minutes

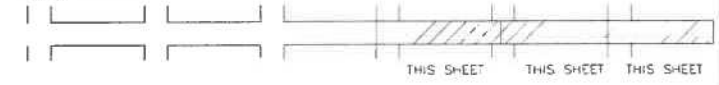
IRRIGATION NOTES

1. REFER TO LIGHTING PLANS FOR METER LOCATION.
2. CALL UTILITIES TO LOCATE EXISTING SERVICES PRIOR TO EXCAVATION.
3. REFERENCE PLANTING PLAN(S) PRIOR TO INSTALLATION OF VALVES. LOCATE VALVES IN PLANTING BEDS WHEREVER POSSIBLE. ADJUST VALVE LOCATIONS TO ELIMINATE CONFLICT WITH PROPOSED PLANTINGS AND PLANTING PATTERNS.
4. VALVE LOCATIONS SHALL BE STAKED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF NEW IRRIGATION SYSTEM. REF. PLANTING PLANS.
5. VERIFY THE DIMENSIONS AND LAYOUT OF ALL NEW PLANTING ON SITE BEFORE STARTING WORK AND IMMEDIATELY NOTIFY OWNER OF ANY DEVIATIONS FROM PLAN.
6. INSTALL THE IRRIGATION CONTROLLER(S) AT THE LOCATION(S) SHOWN ON THE DRAWINGS ON THE SPECIFIED PEDESTAL PER THE MANUFACTURER'S RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION. EXTEND CONTROL WIRE CONDUIT FROM CONTROLLER AND DAYLIGHT SIX INCHES INTO PLANTING BED FOR INSTALLATION OF AUTOMATIC VALVE WIRES.
7. ALL BACKFLOW PREVENTION DEVICES SHALL BE LOCATED A MINIMUM OF 5'-0" AWAY FROM CURBS OR PAVING WHEREVER POSSIBLE.
8. COORDINATE AND PROVIDE AN APPROPRIATE POWER SUPPLY TO THE IRRIGATION CONTROLLER LOCATION.

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
	IN-LINE DRIP	NETAFIM	TLCV9-18
	IN-LINE DRIP @ TREE		
	QUICK COUPLER		
	POINT OF CONNECTION		
	WATER METER. SEE LIGHTING PLANS FOR POWER SERVICE METER INSTALLATION		
	IRRIGATION CONTROLLER		
	IRRIGATION MAIN LINE		
	IRRIGATION SLEEVE		
	ISOLATION - BALL VALVE		
	BACKFLOW PREVENTION DEVICE		

KEY MAP



ISSUE	DATE	DESCRIPTION

PROJECT MANAGER

PROJECT NUMBER



CITY OF MCMINNVILLE

NE ALPINE AVENUE IMPROVEMENTS

ADD-ALTERNATIVE IRRIGATION PLAN

NE ALPINE AVENUE STA: 207+50.09 TO 215+95



SCALE	1" = 20'
DATE	09/2016
SHEET	IR202



Strategic Project Grant Program

Riverfront Downtown Urban Renewal Area

In order to fund capital improvement projects within the Riverfront-Downtown Urban Renewal Area (RDURA) that support the implementation of the Salem Strategic Plan to address homelessness, including projects that address building and property safety and security, a Strategic Project Grant Program was created.

Maximum Grant:	Up to \$30,000
Match Requirement:	None
Eligible Applicant:	Property owners who show fee title. Tax exempt property is not eligible.
Eligible Property:	<p>Property located within the Riverfront-Downtown Urban Renewal Area boundary.</p> <p>Properties that are 100% residential are excluded.</p>
Eligible Activities:	<p>Eligible projects must address the Strategic Plan goal of addressing homelessness including building/property security and safety.</p> <p>Security fencing/gates, exterior building lighting or security systems, trash enclosures and design for eligible projects.</p>

*Grant funding is contingent upon available funds and cannot fund eligible project costs completed prior to grant approval.

Additional terms may apply and terms are subject to change.

This is an information-only document. For more information, please contact the Urban Renewal Agency of the City of Salem at 503-588-6178 or visit www.cityofsalem.net/financialresources. Si necesita ayuda para comprender esta información, por favor llame 503-588-6178.

EXHIBIT 2 - STAFF REPORT

DATE: April 6, 2022
TO: McMinnville Urban Renewal Advisory Committee Members
FROM: Heather Richards, Planning Director
SUBJECT: Façade Improvement Grant, 210 Ford Street

STRATEGIC PRIORITY & GOAL:



COMMUNITY SAFETY & RESILIENCY

Proactively plan for & responsively maintain a safe & resilient community.

OBJECTIVE/S: Build a community culture of safety (consider safety best practices)

Report in Brief:

This is the consideration of a Façade Improvement Grant for 210 Ford Street. The request is for 50% of \$5,483.33 for a total grant of \$2742.00.

The applicant would like to install a safety gate at the base of their stairs.

Background:

One of the funded projects in the McMinnville Urban Renewal Plan is a Property Assistance Project that is comprised of several different property assistance programs: 1) Development Loan and Grant Program; 2) Façade Improvement Grant; and 3) Free Design Assistance. The most popular program is the Façade Improvement Grant. The purposes of the Façade Improvement Grant Program are to improve the aesthetic appearance of the exterior facades of existing buildings and businesses in the District; to restore the unique historic character of buildings in the District as much as practicable; and to encourage private investment in District properties and businesses.

Discussion:

There are several different tests for determining a qualifying project for the program as described below. These tests have been reviewed relative to the application for 210 Ford Street and the findings are provided below.

Eligible Property:

1. Property owners of commercial or industrial zoned buildings within the District.
2. Business owners or tenants of commercial or industrial zoned buildings within the District with property owner consent.

Ineligible Property: The following types of property are not eligible for funding:

1. Tax delinquent property within the Urban Renewal District.
2. Property in litigation.
3. Property in condemnation or receivership.
4. Property owned by religious groups.
5. Property owned by 501(c)3 nonprofit organizations on which taxes are not being paid.
6. Properties on which taxes are being paid, but have nonprofit use, such as schools, charities, clubs, etc.
7. Exclusively residential buildings.
8. Daycare centers.

Finding: This project would be eligible as it is in a commercial building that is owned by a non-profit, but this particular building improvement is for a for-profit tenant and is therefore deemed eligible.

Eligible Projects: The types of eligible projects include:

1. Repair, restoration, or installation of exterior masonry and siding materials.
2. Repair, replacement, or installation of awnings, windows, trim, doors, gutters, downspouts, stone or brick, or other architectural details.
3. Repair or replacement of exterior lighting attached to a building or illuminating a sign.
4. Repair or construction of entryways.
5. Cleaning, preparation, and painting of exterior walls and trim in conformance with the approved color palette.
6. Removal of barriers to access for people with disabilities.
7. Removal, replacement, or repair of exterior wall, freestanding, or projecting signs.
8. **Other improvements as approved.**

Finding – Discretion of MURAC: This project would need to be justified under other improvements as approved.

Grant Request and Match Requirement: Maximum grant request of \$5,000 with a 50% match requirement.

Finding - Satisfied: The total project cost is \$5483.33. The grant request is for 50% of the total project costs.

Review Criteria: All projects will be reviewed based on the following criteria:

1. Positive impact of the project on the aesthetic appearance of the building.
2. Positive impact of the project on the overall streetscape.
3. Preservation and enhancement of the architectural integrity of the building.
4. Positive contribution of the project on the urban renewal effort.
5. Amount of additional investment leveraged by the grant.
6. Compliance with applicable design guidelines and standards.
7. Evidence of financial ability to meet matching requirements (e.g., bank statement, loan commitment letter, etc.)

Finding: Please see scoring below.

Review Criteria	
Positive impact of the project on the aesthetic appearance of the building.	1
Positive impact of the project on the overall streetscape.	1
Preservation and enhancement of the architectural integrity of the building.	n/a
Positive contribution of the project on the urban renewal effort.	1
Amount of additional investment leveraged by the grant.	2
Compliance with applicable design guidelines and standards.	2
Evidence of financial ability to meet matching requirements (e.g. bank statement, loan commitment letter, etc.)	n/a
TOTAL:	7

Scoring Legend:

High = 3 points

Medium = 2 Points

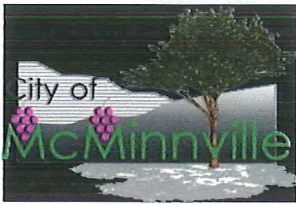
Low = 1 Point

Attachments:

Façade Improvement Grant application for 210 NE Ford Street.

Fiscal Impact:

There is currently \$100,000 budgeted in the Property Assistance Project in Fiscal Year 2021-22. MURAC has obligated \$40,000 of those funds at this time. \$60,000 remains unallocated.



McMinnville Urban Renewal Agency FAÇADE IMPROVEMENT GRANT

McMinnville Urban Renewal Agency
c/o Planning Department
231 NE Fifth Street • McMinnville, OR 97128
(503) 434-7311 Office • (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:

File No. File 1-22
Date Received 3/29/22
Received by HL

Applicant Information

Van De Veere Productions

Applicant is: ☐ Property Owner ☒ Tenant ☐ Option Holder ☐ Other _____

Applicant Name Kathleen Weisbecker

Contact Name Richard Pratt
(If different than above)

Address 1430 NE Evans Street

City, State, Zip McMinnville, OR 97128

Contact Email _____

Property Owner Information

Property Owner Name Gallery Theater
(If different than above)

Phone _____

Contact Name Seth Renne

Phone _____

Address 210 Ford Street

City, State, Zip McMinnville, OR 97128

Contact Email gallerytheater@onlinemac.com
OR → manager@gallerytheater.org

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

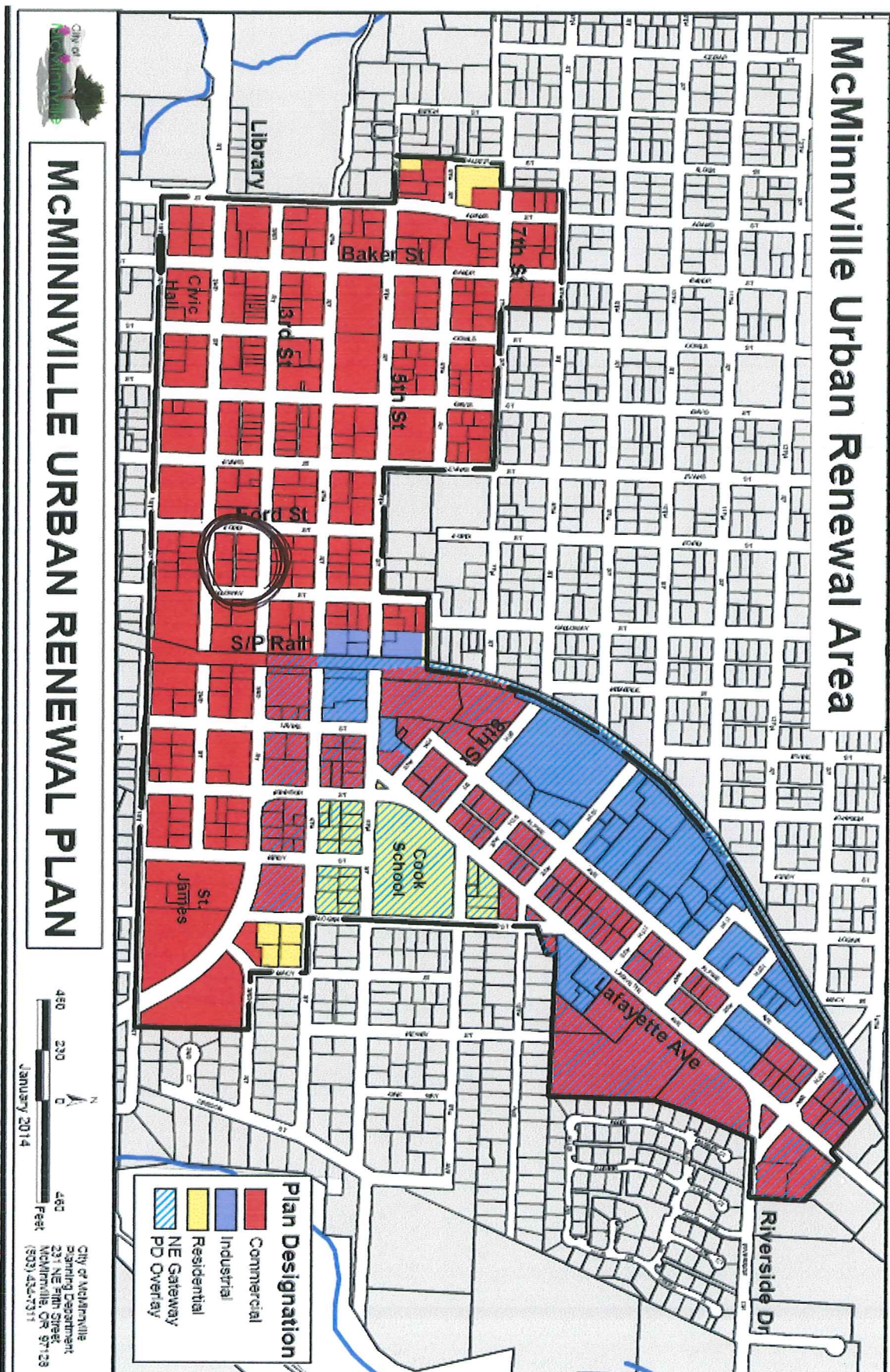
Business Name Van De Veere Productions dance studio

Property Address 210 Ford Street, McMinnville OR

Assessor Map No. R4 - - 97128

Van De Velle Architects

Map of McMinnville Urban Renewal Area with Zoning and Comprehensive Plan Designations





McMinnville Urban Renewal Agency FAÇADE IMPROVEMENT GRANT

HOLD HARMLESS AGREEMENT

AND

OWNER AUTHORIZATION FOR TENANT TO CARRY OUT FAÇADE IMPROVEMENT AND/OR REHABILITATION PROJECT

I, Sete Renee hereby authorize Van De Veere Productions to
carry out improvements as specified in the accompanying Façade Improvement Grant
Application, on my property located at 210 NE Ford,

which is within the City of McMinnville's Urban Renewal District.

I also agree to hold harmless the City of McMinnville in the event of property damage or physical
injury as a result of working on the aforementioned project.

[Signature]
Property Owner

3/29/2022
Date

[Signature]
Notary

Return To:
Heather Richards
Planning Director
City of McMinnville
231 NE 5th Street
McMinnville, OR 97128
Phone: (503) 434-7311
Fax: (503) 434-4955
E-mail: heather.richards@mcminnvilleoregon.gov





Mac Welding & Fabrication, Inc.

2705 NE Bunn Rd
McMinnville, OR 97128-8218
Phone # 503-474-2043

Quote

Date	Quote #
2/1/2022	4174

Name / Address
Cash Sales Richard Pratt

P.O. No.	Terms	Rep
	Due on receipt	MD

Qty	Unit	Description	Cost	Total
		Dance Studio Stair Barrier and gate		
1.5	hr	CNC Plasma Machine	105.00	157.50
18	hr	Labor for Steel	90.00	1,620.00
8	hr	Service Call	100.00	800.00
100	ft	1 1/2" x 1 1/2" x .095 SQUARE TUBE	5.52	552.00
20	ft	4" x 2" x .120 RECTANGULAR TUBE	11.55	231.00
25	ft	2" x 2" x .095 SQUARE TUBE	6.45	161.25
2	ft	1/4" x 4" HOT ROLLED FLAT BAR	4.39	8.78
180	sqft	1/2" x #13 FLATTENED EXPANDED METAL	6.09	1,096.20
12	sqft	16 GA COLD ROLLED STEEL Sheet	6.19	74.28
1	ea	4" WELD-ON HINGE WITH GREASE FITTINGS; SET OF 2	32.32	32.32
		Sandblasting	300.00	300.00
		Powder Coating	450.00	450.00
We appreciate your business.			Total	\$5,483.33

PROJECT INFORMATION:

Estimated Project Start Date: 5/1/22 Estimated Project Completion Date: 6/1/22

Grant Amount Requested (no more than \$5,000): \$ 2,741.66
Applicant Matching Funds: \$ 2,741.66
Total Project Costs: \$ 5,483.33

Note: The total grant amount requested should equal or exceed the matching funds total.

Project Budget

Attach documentation for costs such as contractor's bids or detailed estimate for materials and labor costs. (Attach additional sheets as needed)

Labor	Materials	Purpose (i.e. painting, awning, repair)	Estimated Cost
please	see	- detailed - quote	\$
	From		\$
	Mac Welding + Fabrication		\$
			\$
			\$
			\$
			\$
			\$
Total Project Costs:			\$ <u>5,483.33</u>

Description of Project/Use of Funds

Describe below all proposed improvements included in your project to include a summary of the building's current condition, areas to be improved and how, as well as any proposed materials or colors. Please enclose pictures, drawings, as necessary to help describe the work. (Attach additional sheets as needed)

We are planning a dance studio barrier and gate at the bottom of the stairs at our entrance to the dance studio on the staircase located at 210 Ford Street. We have contacted Mac Welding + Fabrication to create this project and have spoken with Heather Richards and the assistant fire marshal along with others in the city to get approval on this project.

This gate is important for the safety of the gang dancers, our staff and parents with the growing homeless problem near the theater. Thank you for your consideration!
Kathleen

In addition to this completed application, the applicant must provide the following:

- ☐ Digital photographs of the existing building façade.
- ☐ Photos, plans, and/or sketches of the proposed improvements
- ☐ Quotes, fee proposal, and any other information that supports the proposed budget.

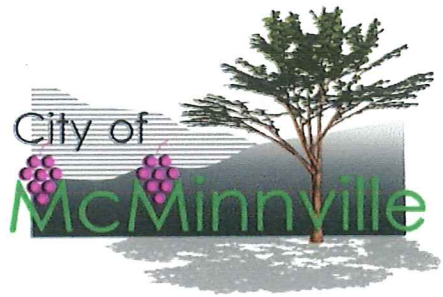
I agree to comply with the guidelines and standards of the McMinnville Urban Renewal Agency's Façade Improvement Grant Program and I understand that this is a voluntary program, under which the City has the right to approve or deny any project or proposal or portions thereof.

 Kathleen Weisbecker 3/25/22
Applicant Signature Print Name Date
Van DeVeece

Owner (if different) Signature

Print Name

Date



CITY OF MCMINNVILLE
PLANNING DEPARTMENT
231 NE FIFTH STREET
MCMINNVILLE, OR 97128

503-434-7311
www.mcminnvilleoregon.gov

MCMINNVILLE URBAN RENEWAL AGENCY FAÇADE IMPROVEMENT GRANT

PROGRAM SUMMARY AND APPLICATION

The Façade Improvement Grant Program is a matching grant program of the City of McMinnville Urban Renewal Agency. The maximum individual grant is limited to \$5,000.

The purposes of the Façade Improvement Grant Program are:

1. To improve the aesthetic appearance of the exterior facades of existing buildings and businesses in the District;
2. To restore the unique historic character of buildings in the District as much as practicable; and
3. To encourage private investment in District properties and businesses.

Eligibility:

The following persons are eligible to apply and receive grant funds:

1. Property owners of commercial or industrial zoned buildings within the District.
2. Business owners or tenants of commercial or industrial zoned buildings within the District with property owner consent.

Ineligible Property:

The following types of property are not eligible for funding:

1. Tax delinquent property within the Urban Renewal District.
2. Property in litigation.
3. Property in condemnation or receivership.
4. Property owned by religious groups.
5. Property owned by 501(c)3 nonprofit organizations on which taxes are not being paid.
6. Properties on which taxes are being paid, but have nonprofit use, such as schools, charities, clubs, etc.
7. Exclusively residential buildings.
8. Daycare centers.

Eligible Improvements:

Funds may be used for existing exterior façade improvements on commercial and industrial zoned buildings within the District in compliance with the McMinnville Zoning Ordinance and NE Gateway Planned Development Overlay standards. For the purpose of this program, “façade” includes the exterior of any street-facing building wall, but does not include the building’s interior, roofing, signs, structural improvements, or other site improvements except as noted below.

The types of eligible projects include:

1. Repair, restoration, or installation of exterior masonry and siding materials.
2. Repair, replacement, or installation of awnings, windows, trim, doors, gutters, downspouts, stone or brick, or other architectural details.
3. Repair or replacement of exterior lighting attached to a building or illuminating a sign.
4. Repair or construction of entryways.
5. Cleaning, preparation, and painting of exterior walls and trim in conformance with the approved color palette.
6. Removal of barriers to access for people with disabilities.
7. Removal, replacement, or repair of exterior wall, freestanding, or projecting signs.
8. Other improvements as approved.

Financing:

The maximum grant award for a single project is \$5,000. A minimum private match of 100 percent (1:1) of the grant amount is required.

Application Process:

The application process includes the following steps:

1. Applicant to review Downtown Design Guidelines and Standards in Chapter 17.59 of the McMinnville Zoning Ordinance, Historic Resources Ordinance, or the NE Gateway Planned Development Overlay, as applicable.
2. Applicant prepares a written description of proposed improvements including cost estimates, and information regarding colors, materials, and other elements necessary to describe the proposed improvement and demonstrate compliance with the applicable design guidelines.
3. Applicant schedules a grant application meeting with the Planning Director to discuss proposed improvements. City staff will explain grant application requirements.
4. Applicant submits a grant application with supporting documentation as outlined in the grant application meeting.
5. Projects requiring further review as specified in Chapter 17.59 of the zoning ordinance, Historic Resources Ordinance, or NE Gateway Planned Development are required to complete those reviews prior to submittal of a grant application.
6. Applications received after the deadline for submittal will not be considered.

General Conditions:

1. Approval of grant applications is contingent upon available funds.
2. Funding is limited to one façade and one sign grant per property per year.
3. All projects shall conform to the design standards of Chapter 17.59 of the McMinnville Zoning Ordinance and NE Gateway Planned Development Overlay Ordinance. As such, some projects may require staff or Historic Landmark Committee review prior to submittal of a grant application.
4. Once an application is approved, the applicant will be required to enter into a Grant Approval Agreement with the Urban Renewal Agency.
5. Construction may begin only after an application is approved. Any work completed prior to formal approval and signing of the Grant Agreement may not be eligible for grant reimbursement.
6. All construction contractors shall have a valid license in the State of Oregon.
7. Only projects utilizing a licensed contractor will be eligible for reimbursement of labor costs. Projects not completed by a licensed contractor are eligible for material costs only.
8. Projects are required to be completed within one (1) year from the date of grant approval.
9. Applicants are responsible for obtaining all necessary permits prior to conducting work.
10. The applicant must submit before and after color photos of the project.
11. Additional conditions may be included with the grant approval.

Review Process:

Grant applications are reviewed initially by the McMinnville Planning Director to determine eligibility and consistency with the submittal requirements of this grant program. Applications meeting these requirements are then forwarded to the McMinnville Urban Renewal Advisory Committee for review and decision at a regularly scheduled meeting of the committee.

Review Criteria:

All projects will be reviewed based on the following criteria:

1. Positive impact of the project on the aesthetic appearance of the building.
2. Positive impact of the project on the overall streetscape.
3. Preservation and enhancement of the architectural integrity of the building.
4. Positive contribution of the project on the urban renewal effort.
5. Amount of additional investment leveraged by the grant.
6. Compliance with applicable design guidelines and standards.
7. Evidence of financial ability to meet matching requirements (e.g., bank statement, loan commitment letter, etc.)

Reimbursement Procedure:

Project reimbursement will occur based on the following procedures:

1. Reimbursement will occur only after construction is complete and a city inspection has been conducted.
2. Upon project completion, city staff should be contacted to conduct a site inspection.
3. Detailed written invoice(s) or itemized receipts and proof of payment (e.g., cancelled checks) shall be provided with all reimbursement requests.
4. If a licensed contractor was not used, receipts for materials shall be provided.
5. Funds will be dispersed within three (3) to six (6) weeks following submittal and verification of all documentation.

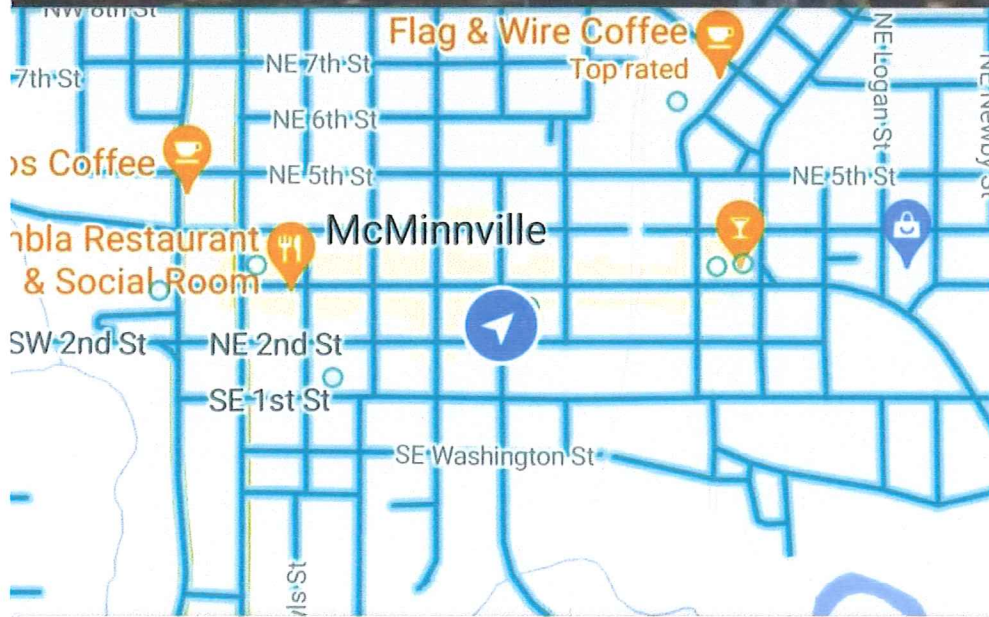
The Agency reserves the right to refuse reimbursements in whole or in part for work that:

1. Does not conform to the program or design guidelines.
2. Does not conform to the proposal submitted with the application and authorized by the Agency.
3. Are not commensurate with the workmanship and cost customary to the industry.
4. Is not completed within one year. (Requests for extension will be considered only if made in writing and progress towards completion has been demonstrated).
5. Does not conform to the terms of the grant agreement.

Further Information Contact:

Heather Richards
Planning Director
City of McMinnville
231 NE 5th Street
Ph. (503) 434-7311
Email heather.richards@mcminnvilleoregon.gov

9:18



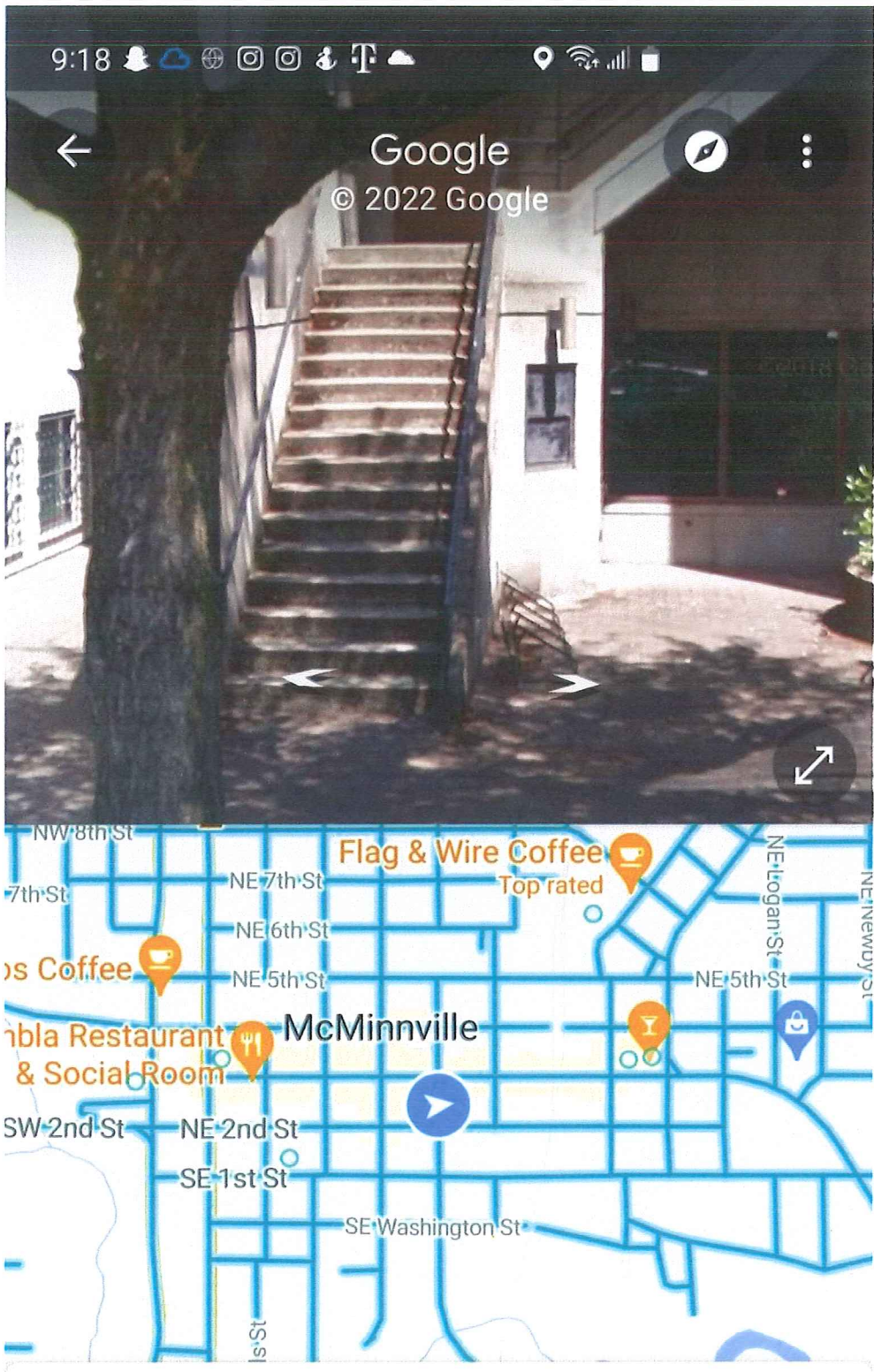
205 NE Ford St

3 years ago

Nearby photos

 Add a photo





205 NE Ford St

3 years ago

Nearby photos

 Add a photo

